

Case Summary & Documents

Case Number

Ordinance

Zoning Information

CPC Cards

ZA Cards

Case Number:

DIR-2025-5757-CDP-MEL-

Search

Format: AA-YYYY-1234

Example: ZA-2011-3269

Case Number:

DIR-2025-5757-CDP-MEL-HCA

Case Filed On:

10/15/2025

Accepted For Review On:

N/A

Assigned Date:

10/28/2025

Staff Assigned:

Luis Lopez

Hearing Waived / Date Waived :

No

Hearing Location:

Hearing Date

N/A

DIR Action:

DIR Action Date:

N/A

End of Appeal Period:

N/A

Appealed:

No

BOE Reference Number:

Case on Hold?:

On Hold

Primary Address

Address	CNC	CD
532 E SANTA CLARA AVE 1-7	Venice	CD 11

[View All Addresses](#)

Project Description:

CDP-Mello determination for construction of 7 new ADU's in a detached 4,996 SF, two-story building.

Requested Entitlement:

CDP-Mello determination for construction of 7 new ADU's in a detached 4,996 SF, two-story building.

Applicant:

Christopher Drake [Company: 534 Santa Clara Avenue Apartments LLC]

Representative:

Mike Gross [Company: Gross Building Design LLC]

Approved Documents

Initial Submittal Documents

0 Initial Submittal Documents found for Case Number: DIR-
2025-5757-CDP-MEL-HCA

Type

Scan Date

No Initial Submittal Documents Found

in parking lot
adjacent to a detached
8 unit bldg

NOTICE OF PENDING PERMIT

A PERMIT APPLICATION FOR DEVELOPMENT ON THIS SITE IS
PENDING BEFORE THE CALIFORNIA COASTAL COMMISSION.

PROPOSED DEVELOPMENT: Construction of 7 new
ADU's in a detached 4,996 SF, two-story building.

LOCATION: 532-534 1-7 E SANTA CLARA AVE

APPLICANT: 534 Santa Clara Ave Apartments LLC

APPLICATION NUMBER: 5-26-0094

DATE NOTICE POSTED: 03/10/2026

*State
Coastal*

FOR FURTHER INFORMATION, PLEASE CONTACT THE OFFICE LISTED
BELOW BETWEEN 8 A.M. AND 5 P.M. WEEKDAYS.



Print on Yellow Stuck Card

CALIFORNIA COASTAL COMMISSION
South Central Coast District Office
89 South California Street, Suite 200
Ventura, CA 93001-4506
(805) 585-1800

PROPOSED ADU'S

532 E. SANTA CLARA AVENUE, UNITS 1-7

VENICE, CA 90291

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TITLE 24

VICINITY MAP

PROJECT ADDRESS:
532 E. SANTA CLARA AVE.
UNITS 1-7
VENICE, CA 90291

NOT TO SCALE

ARCHITECTURAL SYMBOLS

NORTH ARROW

SECTION MARKER

ELEVATION MARKER

WINDOW CALLOUT

DOOR CALLOUT

ROOM NUMBER

NOTES

THIS PROJECT IS 100% PRIVATELY FUNDED.
THERE ARE NO TAX CREDITS OR INCENTIVES RECEIVED.
THIS IS NOT PUBLIC HOUSING.

EXISTING SITE HAS NO PROTECTED TREES AND/OR SHRUBS PER
LAMC 17.02.

SCOPE OF WORK

PROPOSED NEW 7 UNIT, TWO-STORY, ADU BUILDING.
EACH ADU IS 713.8 SQFT PER STATE CPDE ADU # GC 66323(a)(4).

ADU BEING DESIGNED FOR RESIDENTIAL CODE AS AN ADU
TOWNHOUSE.

NOTES

ALL NEW CONSTRUCTION MUST BE ALL ELECTRIC.
ALL APPLIANCES WILL BE ELECTRIC AND GAS-FUELED COMPONENTS
ARE NOT ALLOWED.

BUILDING DATA

PROPOSED ADU ADDRESS:

532 E. SANTA CLARA AVE., UNIT 1-7
VENICE, CA 90291

EXISTING ADDRESSES:

1301 S. 6TH AVE.
VENICE, CA 90291

534 & 538 E. SANTA CLARA AVE.
VENICE, CA 90291

APN

4239-028-001 & 4239-028-022

TRACT NO.

OCEAN PARK VILLA TRACT NO. 2

BLOCK:

R

LOT NO.

1 & 2

ZONING

RD1.5-1

TYPE OF CONSTRUCTION:

V-N (V-B) NFPA13D SPRINKLERED

OCCUPANCY:

HOUSE: R-3

BUILDING AREA:

(E) 4,800 SQFT
(N) 7-UNIT ADU'S: 4,996.6 SQFT

SITE AREA:

5,200.4 SQFT (534 E. SANTA CLARA) + 5,005.1 SQFT
(538 E. SANTA CLARA)

LOT COVERAGE:

38.6%
(2,082.7 SQFT / 5,384 SQFT = 38.6%)
MAX ALLOWED: 2,614.87 SQFT PER SLOPE BAND

ALLOWABLE FLOOR AREA:

LOT AREA WITHIN SETBACKS = 6,865.2 SQFT
BUILDABLE AREA: 3 x 6,865.2 SQFT =
20,595.6 SQFT

HILLSIDE:

NO

SPECIAL GRADING AREA:

NO

VHFSZ:

NO

ZI'S:

ZI-2406 DIRECTOR'S INTERPRETATION OF VENICE
SPECIFIC PLAN AND SMALL LOT SUBDIVISION
ORDINANCE

ZI-2452 TRANSIT PRIORITY AREA IN THE CITY OF
LOS ANGELES

ZI-1874 SPECIFIC PLAN: LOS ANGELES COASTAL
TRANSPORTATION CORRIDOR

ZI-2273 SPECIFIC PLAN: VENICE COASTAL ZONE

EXISTING PARKING SPOTS:

6 COVERED GARAGE SPACES + 10 UNCOVERED
SPACES

PROPOSED PARKING SPOTS:

NO PARKING REQUIRED PER AB 2097.
6 COVERED AND 5 UNCOVERED SPACES PROVIDED.

FRONT YARD SETBACK:

15'-0" REQ'D (18'-6 1/2" SETBACK
PROVIDED)

SIDE YARD SETBACK:

4'-0" REQ'D (4'-0 1/2" SETBACK PROVIDED)

STREET SIDE SETBACK:

4'-0" REQ'D (45'-4" SETBACK PROVIDED)

REAR YARD SETBACK:

4'-0" REQ'D (8'-0" SETBACK PROVIDED)

STAMPS

532 E. Santa Clara Avenue
Units 1-7
Venice, CA 90291

SHEET

NO:

A-0

GROSS

BUILDING DESIGN, LLC.

323.474.9500

mpg@grossbuildingdesign.com

A.L.T.A./N.S.P.S.
LAND TITLE SURVEYS

PREPARED BY:

the LAND SURVEYOR
1215 W. IMPERIAL HIGHWAY, SUITE 208
BREA, CA 92621
(714) 378-1123
(714) 599-8848
EMAIL: SAM@THELANDSURVEYOR.COM

SURVEYOR'S CERTIFICATION:

TO: SUZANNE ROBERTS, TRUSTEE OF THE SUZANNE ROBERTS REVOCABLE TRUST
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 7(C) 8, 9, 10, 13, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 14, 2023.
DATE OF MAP:

SAM A. SOLIVEN
FLS 8289

NOTES:

ITEM 16 - THERE ARE NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT PROPERTY.
ITEM 17 - THERE ARE NO PROPOSED CHANGE IN STREET RIGHT OF WAY LINES AND AVAILABLE FROM THE CONTROLLING JURISDICTION. THERE ARE NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

OWNER OF RECORD:

SUZANNE ROBERTS, TRUSTEE OF THE SUZANNE ROBERTS REVOCABLE TRUST
534 E. SANTA CLARA AVENUE
LOS ANGELES, CA 90291
APN: 4239-028-022

PROPERTY ADDRESS:

534 E. SANTA CLARA AVENUE
LOS ANGELES, CA 90291
APN: 4239-028-022
538 E. SANTA CLARA AVENUE AND 1301 S. 6TH AVENUE
LOS ANGELES, CA 90291
APN: 4239-028-001

PREPARED FOR:

BO DRAKE
DRAKE REAL ESTATE GROUP, INC.
310.775.7787

AREA SUMMARY:

TOTAL LAND AREA: 10,223.88 SQ. FT. OR 0.235 ACRE
BUILDING (EXTERIOR FOOTPRINTS): 3,056.63 SQ. FT.

PARKING SUMMARY:

REGULAR PARKING SPACE: 10
CAR GARAGE SPACE: 6
TOTAL NO. OF PARKING SPACES: 16

FLOOD ZONE INFORMATION:

SAID SURVEYED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" BASED ON THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP, COMMUNITY NUMBER 06037, MAP NUMBER 06037C1752G, REVISED APRIL 21, 2021, IN LOS ANGELES COUNTY, STATE OF CALIFORNIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID SURVEYED PROPERTY IS SITUATED

ZONING INFORMATION:

(INFORMATION BY PLANNING DEPARTMENT, CITY OF LOS ANGELES)

ZONING: RESTRICTED DENSITY MULTIPLE DWELLING ZONE, RD1.5-1
PLAN LAND USE: LOW MEDIUM D RESIDENTIAL
EXISTING USE: APARTMENT
DENSITY REQUIREMENT: 3:1 FAR
MAXIMUM BUILDING HEIGHT: 45 FEET
PARKING REQUIREMENT: 1 SPACE PER UNIT < 3 HABITABLE ROOMS
1.5 SPACES PER UNIT = 3 HABITABLE ROOMS
2 SPACES PER UNIT > 3 HABITABLE ROOMS
UNCOVERED 1 SPACE EACH GUEST ROOM (FIRST 30)

BUILDING SETBACK REQUIREMENTS

FRONT YARD

THERE SHALL BE A FRONT YARD OF NOT LESS THAN 15 FEET IN DEPTH

SIDE YARD

FOR A MAIN BUILDING NOT MORE THAN TWO STORIES IN HEIGHT IN THE RD1.5 AND RD2 ZONES, THERE SHALL BE A SIDE YARD ON EACH SIDE OF SAID BUILDING OF NOT LESS THAN FIVE FEET, EXCEPT THAT WHERE THE LOT IS LESS THAN 50 FEET IN WIDTH, THE SIDE YARD MAY BE REDUCED TO 10% OF THE WIDTH OF THE LOT, BUT IN NO EVENT TO LESS THAN THREE FEET IN WIDTH. FOR A BUILDING MORE THAN TWO STORIES IN HEIGHT IN THE RD1.5 AND RD2 ZONES, ONE FOOT SHALL BE ADDED TO THE WIDTH OF SUCH YARD FOR EACH ADDITIONAL STORY ABOVE THE SECOND STORY, BUT IN NO EVENT SHALL A SIDE YARD OF MORE THAN 16 FEET IN WIDTH BE REQUIRED.

REAR YARD

THERE SHALL BE A REAR YARD OF NOT LESS THAN 15 FEET IN DEPTH.

TITLE EXCEPTIONS: (APN: 4239-028-001)

THE FOLLOWING STATEMENTS AND MATTERS, AS DISCLOSED IN FIRST AMERICAN PRELIMINARY TITLE REPORT ORDER NO. 6900545, WITH EFFECTIVE DATE OF SEPTEMBER 12, 2022, AFFECT THE SUBJECT PROPERTY AND USE OF THE SAME:
ITEMS SHOWN THUS  REFER TO THE ITEM NUMBERS LISTED IN THE EXCEPTIONS TO COVERAGE SECTION OF SAID PRELIMINARY REPORT.

- ③ A SUBSURFACE OIL AND GAS LEASE, EXECUTED BY MARY QUIROGA, A WIDOW AS LESSOR AND STANDARD OIL COMPANY OF CALIFORNIA, A CORPORATION AS LESSEE, RECORDED FEBRUARY 3, 1965 AS BOOK M1759, PAGE 400 OF OFFICIAL RECORDS, AFFECTING THE LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE THEREOF, WITHOUT THE RIGHT OF SURFACE ENTRY. (NOT PLOTTABLE)
DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS AFFECTING THE LEASEHOLD ESTATE, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
④ AN AGREEMENT OR COVENANT TO HOLD LAND AS ONE PARCEL RECORDED MAY 02, 1983 AS INSTRUMENT NO. 83-485573 OF OFFICIAL RECORDS. (BLANKET IN NATURE)
⑦ ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH WOULD BE DISCLOSED BY A CORRECT ALTA/NSPS SURVEY (NOT PLOTTABLE)
⑧ RIGHTS OF PARTIES IN POSSESSION (NOT PLOTTABLE)

TITLE EXCEPTIONS: (APN: 4239-028-022)

THE FOLLOWING STATEMENTS AND MATTERS, AS DISCLOSED IN FIRST AMERICAN PRELIMINARY TITLE REPORT ORDER NO. 6900546, WITH EFFECTIVE DATE OF SEPTEMBER 12, 2022, AFFECT THE SUBJECT PROPERTY AND USE OF THE SAME:
ITEMS SHOWN THUS  REFER TO THE ITEM NUMBERS LISTED IN THE EXCEPTIONS TO COVERAGE SECTION OF SAID PRELIMINARY REPORT.

- ③ A SUBSURFACE OIL AND GAS LEASE, EXECUTED BY MARY QUIROGA, A WIDOW AS LESSOR AND STANDARD OIL COMPANY OF CALIFORNIA, A CORPORATION AS LESSEE, RECORDED FEBRUARY 3, 1965 AS BOOK M1759, PAGE 400 OF OFFICIAL RECORDS, AFFECTING THE LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE THEREOF, WITHOUT THE RIGHT OF SURFACE ENTRY. (NOT PLOTTABLE)
DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS AFFECTING THE LEASEHOLD ESTATE, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
④ AN AGREEMENT OR COVENANT TO HOLD LAND AS ONE PARCEL RECORDED MAY 02, 1983 AS INSTRUMENT NO. 83-485573 OF OFFICIAL RECORDS. (BLANKET IN NATURE)
⑧ WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. (NOT PLOTTABLE)

LEGAL DESCRIPTION: (APN: 4239-028-001)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 1, BLOCK "R" OF OCEAN PARK VILLA TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 4, PAGE 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LEGAL DESCRIPTION: (APN: 4239-028-022)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 2, BLOCK "R" OF OCEAN PARK VILLA TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 4, PAGE 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE BEARING OF 6TH AVENUE BEING N 32° 16' 19" W, PER PFWB 1014/ 685-686

BASIS OF ELEVATION:

BENCHMARK I.D.: 16-01240
ELEVATION: 13.787 FEET
YEAR OF ADJUSTMENT: 2000
DESCRIPTION: WIRE SPIKE 4FT N OF N CURB SAN JUAN AVE; 21.6FT E OF BC RET E OF 6TH AVE AT NE CORNER CB

LEGEND:

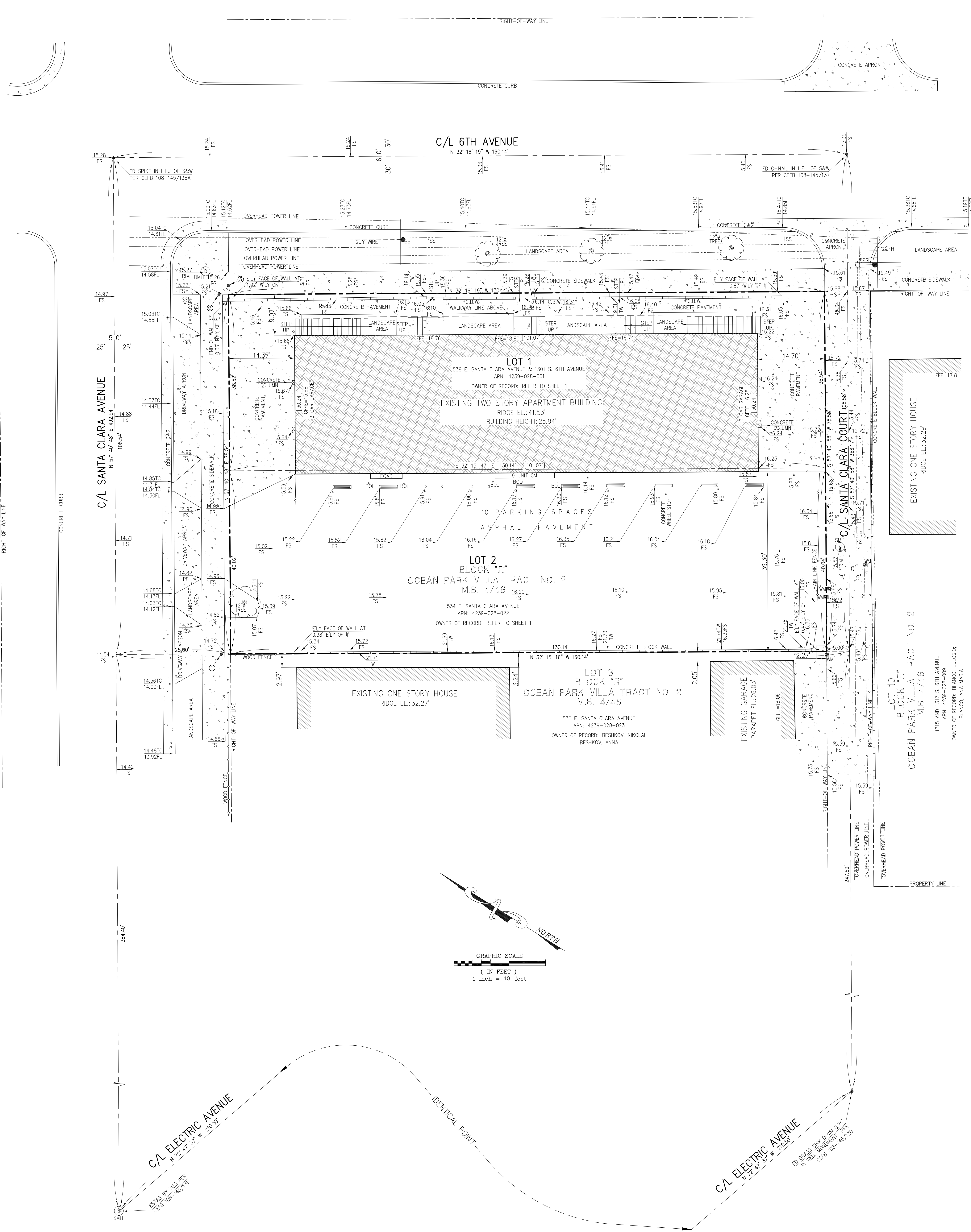
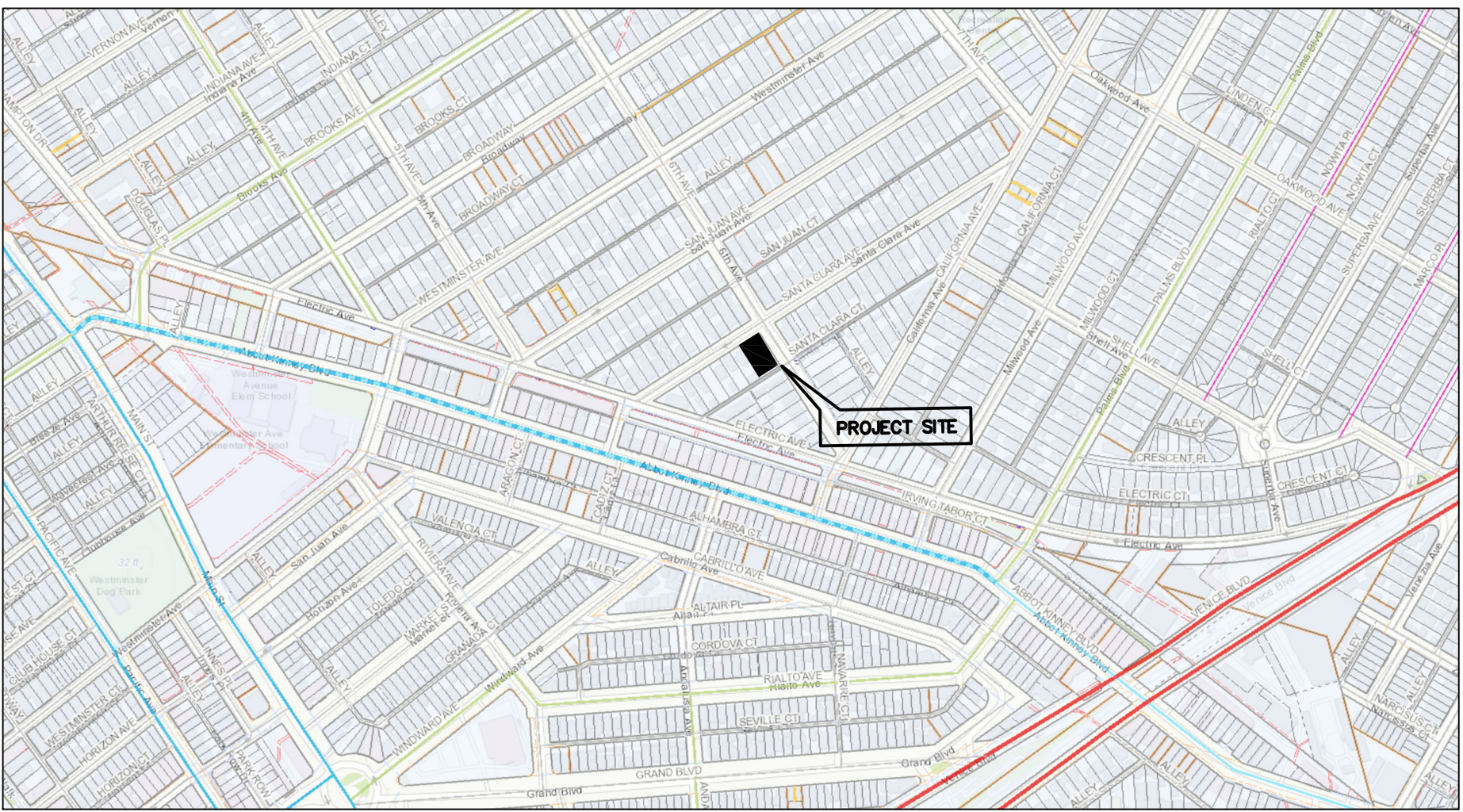
APN ASSESSOR'S PARCEL NUMBER
BOL METAL BOLLARD POST
C/L CENTERLINE
C&G CURB AND GUTTER
CBW CONCRETE BLOCK WALL
CEFB CITY ENGINEERS FIELD BOOK
COR CORNER
DMH DRAINAGE MANHOLE
EC ELECTRIC CABINET
EL ELEVATION
ELY EASTERLY
ESTAB ESTABLISHED
E&CB ELECTRICAL CABINET
FD FOUND
FL FLOW LINE
FFE FINISHED FLOOR ELEVATION
FH FIRE HYDRANT
FS FINISHED SURFACE
GFEE GARAGE FINISHED FLOOR ELEVATION
QM CAS METER
L&TAG LEAD AND BRASS TAG
MB MAP BOOK
NLY NORTHERLY
NELLY NORTHEASTERLY
NWLY NORTHWESTERLY
O/S OFFSET
P/L PROPERTY LINE
P PROPERTY LINE
PROD PROLONGATION/PRODUCTION
PP POWER POLE
PPSL POWER POLE AND STREET LIGHT
PWB PUBLIC WORKS FIELD BOOK
SS STREET SIGN
SWLY SOUTHWESTERLY
SMH SEWER MANHOLE
TC TOP OF CURB
WM WATER METER
WLY WESTERLY
[R] BUILDING DIMENSION

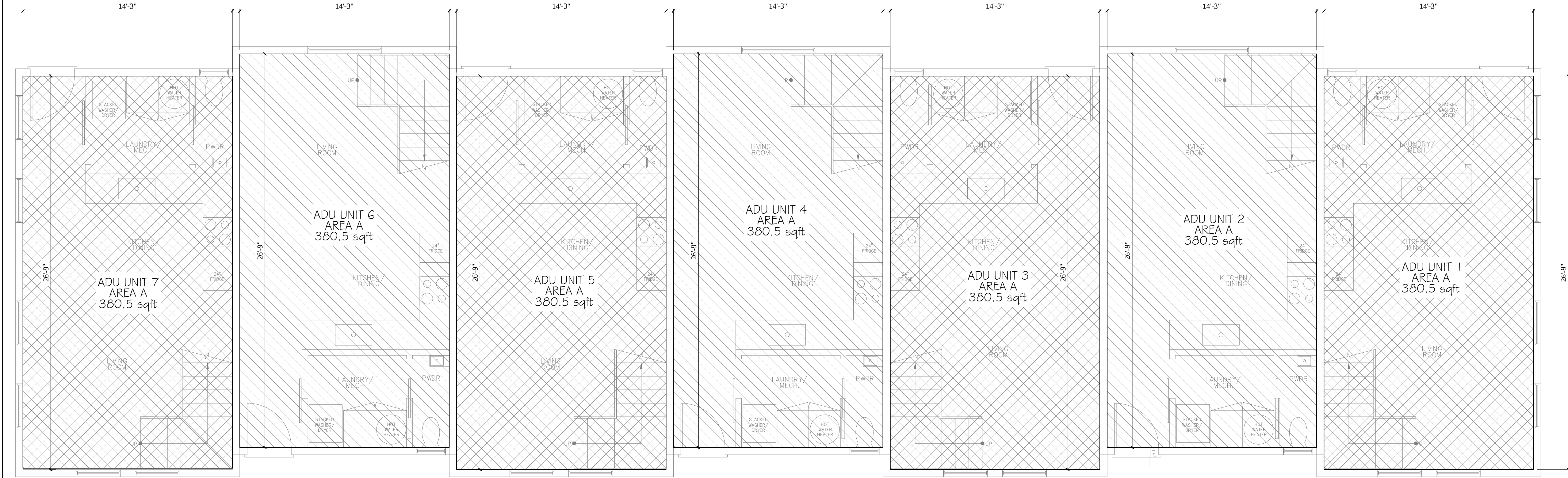
BUILDING HEIGHT NOTE:

BUILDING HEIGHT WAS MEASURED FROM LOWEST GRADE (15.59') AT GROUND (AT NORTHWEST CORNER OF BUILDING) TO HIGHEST RIDGE (41.53')

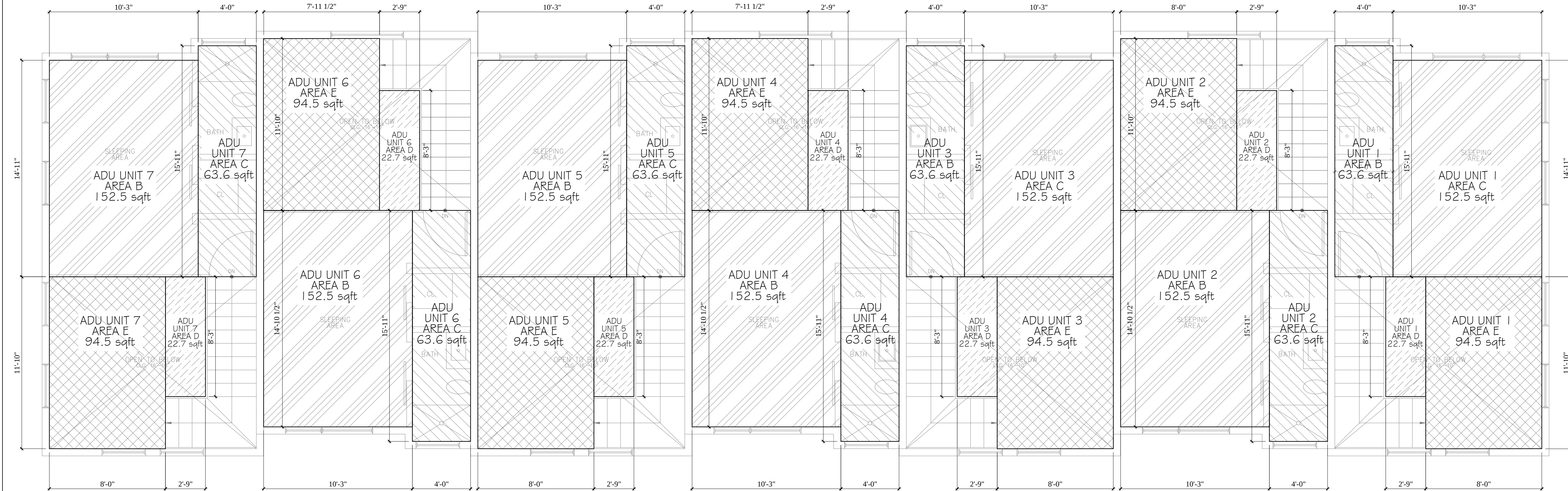
MONUMENT NOTES:

- ① FOUND L&TAG "RCE 15160" AT 2.02' O/S NWLY AND 0.09' O/S SWLY ON P/L PROD. PER PWB 1014/ 685-686
② FOUND L&TAG "RCE 15160" AT 2.03' O/S NWLY AND 0.05' O/S SWLY ON P/L PROD., PER PWB 1014/ 685-686
③ FOUND L&TAG "RCE 15160" AT 1.92' O/S NELLY ON P/L PROD., NO REFERENCE





A ADU FIRST FLOOR PLAN
Scale: 3/16" = 1'-0"

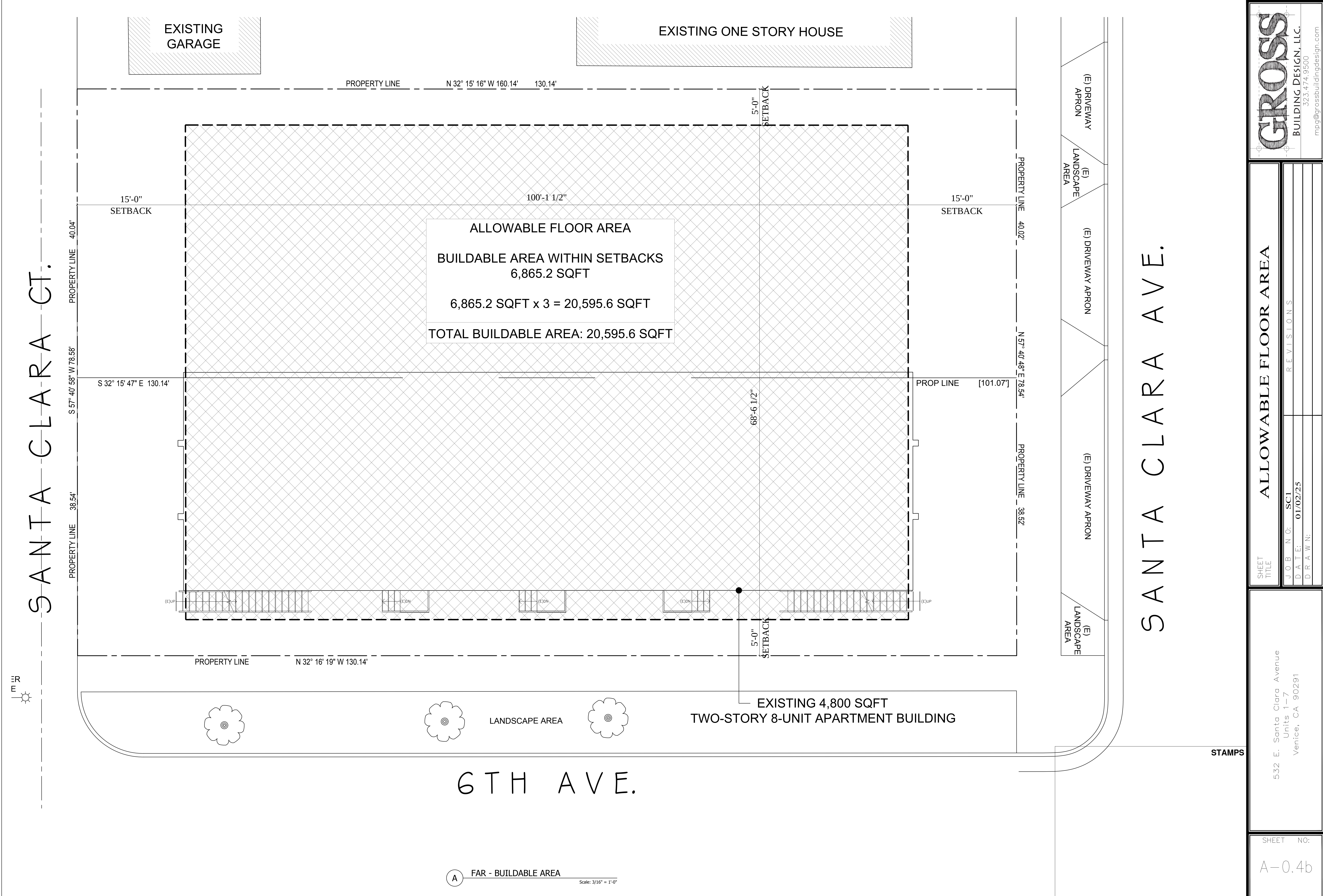


B ADU SECOND FLOOR PLAN
Scale: 3/16" = 1'-0"

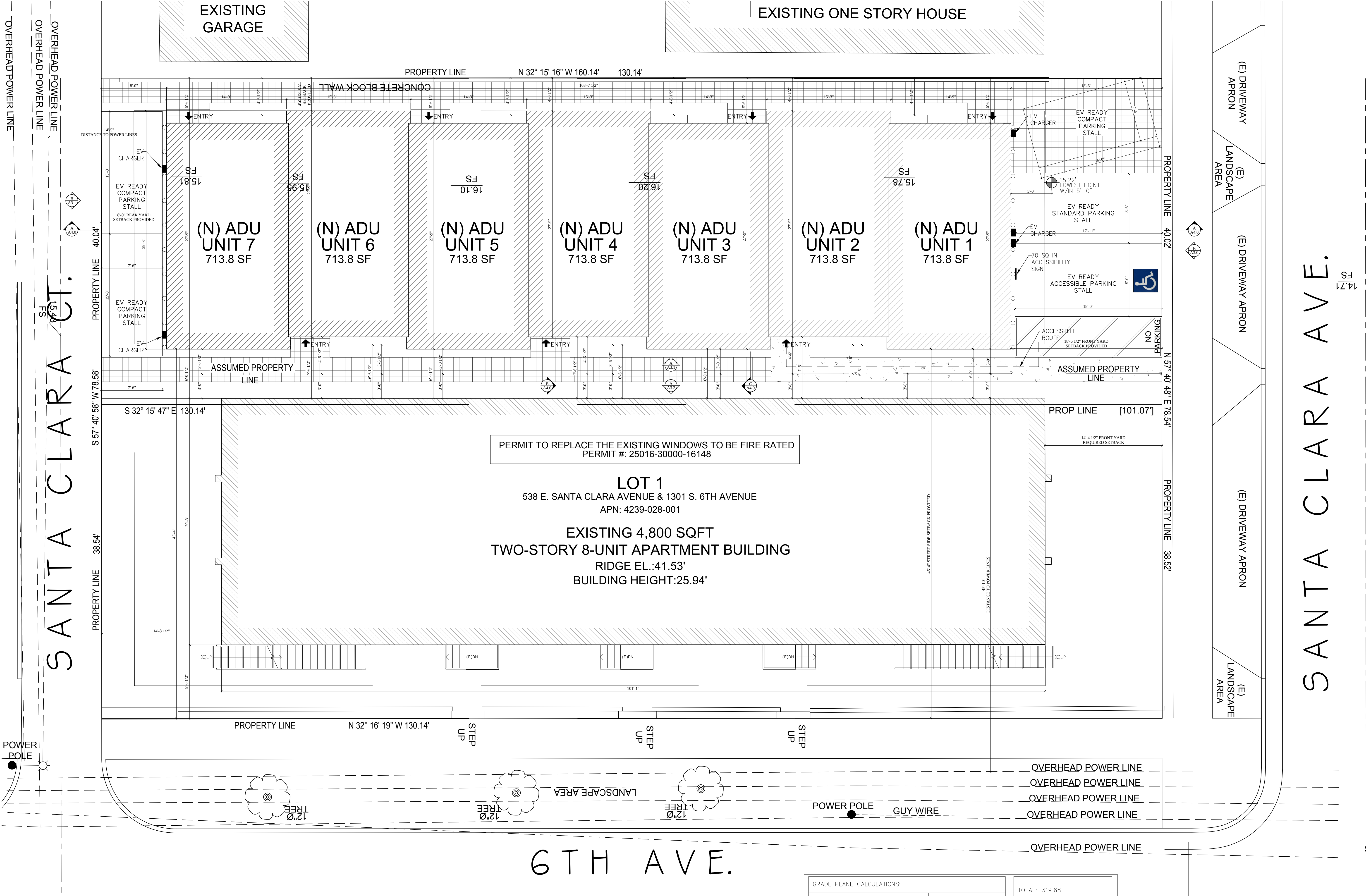
(E) APT. BLDG		RFA	
		EXISTING RFA	PROPOSED RFA
		4,800 SQFT (PER ASSESSOR)	
ADU UNIT 1	AREA A		380.5 SQFT
	AREA B		63.6 SQFT
	AREA C		152.5 SQFT
	AREA D		22.7 SQFT
	AREA E		94.5 SQFT
ADU UNIT 1 TOTAL		713.8 SQFT	
ADU UNIT 2	AREA A		380.5 SQFT
	AREA B		63.6 SQFT
	AREA C		152.5 SQFT
	AREA D		22.7 SQFT
	AREA E		94.5 SQFT
ADU UNIT 2 TOTAL		713.8 SQFT	
ADU UNIT 3	AREA A		380.5 SQFT
	AREA B		63.6 SQFT
	AREA C		152.5 SQFT
	AREA D		22.7 SQFT
	AREA E		94.5 SQFT
ADU UNIT 3 TOTAL		713.8 SQFT	
ADU UNIT 4	AREA A		380.5 SQFT
	AREA B		63.6 SQFT
	AREA C		152.5 SQFT
	AREA D		22.7 SQFT
	AREA E		94.5 SQFT
ADU UNIT 4 TOTAL		713.8 SQFT	
ADU UNIT 5	AREA A		380.5 SQFT
	AREA B		63.6 SQFT
	AREA C		152.5 SQFT
	AREA D		22.7 SQFT
	AREA E		94.5 SQFT
ADU UNIT 5 TOTAL		713.8 SQFT	
ADU UNIT 6	AREA A		380.5 SQFT
	AREA B		63.6 SQFT
	AREA C		152.5 SQFT
	AREA D		22.7 SQFT
	AREA E		94.5 SQFT
ADU UNIT 6 TOTAL		713.8 SQFT	
ADU UNIT 7	AREA A		380.5 SQFT
	AREA B		63.6 SQFT
	AREA C		152.5 SQFT
	AREA D		22.7 SQFT
	AREA E		94.5 SQFT
ADU UNIT 7 TOTAL		713.8 SQFT	

TOTAL (E) APT. BLDG. RFA:	4,800 SQFT
TOTAL (N) ADU RFA:	4,996.6 SQFT
TOTAL PROPOSED (E) APT BLDG. AND (N) ADU - UNIT 1-7:	9,796.6 SQFT

STAMPS



GROSS BUILDING DESIGN, LLC. 323.474.9500 mpg@grossbuildingdesign.com	
ALLOWABLE FLOOR AREA	
SHEET TITLE	REVISIONS
JOB NO: SC1	
DATE: 01/02/25	
DRAWN:	
532 E. Santa Clara Avenue Units 1-7 Venice, CA 90291	
SHEET NO: A-0.4b	



EV READY PARKING SPACES:

1. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
2. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

A SITE PLAN

Scale: 3/16" = 1'-0"

TREE NOTES:

1. EXISTING SITE HAS NO PROTECTED TREES AND/OR SHRUBS PER LAMC 17.02

GRADE PLANE CALCULATIONS:			
1.	15.34'	11.	15.88'
2.	15.72'	12.	15.87'
3.	16.13'	13.	16.14'
4.	16.27'	14.	16.20'
5.	16.35'	15.	16.17'
6.	16.43'	16.	16.06'
7.	16.35'	17.	15.91'
8.	16'	18.	15.81'
9.	15.81'	19.	15.61'
10.	16.04'	20.	15.59'

TOTAL: 319.68
319.68/20 ENTRIES = 15.98'
AVERAGE GRADE PLANE

Site Plan

SHEET
TITLE

532 E. Santa Clara Avenue
Units 1-7
Venice, CA 90291

SHEET NO:

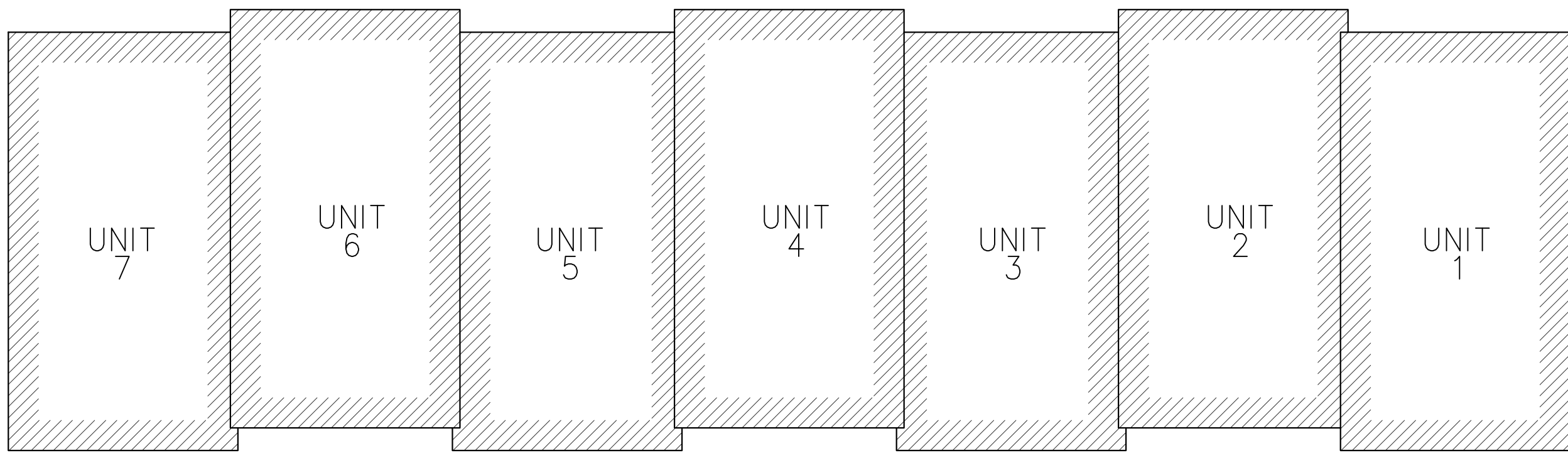
A-1.0

REVISIONS

JOB N O: SC1
DATE: 01/02/25
DRAW N:

GENERAL NOTES:

- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines - whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- An approved Seismic Gas Shut Off Valve or Excess Flow Shut Off Valve will be installed on the fuel gas line on the down-stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170,158 and 180,670) (Includes Commercial additions and TI work over \$10,000.) Separate plumbing permit required.
- Provide ultra-flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Provide (70) (72) inch high non-absorbant wall adjacent to shower and approved shatter resistant materials for shower enclosure. (1209.2.2, 2406.4.5, R307.2, R308.4)
- Water heater must be strapped to wall. (Sec. 507.3 & LAPC)
- Sprinkler system must be approved by the Mechanical Division prior to installation.
- A fire alarm (visual and audible) system is required. The alarm system must be approved by the Fire Department and Electrical Plan Check prior to installation. (LAMC 57.122)
- Carbon Monoxide alarm is required. (915.4, R315)



WALL AND SYMBOL KEY

- = NEW WALL
- = NEW STC 50 - IC 50 FIRE RATED WALL
- = NEW 1 HR. FIRE RATED WALL
- = CEILING MOUNTED MECHANICAL VENT WITH/OUT STAT - 50 CFM MIN. -FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. -FANS, NOT FUNCTIONING AS A VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- = CEILING MOUNTED SMOKE DETECTOR HARDWIRED W/BATTERY BACKUP
- = PROVIDE CARBON MONOXIDE DETECTOR OUTSIDE EACH BEDROOM. HARDWIRED W/BATTERY BACKUP.
- = PROVIDE 15" MIN. BETWEEN THE CENTER OF THE WATER CLOSET TO ANY SIDE WALL AND PROVIDE 24" CLEAR SPACE IN FRONT OF THE WATER CLOSET. (CALIFORNIA PLUMBING CODE 407.6)

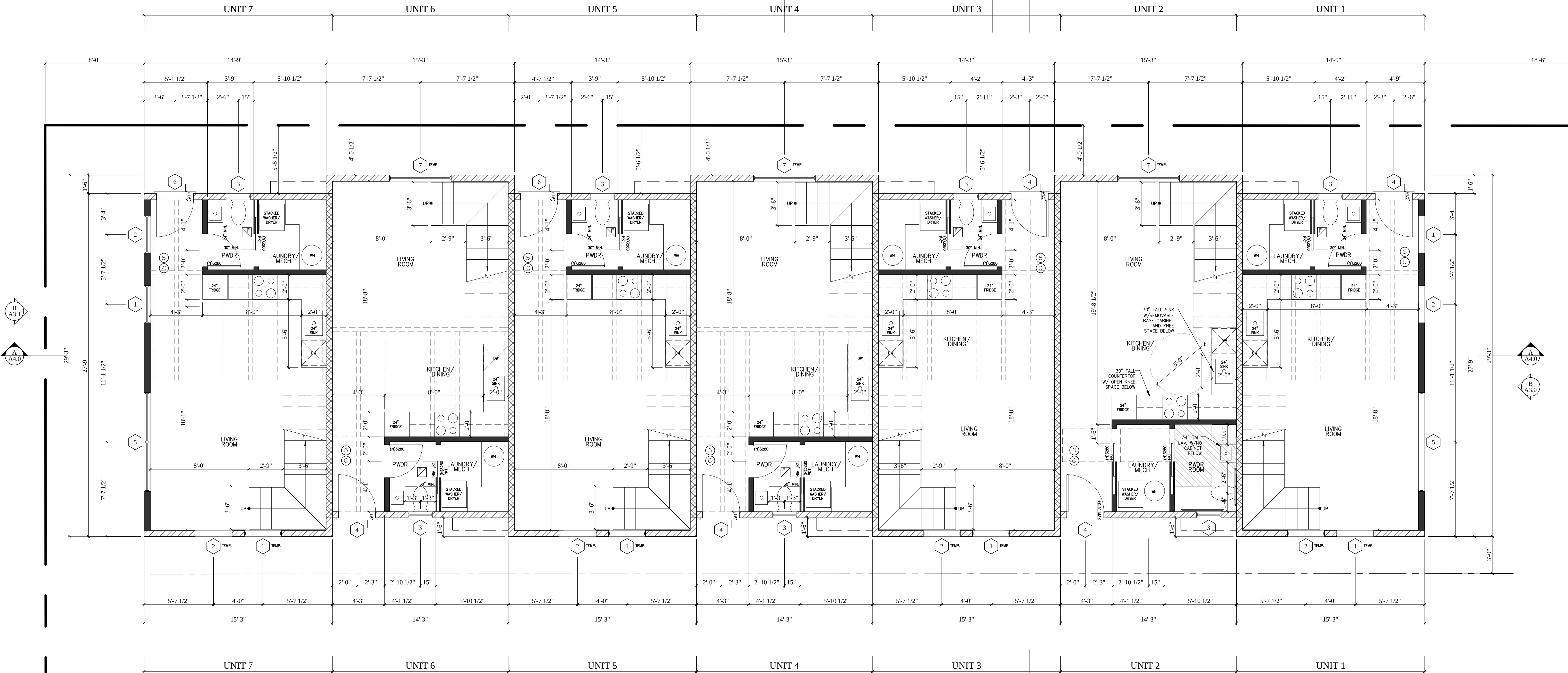


TABLE R302.1(2) EXTERIOR WALLS--DWELLINGS WITH FIRE SPRINKLERS

EXTERIOR WALL ELEMENT		MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	1 hour--tested in accordance with ASTM E119 or UL 263 with exposure from the outside	0 feet
	Not fire-resistance rated	0 hours	3 feet ^a
Projections	Not allowed	N/A	< 2 feet
	Fire-resistance rated	1 hour on the underside ^{b, c}	2 feet ^a
Openings in walls	Not fire-resistance rated	0 hours	3 feet
	Not allowed	N/A	< 3 feet
Penetrations	Unlimited	0 hours	3 feet ^a
	All	Comply with Section R302.4	< 3 feet
		None required	3 feet ^a

For SI: 1 foot = 304.8 mm.
N/A = Not Applicable.
a. For residential subdivisions where all dwellings are equipped throughout with an automatic sprinkler system installed in accordance with Section P2904, the fire separation distance for nonrated exterior walls and rated projections shall be permitted to be reduced to 0 feet, and unlimited unprotected openings and penetrations shall be permitted, where the adjoining lot provides an open setback yard that is 6 feet or more in width on the opposite side of the property line.
b. The roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave if fireblocking is provided from the wall top plate to the underside of the roof sheathing.
c. The roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave provided that gable vent openings are not installed.

ADU UNIT 1-7, FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

ADU First Floor Plan

SHEET TITLE
JOB NO: SC1
DATE: 01/02/25
DRAWN:

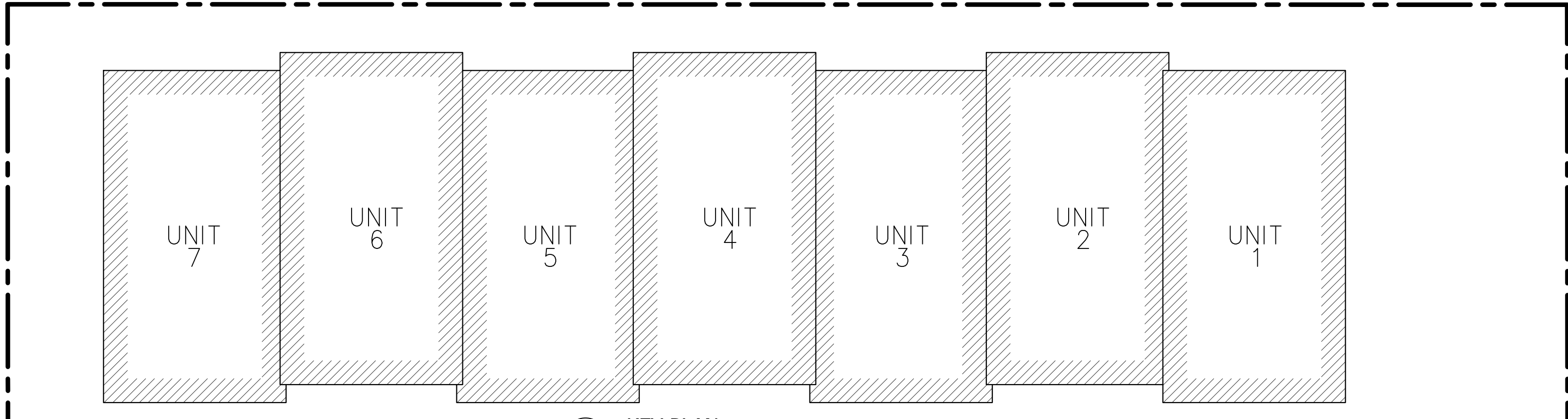
532 E. Santa Clara Avenue
Units 1-7
Venice, CA 90291

SHEET NO:

A-2.0

GENERAL NOTES:

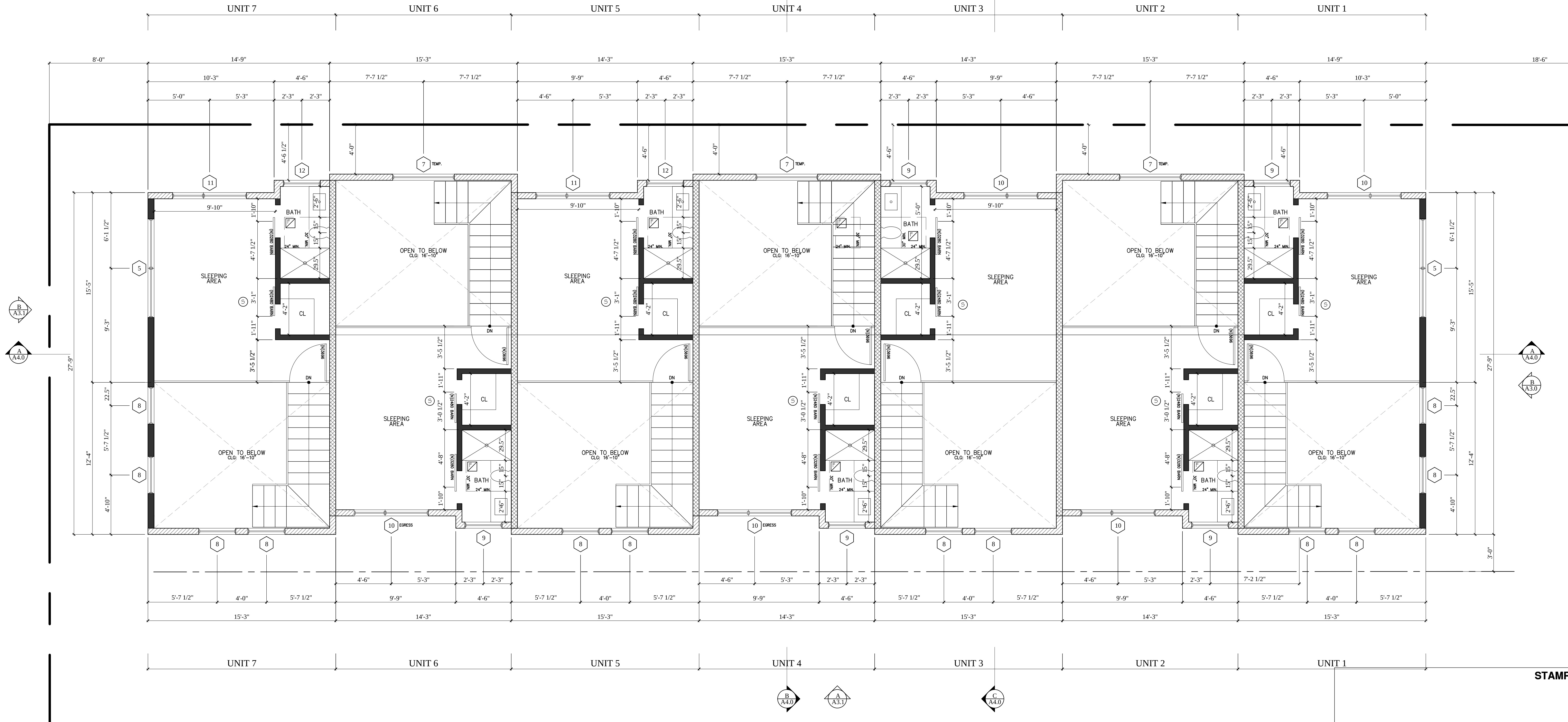
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- Provide ultra-flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Provide (70) (72) inch high non-absorbant wall adjacent to shower and approved shatter resistant materials for shower enclosure. (1209.2.2, 2406.4.5, R307.2, R308.4)
- Water heater must be strapped to wall. (Sec. 507.3 & LAPC)
- Sprinkler system must be approved by the Mechanical Division prior to installation.
- A fire alarm (visual and audible) system is required. The alarm system must be approved by the Fire Department and Electrical Plan Check prior to installation. (LAMC 57.122)
- Carbon Monoxide alarm is required. (915.4, R315)



WALL AND SYMBOL KEY

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- = PROVIDE 15" MIN. BETWEEN THE CENTER OF THE WATER CLOSET TO ANY SIDE WALL AND PROVIDE 24" CLEAR SPACE IN FRONT OF THE WATER CLOSET. (CALIFORNIA PLUMBING CODE 407.6)

30" MIN. 24" MIN.



ADU Second Floor Plan

SHEET TITLE

JOB NO: SC1

DATE: 01/02/25

DRAWN:

532 E. Santa Clara Avenue

Units 1-7

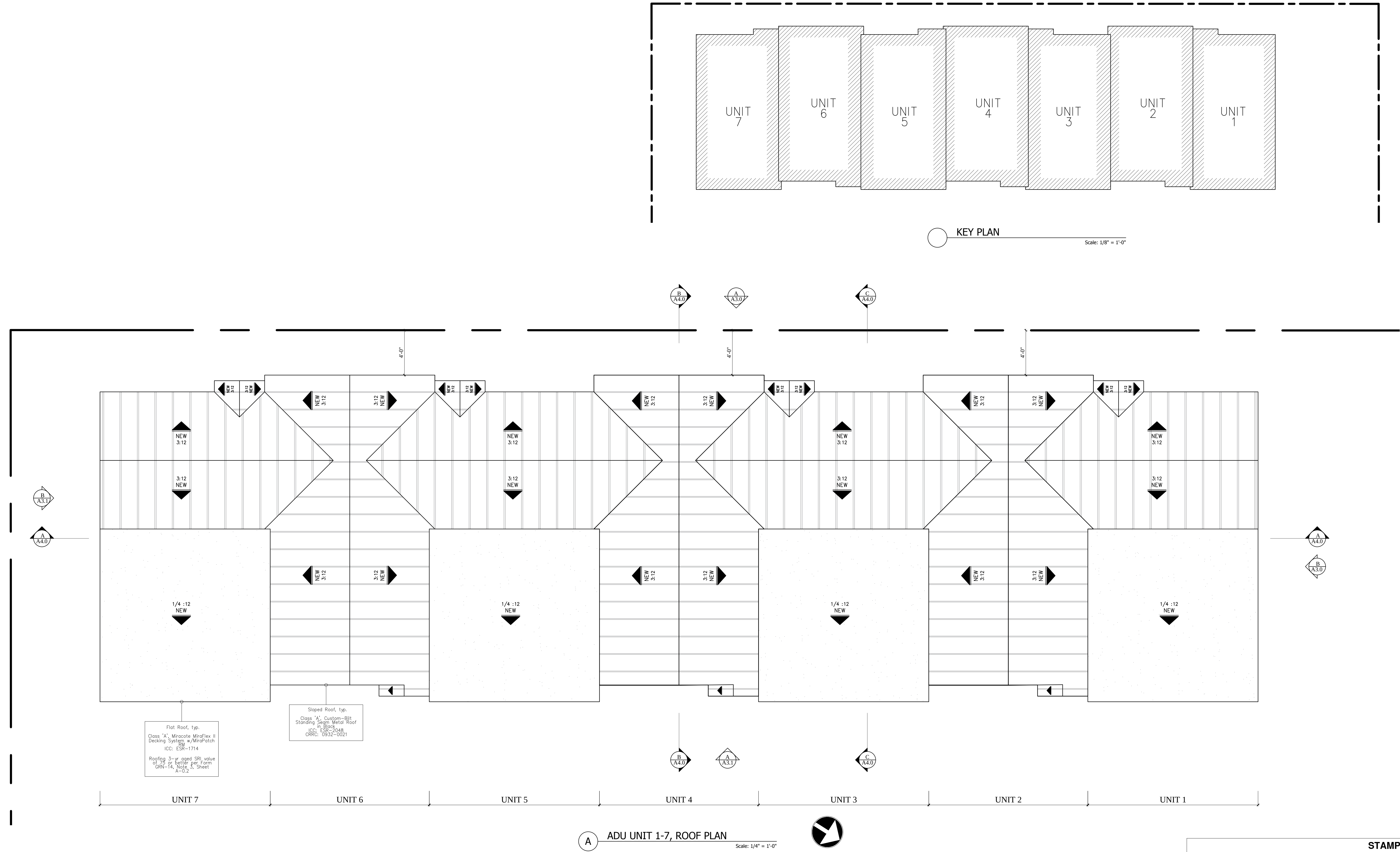
Venice, CA 90291

SHEET NO:

A-2.1

ADU UNIT 1-7, SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"



A ADU UNIT 1-7, ROOF PLAN
Scale: 1/4" = 1'-0"

KEY PLAN
Scale: 1/8" = 1'-0"

ADU Roof Plan

SHEET
TITLE

JOB N O: **SC1**

DATE: **01/02/25**

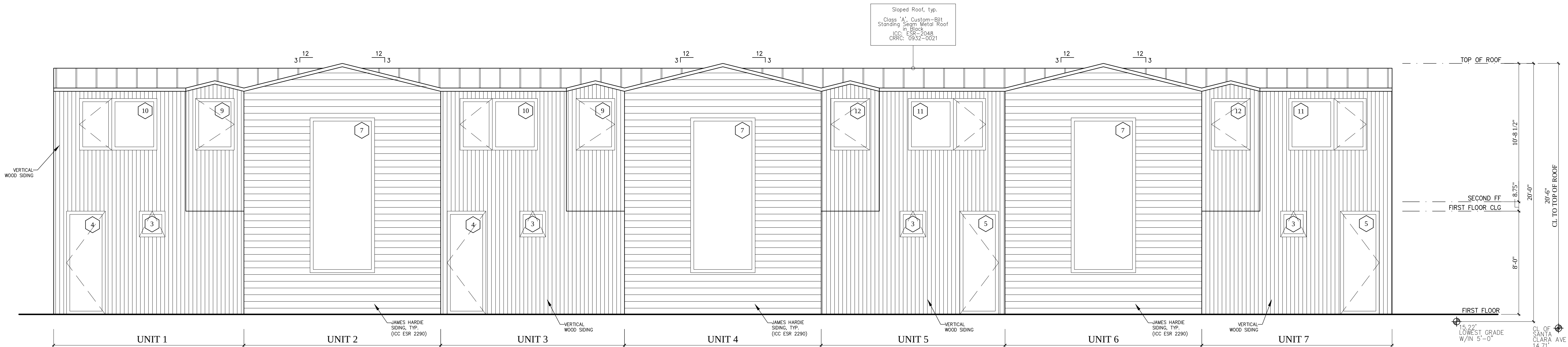
DRAWN:

532 E. Santa Clara Avenue
Units 1-7
Venice, CA 90291

SHEET NO:

A-2.2

STAMPS



ADU FIRE SEPARATION DISTANCE:

PER TABLE R302.1(2) EXTERIOR WALLS - DWELLINGS WITH FIRE SPRINKLERS
OPENINGS IN WALLS ARE UNLIMITED AT A 3 FOOT SEPARATION DISTANCE

TABLE R302.1(2)EXTERIOR WALLS—DWELLINGS WITH FIRE SPRINKLERS

EXTERIOR WALL ELEMENT	MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	1 hour—tested in accordance with ASTM E119 or UL 263 with exposure from the outside
	Not fire-resistance rated	0 hours
Projections	Not allowed	N/A
	Fire-resistance rated	1 hour on the underside ^{b, c}
	Not fire-resistance rated	0 hours
Openings in walls	Not allowed	N/A
	Unlimited	0 hours
Penetrations	All	Comply with Section R302.4
		None required

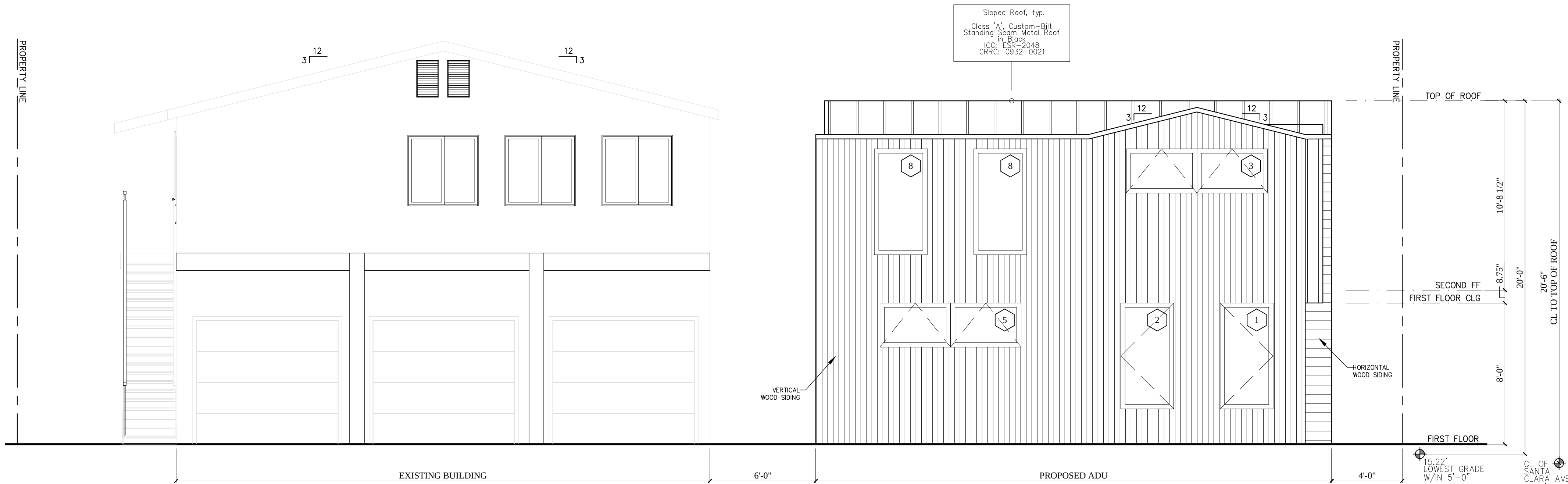
For SI: 1 foot = 304.8 mm.
N/A = Not Applicable.
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b. The roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave if fireblocking is provided from the wall top plate to the underside of the roof sheathing.
c. The roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave provided that gable vent openings are not installed.

GRADE PLANE CALCULATIONS:			
1.	15.34'	11.	15.88'
2.	15.72'	12.	15.87'
3.	16.13'	13.	16.14'
4.	16.27'	14.	16.20'
5.	16.35'	15.	16.17'
6.	16.43'	16.	16.06'
7.	16.35'	17.	15.91'
8.	16'	18.	15.81'
9.	15.81'	19.	15.61'
10.	16.04'	20.	15.59'

TOTAL: 319.68
319.68/20 ENTRIES = 15.98'
AVERAGE GRADE PLANE

A ADU FRONT ELEVATION

Scale: 1/4" = 1'-0"



B ADU LEFT SIDE ELEVATION

Scale: 1/4" = 1'-0"

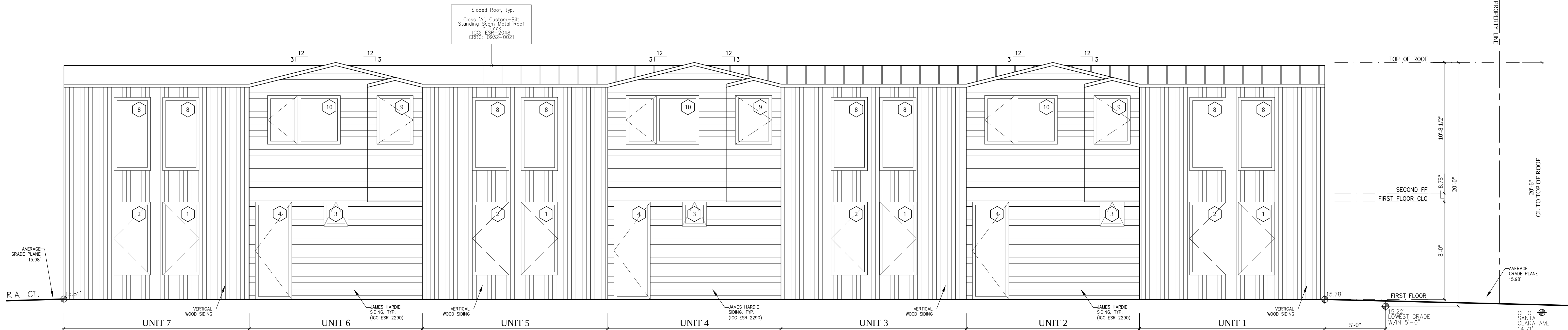
ADU Elevations

SHEET TITLE	REVISIONS
JOB NO: SC1	
DATE: 01/02/25	
DRAWN:	

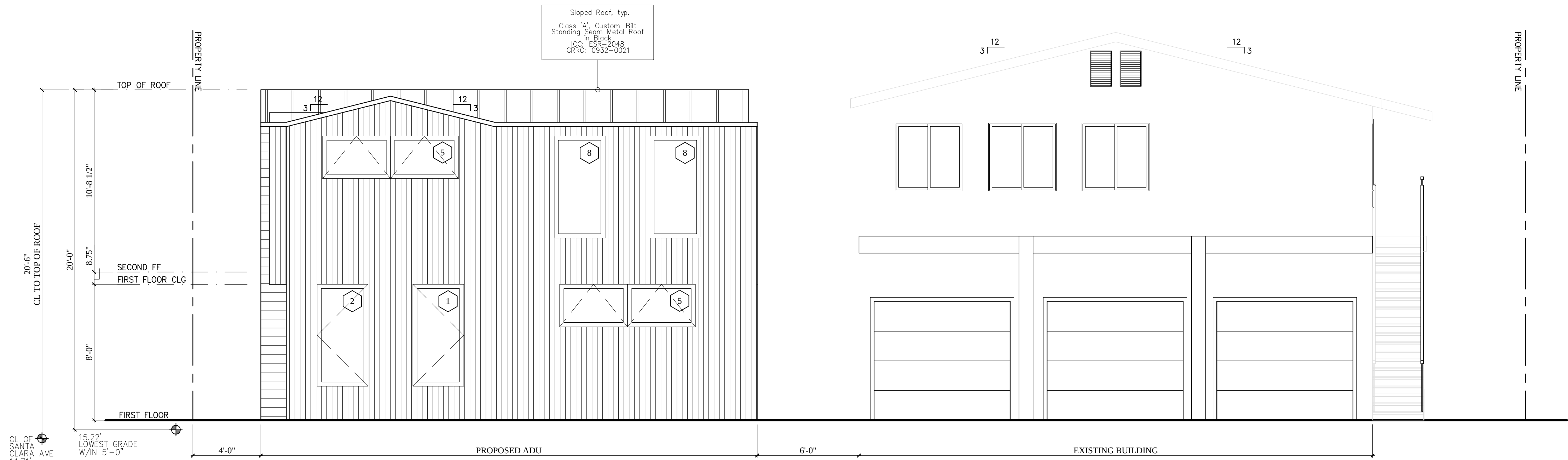
532 E. Santa Clara Avenue
Units 1-7
Venice, CA 90291

SHEET NO:

A-3.0



A ADU REAR ELEVATION
Scale: 1/4" = 1'-0"



B ADU RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"

ADU FIRE SEPARATION DISTANCE:

PER TABLE R302.1(2) EXTERIOR WALLS - DWELLINGS WITH FIRE SPRINKLERS
OPENINGS IN WALLS ARE UNLIMITED AT A 3 FOOT SEPARATION DISTANCE

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6.	16.43'	16.	16.06'
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8.	16'	18.	15.81'
9.	15.81'	19.	15.61'
10.	16.04'	20.	15.59'

TOTAL: 319.68
319.68 / 20 ENTRIES = 15.98'
AVERAGE GRADE PLANE

ADU Elevations

SHEET TITLE	REVISIONS	
	JOB NO:	DATE:
	SC1	01/02/25
	DRAWN:	

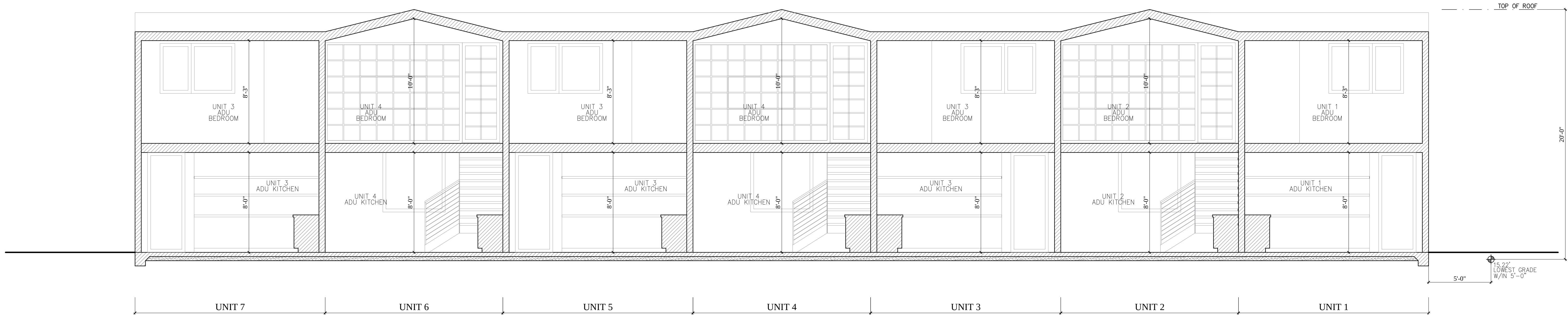
532 E. Santa Clara Avenue
Units 1-7
Venice, CA 90291

SHEET NO:

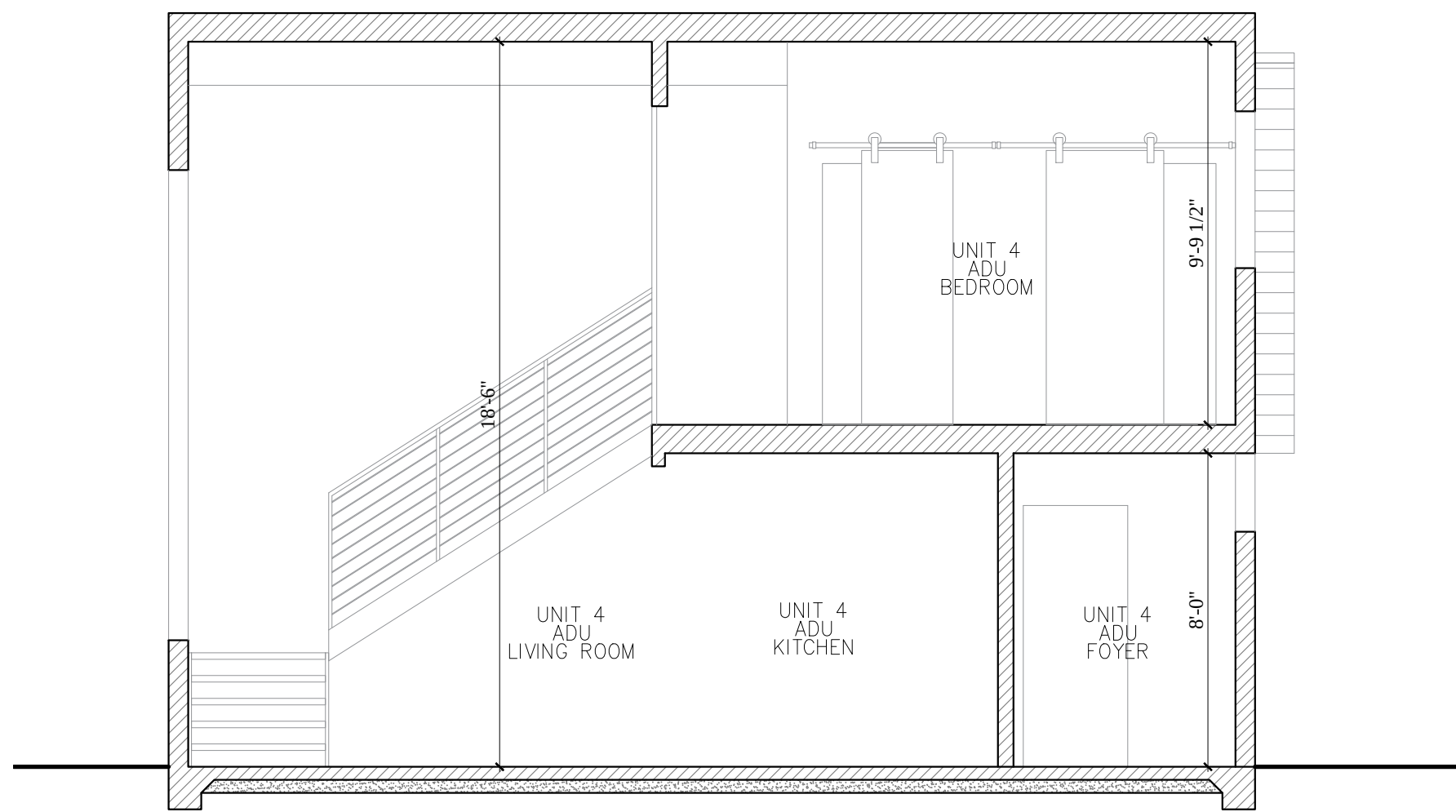
A-3.1

STAMPS

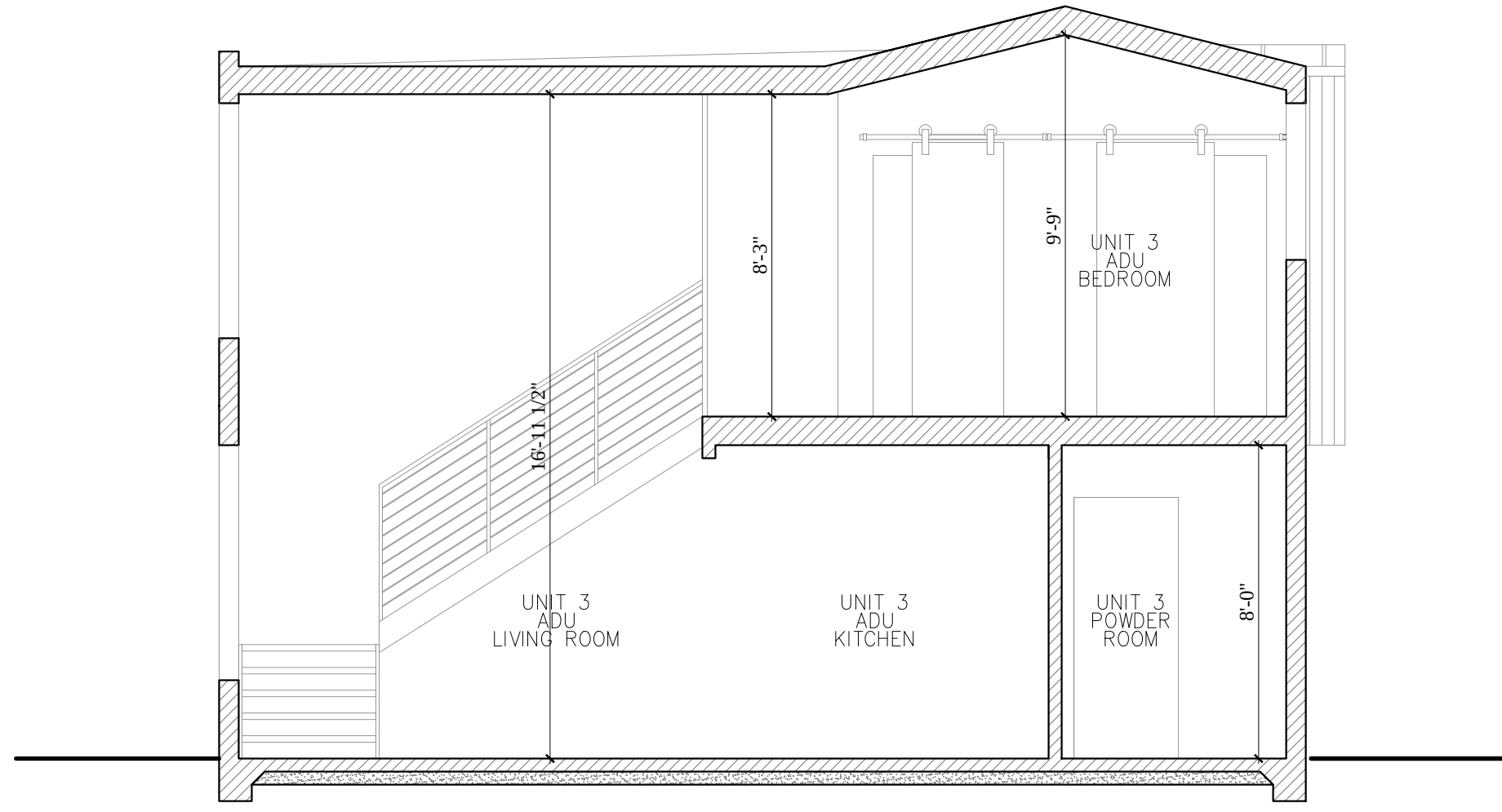
PROVIDE THE FOLLOWING INSULATION PER TITLE-24:	
ROOF:	R-38
EXTERIOR WALLS:	R-13
INTERIOR WALLS:	R-15



A ADU SECTION A
Scale: 1/4" = 1'-0"



B ADU SECTION B
Scale: 1/4" = 1'-0"



C ADU SECTION C
Scale: 1/4" = 1'-0"

ADU Sections

SHEET TITLE	REVISIONS
JOB N O: SC1	
DATE: 01/02/25	
DRAWN:	

532 E. Santa Clara Avenue
Units 1-7
Venice, CA 90291

SHEET NO:

A-4.0

STAMPS

July 8, 2026

Public Comment for LUPC meeting:

I'm commenting on behalf of at least 50 longtime homeowners and renter family residents, we are all vehemently opposed to an illegal mess of a massive construction project application to rip up our back parking lot in order to build 7, ADU's at 532 Santa Clara Ave.

Everyone in our neighborhood who hears about it is really upset about the possibility of this construction taking place. We've written a letter which 50 residents have signed thus far asking the California Coastal Commission and the LA City Planning Commission to deny the Applications.

The applicant is proposing to construct a single 4,996 square foot building containing seven dwelling units on a vacant 5,400 square foot lot and labeling all seven units as Accessory Dwelling Units. This proposal misapplies state ADU law. California Government Code § 66313 and the HCD ADU Handbook clearly define an ADU as a residential dwelling unit located on the same lot as a proposed or existing primary residence. But our current parking lot that has no existing residence, these seven units cannot legally be classified as Accessory, there's no structure for them to be accessory to. What the applicants are actually proposing is a seven-unit multifamily apartment building. This use is not permitted on this parking lot under the City's RD1.5 zoning, which allows a maximum density of one dwelling unit per 1,500 square feet of lot area. Labeling the entire project as ADUs to bypass local zoning and Coastal Act requirements is ignorant, fraudulent and illegal, they're misapplying state and zoning laws. In addition, the project would remove our current parking lot, which is required tenant parking per our legal lease for the 8 units of our apartment building at 534 Santa Clara Ave, not to mention removing 8 parking spaces would greatly exacerbate existing parking shortages in our beloved coastal neighborhood.

Residents of the building within feet of 532 Santa Clara (our current parking lot) and dozens of residents who own homes next door to the proposed construction site have signed a letter respectfully asking the Coastal and City Commissions to deny this application. This Resident Signatures Letter is currently circulating with additional homeowners and renters gathering signatures on their own copies of the letter, everyone is extremely opposed

to the construction plan and signing without hesitation. Signatures include the owner of the Historical Cultural Monument, the Kinney-Tabor house, which was Abbot Kinney's home in the early 1900's, situated across the street from the application plan. Here's some of what the letter says:

We the undersigned, ask you to not approve project Application Number 5-25-0094, which is LA City Case Number DIR-2025-5757-CDP-MEL-HCA.

We are tenants of, and residents next door to the proposed construction site at 532-534 Santa Clara Ave, Venice, CA 90291. We are long-time residents, having lived in our quiet, peaceful, beloved Venice Beach neighborhood for up to 60 years, nobody wants this construction to take place, we are all absolutely against this happening for the following reasons (8 following reasons are given which I'm not going to read at the LUPC meeting)

- **We'll be forced to take legal action with LA City to halt construction, because it would illegally end our free-citizen rights to fresh and clean air flow in our units and neighboring homes which are located within 12 feet of the construction, and would end our rights to a quiet, peaceful environment because of the constant, abhorrent noise pollution from proposed atrocious construction noise (excavation, drilling, hammering, trucks, etc) which could last for one to two years.**
- **The tenants of 534 Santa Clara Ave are up to 23-year residents – artists, teachers, engineers, designers, actors, producers, directors, who work from home and this construction project would end our apartment home quiet work spaces, in which we have professional work meetings and which enable us to earn our livelihoods. The noise pollution happening within feet of our living spaces will be horrific and intolerable.**
- **The proposed construction will block required ventilation in the units for tenants and neighbors, thus violating the right to breathe fresh air during a lengthy construction process. Our**

windows must remain open as the 534 Santa Clara Ave units are extremely hot and require the fresh ocean breezes all day.

- The proposed construction will deliver un-asked for toxic substances, chemicals and dirt into our apartments and neighboring homes from excavation and construction happening a few feet away from where we live and work, thereby forcing us to keep our windows and doors closed all day. This is a clear violation of tenant and residential rights.**
- The proposed construction blocks the only secondary access route behind our existing building. If built, there would be no clear secondary exit for tenants or emergency personnel which is a clear fire and life safety hazard. We urge the City to require a formal fire safety access study prior to any approval.**
- The proposed construction will massively increase traffic congestion in an already chock-full, impossible-to-find-parking area, located one block from Abbot Kinney Blvd. The constant construction trucks, tenant parking and neighboring resident parking in a tiny area will hugely and negatively increase parking ability, traffic, noise, and quality of life for all residents in the area.**
- The proposed construction violates the tenants' lease contracts with Drake Real Estate Group, in which the owner states that a parking space and parking lot is provided to tenants. Where are we supposed to park if this construction takes away our parking spaces which we've had for 23 years per our lease contract?**
- The proposed construction places 23-year tenants at risk for displacement. A development of seven ADU's will take away tenant parking on the property, end proper ventilation, end peaceful, professional, quiet work spaces, and outrageously increase traffic to the extent to which tenants will have to find other housing, this clearly violates LA City renter's rights under our Rent Stabilization Ordinance laws.**

The letter continues:

Moreover you should know, Drake Real Estate Group, since taking over the management of our building three years ago, has been hugely neglectful of the building and units. They are described as the worst management company in LA in 31 reviews on Yelp with people so moved by anger that they needed to state that if they could give Drake negative stars they would and gravely warning everyone “Never do business with Drake, do not rent from them, they’re the worst.” **The reviews are so terrible that Drake was forced to create their own LLC, called the “534 Santa Clara Ave Apartments, LLC” that they are now using to apply for this construction permit, in order to distance themselves from the name Drake Real Estate Group and people finding out about them in all the negative reviews.**

We were told by the broker who represents Drake, whose name is on the Notice posted by the city on our building, he said he couldn’t believe they posted it without telling him...but why should he be upset? It’s city law to inform tenants of construction when you’re removing their parking lot and replacing it with a mess of their illegal application plan. He stated that “many upgrades and upsides are going to happen, we’re going to enlarge your bedroom windows.” What does that even mean and how could we live here during construction? Our bedroom windows which have gorgeous sunset views are large and fine the way they are now. He also said that these constructed 7 ADU’s will be “cute, sexy, with a lot of greenery.”

Nobody here wants this construction, we are all really upset about the possibility of this happening, including dozens of families with young children who live, walk and play within feet of 532-534 Santa Clara Ave. Nobody supports this construction and we do not respect the neglectful management company who are the builders, they have proven untrustworthy.

We the tenants and surrounding residents, respectfully ask you, the California Coastal Commission and the LA City Planning Commission, to deny this construction application. Thank you.

(that's the letter)

The applicants neither live here nor care about our quality of our lives here. There's a lovely young homeowner family with a 3 year old living in the house just on the other side of the wall from our parking lot. It's outrageous that this beautiful family and all the wonderful residents of our building and all nearby surrounding families would be forced to endure living with abhorrently loud noise pollution, and dust, dirt and toxic chemical air pollution from excavation and building construction. Also, there are daily outdoor AA meetings across the street from the proposed site, where the Venice painter Jules Muck created a beautiful community for healing, and the construction would greatly disrupt their meetings and parking.

It's not right, not just, it's immoral for this neglectful management company to be able to come in and completely upend the lives of so many tenants, homeowners, families and neighbors who all treasure our beloved, quiet, beautiful, coastal Venice Beach pocket.

Drake is not a trustworthy company and their proposed construction plan is not legal per state law and city zoning code. Thank you.