

VICINITY MAP

ARCHITECTURAL SYMBOLS LEGEND

(E) Existing VIF Verify In Field
TYP Typical North Arrow
Center Line Room name 101 Room Tag
Tempered Level Head
Align Smoke/Carbon Monoxide Detector
Door Mark Exhaust Fan, TYP.
Window Mark Section/Elevation Head
Detail Callout A101

BUILDING CODE INFORMATION

OCCUPANCY GROUP:

BUILDING TYPE:

ALLOWABLE STORIES:

ALLOWABLE HEIGHT:

ALLOWABLE FLOOR AREA RESIDENTIAL:

ALLOWABLE FLOOR AREA COMMERCIAL RESTAURANT (A-2, I-B):

ALLOWABLE FLOOR AREA PARKING GARAGE (S-2, I-B):

FLOOD MANAGEMENT

The project is located within Flood Zone AE (EL 8 - Base Flood Elevation Requirement of 8'-0") and has to comply with the Flood Hazard Management Plan.

The plan requires that new structures in the AE zone be elevated 1 foot above the Base Flood Elevation.

A flood zone clearance will be required for this project.

FEMA allows mixed-use buildings to have subterranean parking that needs to be dry floodproofed along with any part of the building that are below the BFE (base flood elevation) plus 1'. The entrances to the subterranean parking or loading dock that are below BFE plus 1' need to have flood barriers. The residential use area must be above BFE plus 1'. All electrical and mechanical needs to be dry floodproofed also or elevated above the BFE plus 1'.(per FEMA bulletin P-936)

SPRINKLER NOTE

Note: The building shall be equipped with an automatic residential fire sprinkler system in accordance with Section R313.3 or NFPA13R. (2017 LABC).

The Sprinkler System shall be approved by Plumbing Div. prior to installation.

LADOT NOTES

LADBS INFORMATION BULLETIN P/ZC 2023-001
I. G. DRIVEWAY WIDTHS AND LOCATIONS:
4. 19 ft. minimum when serving more than 25 cars or, in lieu thereof, there shall be two 10 ft. minimum wide driveways.

GRADING

GRADING CUT AMOUNT:
GRADING FILL AMOUNT:

ZONING CODE INFORMATION

ADDRESS:

ZONING:

APN #:

LEGAL DESCRIPTION:

MAP REFERENCE:

LOT AREA:

EXISTING BUILDINGS AND USE:

BUILDING SETBACKS:

SETBACKS (VENICE SPECIFIC PLAN 10.F.4 AND LAMC):
F.Y. COMMERCIAL C2 = 0'
F.Y. RESIDENTIAL = MIN 5' VENICE SPECIFIC PLAN (10.F.4)
S.Y. COMMERCIAL C2 = 0'
S.Y. RESIDENTIAL = 5' +3 ADDT. FT. FROM 3,4,5 STORY = 8' TOTAL (R4)
R.Y. COMMERCIAL C2 = 0'
R.Y. RESIDENTIAL = 15' + 2' = 17' (R4)

PER LAMC 12.14 C2 (C): FOR ALL PORTIONS OF BUILDINGS ERCTED AND USED FOR RESIDENTIAL PURPOSES, SIDE AND REAR YARD CONFORMING TO THE REQUIREMENTS OF THE R4 ZONE (SECTION 12.11 C.2. AND 3.) SHALL BE PROVIDED AND MAINTAINED AT THE FLOOR LEVEL OF THE FIRST STORY USED IN WHOLE OR IN PART FOR RESIDENTIAL PURPOSES.

R4 ZONE YARD REQUIREMENTMS (LAMC 12.11 (C) 2,3):
SIDE YARD = 5' + 1' FOR EVERY ADDED STORY ABOVE 2 STORIES = 5' + 3' = 8'
REAR YARD = 15' + 1' FOR EVERY ADDED STORY ABOVE 3 STORIES = 15' + 2' = 17'

EXCEPTION LAMC 12.22.A.18(C)3:
NO YARD REQUIREMENTS SHALL APPLY TO THE RESIDENTIAL PORTIONS OF BUILDINGS LOCATED ON LOTS IN THE CR, C1, C1.5, C2, C4, AND C5 ZONES USED FOR COMBINED COMMERCIAL AND RESIDENTIAL USES, IF SUCH PORTIONS ARE USED EXCLUSIVELY FOR RESIDENTIAL USES, ABUT A STREET, PRIVATE STREET OR ALLEY, AND THE FIRST FLOOR OF SUCH BUILDINGS AT GROUND LEVEL IS USED FOR COMMERCIAL USES OR FOR ACCESS TO THE RESIDENTIAL PORTIONS OF SUCH BUILDINGS.

(VENICE SPECIFIC PLAN 10.F.3): 30' FLAT ROOF, 35' VARIED ROOF

46'- 4" (MAXIMUM HEIGHT OF 57'-10" WITH 15' ELEVATOR OVERRUN AND SOLAR TRELLIS)

NO RESTRICTION ON NUMBER OF STORIES PER 'DEPARTMENT OF CITY PLANNING GENERALIZED SUMMARY OF ZONING REGULATIONS'

4 STORIES + 1 STORY (SOLAR TRELLIS)

VENICE SPECIFIC PLAN: F.2.B. COMMERCIAL ZONES. NO RESIDENTIAL VENICE COASTAL DEVELOPMENT PROJECT ON A COMMERCIALLY-ZONED LOT SHALL EXCEED THE DENSITY PERMITTED IN THE R3 ZONE.

PROJECT IS UTILIZING AB 2334 AND UNDERLYING GENERAL PLAN LAND USE DESIGNATION OF 'NEIGHBORHOOD OFFICE COMMERCIAL' ALLOWS R4 DENSITY

AREA OF LOT + 1/2 WIDTH OF ALLEY ABUTTING LOT = 9,089.7 + 677.4 = 9,767.1 SF

R4 = 400 SF / DWELLING UNIT
9,767.1 / 400 = 24.4 = 25 UNITS (ROUNDED UP TO NEXT WHOLE NUMBER)

19 UNITS (INCLUDING 4 VERY LOW INCOME UNITS PER LAMC : 12.22 A-37, ALLOWABLE DENSITY BONUS IS 50%)

FLOOR AREA (ZONING CODE) = **26,845 SF** (SEE AREA CALCULATIONS FOR AREA BREAKDOWN, SHEET T101)

1.5:1 F.A.R. (VENICE SPECIFIC PLAN 11.B.3) = 13,635 SF

ZONING AREA / LOT AREA = 26,845 SF / 9,089.7 SF = 2.95

NO

NO

METHANE ZONE

NO

VENICE COASTAL ZONE

NORTH VENICE

PROJECT DESCRIPTION

1410-1422 MAIN ST

DESCRIPTION: NEW CONSTRUCTION OF A 5 STORY MIXED-USE BUILDING (COMMERCIAL + 19 UNITS) AND A BASEMENT PARKING GARAGE)

EXISTING BUILDING HEIGHT 1414 MAIN ST
EXISTING STRUCTURE TO BE DEMOLISHED

EXISTING BUILDING HEIGHT 1422 MAIN ST
EXISTING STRUCTURE TO BE DEMOLISHED

PROPOSED BUILDING HEIGHT

TYPE OF CONSTRUCTION (RESIDENTIAL LEVEL 2-3)

TYPE OF CONSTRUCTION (COMMERCIAL AND PARKING GARAGE)

PROJECT DIRECTORY

OWNER:

ARCHITECT:

THREE ON THE TREE LLC
23823 Malibu Rd, Ste 50-341
Malibu, CA 90265

m_Royce Architecture
625 Oxford Ave
Los Angeles, CA 90291
Matthew Royce, AIA
323.230.0001
matthew@mroycearchitecture.com

AB 2097 ELIGIBILITY

Pursuant to Assembly Bill (AB) 2097, the City of Los Angeles is prohibited from imposing or enforcing minimum parking requirements on any residential, commercial or other development project (excluding event centers, hotels and similar transient lodging) that are within a one-half mile radius of a Major Transit Stop. The Department of City Planning issued a memorandum on December 31, 2022 which serves as guidance for project applicants and staff on the implementation of AB 2097.

1410-22 Main St is eligible for the AB 2097 Reduced Parking Requirements (See Sheet T109)

AUTOMOBILE PARKING PROVIDED

TOTAL RESIDENTIAL 24
TOTAL COMMERCIAL 4
GRAND TOTAL 28

DENSITY BONUS CALCULATION AND ENTITLEMENTS REQUEST

Pursuant to LAMC Section 12.22 A-37 (d)(3): City Planning Commission Review, Table 12.22 A.37. (e)(1)(i)a.

50% Density Bonus: 15% Very Low Income Units

NUMBER OF ALLOWABLE UNITS PER DENSITY LAW = ALLOWABLE DENSITY X 150%
= 25 X 150/100
= 37.5
= **38 RESIDENTIAL UNITS**

Per Table 12.22 A.37.(f)(1)(i), Allowed number of Additional Incentives:

4 Incentives : 16% Very Low Income Households

NUMBER OF VERY LOW INCOME RESIDENTIAL UNITS = ALLOWABLE DENSITY X 16%
= 25 X 16/100
= 4
= **4 VERY LOW INCOME RESIDENTIAL UNITS**

Following are the On/ Off Menu Incentives and Waivers of Development Standards requested:

ON MENU DENSITY BONUS INCENTIVES

1. 96.6% increase in the allowable FAR to 2.95 FAR in lieu of 1.5:1 FAR as required by the Venice Coastal Zone Specific Plan Section 11.B.3

OFF MENU DENSITY BONUS INCENTIVES

2. 37.5% decrease in north-westerly side yard to allow 5' - 0" in lieu of 8' - 0" as required by the LAMC Section 12.11.C.2

3. 37.5% decrease in south-easterly side yard to allow 5' - 0" in lieu of 8' - 0" as required by the LAMC Section 12.11.C.2

4. 100% decrease in rear yard setback for residential portions of the building to allow 0' - 0" in lieu of 17' - 0" as required by LAMC Section 12.11-C.3

WAIVER OF DEVELOPMENT STANDARDS

5. 100% decrease in front yard setback for residential portions to allow 0' - 0" in lieu of 5' - 0" as required by the Venice Coastal Zone Specific Plan Section 10.F.4

6. 54.4% increase in height (16'- 4") for a total building height of 46'- 4" in lieu of 30 feet maximum building height and to deviate from the height step-back provisions as required by the Venice Coastal Zone Specific Plan Section 10.F.3.a

7. To allow a Solar Trellis structure at 15' - 0" in height from the roof surface within the maximum height of 57'-10" in lieu of 30 feet maximum building height and the transitional height requirements as written in the Venice Coastal Zone Specific Plan Section 10.F.3.a

8. To allow Roof Access Structures height of 15'-0" from the roof deck in lieu of 10'-0" over the flat roof height limit for roof access structures that cannot be exceeded per Venice Coastal Zone Specific Plan Section 9.C.1.a

9. To allow Roof Access Structures size of 152 square feet in lieu of the 100 square foot size limit for Roof Access Structures per Venice Coastal Zone Specific Plan Section 9.C.1.d

SHEET LIST

Sheet Number Sheet Name

TITLE

T100 TITLE
T101 TITLE - AREAS
T102 TITLE - AREAS
T109 TITLE - PARKING AND AB 2097 ELIGIBILITY

CIVIL

C100 SURVEY

ARCHITECTURE

A100 SITE PLAN
A101 BUILDING PLANS L01
A102 BUILDING PLANS L02
A103 BUILDING PLANS L03
A104 BUILDING PLANS L04
A105 ROOF PLAN
A106 BASEMENT PLAN B1
A200 ELEVATIONS
A201 ELEVATIONS
A202 ELEVATIONS
A203 ELEVATIONS
A300 SECTIONS
A301 SECTIONS
A302 SECTIONS
A602 DETAILS AND SPECS

BUILDABLE AREA DIAGRAM

MAIN ST

97' - 3"

7' - 6"

90' - 5"

104' - 11"

1/2 WIDTH OF ALLEY ABUTTING LOT = 683.3 SF

AREA OF LOT = 9,089.7 SF

ALLEY

TOTAL BUILDABLE AREA = AREA OF LOT + 1/2 WIDTH OF ALLEY ABUTTING LOT
= 9,089.7 + 677.4 SF
= 9,767.1 SF

LOT COVERAGE

TOTAL LOT AREA 9,089.7 SF 9,089.7 SF
BUILDING FOOTPRINT 7,900 SF 86.9 % LOT COVERAGE
PAVING / HARDSCAPE 1,187 SF 13.1 %
LANDSCAPE 0 SF 0 %

PAVING/ HARDSCAPING 800 SF

BUILDING FOOTPRINT 7,900 SF

PAVING/ HARDSCAPING 387 SF

BLANK SPACE

Mixed-Use New Construction

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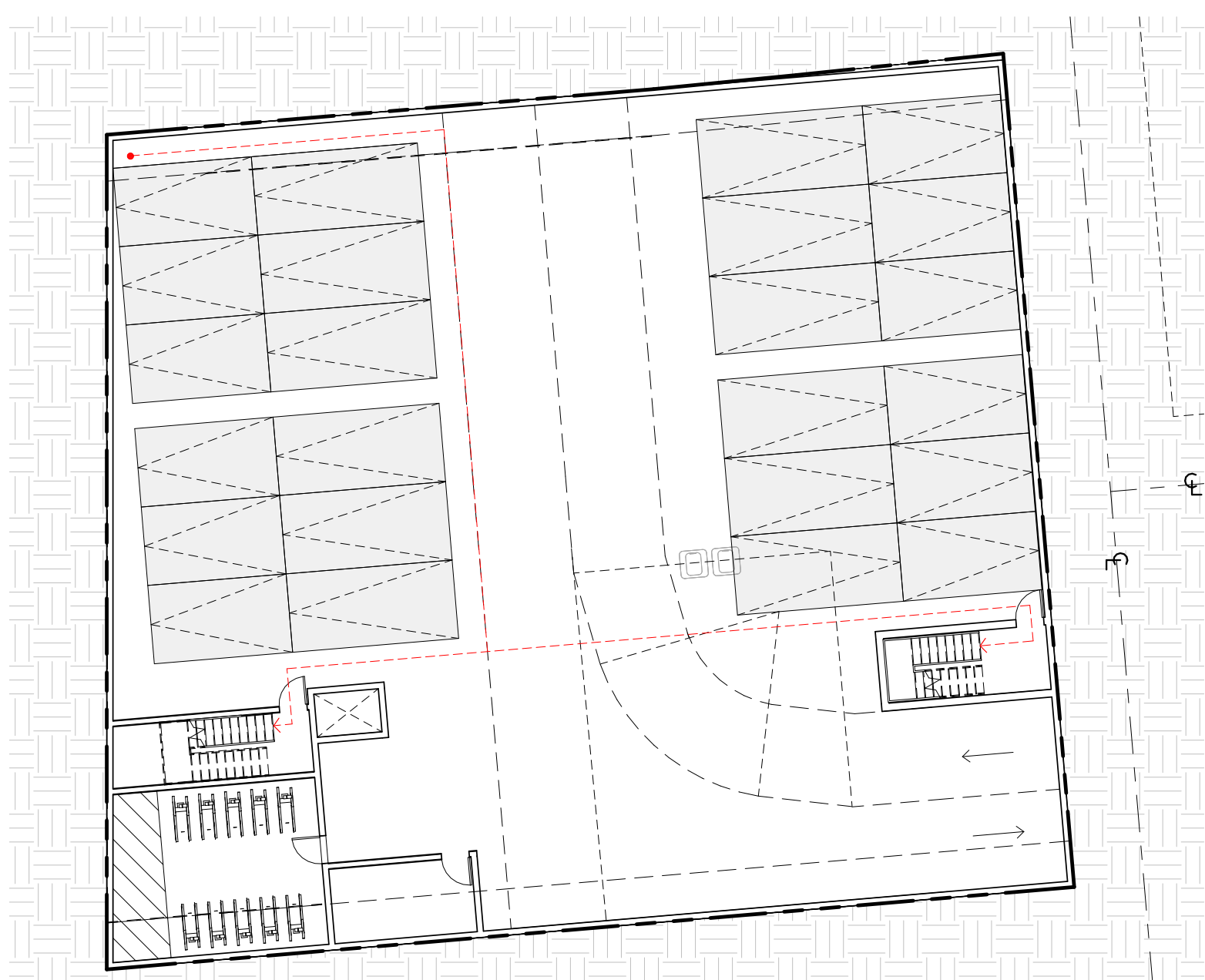
LICENSED ARCHITECT
MATTHEW ROYCE
C31918
Ren. 08-31-2025
STATE OF CALIFORNIA

ISSUE DATE
AUG 1, 2025

Number Date Description

TITLE

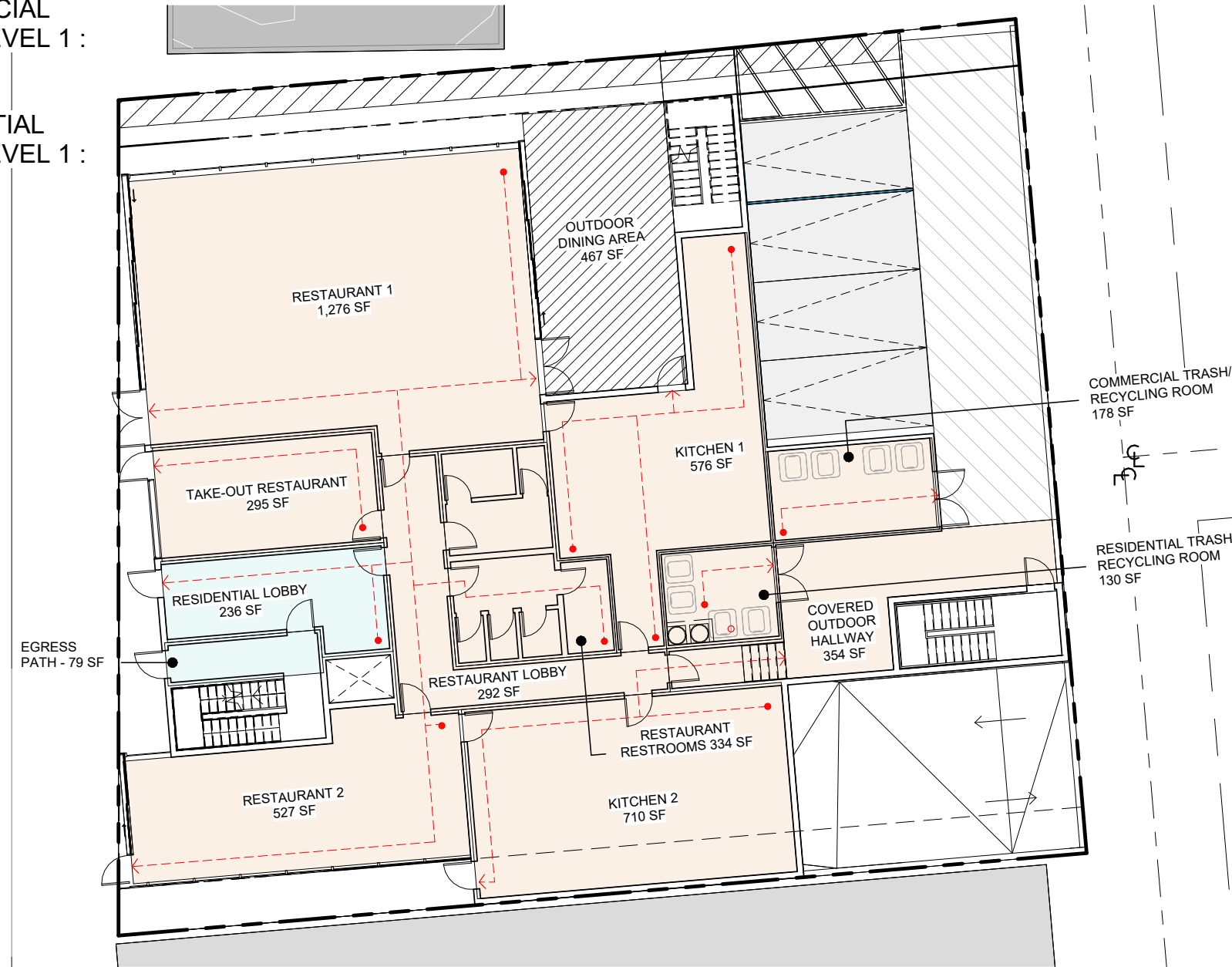
T100



1 LV B1 PARKING - AREA PLAN
1/16" = 1'-0"

TOTAL COMMERCIAL
ZONING AREA LEVEL 1 :
4,542 SF

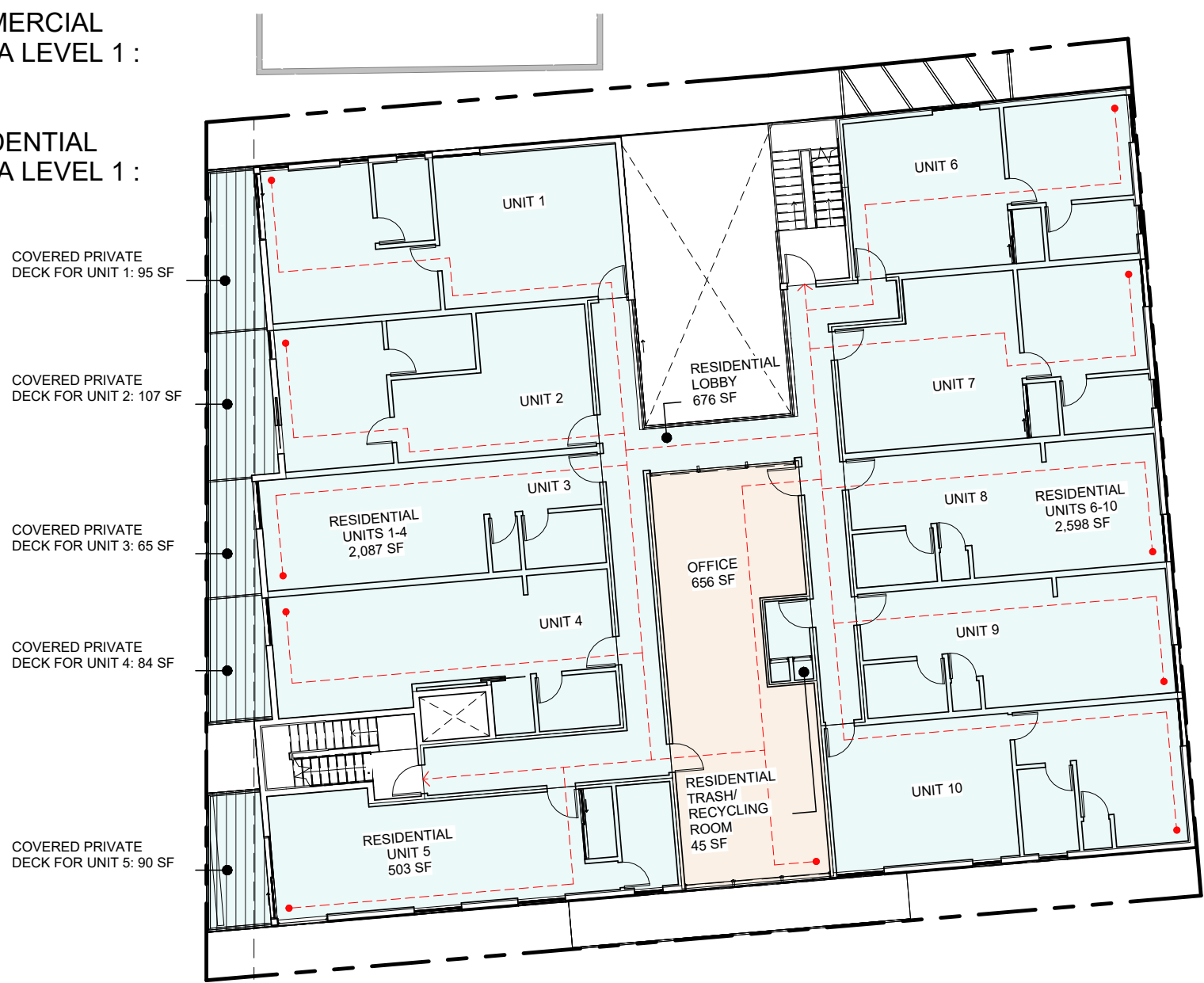
TOTAL RESIDENTIAL
ZONING AREA LEVEL 1 :
445 SF



2 LEVEL 1 - AREA PLAN
1/16" = 1'-0"

TOTAL COMMERCIAL
ZONING AREA LEVEL 1 :
656 SF

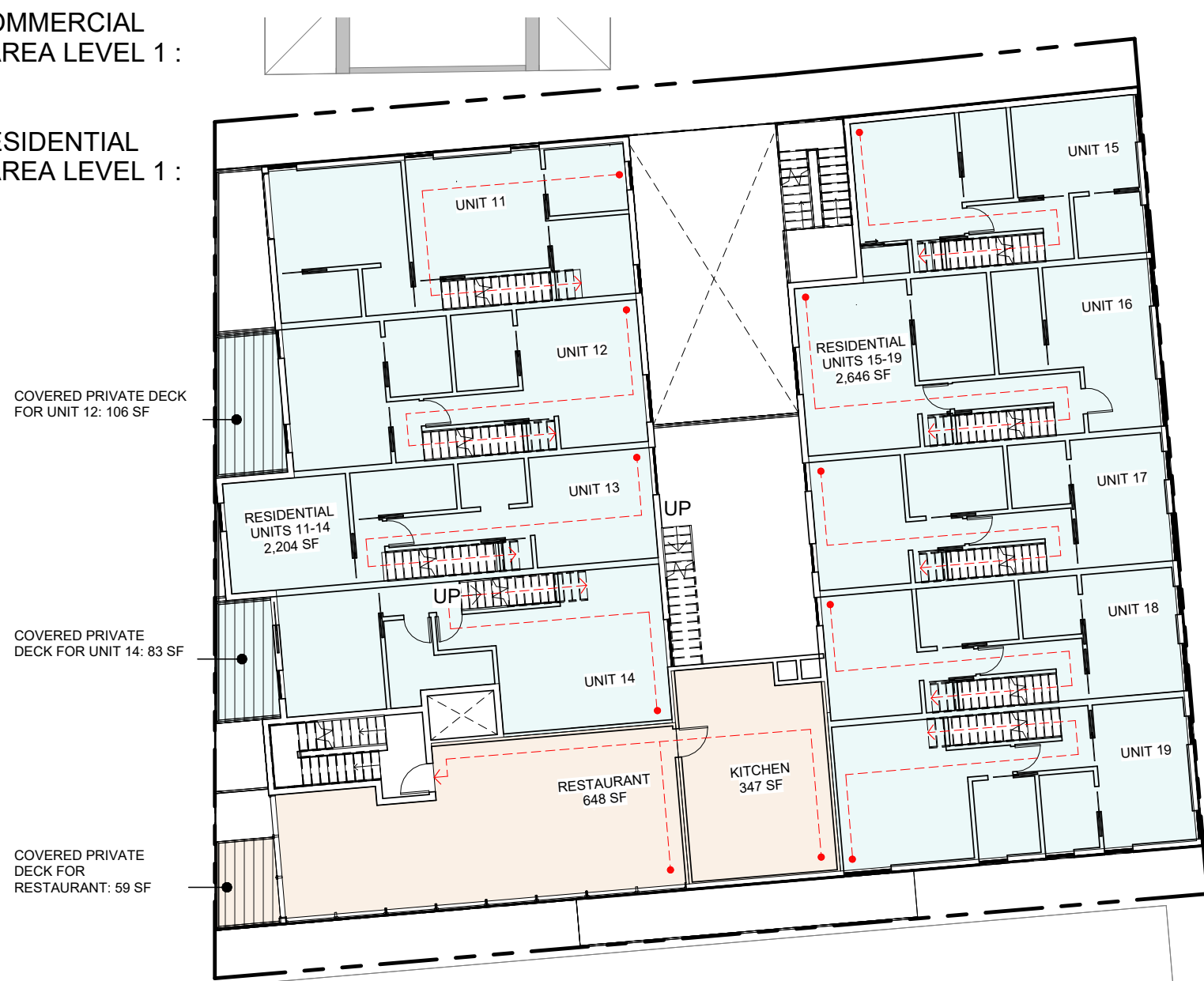
TOTAL RESIDENTIAL
ZONING AREA LEVEL 1 :
6,351 SF



3 LEVEL 2 - AREA PLAN
1/16" = 1'-0"

TOTAL COMMERCIAL
ZONING AREA LEVEL 1 :
1,054 SF

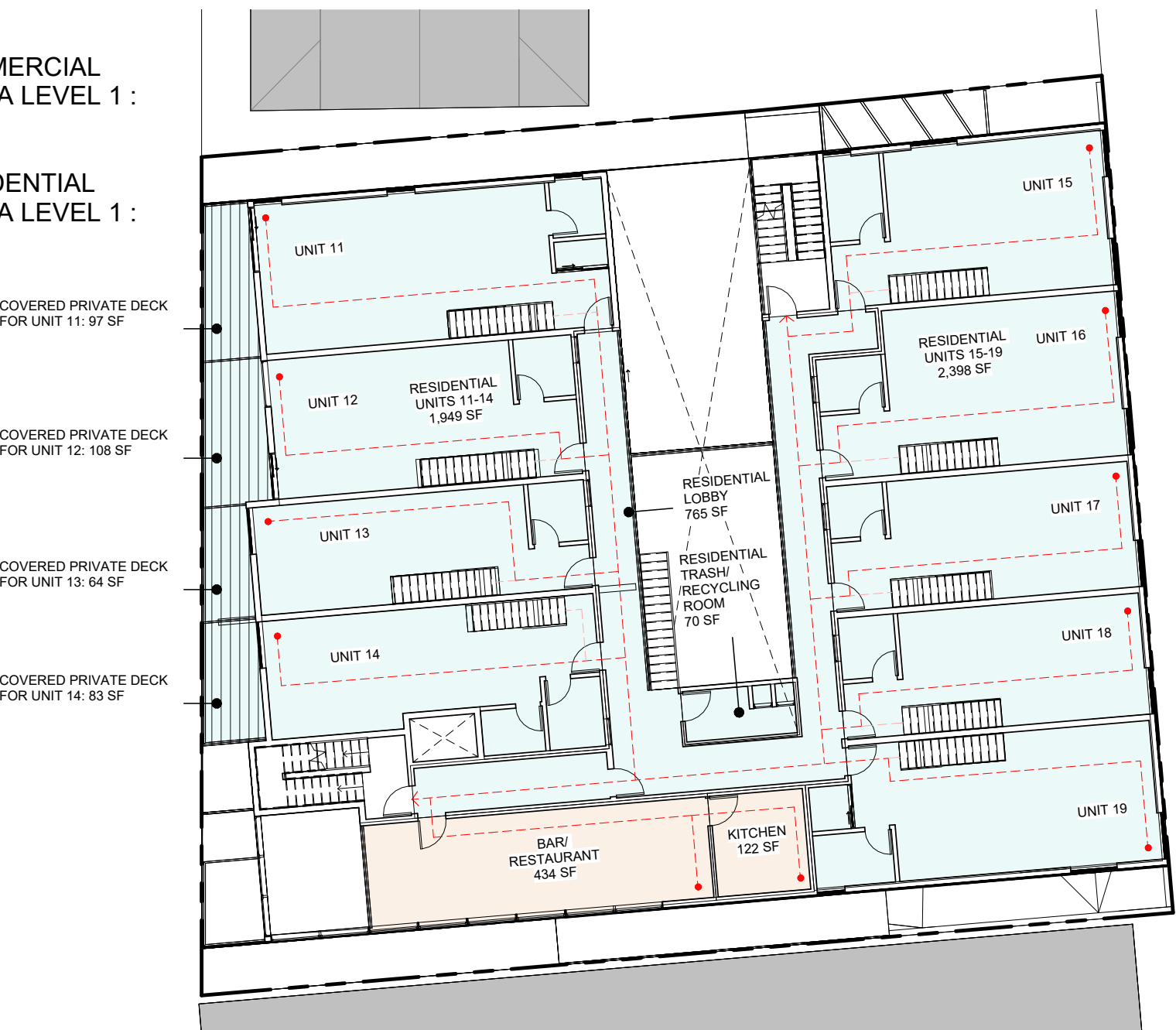
TOTAL RESIDENTIAL
ZONING AREA LEVEL 1 :
5,035 SF



4 LEVEL 3 - AREA PLAN
1/16" = 1'-0"

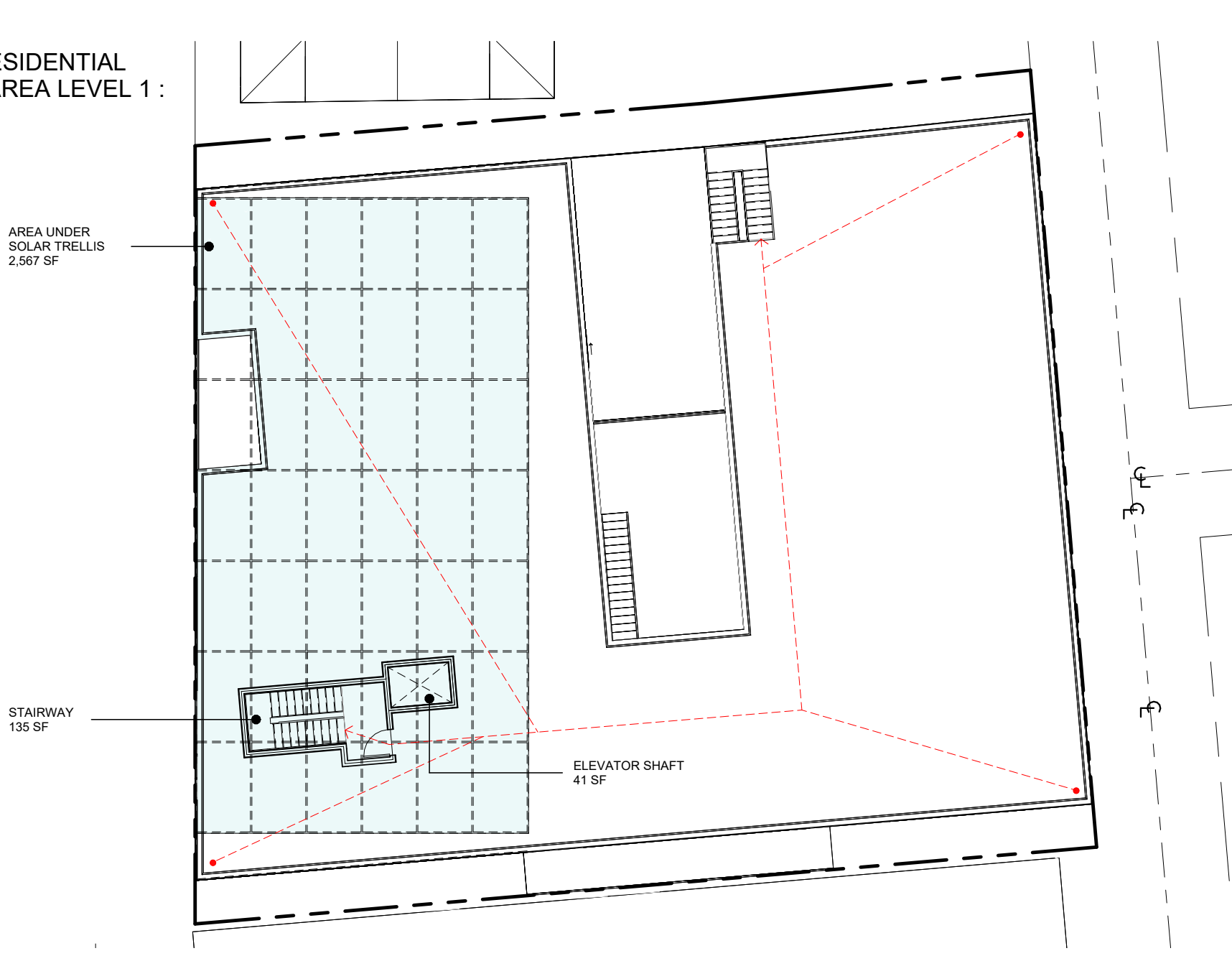
TOTAL COMMERCIAL
ZONING AREA LEVEL 1 :
556 SF

TOTAL RESIDENTIAL
ZONING AREA LEVEL 1 :
5,463 SF



5 LEVEL 4 - AREA PLAN
1/16" = 1'-0"

TOTAL RESIDENTIAL
ZONING AREA LEVEL 1 :
2,743 SF



6 ROOF DECK - AREA PLAN
1/16" = 1'-0"

AREA CALCULATION

LEVEL B1 PARKING

ROOM NAME	ZONING AREA
RESIDENTIAL PARKING GARAGE	0 SF
BIKE PARKING SPACE	0 SF
PARKING GARAGE DRIVEWAY	0 SF

LEVEL 1

ROOM NAME	ZONING AREA
RESTAURANT 1	1,276 SF
TAKE-OUT RESTAURANT	295 SF
RESIDENTIAL LOBBY	236 SF
RESTAURANT 2	527 SF
KITCHEN 1	576 SF
KITCHEN 2	710 SF
RESTAURANT LOBBY	292 SF
RESTAURANT RESTROOMS	334 SF
EGRESS PATH 1	79 SF
COVERED OUTDOOR HALLWAY	354 SF
COMMERCIAL TRASH/ RECYCLING ROOM	178 SF
RESIDENTIAL TRASH/ RECYCLING ROOM	130 SF
TOTAL RESIDENTIAL ZONING AREA L1	445 SF
TOTAL COMMERCIAL ZONING AREA L1	4,542 SF

LEVEL 2

ROOM NAME	ZONING AREA
RESIDENTIAL UNITS 1-4	2,087 SF
RESIDENTIAL UNIT 5	503 SF
RESIDENTIAL UNITS 6-10	2,598 SF
OFFICE	656 SF
RESIDENTIAL TRASH/ RECYCLING ROOM	45 SF
RESIDENTIAL LOBBY	676 SF
COVERED PRIVATE DECKS UNITS 1-5	442 SF
TOTAL RESIDENTIAL ZONING AREA L2	6,351 SF
TOTAL COMMERCIAL ZONING AREA L2	656 SF

LEVEL 3

ROOM NAME	ZONING AREA
RESIDENTIAL UNITS 11-14	2,204 SF
RESIDENTIAL UNITS 15-19	2,646 SF
RESTAURANT	648 SF
KITCHEN	347 SF
COVERED PRIVATE DECKS UNITS 12, 14	185 SF
COVERED PRIVATE DECK RESTAURANT	59 SF
TOTAL RESIDENTIAL ZONING AREA L3	5,035 SF
TOTAL COMMERCIAL ZONING AREA L3	1,054 SF

LEVEL 4

ROOM NAME	ZONING AREA
RESIDENTIAL UNITS 11-14	1,949 SF
RESIDENTIAL UNITS 15-19	2,398 SF
RESIDENTIAL LOBBY	765 SF
BAR/ RESTAURANT	434 SF
KITCHEN/ FREEZER	122 SF
COVERED PRIVATE DECKS UNITS 11-14	351 SF
TOTAL RESIDENTIAL ZONING AREA L4	5,463 SF
TOTAL COMMERCIAL ZONING AREA L4	556 SF

ROOF LEVEL

AREA	ZONING AREA
AREA UNDER SOLAR TRELLIS	2,567 SF
AREA OF STAIRWAY	135 SF
AREA OF ELEVATOR SHAFT	41 SF
TOTAL RESIDENTIAL ZONING AREA L4	2,743 SF

TOTAL RESIDENTIAL ZONING AREA	20,037 SF
TOTAL COMMERCIAL ZONING AREA	6,808 SF
TOTAL ZONING AREA:	26,845 SF

ALLOWABLE FLOOR AREA WITH 1.5 : 1 FAR :	13,635 SF
PROPOSED FLOOR AREA WITH 2.95 : 1 FAR :	26,845 SF

AREA DIAGRAMS LEGEND

- RESIDENTIAL ZONING AREA
- COMMERCIAL ZONING AREA

BLANK SPACE

Mixed-Use New Construction

1410-1422 Main St
Venice CA 90291

OWNER

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ISSUE DATE
AUG 1, 2025

Number Date Description

TITLE - AREAS

T101

OPEN SPACE NOTE AND CALCULATION

LAMC 12.21 G.2.(a)(3)

A minimum of 25 percent of the common open space area shall be planted with ground cover, shrubs or trees. At least one 24-inch box tree for every four dwelling units shall be provided on site and may include street trees in the parkway. For a surface area not located directly on finished grade that is used for common open space, and located at ground level or the first habitable room level, shrubs and/or trees shall be contained within permanent planters at least 30-inches in depth, and lawn or ground cover shall be at least 12-inches in depth. All required landscaped areas shall be equipped with an automatic irrigation system and be properly drained.

REQUIRED OPEN SPACE:

5XSTUDIO = 1 HABIT. ROOM = 5X100 = 500 SF
5X1 BR = 2 HABIT. ROOMS = 5X100 = 500 SF
9X2 BR = 3 HABIT. ROOMS = 9X125 SF = 1,125 SF

TOTAL REQUIRED OPEN SPACE = **2,125 SF**

PROVIDED OPEN SPACE:

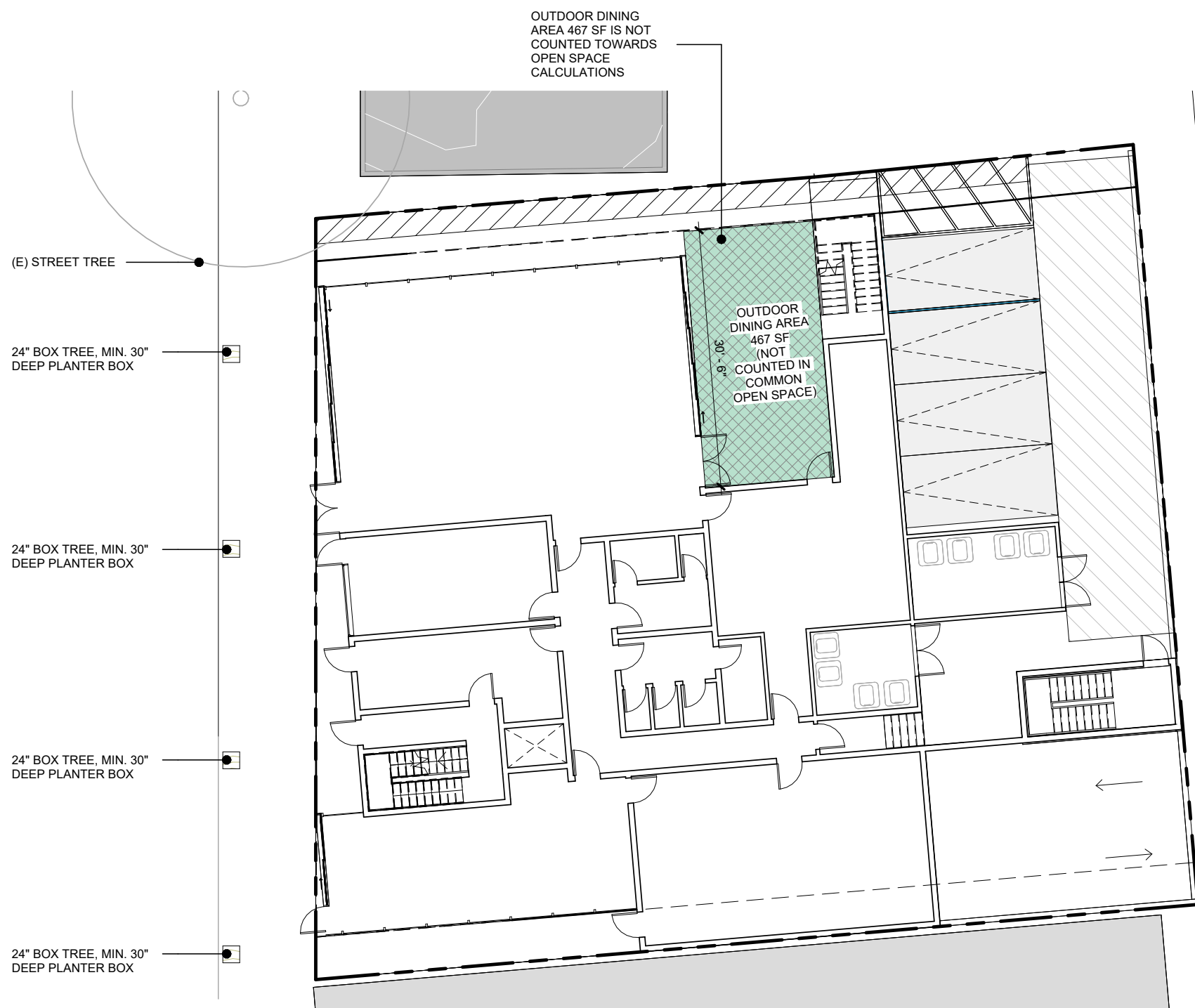
2,883 SF COMMON OPEN SPACE ON ROOF DECK
(1,106 SF LANDSCAPED)

TOTAL PROVIDED OPEN SPACE = **2,883 SF**

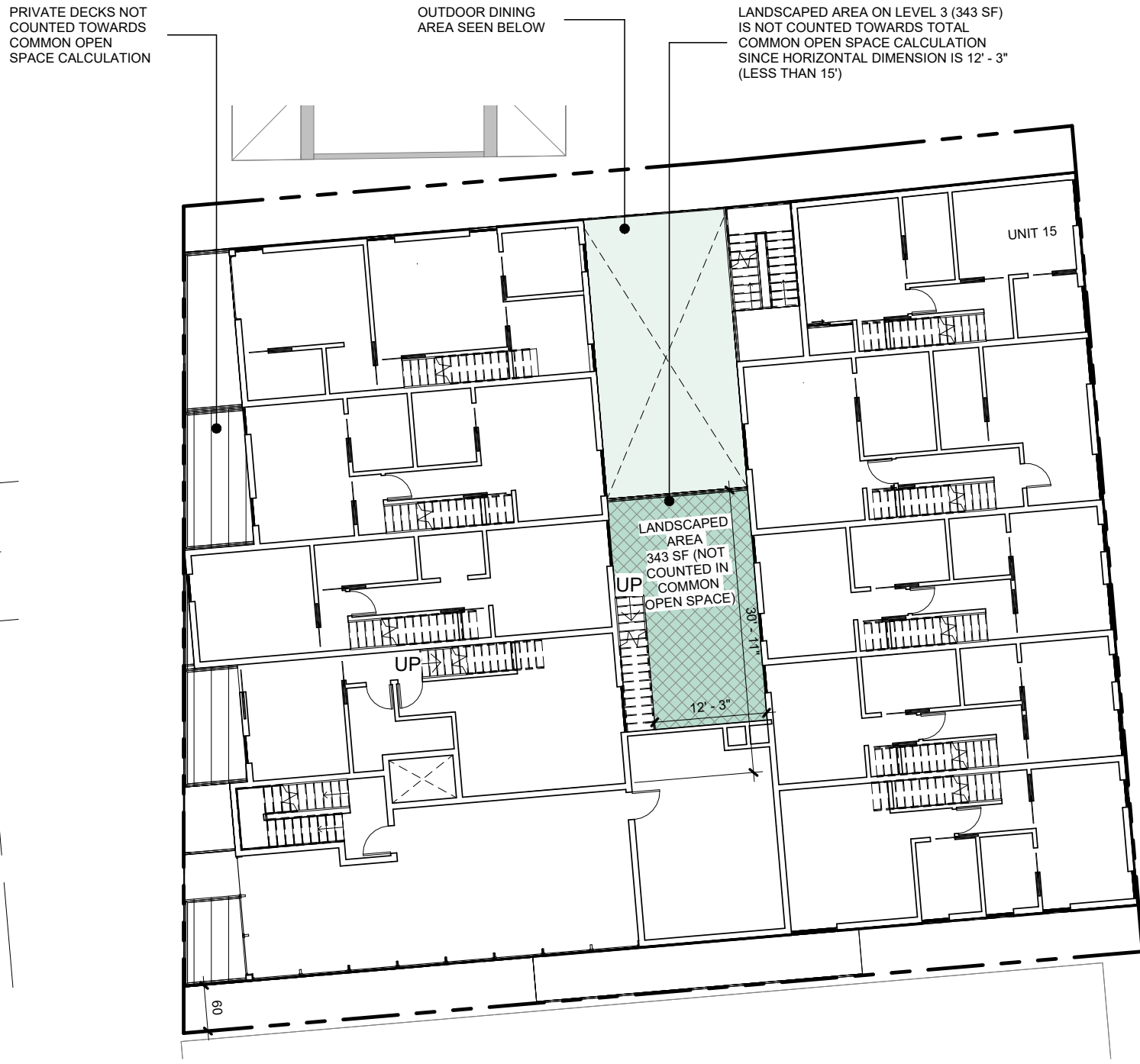
% LANDSCAPED OPEN SPACE =
1,106 / 2,883 = **38.3%**

PROPOSED TREES:

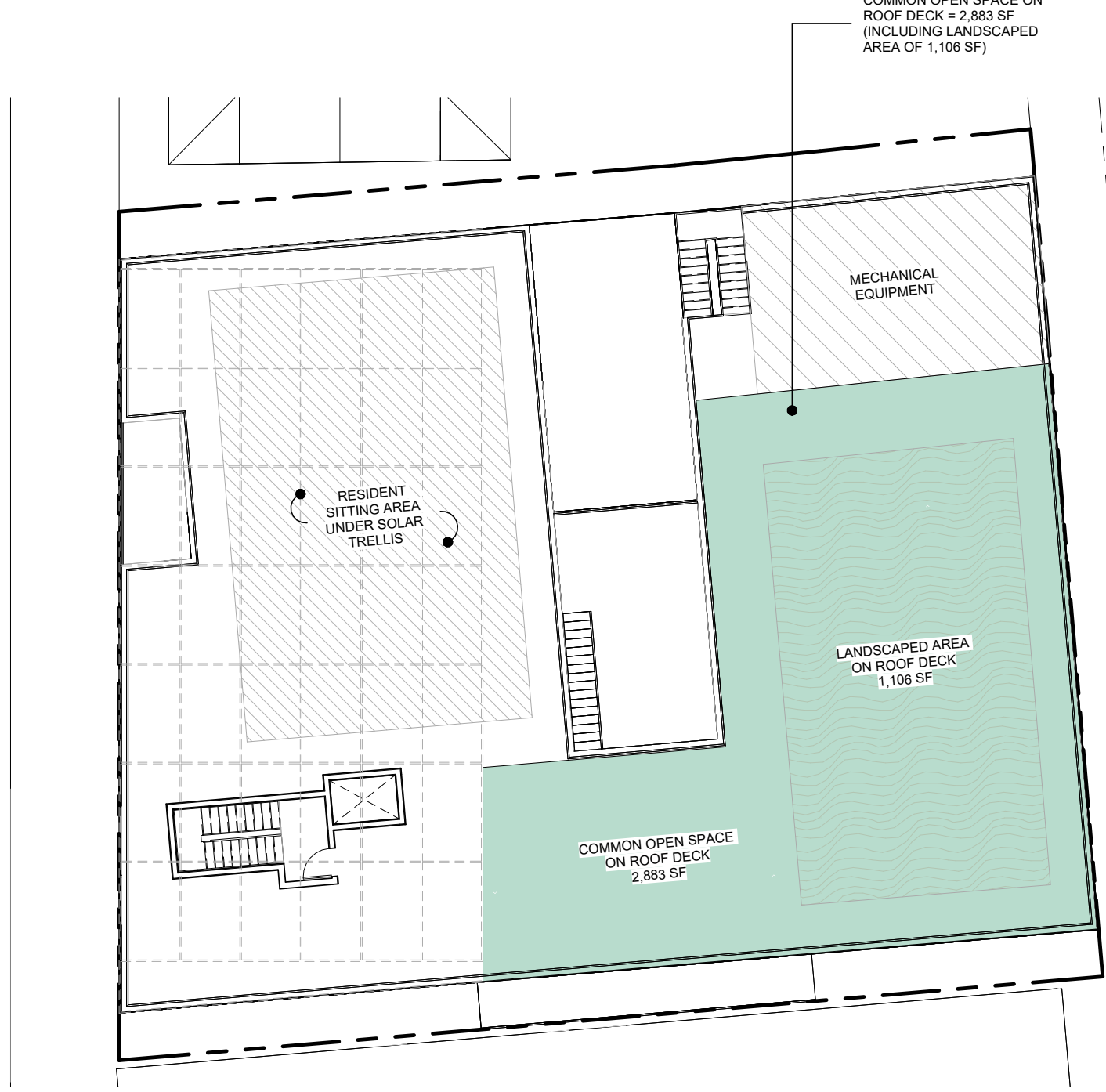
1 STREET TREE + 4 24-INCH BOX TREES ON SITE
= 5 TREES PROPOSED (REQUIRED = 5)



1 LEVEL 1 - OPEN SPACE DIAGRAM
1/16" = 1'-0"



2 LEVEL 3 - OPEN SPACE DIAGRAM
1/16" = 1'-0"



5 ROOF DECK - OPEN SPACE DIAGRAM
1/16" = 1'-0"

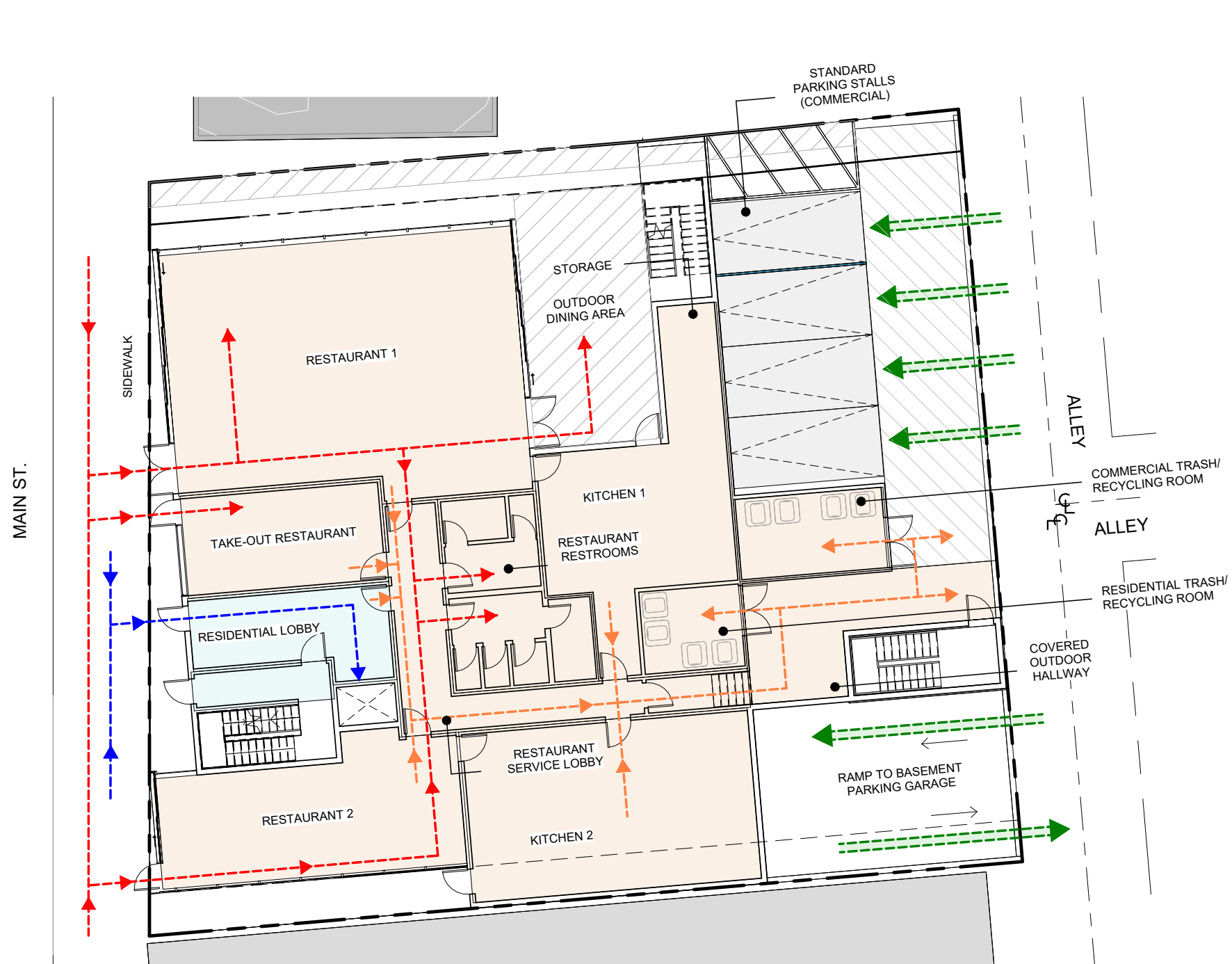
EGRESS CALCULATIONS

USE	EXITS	COMMON PATH OF EGRESS TRAVEL DISTANCE (FT.)
LEVEL B1		
PARKING GARAGE	2	90
LEVEL 1		
RESTAURANT 1	2	23
TAKE-OUT RESTAURANT	1	30
RESTAURANT 2	1	47
KITCHEN 1	1	26
KITCHEN 2	2	14
RESTROOMS	2	28
COMMERCIAL TRASH	1	20
RESIDENTIAL TRASH	1	11
LEVEL 2		
OFFICE SPACE	2	52
UNIT 1	2	66
UNIT 2	2	49
UNIT 3	2	47
UNIT 4	2	44
UNIT 5	2	42
UNIT 6	2	65
UNIT 7	2	55
UNIT 8	2	50
UNIT 9	2	63
UNIT 10	2	79
LEVEL 3		
RESTAURANT	1	26
KITCHEN	1	55
LEVEL 4		
UNIT 11	2	103
UNIT 12	2	95
UNIT 13	2	90
UNIT 14	2	74
UNIT 15	2	64
UNIT 16	2	68
UNIT 17	2	61
UNIT 18	2	59
UNIT 19	2	62
BAR/ RESTAURANT	2	40
KITCHEN/ FREEZER	2	51
LEVEL ROOF DECK		
ROOF DECK	2	72

OCCUPANT LOAD CALCULATION (OCCUPANT LOAD FACTOR PER TABLE 1004.5, CBC)

USE	OCCUPANCY	AREA (SF)	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
LEVEL 1				
RESTAURANT SEATING	A-2	2,095	15	140
KITCHEN	A-2	1,279	200	7
LEVEL 2				
RESIDENTIAL	R-4	5,188	200	26
OFFICE SPACE	B	701	100	7
LEVEL 3				
RESIDENTIAL	R-4	4,962	200	25
RESTAURANT SEATING	A-2	648	15	44
KITCHEN	A-2	268	200	2
LEVEL 4				
RESIDENTIAL	R-4	4,340	200	22
RESTAURANT SEATING	A-2	434	15	29
KITCHEN	A-2	122	200	1

LEVEL 1 - PEDESTRIAN/ VEHICULAR CIRCULATION DIAGRAM



3 LEVEL 1 - CIRCULATION PLAN
1/16" = 1'-0"

- RESIDENTIAL ZONING AREA
- COMMERCIAL ZONING AREA
- PEDESTRIAN CIRCULATION (COMMERCIAL)
- PEDESTRIAN CIRCULATION (RESIDENTIAL)
- PEDESTRIAN SERVICE ROUTE FOR TRASH REMOVAL/ BACK OF HOUSE AREAS (RESIDENTIAL AND COMMERCIAL)
- VEHICULAR CIRCULATION (RESIDENTIAL & COMMERCIAL)

OPEN SPACE DIAGRAMS LEGEND

- LANDSCAPING PLANTER BOX
- LANDSCAPED AREA
- OPEN SPACE AREA COUNTED TOWARDS COMMON OPEN SPACE REQUIREMENT CALCULATION
- OPEN SPACE AREA NOT COUNTED TOWARDS COMMON OPEN SPACE REQUIREMENT CALCULATION

BLANK SPACE

Mixed-Use New Construction

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ISSUE DATE
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TITLE - AREAS

T102



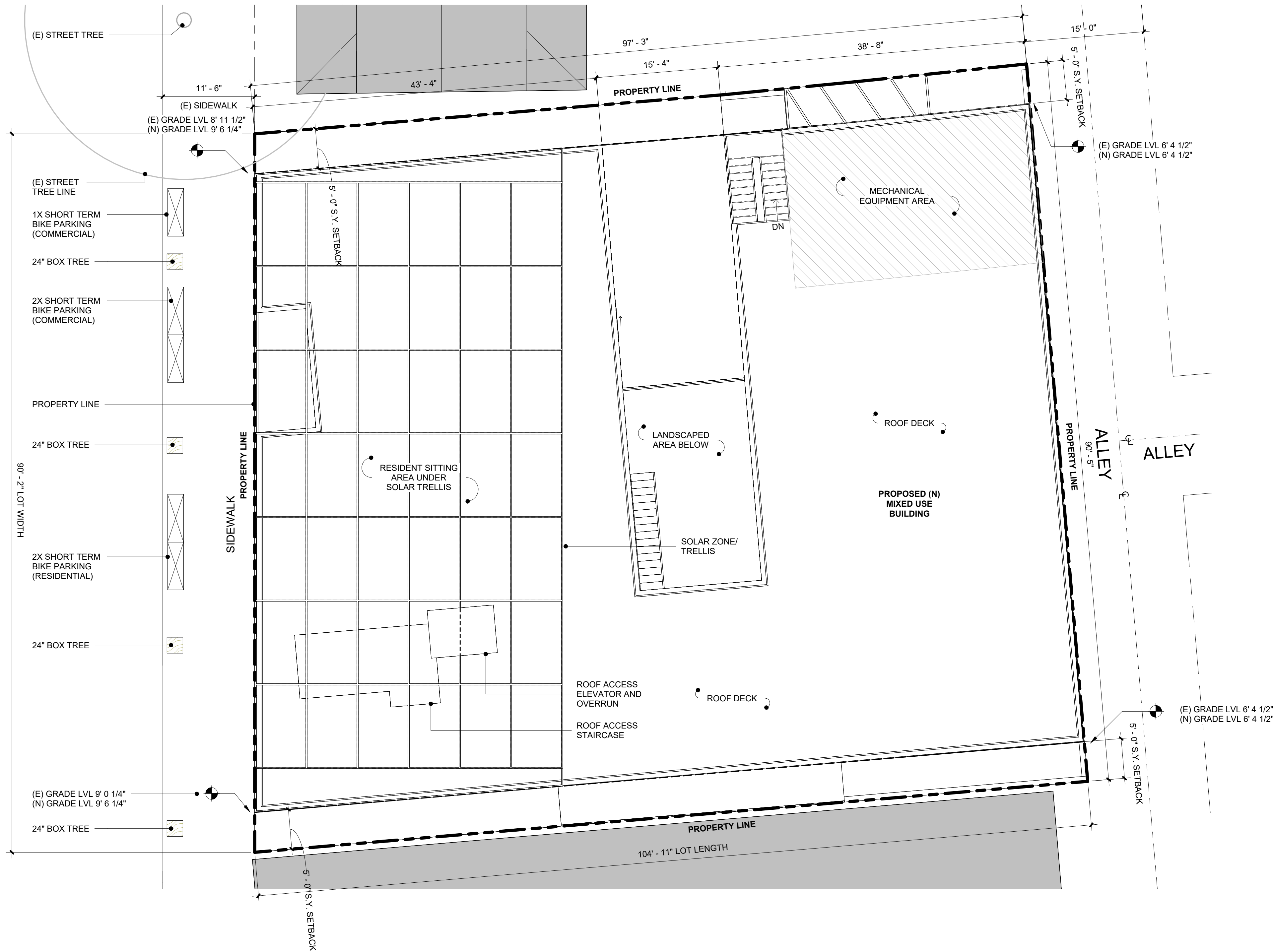
Mixed-Use New Construction

1410-1422 Main St
Venice CA 90291

SURVEY

C100

FOR REFERENCE ONLY



- SITE LEGEND**
- PROPERTY LINE
 - SETBACK
 - SITE DRAIN WITH SLOPE
 - DIRECTION OF SITE DRAIN SLOPE

STREET DEDICATION REQUIREMENT

Dedication of 2.5 ft required along property street frontage (alley) to complete the 10 ft half alley right-of-way.

The project requests to waive this street dedication, as it qualifies for Density Bonus Incentives and Waivers of Development Standards pursuant to LAMC Section 12.22 A-25 (c)

Note: AB 3177 (Wendy Carrillo) prohibits a local agency from imposing a land dedication requirement on a housing development for the purpose of mitigating vehicular traffic impacts or achieving an adopted traffic level of service related to vehicular traffic

BLANK SPACE

Mixed-Use New Construction

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SITE PLAN

A100



PER LAMC 12.21, C.6.6, EVERY
REQUIRED LOADING SPACE
SHALL HAVE A MINIMUM WIDTH
OF 20' MEASURED ALONG THE
ALLEY LINE AND A MINIMUM
WIDTH OF 10' MEASURED
PERPENDICULARLY TO THE
ALLEY LINE

1 LEVEL 1
3/16" = 1'-0"

Mixed-Use New Construction

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ISSUE DATE
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Number	Date	Description

BUILDING PLANS
L01

A101



1 LEVEL 2
3/16" = 1'-0"

Mixed-Use New Construction

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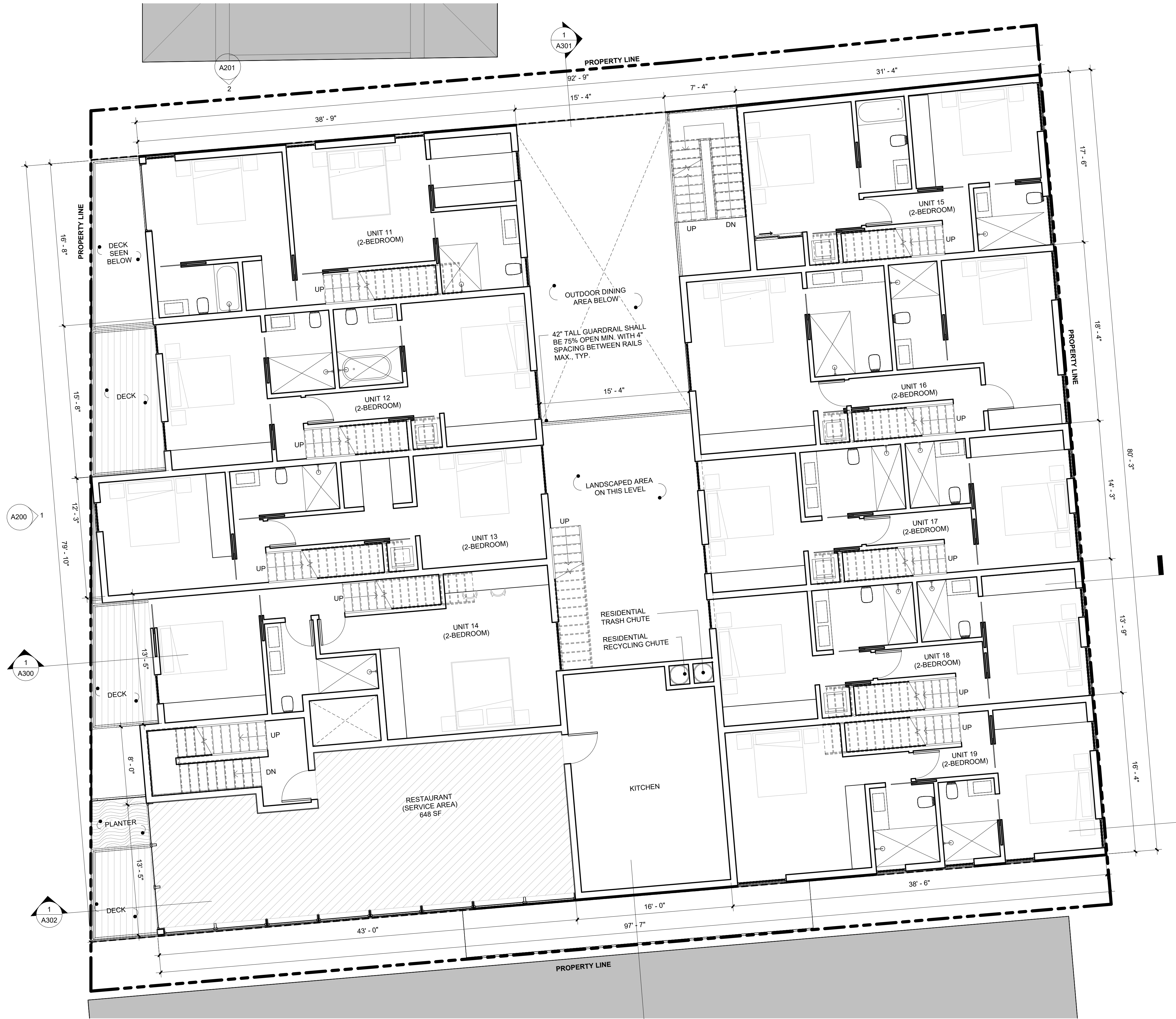


ISSUE DATE
AUG 1, 2025

Number	Date	Description
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BUILDING PLANS
L02

A102



1 LEVEL 3
3/16" = 1'-0"

Mixed-Use New Construction

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Venice CA 90291

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THREE ON THE TREE LLC
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ISSUE DATE
AUG 1, 2025

Number	Date	Description

BUILDING PLANS
L03

A103



1 LEVEL 4
3/16" = 1'-0"

BLANK SPACE

Mixed-Use New Construction

1410-1422 Main St
Venice CA 90291

OWNER
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23823 MALIBU RD.
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BUILDING PLANS
L04

A104

MAIN ST

SIDEWALK



1 ROOF DECK
3/16" = 1'-0"

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ROOF PLAN

A105



1 LV B1 PARKING
3/16" = 1'-0"

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BASEMENT PLAN
B1

A106



1 ELEVATION FRONT
3/16" = 1'-0"

GROUND FLOOR STREET WALL AREA CALCULATIONS

Per Venice Coastal Zone Specific Plan Section 11.B 1.b, atleast 50% of the area of the ground floor street wall of a commercial Venice coastal developement project shall be devoted to pedestrain entrances, display windows or windows offering views into retail, office gallery or lobby space	
TOTAL AREA OF GROUND FLOOR STREET WALL :	1,037 SF
AREA OF PEDESTRIAN ENTRANCES AND DISPLAY WINDOWS ON GROUND FLOOR STREET WALL :	590 SF
% OF AREA OF PEDESTRIAN ENTRANCES AND DISPLAY WINDOWS ON GROUND FLOOR STREET WALL :	590*100/1,037 = 56.9%

MATERIALS, TEXTURES AND COLORS

EXTERIOR METAL RAINSCREEN- DARK PERFORATED CORTEN STEEL	
EXTERIOR METAL SIDING- DARK CORTEN STEEL	
STEEL GUARDRAIL	

DOOR AND WINDOW FRAMES/ CURTAIN WALL- ANODIZED ALUMINUM, DARK BRONZE	
STEEL TRELLIS	

MATERIAL LEGEND

	EXTERIOR METAL RAINSCREEN - DARK PERFORATED CORTEN STEEL
	EXTERIOR METAL SIDING- DARK CORTEN STEEL
	WINDOWS/ DOORS/ CURTAIN WALL - FRAMES - ANODIZED ALUMINUM, DARK BRONZE
	SOLAR PANELS IN STEEL TRELLIS

BLANK SPACE

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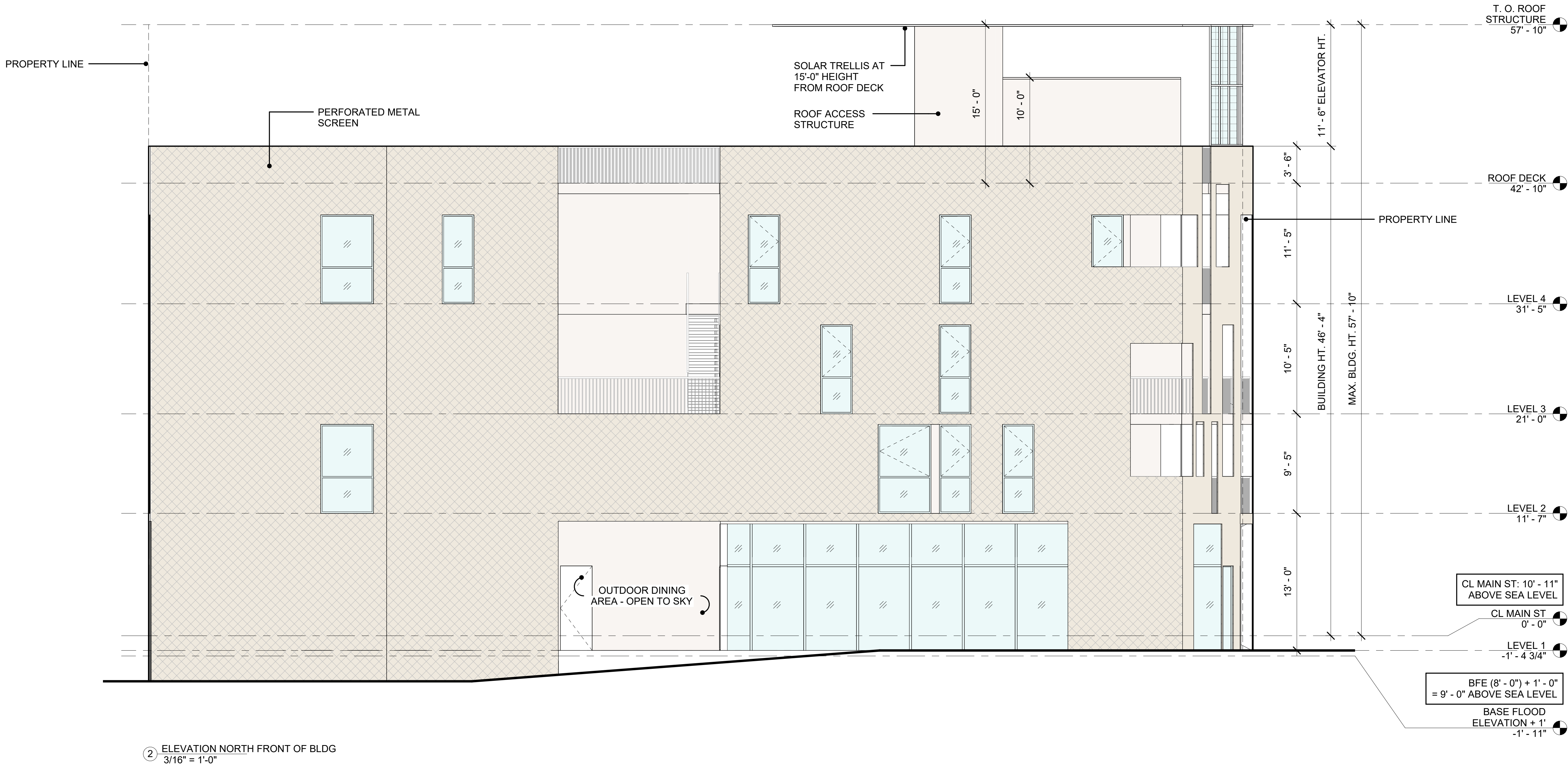


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ELEVATIONS

A200



② ELEVATION NORTH FRONT OF BLDG
3/16" = 1'-0"

MATERIALS, TEXTURES AND COLORS				MATERIAL LEGEND	BLANK SPACE
EXTERIOR METAL RAINSCREEN- DARK PERFORATED CORTEN STEEL		DOOR AND WINDOW FRAMES/ CURTAIN WALL- ANODIZED ALUMINUM, DARK BRONZE		EXTERIOR METAL RAINSCREEN - DARK PERFORATED CORTEN STEEL	
EXTERIOR METAL SIDING- DARK CORTEN STEEL		STEEL TRELLIS		EXTERIOR METAL SIDING- DARK CORTEN STEEL	
STEEL GUARDRAIL				WINDOWS/ DOORS/ CURTAIN WALL - FRAMES - ANODIZED ALUMINUM, DARK BRONZE	
				SOLAR PANELS IN STEEL TRELLIS	

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ELEVATIONS

A201



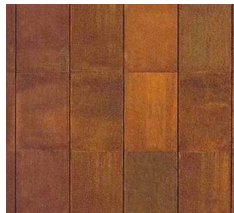
① ELEVATION SOUTH
3/16" = 1'-0"

MATERIALS, TEXTURES AND COLORS

EXTERIOR METAL RAINSCREEN-
DARK PERFORATED CORTEN
STEEL



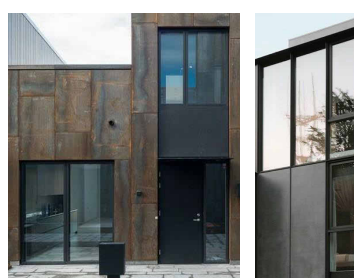
EXTERIOR METAL SIDING-
DARK CORTEN STEEL



STEEL GUARDRAIL



DOOR AND WINDOW FRAMES/
CURTAIN WALL-
ANODIZED ALUMINUM, DARK
BRONZE



STEEL TRELLIS



MATERIAL LEGEND



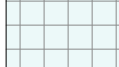
EXTERIOR METAL
RAINSREEN - DARK
PERFORATED CORTEN
STEEL



EXTERIOR METAL SIDING-
DARK CORTEN STEEL



WINDOWS/ DOORS/
CURTAIN WALL - FRAMES -
ANODIZED ALUMINUM,
DARK BRONZE



SOLAR PANELS IN STEEL
TRELLIS

BLANK SPACE

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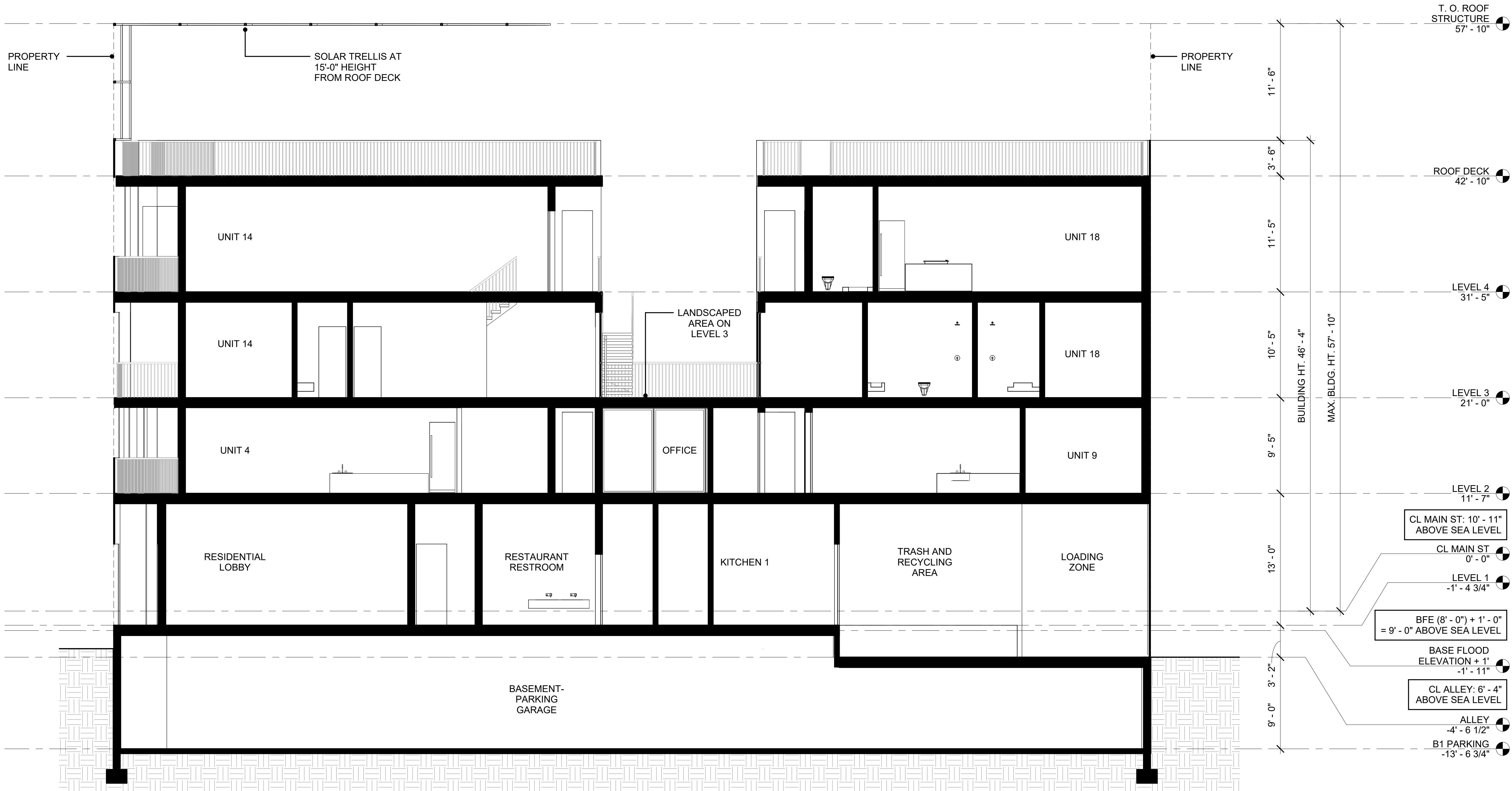


ISSUE DATE
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ELEVATIONS

A203



1 BUILDING SECTION 1
3/16" = 1'-0"

BLANK SPACE

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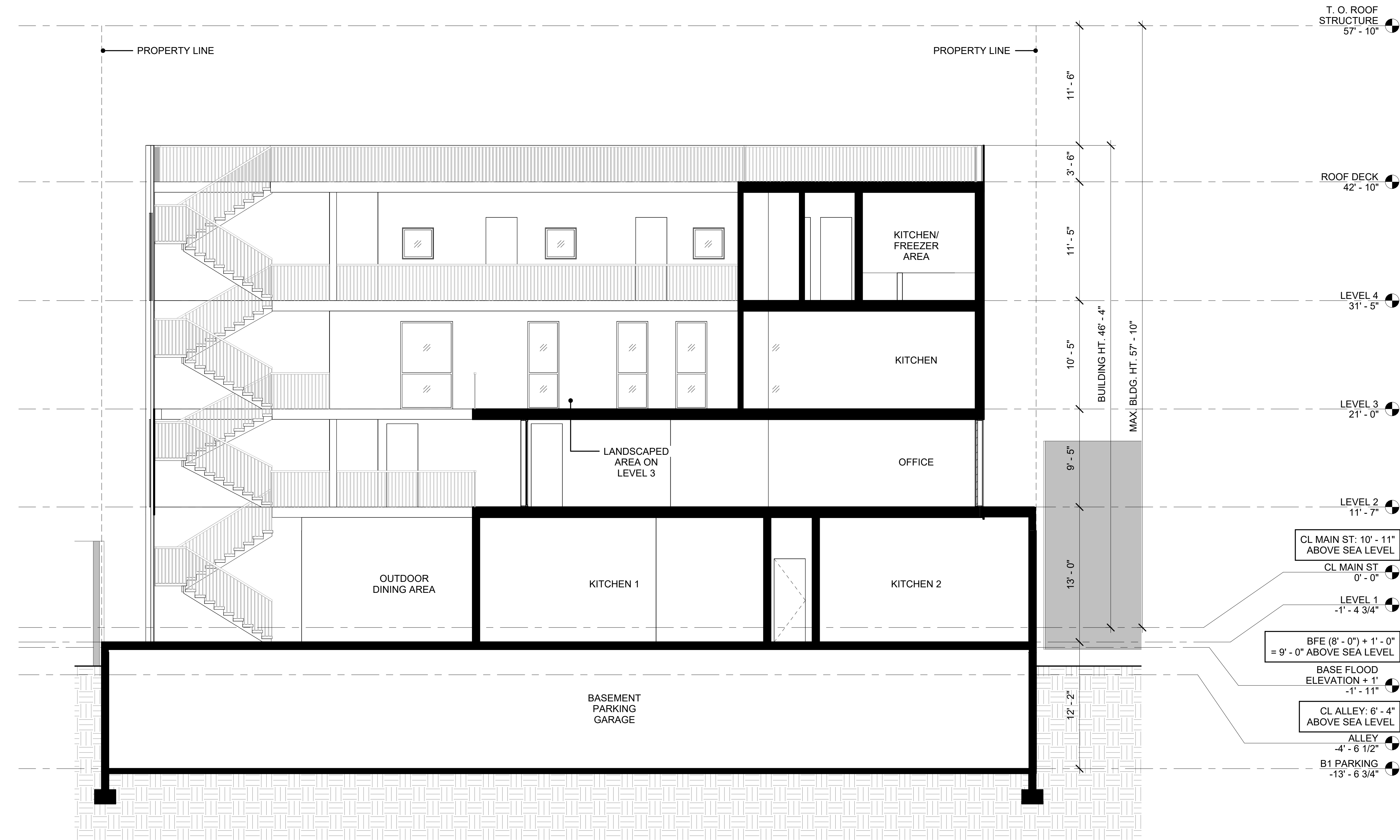


ISSUE DATE
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-	-	-

SECTIONS

A300



1 BUILDING SECTION 2
3/16" = 1'-0"

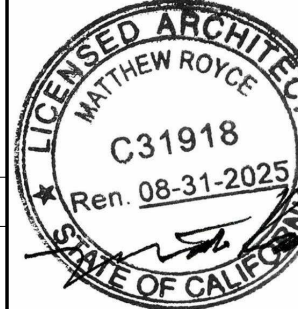
BLANK SPACE

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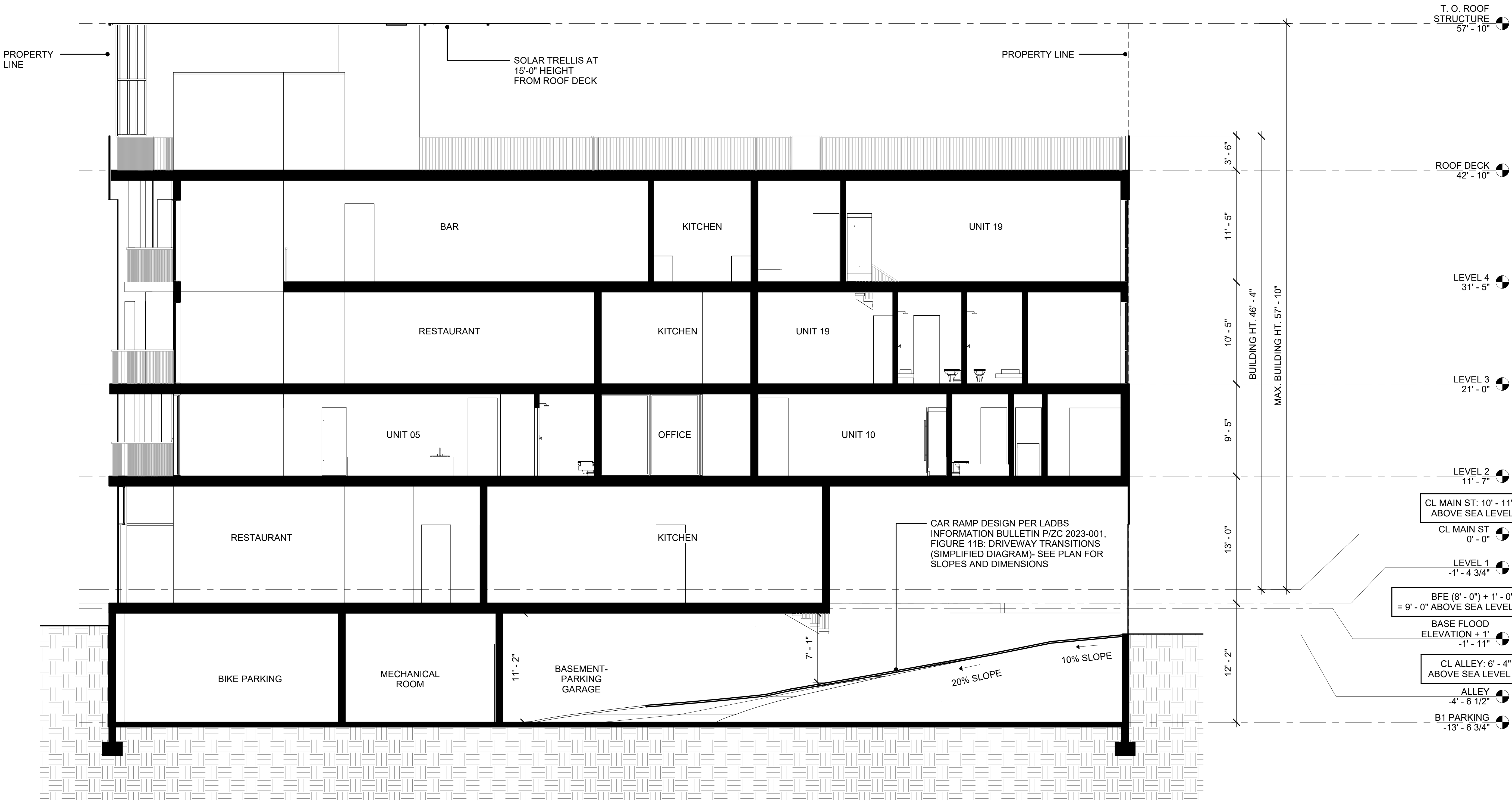


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SECTIONS

A301



1 BUILDING SECTION 3
3/16" = 1'-0"

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SECTIONS

A302



Dero Decker

The Dero Decker takes bike parking to the next level. Unlike other decker systems, our mechanical lift-assist top trays slide down inches from the ground, thus requiring only minimal lifting of the bike into the tray while saving valuable floor space. The Dero Decker has a front wheel safety locking lever and dampers to provide safe lowering of upper trays. Add the e-bike charging option to let users power up their ride while parked.

02003

Dero Decker



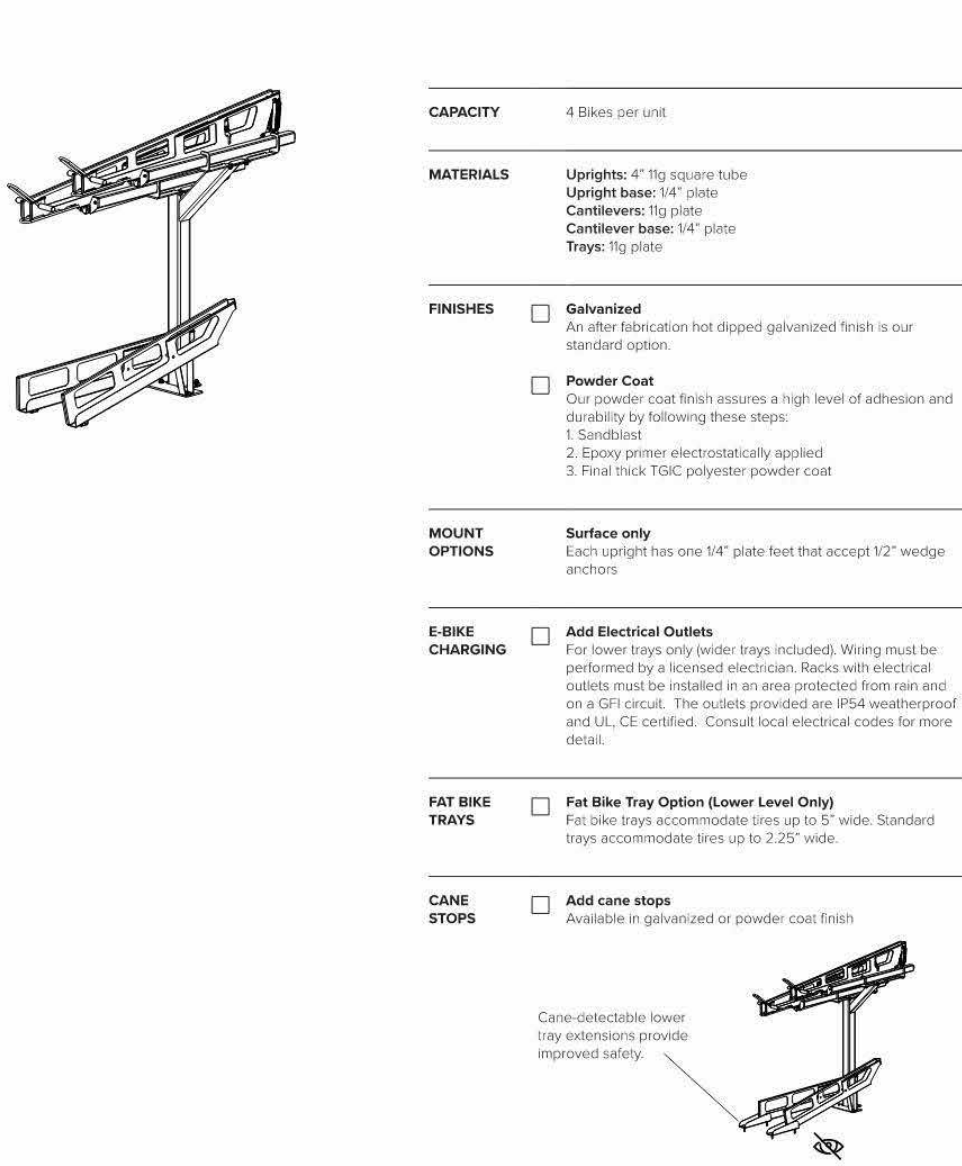
- Sturdy red handle grips
 - Lift-assist trays (weight limit 30lbs)
 - Dampers for safe lowering of trays
 - Spring loaded levels hold bikes firmly in place
 - ULock compatible
 - E-bike charging option available (lower level only)
- Smooth and silent operation
 - Simple installation
 - Low maintenance
 - Specially designed fat bike trays available (lower level only)
 - Recommended for e-bike charging option
 - ADA cane-detectable extensions available for lower trays

FINISH OPTIONS



02004

Dero Decker



Submittal Sheet

CAPACITY 4 Bikes per unit

MATERIALS Uprights: 4" x 1/2" square tube
Upright base: 1/4" plate
Cantilever: 1/2" plate
Cantilever base: 1/4" plate
Trays: 1/2" plate

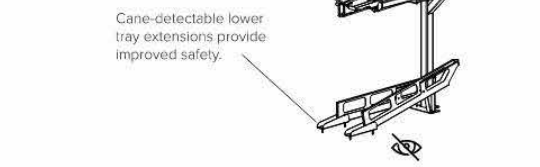
FINISHES ☐ Galvanized An after fabrication hot dipped galvanized finish is our standard option.
☐ Powder Coat Our powder coat finish ensures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGAC polyester powder coat

MOUNT OPTIONS Surface only
Each upright has one 1/4" plate feet that accept 1/2" wedge anchors

E-BIKE CHARGING ☐ Add Electrical Outlets For lower trays only (order trays included). Wiring must be performed by a licensed electrician. Racks with electrical outlets must be installed in an area protected from rain and on a GFI circuit. The outlets provided are IP64 (weatherproof) and UL, CE certified. Consult local electrical codes for more detail.

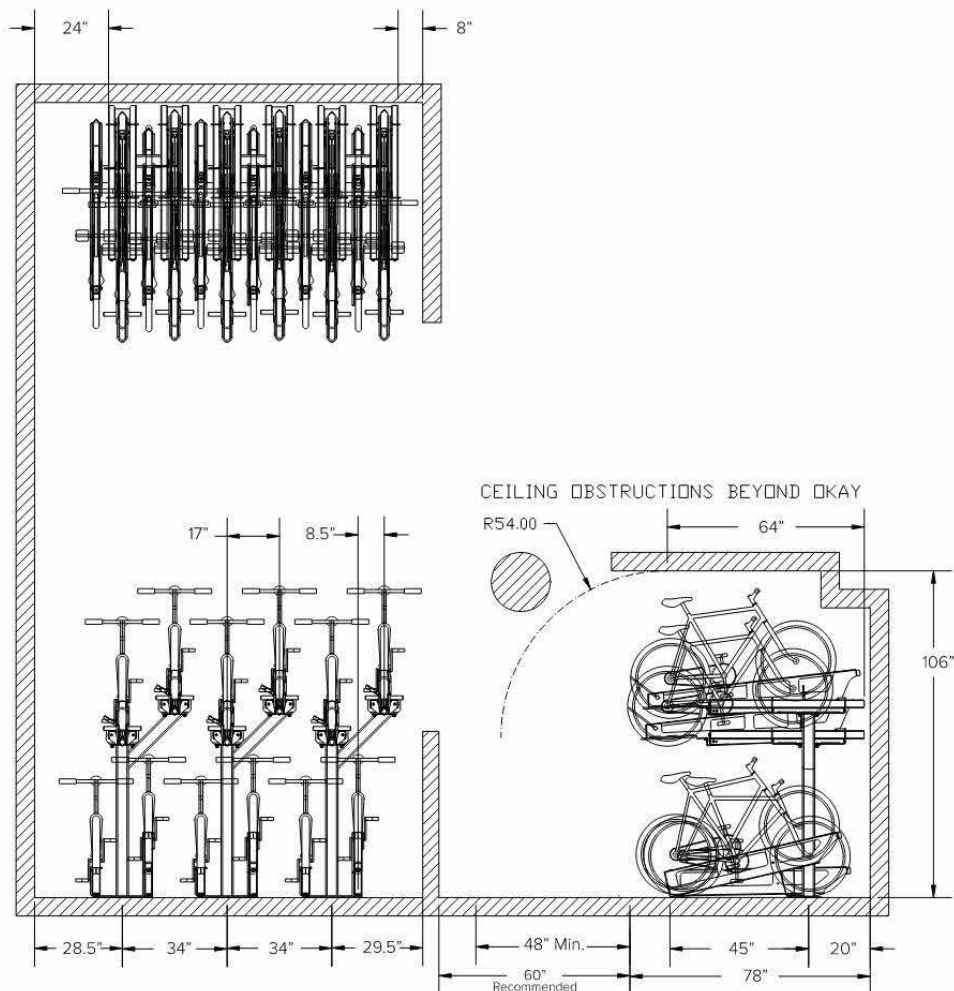
FAT BIKE TRAYS ☐ Fat Bike Tray Option (Lower Level Only) Fat bike trays accommodate tires up to 3" wide. Standard trays accommodate tires up to 2.25" wide.

CANE STOPS ☐ Add cane stops Available in galvanized or powder coat finish



Dero Decker

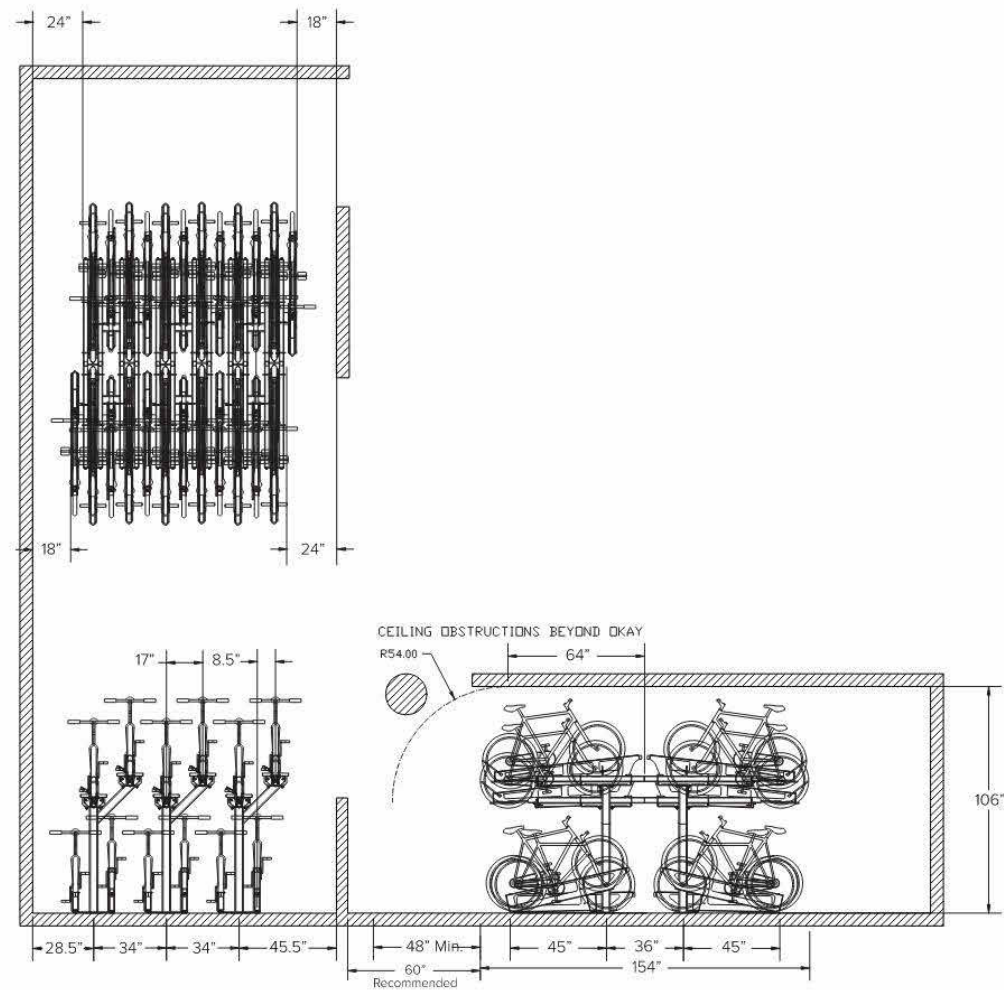
Setbacks Single Sided



02005

Dero Decker

Setbacks Double Sided



02006

Dero Decker

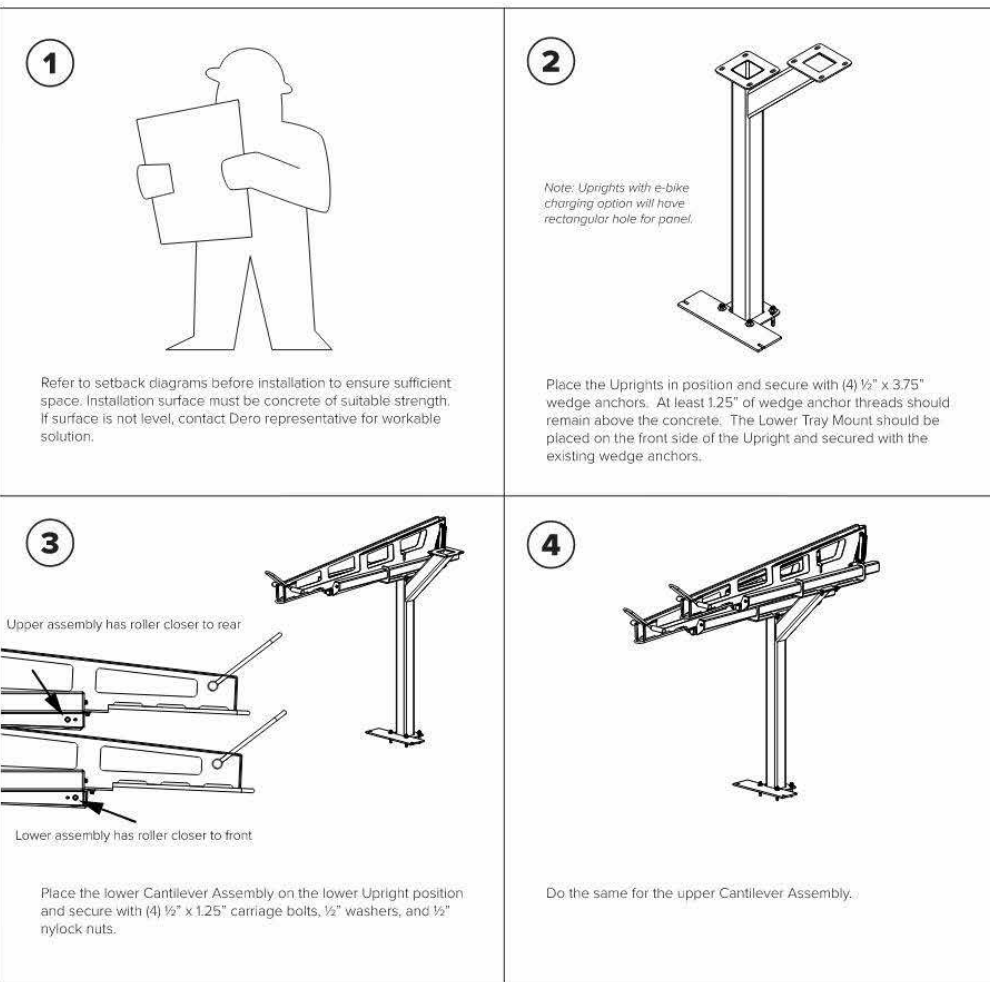
Installation

TOOLS NEEDED

- Hammer drill
 - Measuring tape 3/8" 1/2"
 - Hammer
 - Social wrench
 - Sockets 3/8", 3/4"
 - Socket extension, 4-6"
- Hex wrench, 3/8"
 - Tape measure
 - Chalk line
 - Marker
 - Level

RECOMMENDED BASE MATERIAL

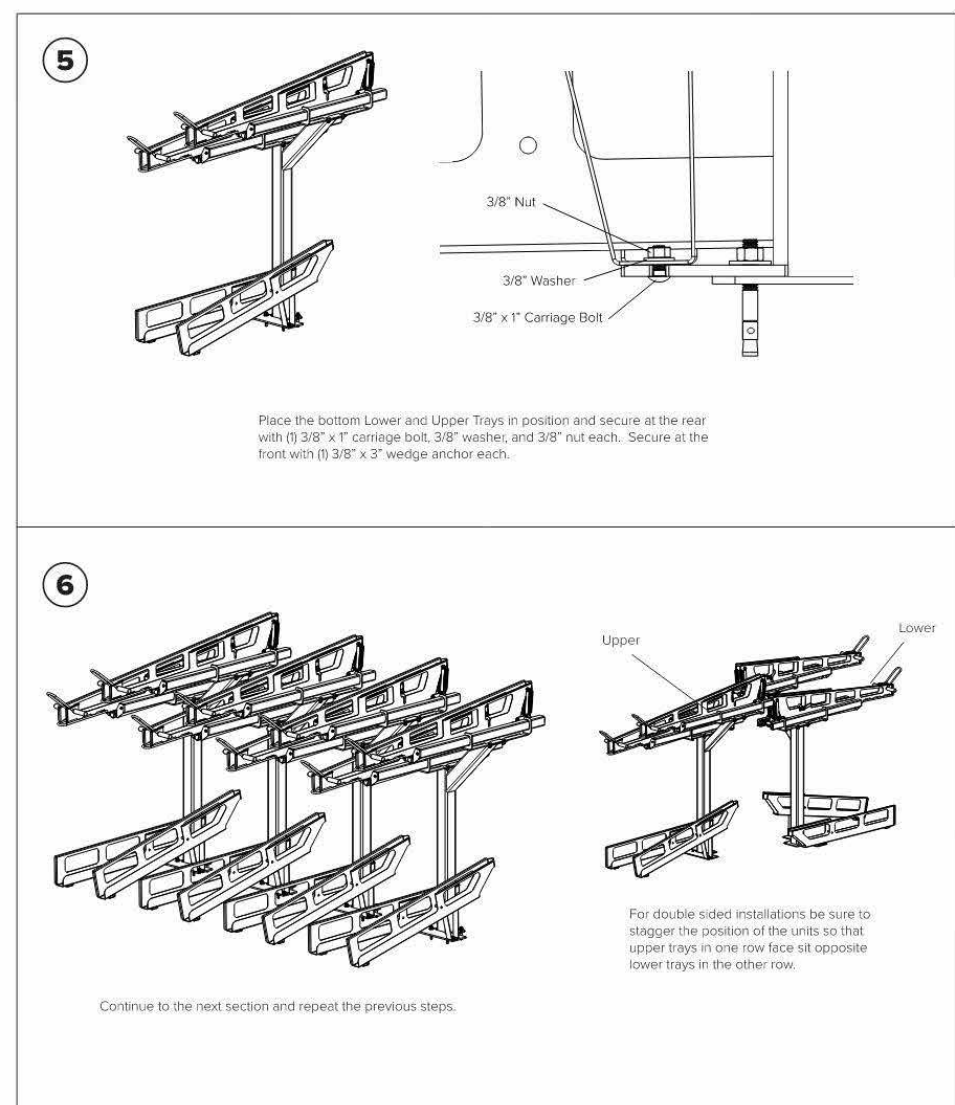
Set concrete is the best base material for installation. To ensure the proper anchors are dropped with your tools, ask your Dero representative which anchor is appropriate for your application. Be sure nothing is underneath the base material that could be damaged by drilling.



02007

Dero Decker

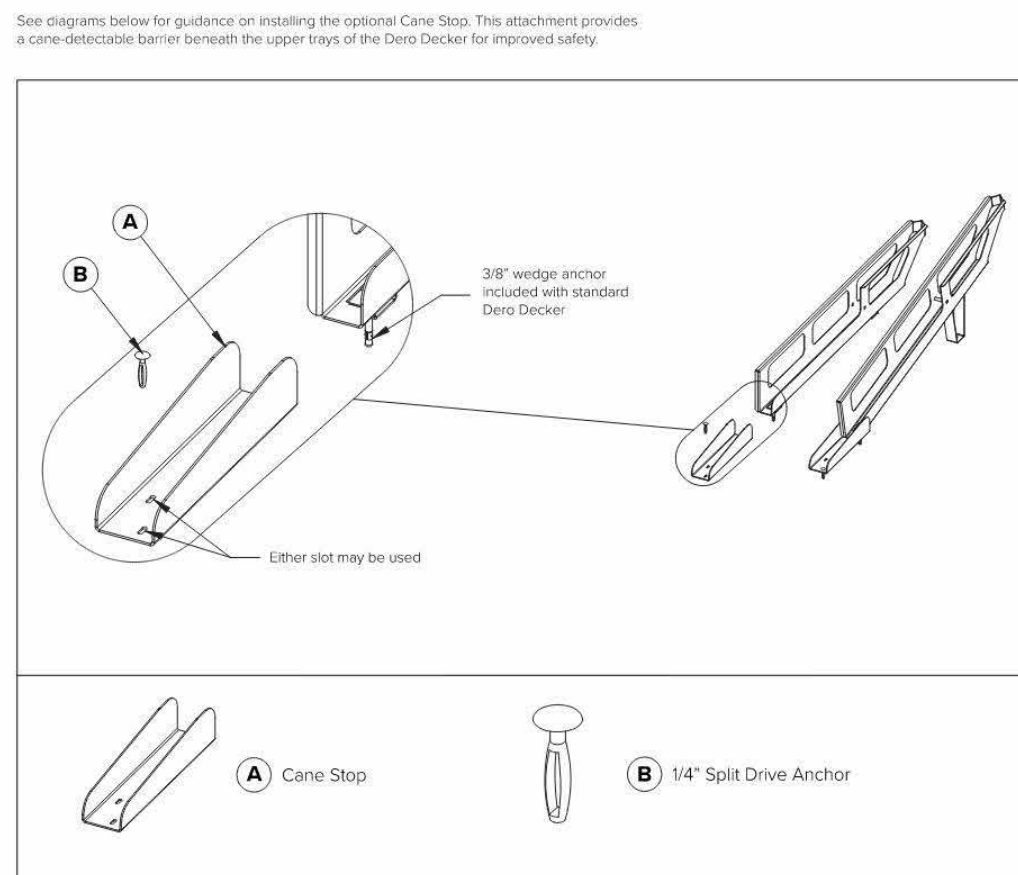
Installation



02008

Dero Decker

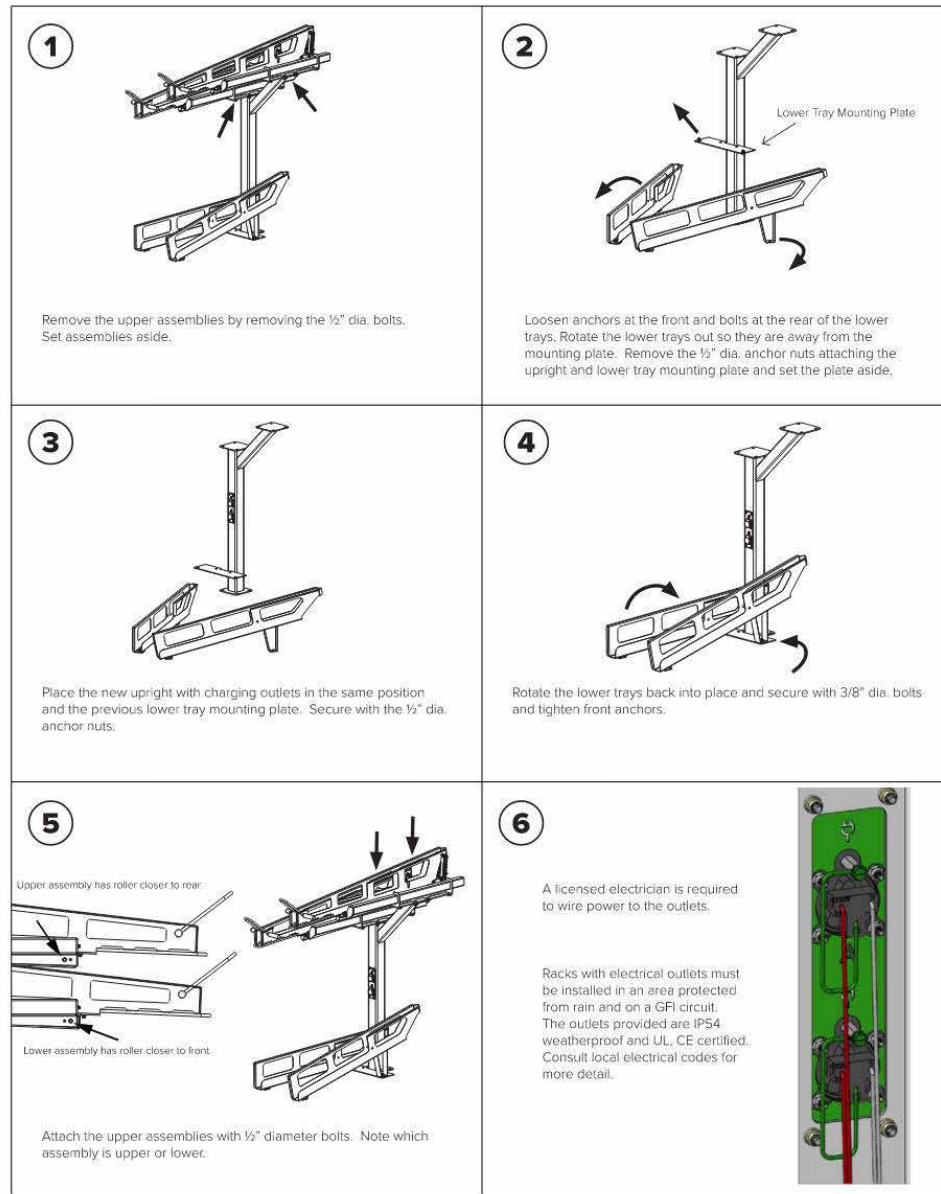
Installation Cane Stops



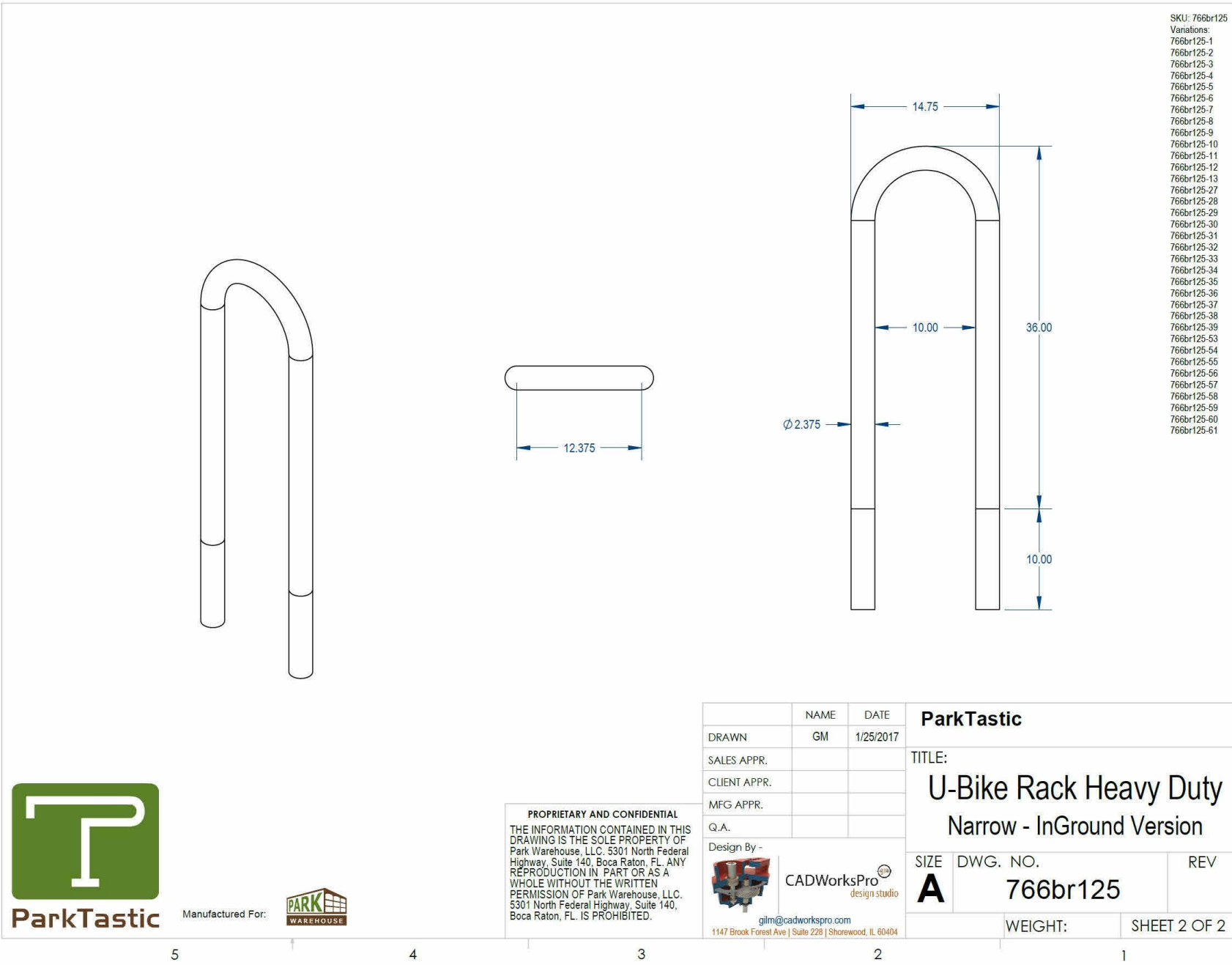
02009

Dero Decker

Installation Charging Option Retrofit



02010



NAME	DATE	ParkTastic
GM	1/25/2017	
SALES APPR.		
CLIENT APPR.		
MEG APPR.		
G.A.		
Design by:		
CADWorksPro		
1147 Brook Forest Ave Suite 220 Thousand Oaks, CA 91320		
REV		
SIZE	DWG. NO.	766br125
WEIGHT:		

1 SHORT TERM BIKE RACKS NTS

LONG TERM BIKE RACK NOTE:

PER LAMC SECTION 12.21 A.16 (e)(1)(i)(b), LONG TERM OR SHORT TERM BICYCLE PARKING MAY BE MOUNTED SO THAT BICYCLES ARE STORED IN A STACKED, TWO-TIER LAYOUT, PROVIDED SUCH PARKING IS PRIMARILY AN ATTENDED BICYCLE FACILITY WHERE THE FACILITY STAFF PARKS THE BICYCLES, OR SUCH RACKS PROVIDE MECHANICAL ASSISTANCE FOR LIFTING THE BICYCLE SPECIFICATION FOR LONG TERM BIKE RACK PROVIDED ON SHEET A602: 2 INCLUDES MECHANICAL ASSISTANCE FOR LIFTING BICYCLES TO THE TOP TIER IN THE TWO-TIER SYSTEM

2 LONG TERM BIKE RACKS NTS

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DETAILS AND
SPECS

A602