

BARAN STUDIO ARCHITECTURE  
OAKLAND | LOS ANGELES 510.595.6744

JAMES McCANN

**JAMES RESIDENCE**  
2412 CLARK AVE., VENICE 90291

PLANNING SUBMITTAL  
05-12-2021

## GENERAL NOTES

SCOPE DOCUMENTS: THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE OVERALL CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL, ELECTRICAL SYSTEMS, ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED. THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS AND SPECIFICATIONS.

THE FOLLOWING NOTES AND TYPICAL DETAILS APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED, AND SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES. SEE ALSO NOTES, ABBREVIATIONS, DRAWING LEGENDS AND SYMBOLS, STRUCTURAL DRAWINGS.

DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, DETAILS OF CONSTRUCTION SHALL BE USED SUBJECT TO THE REVIEW AND APPROVAL OF THE ARCHITECT.

THE CONTRACTOR SHALL PERFORM IN A MANNER CONFORMING TO APPLICABLE REGULATIONS, AND REQUIREMENTS OF ALL GOVERNING AGENCIES AS WELL AS STANDARD INDUSTRY PRACTICES.

RESPONSIBILITY: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS THAT AFFECT ANY WORK, NOTIFY THE ARCHITECT AND OWNER IN WRITING AT ONCE FOR INSTRUCTIONS TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE OWNER WITH NO RESULTING COST TO THE OWNER. SHOULD A CONFLICT OCCUR IN OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON THE CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIAL AND CONSTRUCTION METHODS INVOLVED, UNLESS A WRITTEN DECISION FROM THE ARCHITECT / OWNER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS OR UNLESS THE ORIGINAL BID IS APPROPRIATELY QUALIFIED.

THE CONTRACTOR SHALL CONFINE HIS/HER OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS/HER WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS/HER OPERATION.

ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.

PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PANELS HVAC EQUIPMENT AND ALL OTHER ITEMS REQUIRING SAME.

ALL MATERIALS SHALL BE HANDLED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS

STORAGE & DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GASES AND HAZARDOUS CHEMICALS SHALL COMPLY WITH THE UNIFORM FIRE CODE REGULATIONS.

NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORK DEPARTMENT.

THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS/HER WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL UPON COMPLETION MATCH SURROUNDING SIMILAR SURFACES.

SHOP DRAWINGS: SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL SUPPLY THE ARCHITECT/ENGINEER WITH THE REQUIRED SHOP DRAWINGS BEARING THE CONTRACTOR'S STAMP OF APPROVAL AND SIGNATURE A MINIMUM OF THREE WEEKS PRIOR TO FABRICATION. THE REVIEW OF SHOP DRAWINGS AND SPECIFICATIONS BY THE ARCHITECT/ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT, COMPLETE, NOR DOES IT INFER THAT THEY SUPERCEDE THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL COMMENCE UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND SAMPLES. THE ARCHITECT SHALL NOT PROCEED WITH THE REVIEW OF SHOP DRAWINGS FOR A SPECIFIC SECTION OF SPECIFICATIONS UNLESS THE SHOP DRAWINGS FOR THAT SECTION AND ALL RELATED AND CONTIGUOUS SECTIONS OF WORK ARE SUBMITTED IN THEIR ENTIRETY SIMULTANEOUSLY. THE REVIEW AND ACCEPTANCE OF A PART OF THE SHOP DRAWINGS SHALL NOT IMPLY THE ACCEPTANCE OF THE SHOP DRAWINGS IN WHOLE OR IN PART.

DIMENSIONS:  
 A. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.  
 B. ALL DIMENSIONS SHOWN ARE TO THE CENTER OF COLUMNS AND BEAMS, FACE OF CONCRETE / CONC. BLOCK WALLS, EDGE OF SLAB, FACE OF FINISH UNLESS OTHERWISE NOTED.  
 C. CEILING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR OR SLAB TO THE FINISHED FACE OF CEILING.  
 D. DIMENSIONS AND ELEVATIONS ARE TO THE TOP OF CONCRETE, BLOCK OR OTHER HARD SURFACE MATERIALS, NOT TO THE TOP OF FLOOR COVERINGS OR ROOFING U.O.N.  
 E. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL THE TRADES

THE BUILDING INSPECTOR SHALL BE NOTIFIED PRIOR TO START OF CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.

AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10B-C SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SF OR PORTION THEREOF ON EACH FLOOR.

## APPLICABLE CODES & AGENCIES

THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO CONSTRUCT REFERENCED PROJECT IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS TITLE 24. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH SAID CALIFORNIA CODE OF REGULATIONS TITLE 24, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE AGENCY HAVING JURISDICTION BEFORE PROCEEDING WITH THE WORK.

CALIFORNIA CODE OF REGULATIONS (CCR)

2019 CALIFORNIA RESIDENTIAL CODE  
(BASED UPON 2018 INTERNATIONAL RESIDENTIAL CODE)

2019 CALIFORNIA ELECTRICAL CODE - PART 3, TITLE 24, CCR  
(BASED UPON 2017 NATIONAL ELECTRICAL CODE)

2019 CALIFORNIA MECHANICAL CODE - PART 4, TITLE 24, CCR  
(BASED UPON 2018 UNIFORM MECHANICAL CODE)

2019 CALIFORNIA PLUMBING CODE - PART 5, TITLE 24, CCR  
(BASED UPON 2018 UNIFORM PLUMBING CODE)

2019 CALIFORNIA ENERGY CODE - PART 6, TITLE 24, CCR

2019 CALIFORNIA FIRE CODE - PART 9, TITLE 24, CCR

2020 L.A.CITY GREEN BUILDING STANDARDS CODE

\*NOTE THAT CITY OF LOS ANGELES AMENDMENTS APPLY AS AND WHERE APPLICABLE

## PROJECT DIRECTORY

### OWNER / BUILDER

JAMES McCANN  
2412 CLARK AVE  
VENICE, CA 90291  
JPMCCANN10@GMAIL.COM

### ARCHITECT

MATT BARAN  
BARAN STUDIO ARCHITECTURE  
5353 CLAREMONT AVE.,  
OAKLAND, CA 94618  
510-595-6744

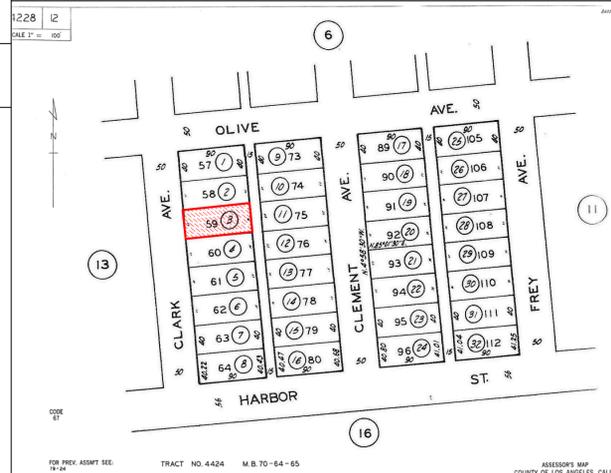
### SURVEYOR

CHRISTENSEN & PLOUFF LAND  
SURVEYING  
25570 RYE CANYON ROAD, SUITE-A  
VALENCIA, CA 91355  
(661) 645-9320

## IMAGES



## LOCATION MAP



# PLANNING SUBMITTAL

## 05-12-2021

## PROJECT INFO

### PROJECT LOCATION

LOCATION: 2412 CLARK AVENUE  
VENICE, CA. 90291

APN: 4228-012-003  
ZONING DISTRICT: R1-1-O

LOT DIMENSIONS: 40' - 0" X 90' - 0"  
LOT AREA: 3,600 SF

LOT: 59  
BLOCK: NONE  
TRACT: TR4424  
CENSUS TRACT: 2739.02  
MAP REFERENCE: M B 70-64/65  
MAP SHEET: 106-5A147

### (E) SINGLE FAMILY RESIDENCE (FOR DEMO)

YEAR BUILT: 1953-54  
# OF STORIES (EXISTING): 01 STORY (DEMO)  
BUILDING HEIGHT (EXISTING): +/- (DEMO)  
BUILDING AREA (EXISTING): 962 SF (DEMO)  
BLDG FOOTPRINT (EXISTING): 962 SF (DEMO)

### (E) ACCESSORY STRUCTURE

# OF STORIES (EXISTING): 01 STORY (DEMO)  
BUILDING HT. MAX. (EXISTING): +/- (DEMO)  
BUILDING AREA (EXISTING): 297 SF (DEMO)  
BLDG FOOTPRINT (EXISTING): 297 SF (DEMO)

### (N) SINGLE FAMILY RESIDENCE (PROPOSED)

# OF STORIES (PROPOSED): 02 STORY  
BUILDING HT. MAX. (PROPOSED): +/- 24' - 3" (25' - 0" MAX. ALLOWED)  
BUILDING AREA (PROPOSED): 2768 SF  
BLDG FOOTPRINT (PROPOSED): 1817 SF

OCCUPANCY GROUP: R-3  
CONSTRUCTION TYPE: V-B  
AUTOMATIC SPRINKLER SYSTEM: YES (UNDER A SEPARATE PERMIT)

SETBACKS	FRONT (W)	SIDE (N)	SIDE (S)	REAR (E)	BLDG. SEP.
PROPOSED	17' - 8 1/2"	4' - 0"	4' - 0"	15' - 0"	N/A

NOTES:  
 • FRONT YARD IS BASED ON THE PREVAILING SETBACKS (SEE SHEET A0.4)  
 • SIDE YARD REDUCED TO 10% OF THE LOT WIDTH (AS LOT WIDTH < 50 FEET)

### LOT COVERAGE

BUILDING FOOTPRINT (Excluding detached garage): - 1346 SF  
RESULTANT LOT COVERAGE PROPOSED: - 37.4%

### OPEN SPACE

OPEN SPACE PROVIDED (ROOF): - 863 SF  
OPEN SPACE PROVIDED (BALCONY): - 97 SF  
TOTAL OPEN SPACE PROVIDED: - 960 SF

# OF PROPOSED PARKING: -03  
(as per Section-13 (D) in Venice Coastal Zone Specific Plan)

DISTANCE TO NEAREST PUBLIC TRANSIT STOP: 0.1 MILE (< 1/2 MILE)

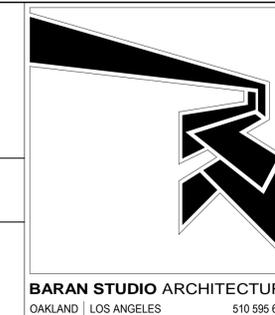
## PROJECT SUMMARY

### NEW CONSTRUCTION OF ONE 2-STORY SINGLE-FAMILY DWELLING UNIT

-- DEMO OF EXISTING 1-STORY SINGLE-FAMILY HOUSE  
 -- DEMO OF EXISTING ACCESSORY STRUCTURE (GARAGE)

## DRAWING INDEX

G 0.0	COVER
A 0.0	PROJECT INFORMATION
A 0.3	SURVEY (PLOT PLAN)
A 0.4	SURVEY (PREVAILING SETBACKS)
A 1.0	SITE PLAN (EXIS. / DEMO)
A 1.1	SITE PLAN (PROPOSED)
A 1.2	LANDSCAPE PLAN
A 1.3	IRRIGATION PLAN
A 2.0	PROPOSED FIRST FLOOR PLAN
A 2.1	PROPOSED SECOND FLOOR PLAN
A 2.2	PROPOSED ROOF / DRAINAGE PLAN
A 3.0	PROPOSED EXTERIOR ELEVATIONS
A 3.1	PROPOSED EXTERIOR ELEVATIONS
A 3.2	EXTERIOR VIEWS
A 4.0	SECTIONS
A 4.1	SECTIONS



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NO.	DESCRIPTION	DATE
	PLANNING SUBMITTAL	05/12/2021

STAMP:



## PROJECT INFORMATION

PROJECT NO.: 21R2412C

DATE: 05-12-2021

SCALE:

SHEET NO:

A 0.0

FLOOR AREA (Excluding Walls)		SCHOOL FEE AREA (Including Walls)	
Level	Area	Level	Area
Level 1	1346 SF	Level 1	1434 SF
Level 2	1438 SF	Level 2	1658 SF
	2784 SF		3092 SF
Garage	359 SF	Garage	382 SF

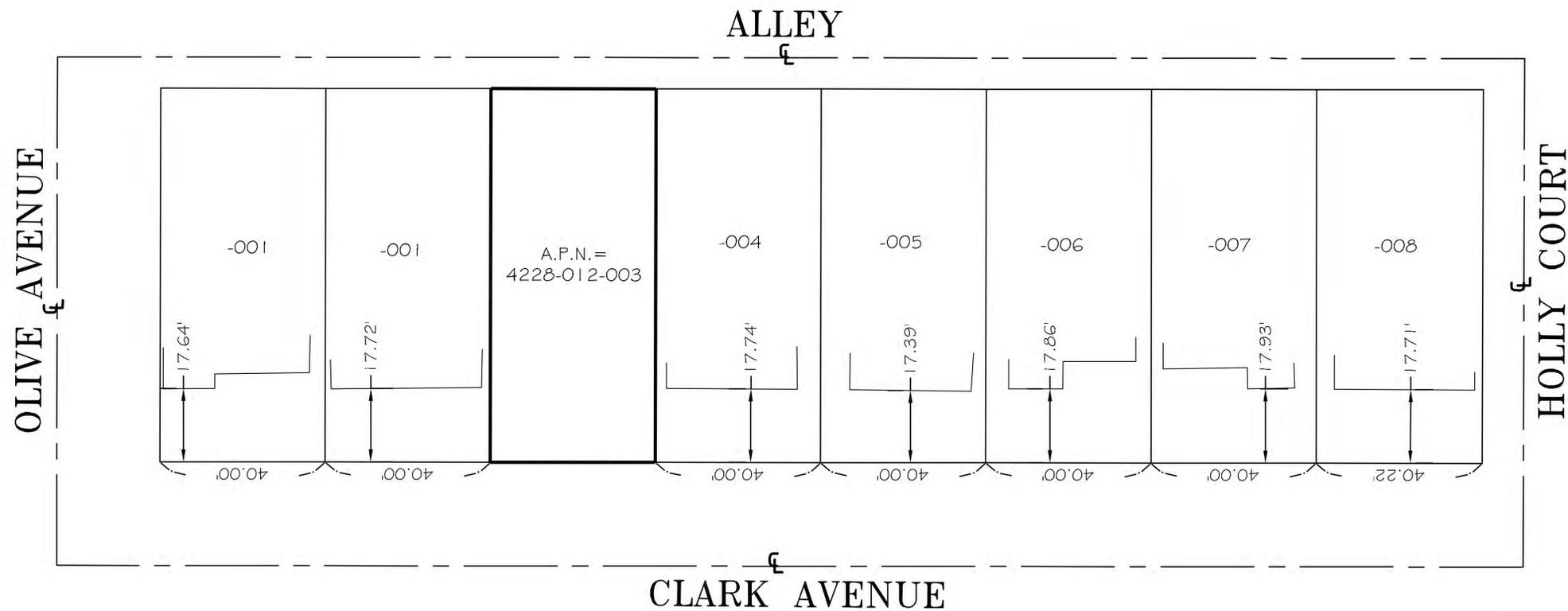




**PREVAILING SETBACKS**

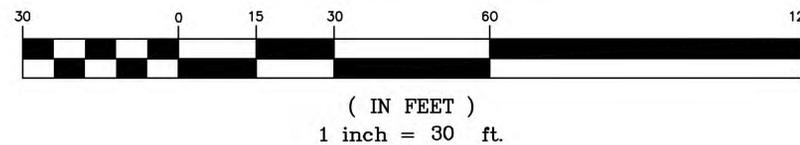
PREVAILING SETBACK: 17.71 FT  
 TOTAL NO OF LOTS ENTERED: 7  
 TOTAL FRONTAGE ENTERED: 280.22 FT  
 40% FROM TOTAL FRONTAGE ENTERED: 112.09 FT  
 NO OF LOTS USED IN THE CALCULATION: 7  
 SETBACK RANGE USED: 17.39 FT - 17.93 FT  
 TOTAL FRONTAGE USED IN THE CALCULATION: 280.22 FT

LOT	FRONTAGE (FT)	SETBACKS(FT)
1	40.00	17.64
2	40.00	17.72
4	40.00	17.74
5	40.00	17.39
6	40.00	17.86
7	40.00	17.93
8	40.22	17.71



CLARK AVENUE

**GRAPHIC SCALE**



KACIE A. PLOUFF, PLS 9013



CHRISTENSEN & PLOUFF  
 LAND SURVEYING  
 25570 RYE CANYON RD, STE A  
 VALENCIA CA 91355  
 661-645-9320



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NO.	DESCRIPTION	DATE

STAMP:



**SURVEY  
 (PREVAILING  
 SETBACKS)**

PROJECT NO.: 21R2412C  
 DATE: 05-12-2021  
 SCALE:

SHEET NO:

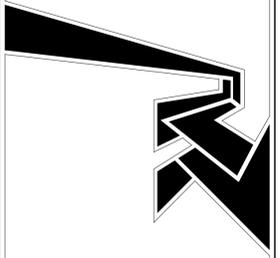
**A 0.4**

**PREVAILING SETBACKS**

SCALE: 1"= 30'  
 DATE: 03/15/2021

2412 CLARK AVE, VENICE  
 A.P.N.: 4228-012-003





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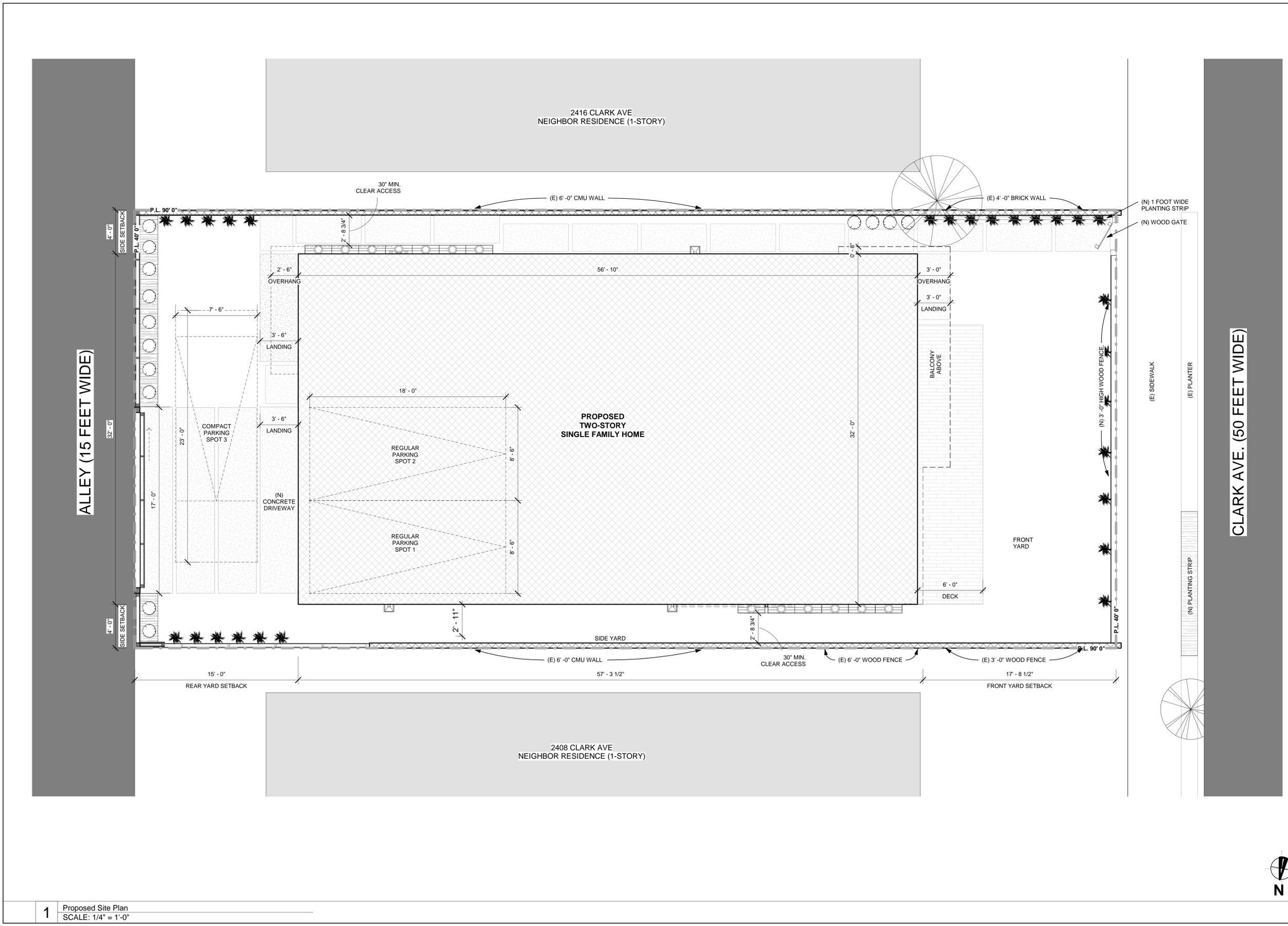
NO.	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	05/12/2021



**SITE PLAN  
(PROPOSED)**

PROJECT NO.: 21R2412C  
 DATE: 05-12-2021  
 SCALE: 1/4" = 1'-0"

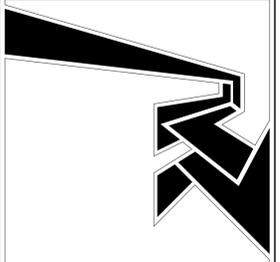
SHEET NO:  
**A 1.1**



ALLEY (15 FEET WIDE)

CLARK AVE. (50 FEET WIDE)





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STAMP:



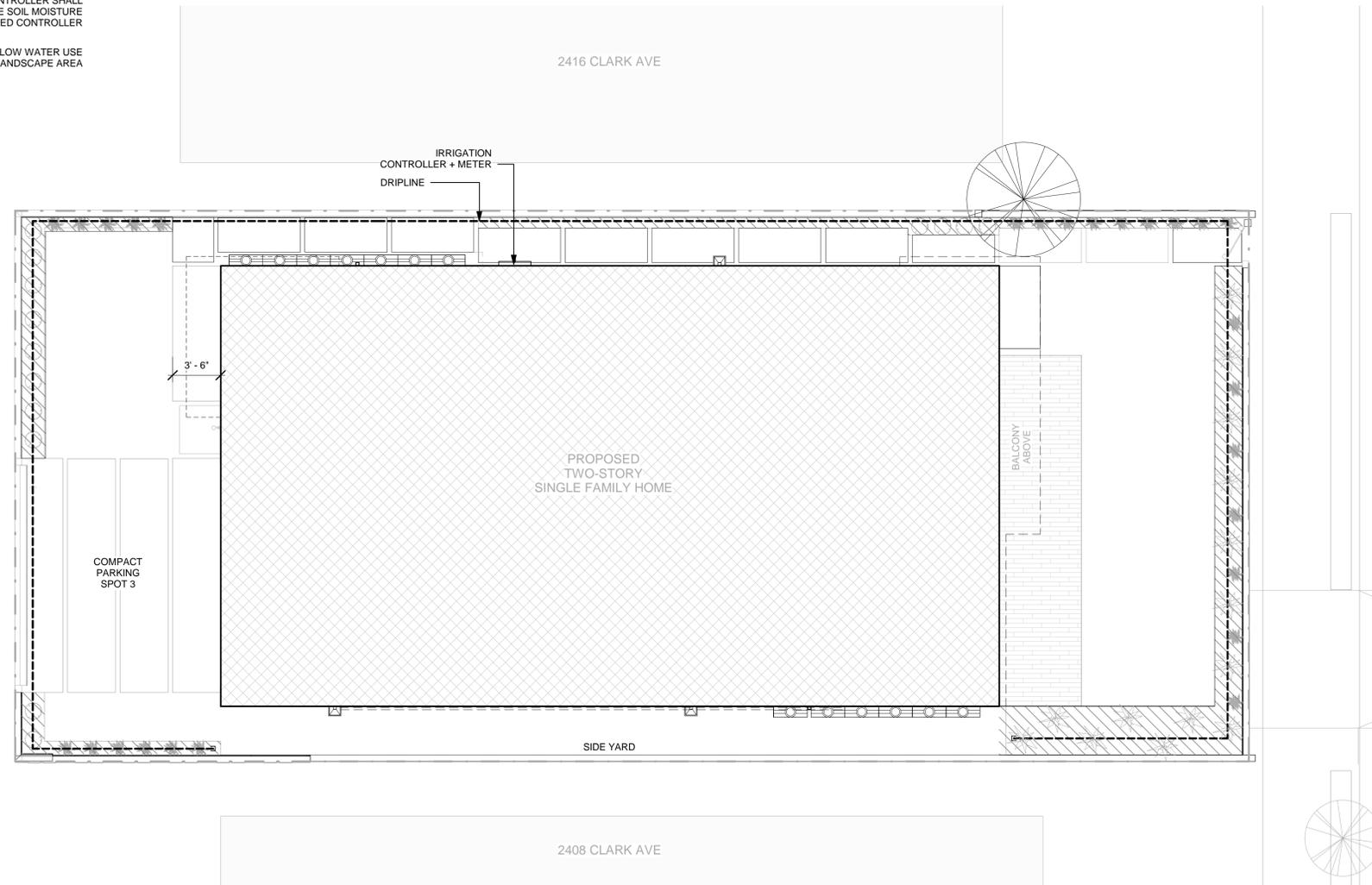
## IRRIGATION PLAN

PROJECT NO.: 21R2412C  
DATE: 05-12-2021  
SCALE: 3/16" = 1'-0"

SHEET NO:

# A 1.3

NOTE: IRRIGATION CONTROLLER SHALL BE SOIL MOISTURE BASED CONTROLLER



1 Irrigation Plan  
SCALE: 3/16" = 1'-0"

### NOTES:

- 1) RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES
- 2) A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED
- 3) FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL
- 4) PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES

- 5) CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR
- 6) A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES
- 7) A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT
- 8) AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION
- 9) MANUAL-SHUT-OFF VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY

- 10) AT TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE
- 11) UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION OF THE MWEL0

DATE: \_\_\_\_\_

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE

DATE: \_\_\_\_\_

### NOTES

**NOTES**

A) THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

B) AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

C) PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

D) KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

E) BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

F) PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

G) UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

H) WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

I) FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING, THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

J) FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)

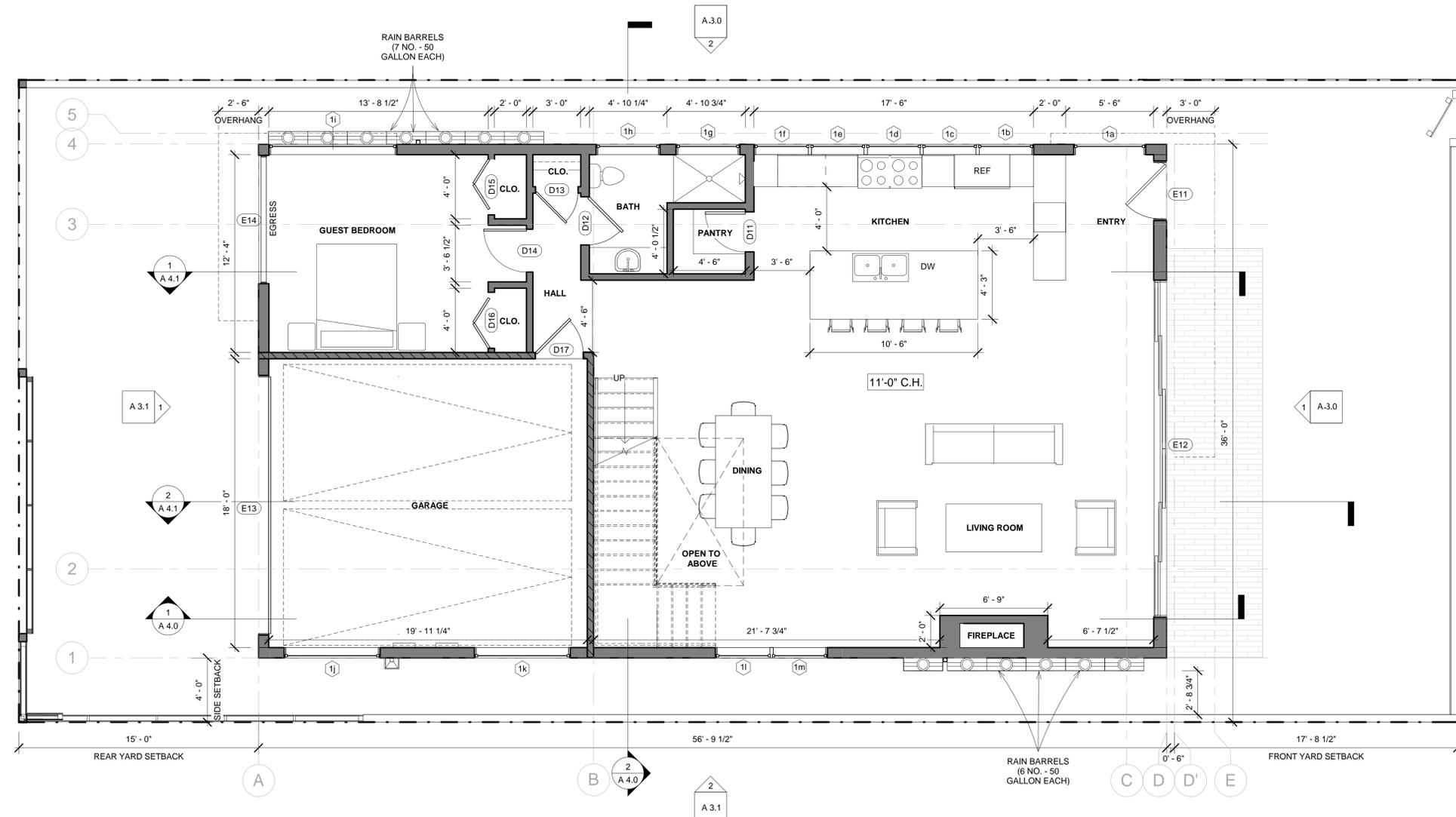
K) AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

L) SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)

M) WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)

N) EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

O) A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE



**1** Level 1  
SCALE: 1/4" = 1'-0"

FLOOR AREA (Excluding Walls)	
Level	Area
Level 1	1346 SF
Level 2	1438 SF
<b>Garage</b>	<b>359 SF</b>

SCHOOL FEE AREA (Including Walls)	
Level	Area
Level 1	1434 SF
Level 2	1658 SF
	3092 SF
<b>Garage</b>	<b>382 SF</b>

**GROSS BUILDING AREA IS 3474 SF**

WALL LEGEND	
	EXISTING WALL
	DEMOLISHED WALL
	NEW WALL
	1 HOUR RATED WALL
	FLOOR / OBJECT ABOVE

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**PROPOSED FIRST FLOOR PLAN**

PROJECT NO.: 21R2412C  
DATE: 05-12-2021  
SCALE: As indicated

SHEET NO:  
**A 2.0**

**NOTES**

A) THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

B) AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

C) PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

D) KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

E) BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

F) PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

G) UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

H) WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

I) FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING, THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

J) FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)

K) AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

L) SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)

M) WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)

N) EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

O) A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE



1 Level 2  
SCALE: 1/4" = 1'-0"

FLOOR AREA (Excluding Walls)	
Level	Area
Level 1	1346 SF
Level 2	1438 SF
	2784 SF

Garage	359 SF
--------	--------

SCHOOL FEE AREA (Including Walls)	
Level	Area
Level 1	1434 SF
Level 2	1658 SF
	3092 SF

Garage	382 SF
--------	--------

GROSS BUILDING AREA IS 3474 SF

WALL LEGEND	
	EXISTING WALL
	DEMOLISHED WALL
	NEW WALL
	1 HOUR RATED WALL
	FLOOR / OBJECT ABOVE



BARAN STUDIO ARCHITECTURE  
OAKLAND | LOS ANGELES 510 595 6744

**JAMES RESIDENCE**

2412 CLARK AVE., VENICE 90291

NO.	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	05/12/2021

STAMP:



**PROPOSED SECOND FLOOR PLAN**

PROJECT NO.: 21R2412C  
DATE: 05-12-2021  
SCALE: As indicated

SHEET NO:

**A 2.1**

**NOTES**

- A) THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- B) AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- C) PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- D) KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- E) BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- F) PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- G) UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
- H) WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)
- I) FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)
- J) FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)
- K) AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
- L) SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
- M) WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)
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- O) A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

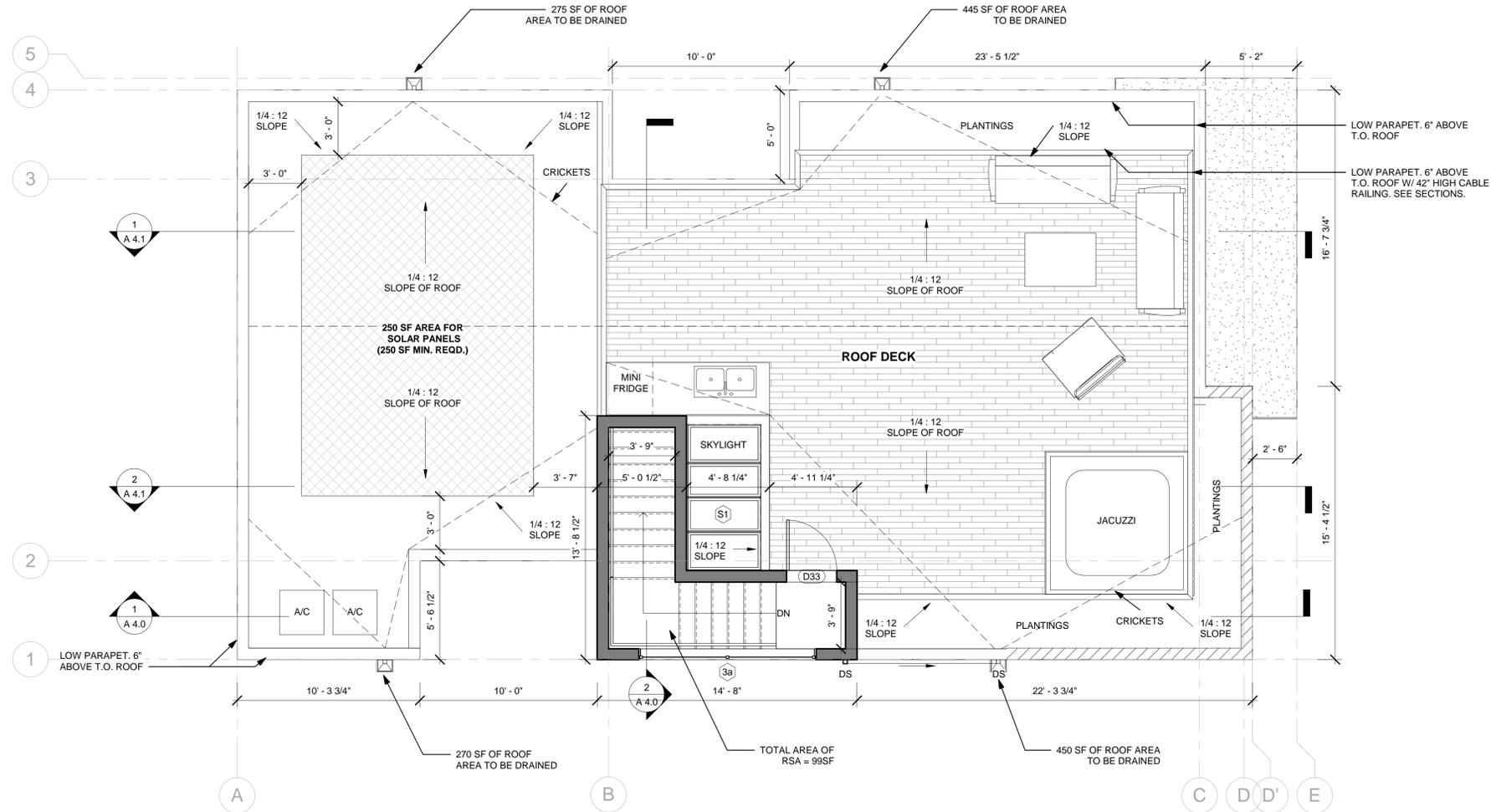
**ENERGY EFFICIENCY**

1) THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'.

CARLISLE TPO SINGLE PLY ROOFING MEMBRANE, WHITE, LARR# 25844

**SURE-WELD TPO**  
SRI = 99  
3-YR SOLAR REFLECTANCE = .70  
THERMAL EMITTANCE = .86

**NOTE: TOTAL 1,440 SF ROOF AREA TO BE DRAINED.**



**1** ROOF PLAN  
SCALE: 1/4" = 1'-0"

FLOOR AREA (Excluding Walls)	
Level	Area
Level 1	1346 SF
Level 2	1438 SF
	2784 SF
Garage	359 SF

SCHOOL FEE AREA (Including Walls)	
Level	Area
Level 1	1434 SF
Level 2	1658 SF
	3092 SF
Garage	382 SF

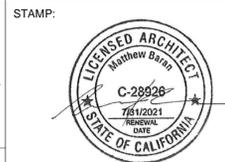
**GROSS BUILDING AREA IS 3474 SF**

WALL LEGEND	
	EXISTING WALL
	DEMOLISHED WALL
	NEW WALL
	1 HOUR RATED WALL
	FLOOR / OBJECT ABOVE



**JAMES RESIDENCE**  
2412 CLARK AVE., VENICE 90291

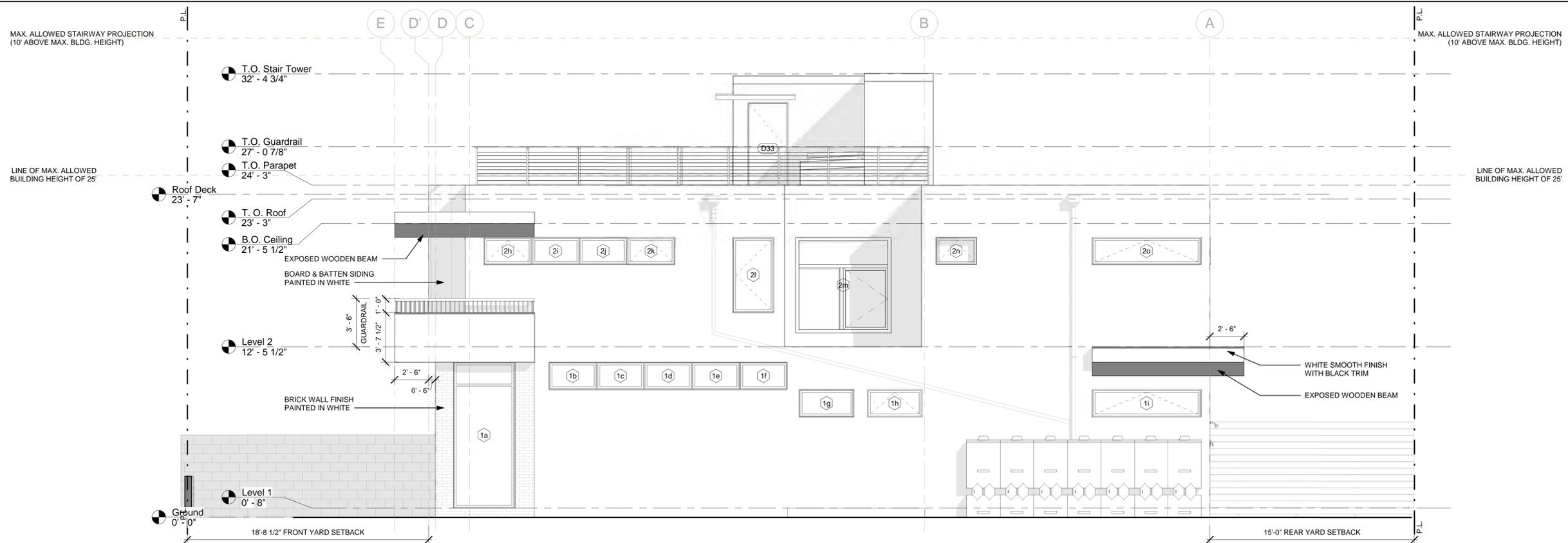
NO.	DESCRIPTION	DATE
	PLANNING SUBMITTAL	05/12/2021



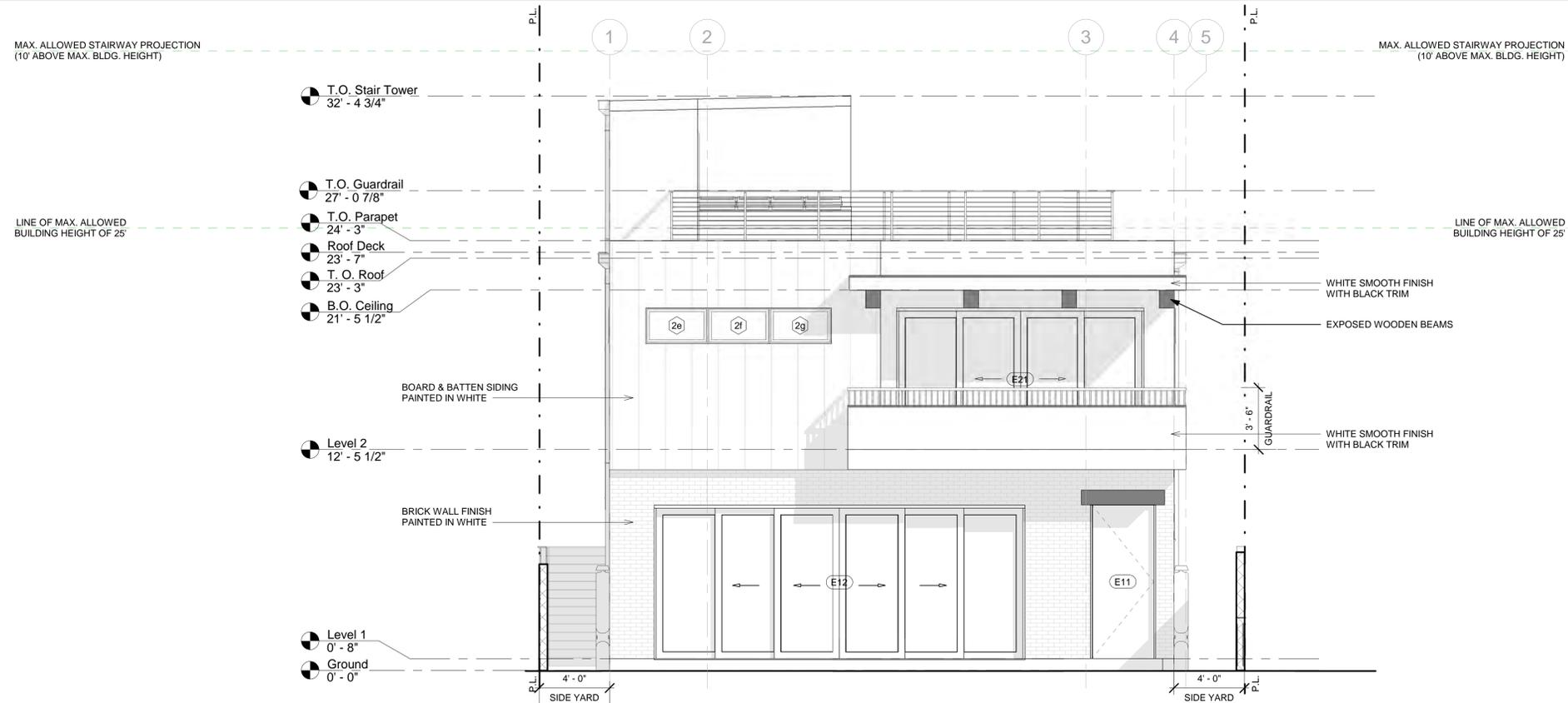
**PROPOSED ROOF / DRAINAGE PLAN**

PROJECT NO.: 21R2412C  
DATE: 05-12-2021  
SCALE: As indicated

SHEET NO:  
**A 2.2**



2 South  
SCALE: 1/4" = 1'-0"

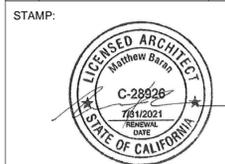


1 East  
SCALE: 1/4" = 1'-0"



**JAMES RESIDENCE**  
2412 CLARK AVE., VENICE 90291

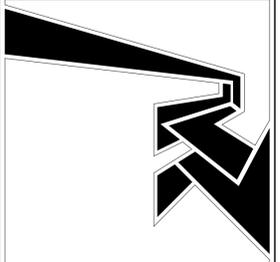
NO.	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	05/12/2021



**PROPOSED EXTERIOR ELEVATIONS**

PROJECT NO.: 21R2412C  
DATE: 05-12-2021  
SCALE: 1/4" = 1'-0"

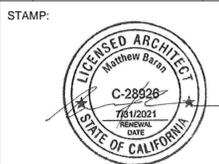
SHEET NO:  
**A 3.0**



**BARAN STUDIO ARCHITECTURE**  
 OAKLAND | LOS ANGELES 510.595.6744

**JAMES RESIDENCE**  
 2412 CLARK AVE., VENICE 90291

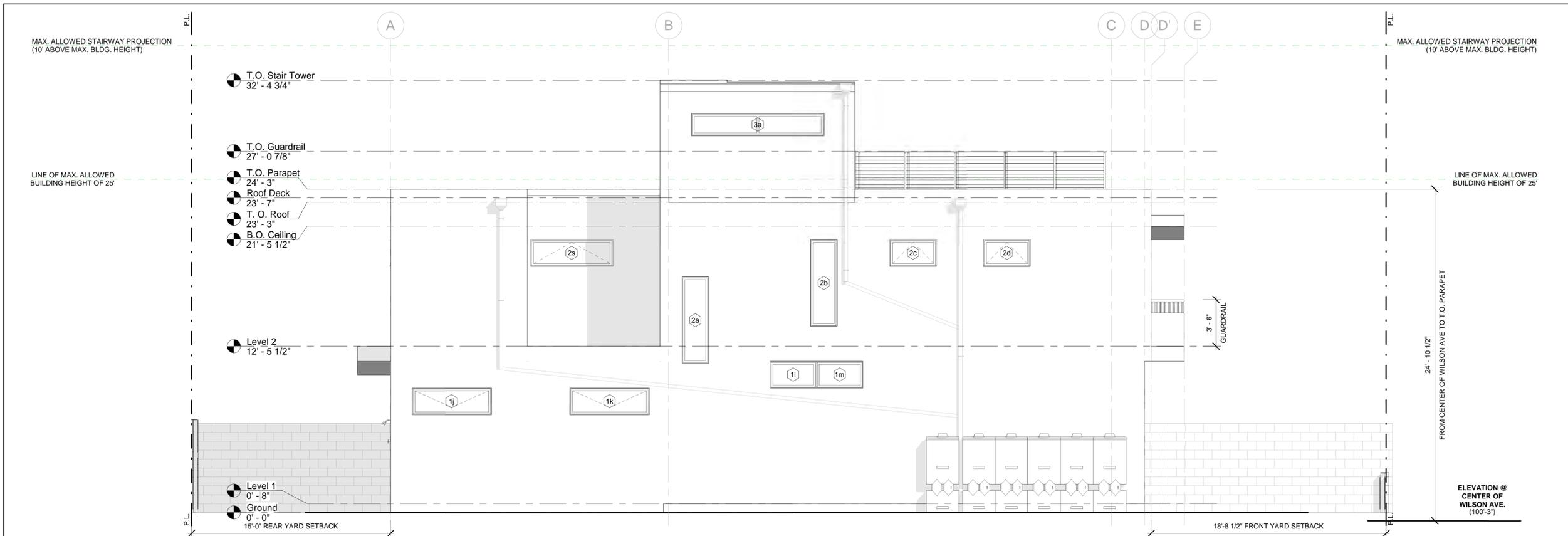
NO.	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	05/12/2021



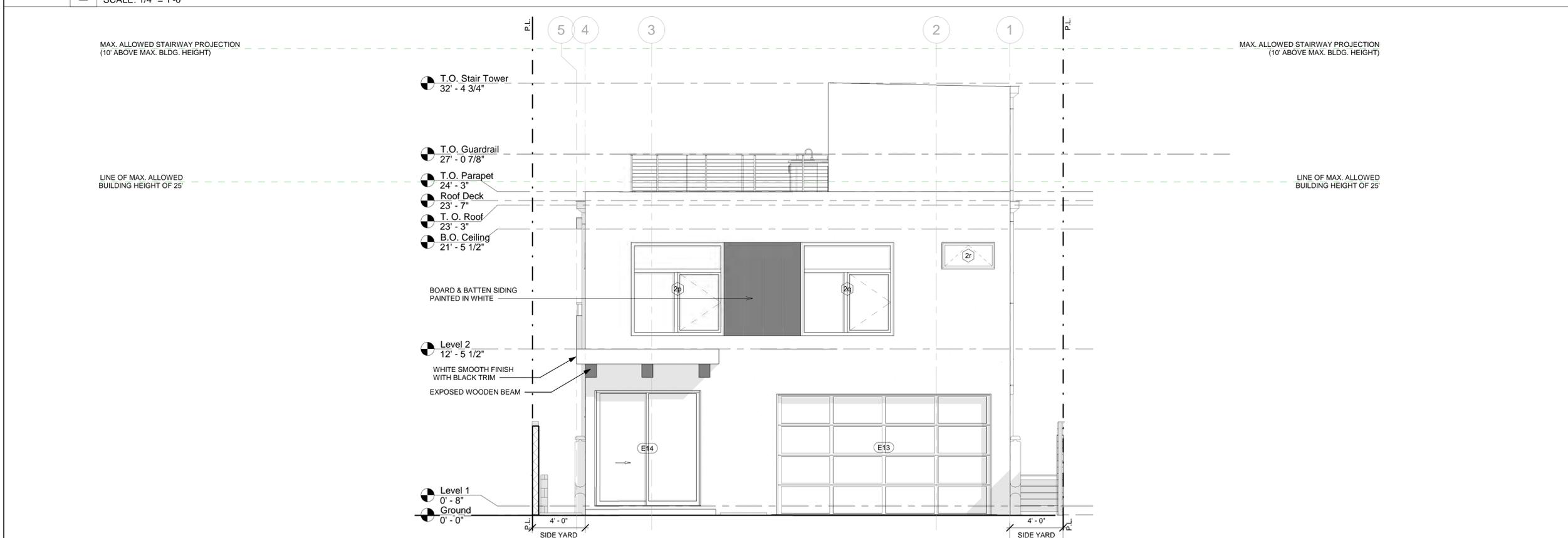
**PROPOSED EXTERIOR ELEVATIONS**

PROJECT NO.: 21R2412C  
 DATE: 05-12-2021  
 SCALE: 1/4" = 1'-0"

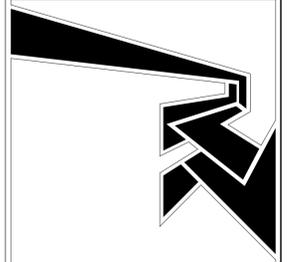
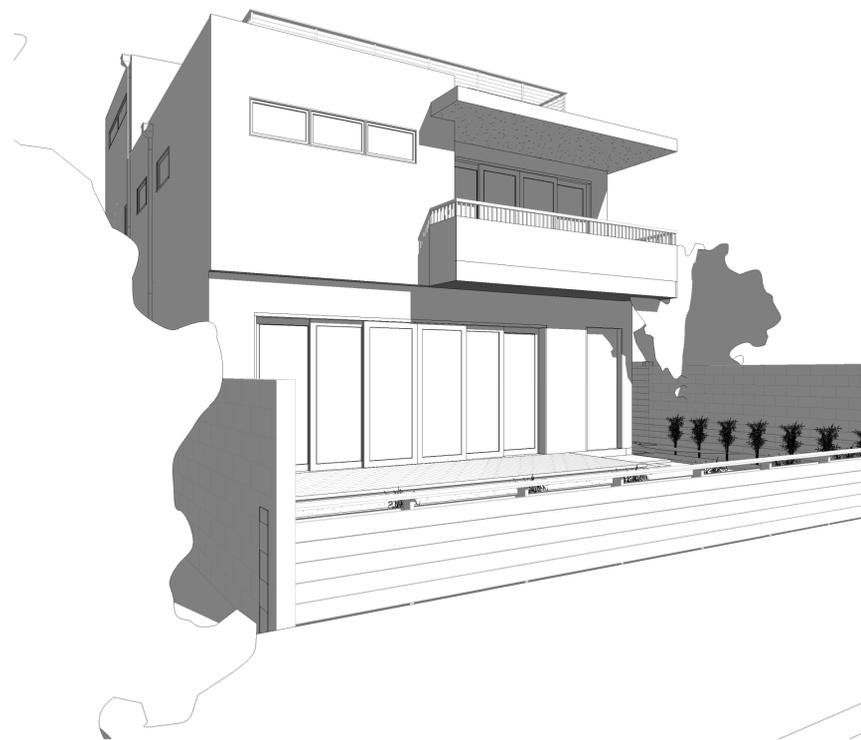
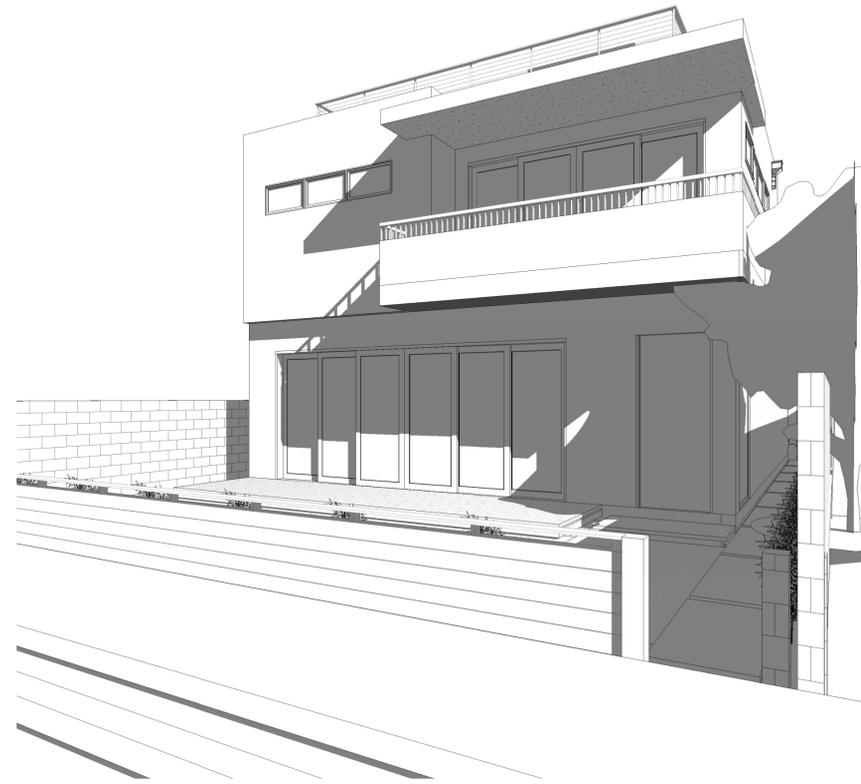
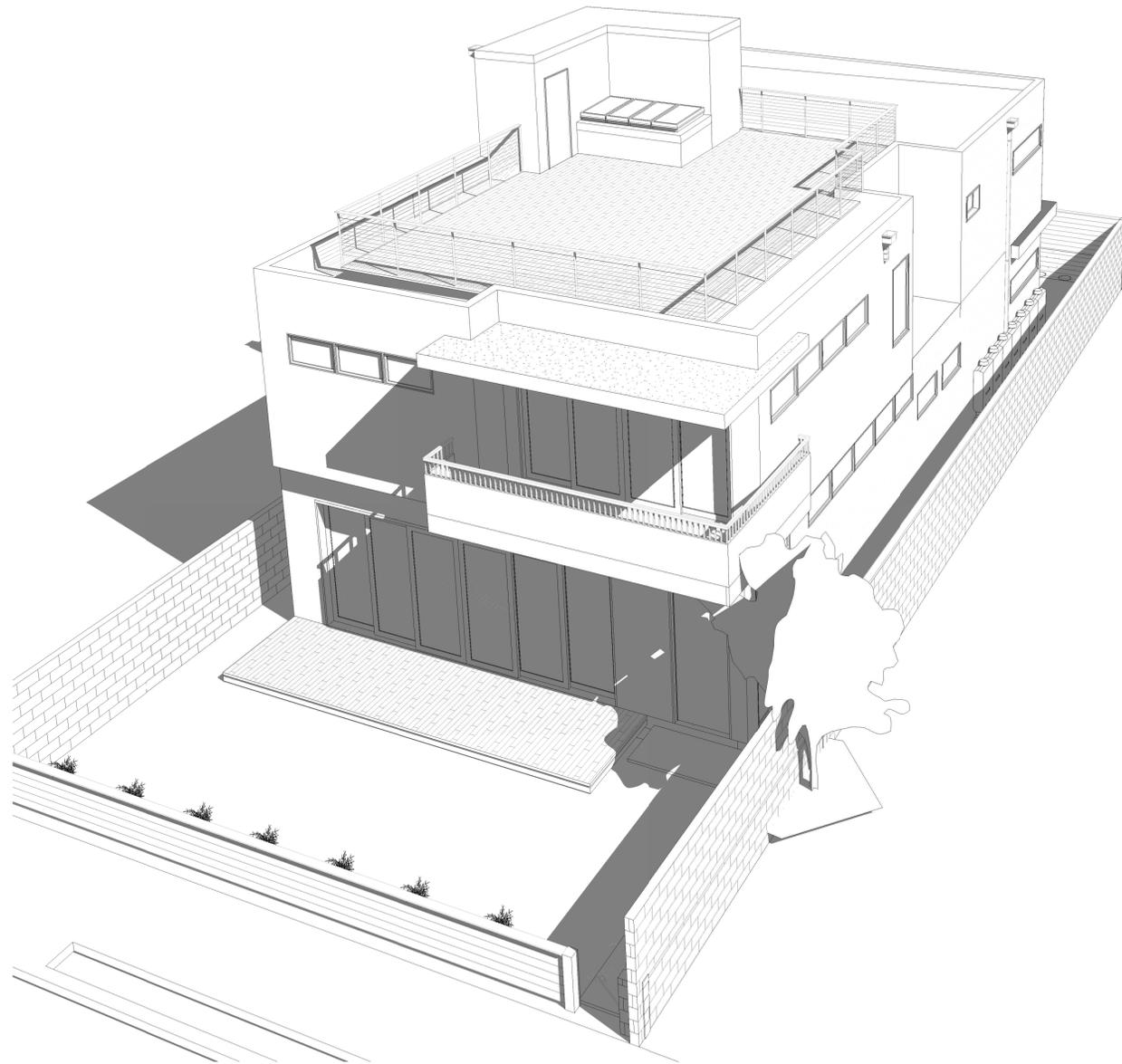
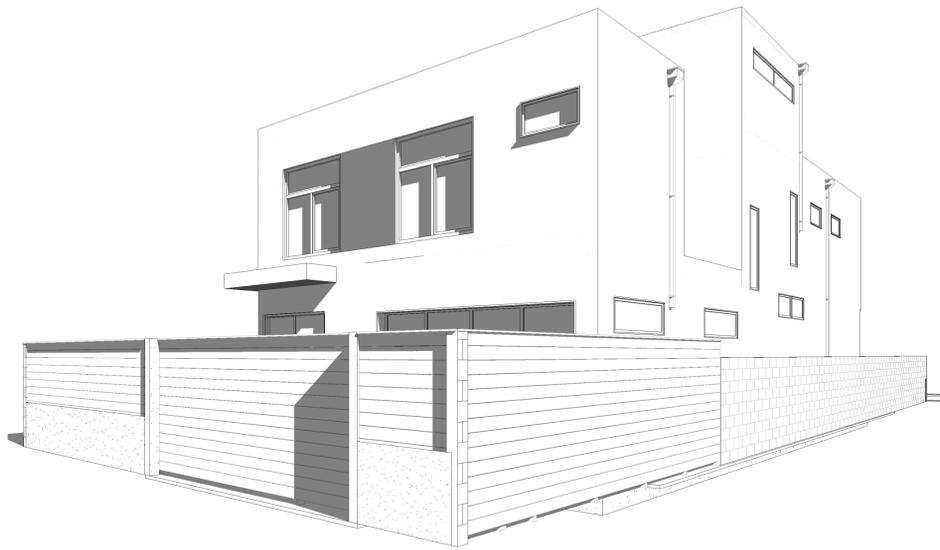
SHEET NO:  
**A 3.1**



**2** North  
 SCALE: 1/4" = 1'-0"



**1** West  
 SCALE: 1/4" = 1'-0"



**BARAN STUDIO ARCHITECTURE**  
OAKLAND | LOS ANGELES 510 595 6744

# JAMES RESIDENCE

2412 CLARK AVE., VENICE 90291

NO.	DESCRIPTION	DATE

STAMP:



EXTERIOR VIEWS

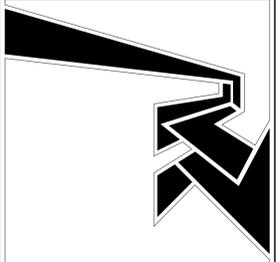
PROJECT NO.: 21R2412C

DATE: 05-12-2021

SCALE:

SHEET NO:

**A 3.2**



**BARAN STUDIO ARCHITECTURE**  
 OAKLAND | LOS ANGELES 510 595 6744

# JAMES RESIDENCE

2412 CLARK AVE., VENICE 90291

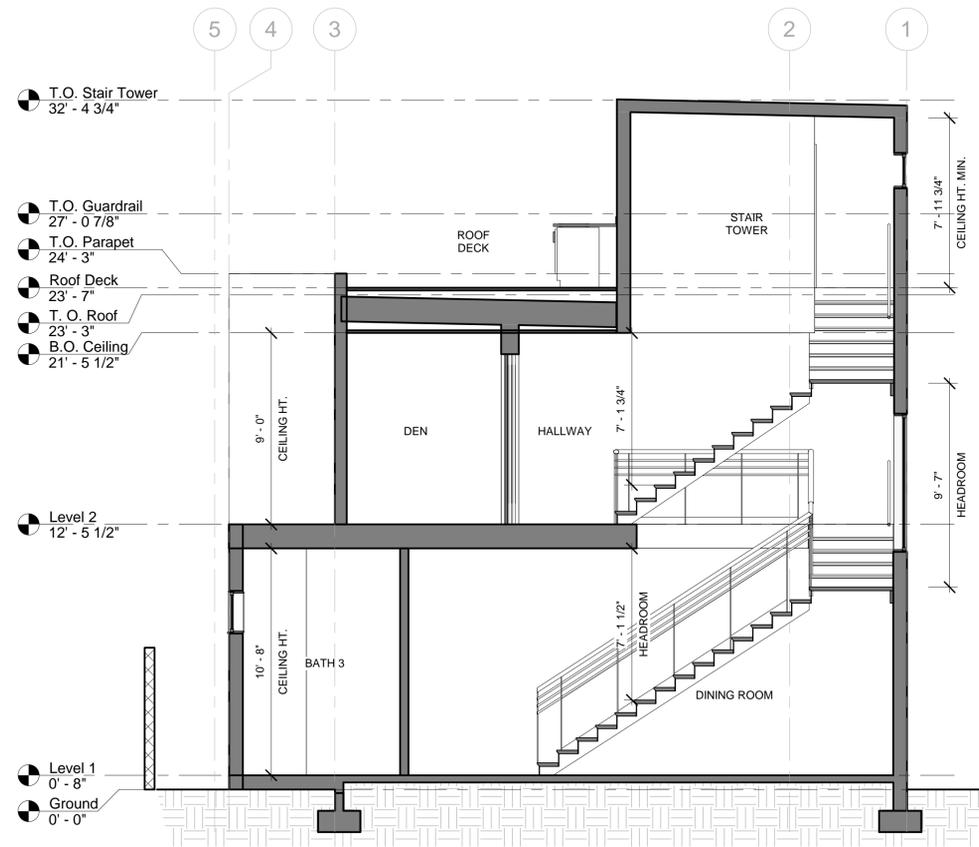
NO.	DESCRIPTION	DATE
1	PLANNING SUBMITTAL	05/12/2021



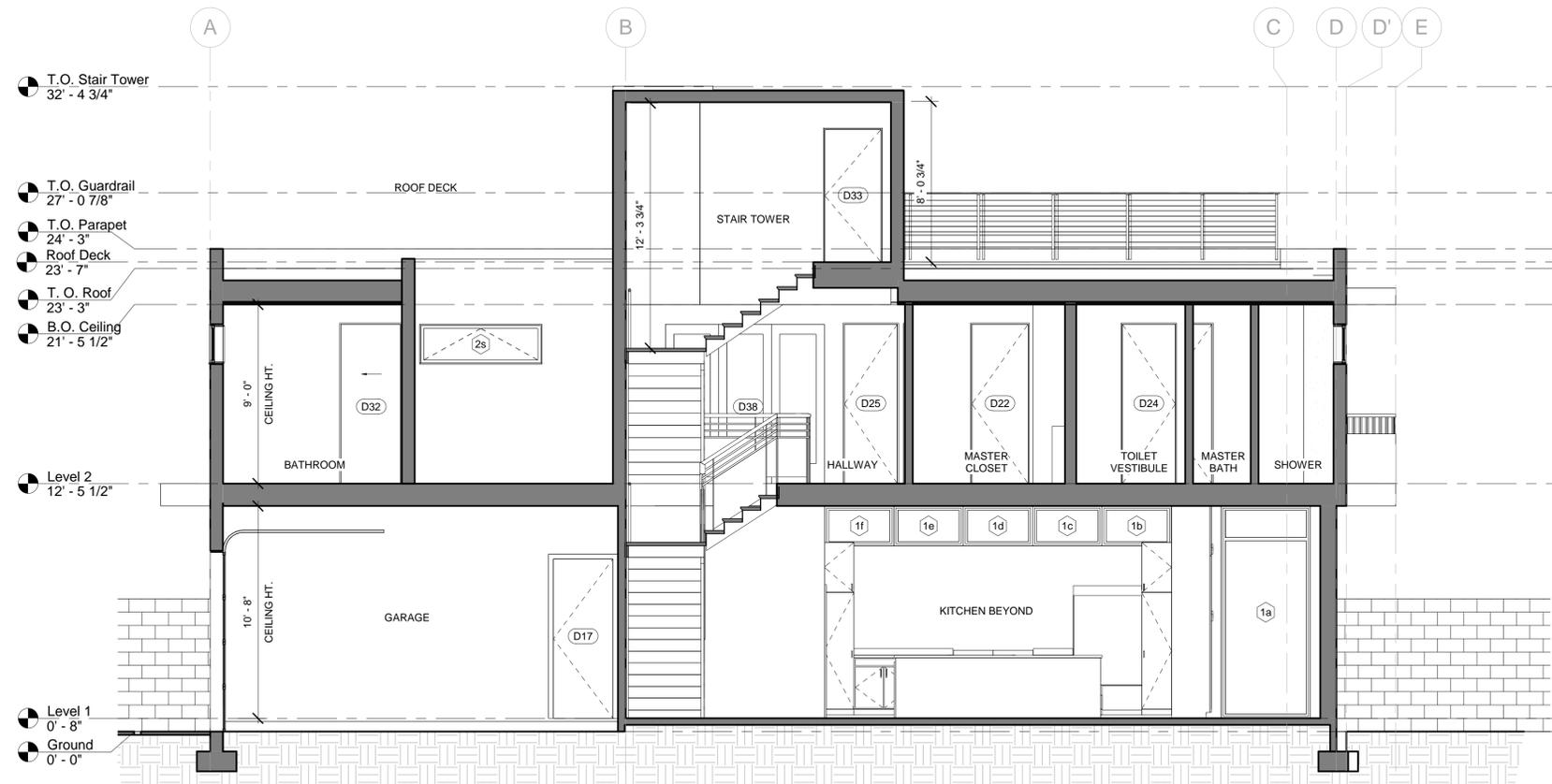
## SECTIONS

PROJECT NO.: 21R2412C  
 DATE: 05-12-2021  
 SCALE: 1/4" = 1'-0"

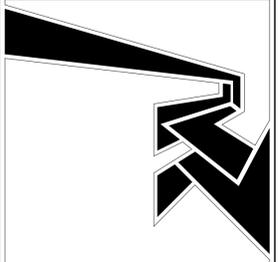
SHEET NO:  
**A 4.0**



**2** Cross Section  
 SCALE: 1/4" = 1'-0"



**1** Longitudinal Section 1  
 SCALE: 1/4" = 1'-0"



BARAN STUDIO ARCHITECTURE  
OAKLAND | LOS ANGELES 510 595 6744

# JAMES RESIDENCE

2412 CLARK AVE., VENICE 90291

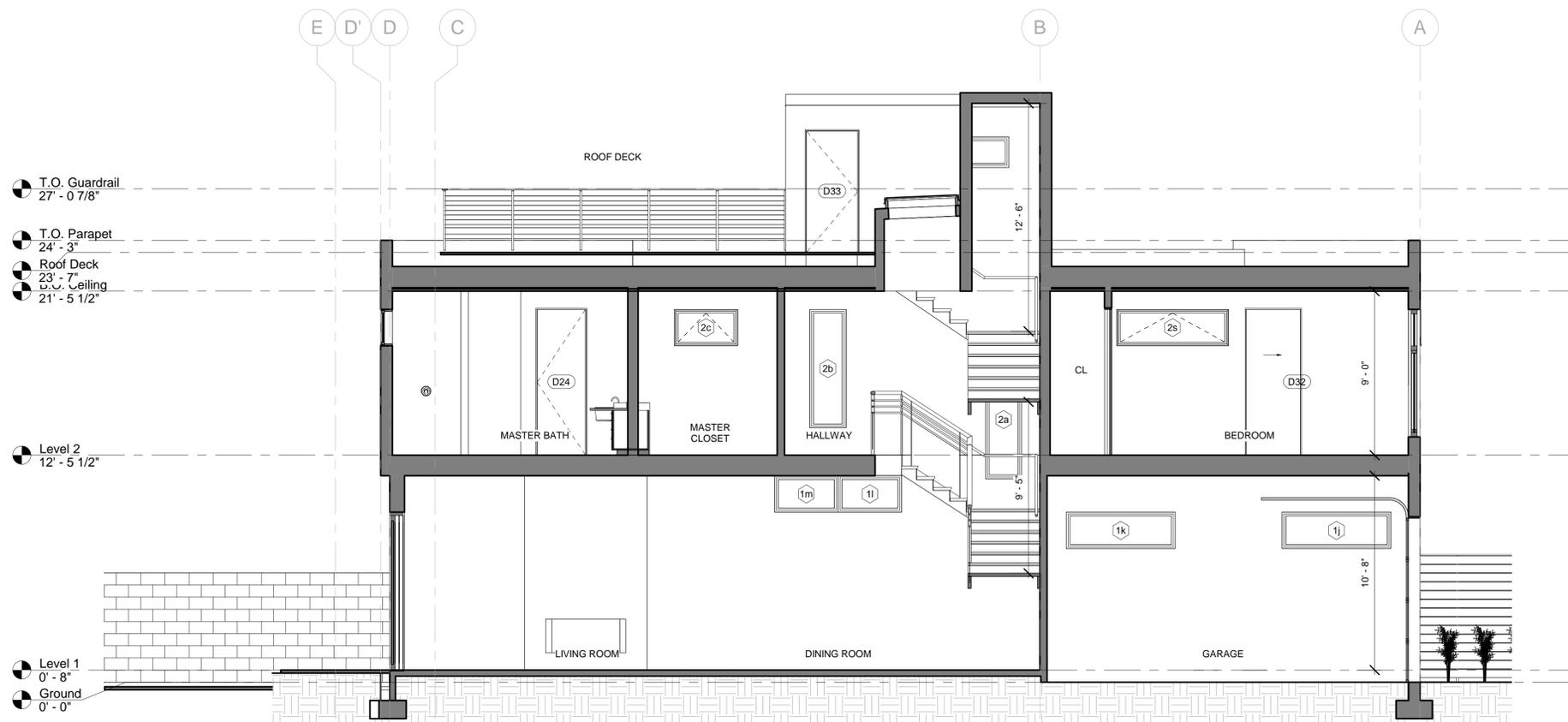
NO.	DESCRIPTION	DATE



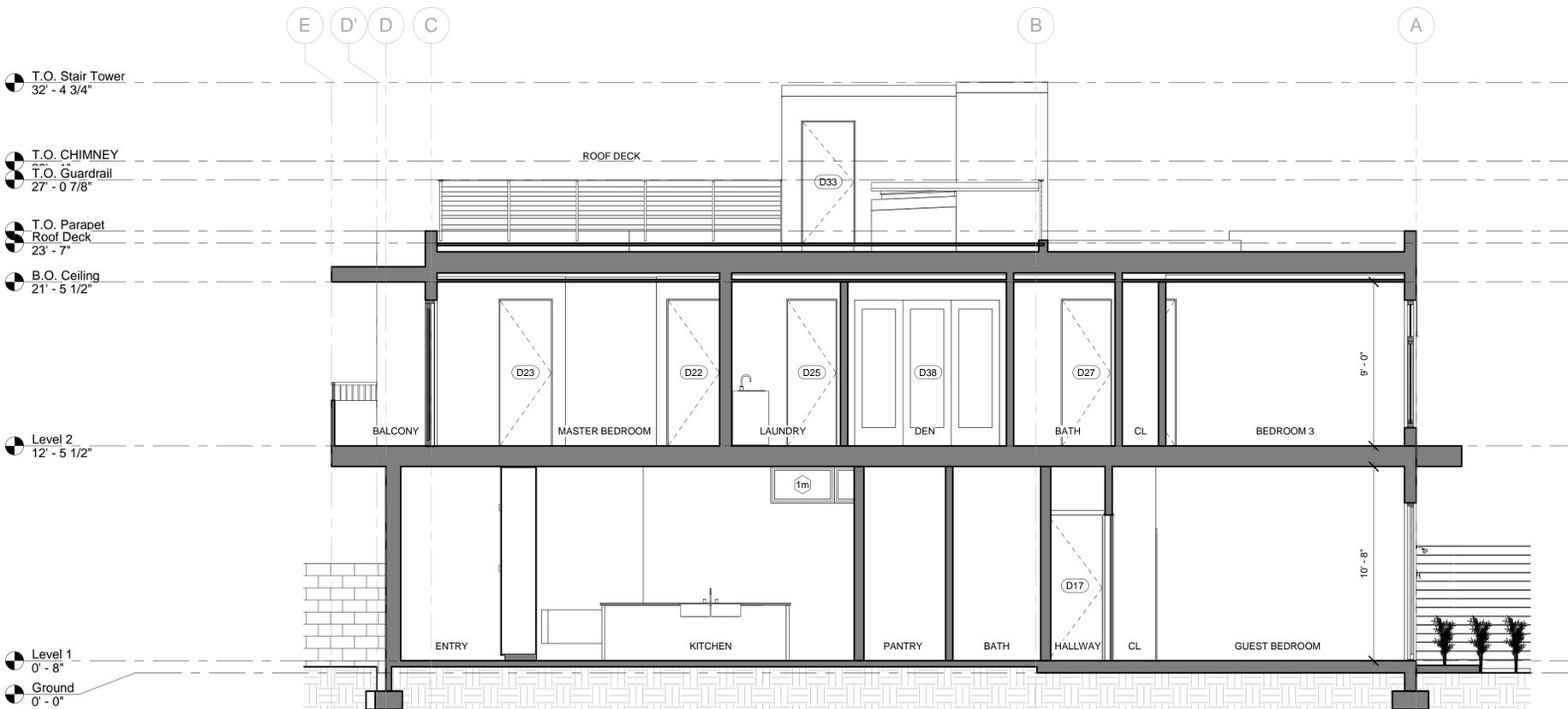
## SECTIONS

PROJECT NO.: 21R2412C  
DATE: 05-12-2021  
SCALE: 1/4" = 1'-0"

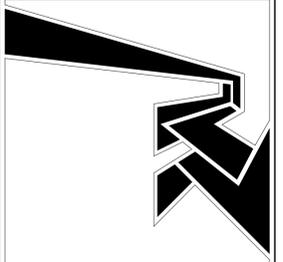
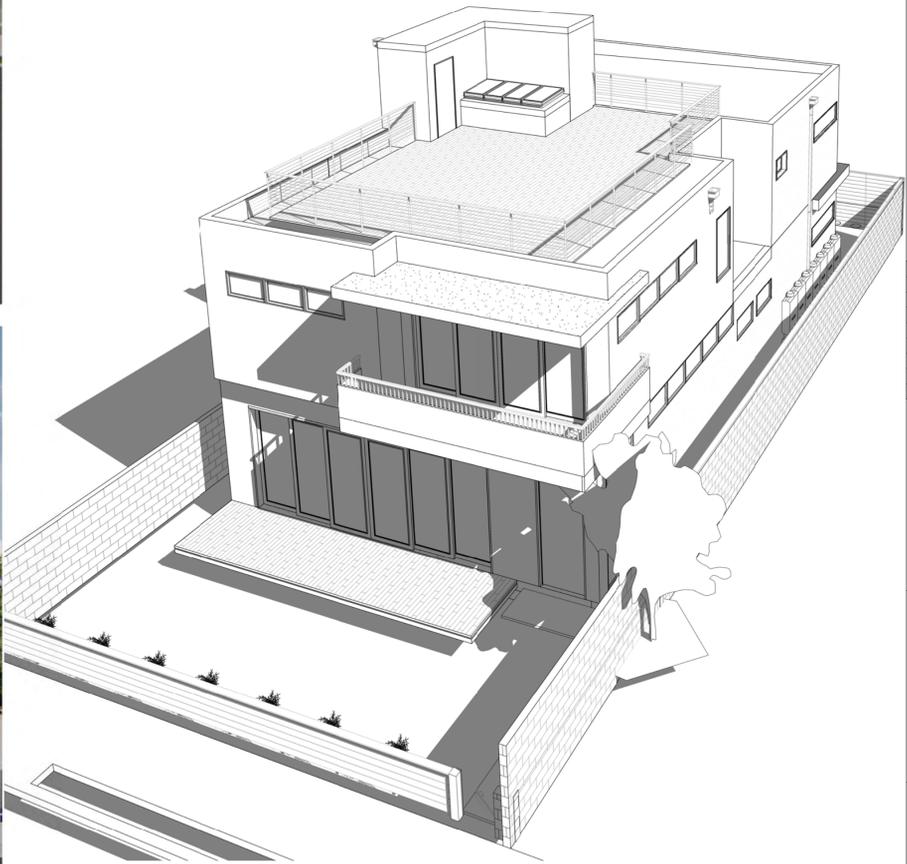
SHEET NO:  
**A 4.1**



**2** Longitudinal Section 2  
SCALE: 1/4" = 1'-0"



**1** Longitudinal Section 1  
SCALE: 1/4" = 1'-0"



**BARAN STUDIO ARCHITECTURE**  
 OAKLAND | LOS ANGELES 510 595 6744

**JAMES RESIDENCE**

2412 CLARK AVE., VENICE 90291

NO.	DESCRIPTION	DATE

STAMP:



**EXTERIOR RENDERS**

PROJECT NO.: 21R2412C  
 DATE: 06-10-2021  
 SCALE:

SHEET NO:

**A 3.3**

PHOTO EXHIBIT: 2412 CLARK AVE



PHOTO EXHIBIT: 2412 CLARK AVE

A



B



PHOTO EXHIBIT: 2412 CLARK AVE

C



D



PHOTO EXHIBIT: 2412 CLARK AVE

E



F





Eric Garcetti, Mayor  
Ann Sewill, General Manager

DATE: August 9, 2021

TO: Faisal Roble, Principal City Planner  
City Planning Department

FROM: Marites Cunanan, Senior Management Analyst II  
Los Angeles Housing and Community Investment Department

SUBJECT: **Mello Act Determination for 2412 South Clark Avenue, Los Angeles, CA 90291**

**Planning Case #: DIR-2021-4626-CDP-MEL**

Based on information provided by James P. McCann (Owner), the Los Angeles Housing + Community Investment Department (HCIDLA) has determined that no affordable unit exists at 2412 South Clark Avenue, Los Angeles, CA 90291 (Property).

On February 8, 2021, James McCann, Trustee of The McCann Family Revocable Trust dated April 4, 1997 purchased the Property from Johnny Leslie Reynolds, a Divorced Man, and Jason Todd Gordon, a Married Man, as Joint Tenants (Prior Owner). On May 7, 2021, James McCann, Trustee of the McCann Family Revocable Trust dated April 4, 1996 transferred to the property to Owner. Owner is proposing to demolish the existing single family dwelling and construct a new single family dwelling. Owner has not applied for a Building Permit or a Demolition Permit with the Department of Building and Safety.

Section 4.4.3 of the Interim Administrative Procedures for Complying with the Mello Act requires that HCIDLA collect tenant income verification documents if available, or monthly housing cost data as substitute, for at least the previous three (3) years prior to the date of application with the Department of City Planning (DCP). Owner filed an application with DCP on June 4, 2021. HCIDLA must collect data from: June 2018 through June 2021.

On June 22, 2021, HCIDLA mailed a certified letter to the Property. On June 25, 2021, Owner confirmed receipt of the letter.

Per information and documents provided by Owner, the Property was occupied by Prior Owner between June 2018 and January 2021, and then occupied by Owner from February 2021 through June 2021. Based on the information provided, no affordable unit exists at 2412 S. Clark Ave., Los Angeles, CA 90291.

If you have any questions regarding this determination, please contact Nicholas Kawazoe at [nicholas.kawazoe@lacity.org](mailto:nicholas.kawazoe@lacity.org).

cc: Los Angeles Housing and Community Investment Department File  
James P. McCann (Owner)  
Richard A. Rothschild, Western Center on Law and Poverty, Inc.  
Susanne Browne, Legal Aid Foundation of L.A.  
Juliet Oh, City Planning Department

MAC:MG:nk



**LOS ANGELES**  
 201 N. LOS ANGELES ST., STE. 13A  
 LOS ANGELES, CA 90012  
 TEL: (213)617-9600, FAX: (213)617-9643

**VAN NUYS**  
 14540 SYLVAN ST.  
 VAN NUYS, CA 91411  
 TEL: (818) 779-8866, FAX: (818) 779-8870

**CONTRACT**

**CASE NUMBER:**

**BTCID: VO21-306**

**REFERENCE:**

**DATE: 5/5/2021**

**SITE ADDRESS: 2412 CLARK AVE**

**AUTHORIZED BY: RIVA**

**DESCRIPTION OF SERVICES AND FEES:**

Color Fold Over Labels and Mailing	0	\$2.58	
Color Fold Over Mailing Only	28	\$2.18	\$61.04
Appeals – Number	0	x \$1.83	
Posting of Site – Number of signs	1	x \$85.00 (1 <sup>st</sup> )	\$85.00
	0	x \$70.00 (addtl.)	
Research/Add'l N.C. and Council Notification			\$14.00
All Weather Posting (optional)	0	\$20.00	
Removal of Signs (optional)	0	\$50.00	

**TOTAL DUE: \$160.04**

A COPY OF THIS FORM MUST BE PRESENTED TO THE PLANNING DEPARTMENT AT THE TIME OF FILING TO HAVE YOUR APPLICATION DEEMED "COMPLETE"

Note: If applicant/map maker is retaining labels for addition of case number, labels must be returned to BTC within 7 days from the date of this invoice, or BTC will be forced to produce labels and charge the applicant/map maker. If bill is not paid, further processing of your other cases will stop. For cases requiring immediate mailing, labels must be submitted on the day of payment or BTC will produce labels and charge applicant/map maker.

X

The City of LA usually generates a determination letter comprising of one(1) to three(3) pages which requires 1st Class postage. If your project requires a determination letter that exceeds three pages, you will be billed for excess postage and material costs that are due on receipt of bill. A \$ 50.00 fee will be charged if you want a copy of the BTC file(s).

X

Refunds and Credits only valid one year from the original filing date. Cancellations and changes are subject to a 20% or \$50.00 handling fee, whichever is greater. Returned checks subject to a \$200.00 fee. If the check is fraudulent, the City will be notified that the invoice is null and void. A fee of 10% will be charged to re-activate all null and void invoices.

X

If instructed by the city that your case has gone to appeal, we will immediately mail out per city instructions. The cost of mail and processing of \$1.83/label, is immediately due to us from you. It is to be paid within 10 days. If we do not receive payment within 10 days, a 10% a month (starting after 10 days) fee will be charged and due

X

Signature: \_\_\_\_\_

Telephone: (818) 235-7649

Print Name: KELLY DOUGLAS (APP) JAMES McCANN - JRM  
 REAL ESTATE (REP) LEON MAPPING - ANTONIO

**PAID**  
 1219

Refunds and Credits only valid one year from the original filing date.

**PENALTY OF PERJURY STATEMENT**

I hereby certify that to the best of my knowledge the attached radius map correctly depicts the required data obtained from the records of the City Engineer, City Clerk, and/or the Los Angeles Department of City Planning and, where appropriate, the State Division of Highways.

I further hereby certify that to the best of my knowledge, and under the penalty of perjury, the attached ownership list correctly shows the latest current owner addresses on the City Engineer's land records as of the following date of preparation: 05/03/21. In certain circumstances, such as in annexation proceedings, where there may be no City Engineer records, the records of the County Assessor's Office may be accepted by the City Planning Commission.

The attached Ownership List is an:  Original Mailing List or  Updated Mailing List

ANTONIO PUERTAS LA RADIUS, INC  
 (Print or type)

  
 (Signature)

I hereby certify that to the best of my knowledge and under the penalty of perjury, the attached occupants list correctly indicates addresses of the required occupants that fall within the radius as of the following date of preparation: 05/03/21.

The attached Occupants List is an:  Original Mailing List or  Updated Mailing List

ANTONIO PUERTAS LA RADIUS, INC  
 (Print or type)

  
 (Signature)

In certain instances, I may have been unable to verify all occupants, therefore the following indicates which occupants I was not able to identify. I understand that the Department of City Planning will determine if reasonable attempts were made to secure these addresses from the information provided below.

Ownership #	Reason unable to verify *	Attempts made to verify **	Additional Information

- \* (1) Secured Building
- (2) Gated Yard
- (3) Refused Access
- (4) Other: Specify

- \*\* (1) Returned to building on three separate occasions
- (2) Efforts to contact owner or manager without success
- (3) Contact made with owner or manager, who refused to provide the information
- (4) Other: Specify

**REMINDER TO APPLICANT AND PROJECT TEAM:** The Department of City Planning will not utilize application maps and ownership lists which bear a date of more than 365 days past the perjury statement signature date. Furthermore, the applicant may be required to update the radius map and/or ownership list before the Department will schedule the public hearing for any discretionary application.

From: [Google Forms](#)  
To: [Kelly McCann Douglas](#)  
Subject: LUPC Agenda Application  
Date: Thursday, August 5, 2021 10:22:14 AM



Thanks for filling out [LUPC Agenda Application](#)

Here's what was received.

Edit response

## LUPC Agenda Application

Email \*

kmdouglas@jrmcre.com

Project Street Address \*

2412 Clark Ave

Assessor Parcel Number (APN) \*

4228012003

Owner \*

JPM-Clark Ave 1 LLC  
.....

Representative (architect, consultant, etc)

Kelly Douglas and James McCann  
.....

Project Description (scope of work) \*

demo of existing single family residence and construction of new 3092 sf single family residence  
.....

Case Status \*

- Filed a Case with Los Angeles City Planning Department (insert case number below)
- Plan to file for an Administrative Coastal Development Permit after VNC process
- Other: .....

Case Number(s) (if applicable)

DIR-2021-4626-CDP-MEL  
.....

Type of Project \*

- Single Family or Duplex, or Triplex
- Multi-Family Residential (4 units or more)
- Mixed-Use or Commercial
- Restaurant/Bar

Alcohol related Conditional Use Case

Other: .....

### Type of Construction \*

Existing Structure, Change of Use

Existing with Remodel/Addition

New Construction

Other: .....

Do you propose to remove a housing unit through demolition or conversion? If yes, provide Mello determination letter from HCIDLA \*

Yes

No

### Historic Resources

#### Category \*

Not Applicable

Located in a SurveyLA potential historic district, and identified as a contributor

Located in a Survey LA potential historic district, but not a contributor

Identified as an individually significant historic resource

#### Resource Report \*

- I do not plan to complete a resource report from a qualified consultant
- I have completed a resource report from a qualified consultant and will provide to LUPC
- Not Applicable

### Venice Specific Plan / Zoning Code

Are you applying for any variances and/or adjustments from the Zoning Code or Venice Specific Plan? State Yes or No. If yes, describe what is being applied for and reasoning/justification

No  
.....

### Subarea \*

- Ballona Lagoon West Bank Subarea
- Ballona Lagoon (Grand Canal) East Bank Subarea
- Silver Strand Subarea
- Marina Peninsula Subarea
- Venice Canals Subarea
- North Venice Subarea
- Oakwood-Milwood-Southeast Venice Subarea
- Oxford Triangle Subarea
- East of Lincoln (Not in Coastal Zone)

### Zoning \*



- R1-1
- R2-1
- RD1.5-1
- R3-1
- R3-1
- C1-1
- C2-1
- C4-1
- M1-1
- CM-1
- Other: .....

**Parking Required \***

Yes .....

**Parking Proposed \***

2 Garage spaces, 2 uncovered space .....

**Building Height Limit (top of structure for flat roof or top of slope for varied roof line \***

25' with a flat roof .....

Are you proposing a Roof Access Structure? If so, describe size and height above height limit \*

Yes, 8' 1 3/4" and 995sf  
.....

Lot Area \*

3600  
.....

Buildable Area in Square Feet =(Lot Area - Required Yard Area) \*

1,834.14 sf  
.....

Allowable FAR Limit (Floor Area Ratio) See Zoning Summary for FAR information:

[http://planning.lacity.org/zone\\_code/Appendices/sum\\_of\\_zone.pdf](http://planning.lacity.org/zone_code/Appendices/sum_of_zone.pdf) \*

Venice Coastal Zone, no FAR  
.....

Total Allowable Floor Area in Square Feet = (Buildable Area X FAR limit) \*

NA - Bound by height and setbacks, not FAR  
.....

Total Floor Area in Square Feet Proposed \*

3092  
.....

Total Allowable Density (number of dwelling units) \*

1

Total Density Proposed (number of dwelling units) \*

1

### Community Outreach

New/Remodel projects which are Single Family up to 3 units are strongly suggested to mail an outreach letter at a radius of 250 feet per the tool on [zimas.lacity.org](https://zimas.lacity.org), and notify the Chair of LUPC of the time/place. Outreach letters are recommended to be sent by a verifiable service such as BTC or an online service that can show the address list and receipt of payment. It is also recommended that a member of LUPC must be present at your meeting to observe and record feedback.

Have you conducted the recommended community outreach meeting? \*

Yes

No

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