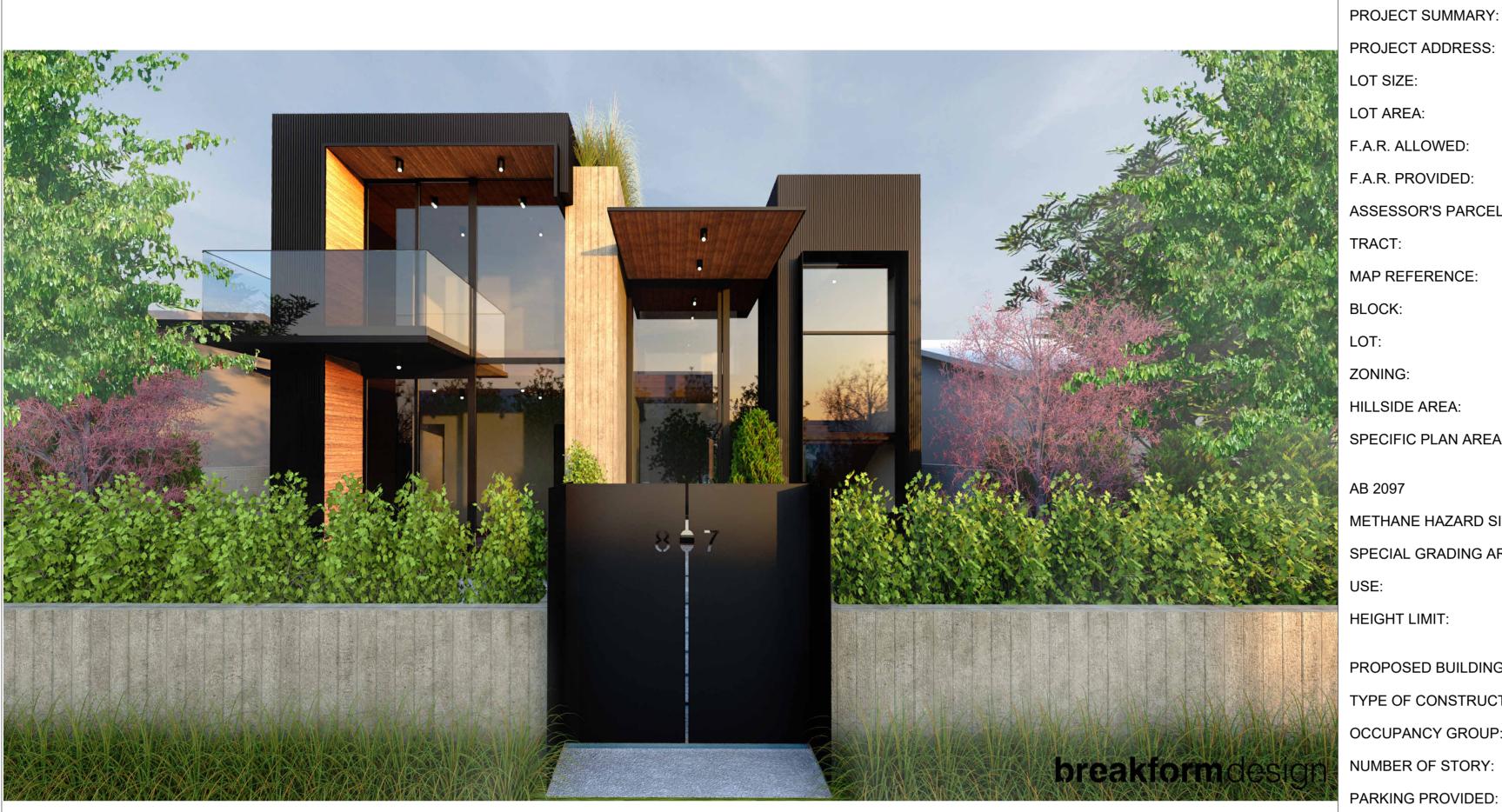
8076THAVE



		PROJECT INFORMATION
	PROJECT SUMMARY:	NEW 2 STORY WITH A BASEMENT AND ROOF DECK SFD + NEW ADU
	PROJECT ADDRESS:	807 S 6TH AVE., LOS ANGELES, CA 90291
	LOT SIZE:	NORTH 135.02' X EAST 44.01' X SOUTH 135.02' X WEST 44'
	LOT AREA:	5,941.57 SF
3 1	F.A.R. ALLOWED:	3:1
	F.A.R. PROVIDED:	1.75:1
	ASSESSOR'S PARCEL #:	4239009014
4	TRACT:	SEA-GIRT TRACT
	MAP REFERENCE:	M B 5-195
	BLOCK:	4
	LOT:	14
	ZONING:	RD1.5-1
	HILLSIDE AREA:	NO
	SPECIFIC PLAN AREA:	VENICE COASTAL ZONE OAKWOOD-MILWOOD-SOUTHEAST VENICE
	AB 2097	YES
6	METHANE HAZARD SITE:	METHANE ZONE
	SPECIAL GRADING AREA:	NO
	USE:	RESIDENTIAL
	HEIGHT LIMIT:	25'-0" FLAT ROOF 30'-0" SLOPED ROOF
	PROPOSED BUILDING HEIGHT:	25'-0" FROM LOWEST POINT TO TOP OF PARAPET
	TYPE OF CONSTRUCTION:	TYPE V-A
	OCCUPANCY GROUP:	R2
	NUMBER OF STORY:	2 STORY + BASEMENT + ROOF DECK
MA	DADKINO DDOVIDED	0.00VEDED DADIVINO ODA OEO

2 COVERED PARKING SPACES

FLOOR AREA BREAKDOWN

BUILDING AREA: (SEE A0.13 B)

Paper Towel Dispenser

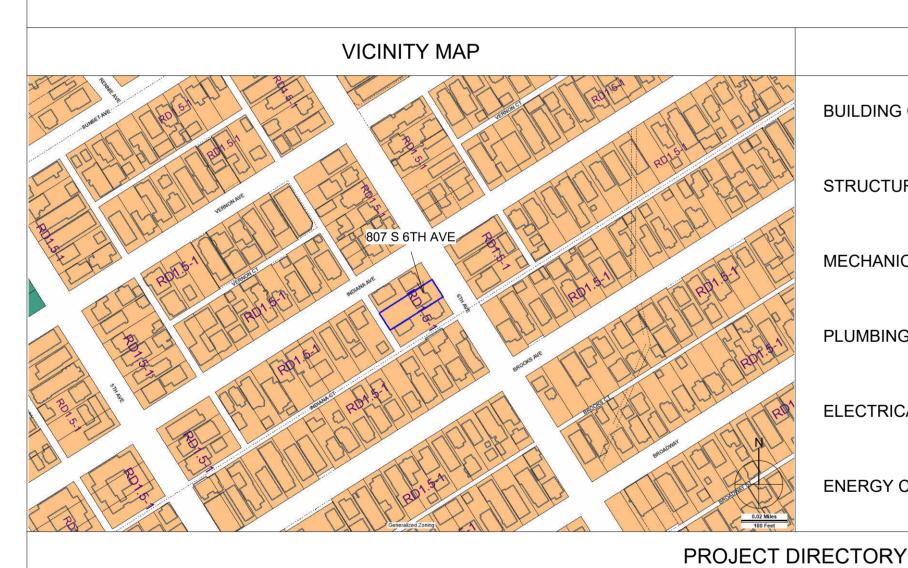
Partition

Shower Sheet

NFPA-13R

Sheet Number	Sheet Name
RCHITECTURA	AL
0.00	COVER
0.01	GENERAL NOTES
0.02	EXISTING SITE SURVEY
0.04	GREEN FORMS
0.05 A	SPECS / RESEARCH REPORTS
0.05 B	SPECS / RESEARCH REPORTS
0.05 C	SPECS / RESEARCH REPORTS
0.05 D	SPECS / RESEARCH REPORTS
0.05 E	SPECS / RESEARCH REPORTS
0.06	DOOR SCHEDULE
0.07	DOOR DETAILS
0.08	WINDOW SCHEDULE
0.09	WINDOW DETAILS
0.10	WALL & FLOOR TYPES
0.11 A	GENERAL DETAILS
0.11 B	GENERAL DETAILS
0.13 A	SQUARE FOOTAGE BREAKDOWNS
0.13 B	SQUARE FOOTAGE BREAKDOWNS
1.00	SITE PLAN
1.10	PLOT PLAN
2.00	PROPOSED PLANS
2.10	PROPOSED PLANS
2.20	PROPOSED PLANS
3.00	ELEVATIONS
3.10	ELEVATIONS
3.20	OPENING ANALYSIS
3.30	ELEVATIONS COLOR
3.40	ELEVATIONS COLOR
4.00	PROPOSED SECTIONS
4.10	PROPOSED SECTIONS
S.01	CONTEXT STUDY - VICINITY MAP
S.02	CONTEXT STUDY - 6TH AVENUE & VERNON CT.
S.03	CONTEXT STUDY - INDIANA AVE
S.04	CONTEXT STUDY - INDIANA COURT

SHEET INDEX



BUILDING CODE: 2022 LABC, (TITLE 24, PART 2.5) BASED ON THE 2021 IRC (INCLUDES ACCESSIBILITY) STRUCTURAL: 2023 LABC, VOL 2 (TITLE 24, PART 2, VOL 2) BASED ON THE 2021 IBC WITH ASCE 7-16 MECHANICAL CODE: 2022 CA MECHANICAL CODE, (TITLE 24, PART 4) BASED ON THE 2021 UNIFORM MECHANICAL CODE PLUMBING CODE: 2022 CA PLUMBING CODE (TITLE 24, PART 5) BASED ON THE 2021 UNIFORM PLUMBING CODE **ELECTRICAL CODE:** 2022 CA ELECTRICAL CODE (TITLE 24, PART 3) BASED ON THE 2020 NATIONAL ELECTRIC CODE **ENERGY CODE:** 2022 CA ENERGY CODE (TITLE 24, PART 6)

CODE

	2023 CITY OF LOS ANGELES GREEN BUILDING COL
′	
	TITLE 24
	NAME: ADDRESS:
	PHONE NO.:
	CIVIL ENGINEER

G.B.

GYP

HDWR

HDWD H.M.

HORIZ

HVAC

H.W.

INCL

INSUL

INT

CIVIL ENGINE	<u>ER</u>
NAME: ADDRESS:	OBANDO AND ASSOCIATES, INC. 3101 OCEAN PARK BLVD, SUITE 100 Pmb 122 SANTA MONICA, CA 90405
PHONE NO.:	310-821-7555

Insulation

Interior

Janitor

()	MAIN HOUSE		MAIN HOUSE	MAIN HOUSE	
	-BASEMENT FLOOR -FIRST FLOOR COVERED -SECOND FLOOR COVERED -ROOF DECK TOTAL	1,783 SF 2,020 SF 144 SF 2,258 SF 20 SF N/A 6,225 SF	-BASEMENT FLOOR -FIRST FLOOR COVERED -SECOND FLOOR COVERED -ROOF DECK TOTAL	1,868 SF 2,115 SF 144 SF 2,386 SF 20 SF 73 SF 6,606 SF	
	ADU		ADU		
	-FIRST FLOOR COVERED -SECOND FLOOR COVERED TOTAL	108 SF 172 SF 351 SF - SF 538 SF	-FIRST FLOOR COVERED -SECOND FLOOR COVERED TOTAL	164 SF 102 SF 386 SF - SF 652 SF	
E	TOTAL PROVIDED	6,763 SF	TOTAL PROVIDED	7,258 SF	
	SCHOOL FEE: (SEE A0.13 B)				
	MAIN HOUSE				
	-BASEMENT FLOOR -FIRST FLOOR -SECOND FLOOR -ROOF DECK TOTAL	2,053 SF 2,317 SF 2,585 SF 103 SF 7,058 SF			
	ADU				

807		
Revision	Schedule	
Revision Number	Revision Date	

COVER

DRAWN

CHECKED

SCALE

&	And	
<	Angle	
@	At	
@ &	Centerline	
Ø	Diameter or Round	
	Perpendicular	
#	Number	
(E)	Existing	
AB	Anchor Bolt	
A/C	Air Conditioning	
A.C.	Asphaltic Concrete	
ACT	Acoustical Tile	
ACOUS	Acoustical	
ADJ	Adjustable	
A.F.F.	Above Finish Floor	
ALT	Alter or Alternate	
ALUM	Aluminum	
ANOD	Anodized	
A D	A D I	

Asphalt

Building

APPROX

ARCH

ASPH

BITUM

BLDG BLK

<u>OWNER</u>

ADDRESS:

PHONE NO.

<u>ARCHITECT</u>

ADDRESS:

PHONE NO.:

BOT BR **Bottom** Bedroom **BSMT** Basement B.U.R. Built Up Roofing CAB CARP C.B. CEM CER Carpet Catch Basin Cement Ceramic C.I. CLG CLO CLR CMU CNTR Cast Iron Ceiling Closet Clear Concrete Masonry Unit Counter COL CONC CONN Column Concrete Connection CONST Construction Architectural CONT

CONTR

CORR

Ceramic Tile

Countersunk

Cold Water

Center

C.T.

CTR

CTSK

BM

RAMTIN GHANEEIAN

LOS ANGELES, CA 90291

BREAKFORM DESIGN

EL SEGUNDO, CA 90245

127 ARENA STREET

310-322-3700

807 S 6TH AVE.

DIA DIM DISP DN D.O. DR D.S.P. DWG **ENCL** Continuous Contractor E.O.S. Corridor

STRUCTURAL ENGINEER

NAME: ADDRESS:

PHONE NO.:

LAND SURVEYOR

DET D.F.

EQUIP

E.W.

E.W.C.

PHONE NO.: 310-544-8689

Detail Drinking Fountain Diameter Dimension F.D. FDN Dispenser Door Opening F.E.C. Cab F.G. F.H.C. Downspout Dry Standpipe Drawing Drawer FLR FLUOR F.O.C. F.O.F. Expansion Joint F.O.M. Elevation F.O.S. Electrical FPRF Elevation Emergency Enclosure FS Edge of Slab

PACIFIC LAND CONSULTANTS, INC

28441 HIGHRIDGE RD. SUITE 230

ROLLING HILLS STATE, CA 90274

Deep, Depth

Equipment

Each Way

Existing

Electric Water Cooler

Double

EXT Exterior Fire Alarm Floor Drain Foundation Fire Extinguisher Fire Extinguisher Finish Grade Fire Hose Cabinet Finish Flashing Fluorescent Face of Concrete Face of Finish Face of Masonry Face of Stud Fireproof Frame Full Size Foot, Feet

Footing

Future

Furring, Furred

Expansion

Exposed

EXPO

FURR FUT

Grab Bar Galvanized Iron Glass, Glazing Ground LAV L.F. L.R. LT Hose Bib **Hollow Core** Handicapped LVR Hardware Hardwood MAX Hollow Metal M.B. Horizontal MECH MEMB Height MET MFR Heating, Ventilation and Air Conditioning Hot Water Inside Diameter Including

M.R.

MTD

MUL

Laminate Lavatory Lineal Foot Left Hand Locker Living Room Material Maximum Machine Ball Mechanical Membrane Manufacture Manhole Minimum Mirror Miscellaneous Masonry Opening

Moisture Resistant

Mounted

Mullion

Kitchen

-FIRST FLOOR

-SECOND FLOOR

TOTAL

TOTAL PROVIDED

N.I.C.

SPRINKLER:

ZONING AREA: (SEE A0.13 A)

N.S. N.T.S. Not to Scale Overall Obscure On Center OA OBSC O.C. O.D. O.F.D. Outside Diameter Overflow Drain OFF O.H. OVHD OPNG Office Overhang Overhead OPP Opposite P.D. Planter Drain Plate Property Line Plumbing PLAM PLAS PLYWD PR

Plaster

Plywood Pair

ABREVIATIONS & SYMBOLS

Not in Contract

Number

Nominal

No Scale

Radius Roof Drain Reference REFR REINF REQ RESIL Refrigerator Reinforced or Reinforcing Required Resilient Revised Roofing Right Hand Room R.H. R.O. Rough Opening RWD Redwood South S.C. SCHED SECT SEP Solid Core Schedule Section Separation, Separate Shelf Plastic Laminate

SHR SHT

PTN

200 SF

436 SF

636 SF

7,694 SF

Stainless Steel SSK Service Sink STD Standard STL STOR Storage STRUCT Structrual SUSP Suspended SW Switch SYM Symmetrical SYS Towel Bar T&G T.O.C. T.O.D. Tongue and Groove Top of Curb Top of Drain Telephone TEMP Tempered, Temperature TER Terrazzo Thick, Thickness Threshold

Specification

Toilet

Top of Slab

Toilet Paper Dispenser

SLDG

SPEC

TOIL T.O.P. T.O.S.

T.P.D.

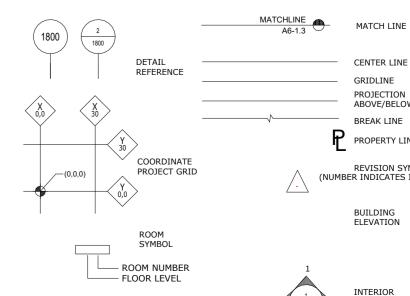
UNF U.O.N. UR VERT VEST V.I.F. VOL W.H. WD WP WPM WSCT W.S.P. Wet Standpipe Top of Pavement

T.P.D. T.S.

TV T.O.W. TYP Television Top of Wall Typical Unless Otherwise Noted Urinal Vertical Vestibule Verifiy in Field Volume Water Heater Without Water Closet Wood Waterproof Waterproof Membrane Wainscot

Toilet Paper Dispenser Top of Steel

WINDOW SYMBOL



P PROPERTY LINE

No. C-34257 RENEWAL DATE

DATE 3/28/2025 11:40:07 AM

Checker

Project Number

2. OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE.

3. FURNISH ALL LABOR AND MATERIALS/EQUIPMENT TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED. GC TO ESTABLISH PROCEDURES W/ BLDG. OWNER.

4. CONTRACTOR SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION. 5. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.

6. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.

7. DEBRIS REMOVAL MUST BE PERFORMED USING THE FREIGHT ELEVATOR WHEN APPLICABLE. CONTACT THE BUILDING MGMT. OFFICE TO OBTAIN SCHEDULE FOR THE USE OF THE FREIGHT ELEVATOR(S) PRIOR TO SUBMITTING BID. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE. WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.

8. IF DIRECTED BY BUILDING MANAGEMENT, ALL DOORS, FRAMES HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES, (INCLUDING DOWNLIGHTS & FLUORESCENTS), & SPECIAL EQUIPMENT SHOWN TO BE REMOVED. SHALL BE CLEAN AND FREE OF DEFECTS, PROTECTED, SAVED AND REUSED AS DIRECTED HEREIN. RETURNED TO BUILDING STOCK OR DISPOSED

9. IN PARTITIONS TO BE REMOVED, REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO THEIR

10. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION IN ELEVATOR LOBBY, PUBLIC CORRIDORS, RESTROOMS OR TENANT SPACES. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED

11. NO EXISTING SMOKE DETECTOR, PUBLIC ADDRESS SPEAKER FIRE ALARM BOX OR SIMILAR DEVICE, INCLUDING THE ASSOCIATED WIRING SHALL BE DAMAGED DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS. NO ACTIVE SMOKE DETECTOR SHALL BE COVERED OR OTHERWISE REMOVED OR USED FOR OTHER THAN IT'S INTENDED PURPOSE

12. ALL EXISTING FLOOR MOUNTED OUTLETS, WHERE NOTED TO BE REMOVED OR RELOCATED, SHALL BE CAPPED OFF TO THE NEAREST JUNCTION BOX. FILL AND LEVEL FLOOR TO ACCEPT NEW

13. ALL EXISTING CEILING TILES TO REMAIN U.O.N. ALL BROKEN, PARTIAL, STAINED, OR DAMAGED TILES SHALL BE REPLACED. 14. ALL EXISTING LIGHT FIXTURES SHALL BE CLEANED OF DUST,

WRAPPED FOR PROTECTION & STORED FOR RE-USE. 15. REMOVE TO SOURCE ALL PIPES, VENTS, APPLIANCES OR

DRAINS NOT BEING RE-USED. 16. RE-USE OR RELOCATE ALL ABOVE CEILING DUCTWORK, DIFFUSERS, GRILLES, SPRINKLER PIPES OR OTHER EQUIPMENT. AS REQUIRED FOR PROPER DISTRIBUTION WITH NEW LAYOUT.

17. REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/ COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES. SERVICE OWNER OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED TO PREVENT NEW CONSTRUCTION DELAYS.

18. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.

19. CAREFULLY REMOVE ALL EXISTING WALL COVERING AT EXISTING PARTITIONS AND/OR COLUMNS, AS NOTED.

20. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.

21. STAIRWAYS MUST REMAIN ACCESSIBLE AT ALL TIMES DURING

22. RATED WALLS SHALL NOT BE PENETRATED UNLESS THE

<u>SAFETY NOTES:</u>

RATING IS MAINTAINED.

1. THE CONTRACTOR SHALL SAFEGUARD THE OWNER'S PROPERTYDURING CONSTRUCTION AND SHALL REPLACE ANY DAMAGED PROPERTY OF THE OWNER TO ORIGINAL CONDITION OR

2. THE CONTRACTOR SHALL PROVIDE GUEST PROTECTION FROM ALL AREAS OF WORK.

3. THE CONTRACTOR SHALL PROTECT ADJOINING AREAS FROM NOISE, DUST, DIRT FIRE HAZARDS, ETC.

CONSTRUCTION NOTES 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY

OF MATCHING BUILDING LINES AND LEVELS BETWEEN NEW AND EXISTING CONSTRUCTION. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR THE LOCATION AND CONSTRUCTION OF THE WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.

2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OF NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.

3. CONTRACTOR SHALL RELOCATE OR CAP OFF EXISTING UTILITY LINES AS REQUIRED. COORDINATE WTH ELECTRICAL AND PLUMBING DRAWINGS FOR FURTHER INFORMATION. 4. EXISTING CONSTRUCTION WHICH IS TO REMAIN BUT IS

DAMAGED DURING, CONSTRUCTION SHALL BE REPLACED OR REPAIRED TO ORIGINAL CONDITION OR BETTER. 5. MATERIALS USED FOR NEW CONSTRUCTION, UNLESS SPECIFIED

MATERIALS, CONSTRUCTION AND FINISHES. 6. NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE

OR INDICATED OTHERWISE. SHALL MATCH EXISTING ADJACENT

7. THE GENERAL CONTRACTOR SHALL PROVIDE A DUMPSTER IN AN AREA DESIGNATED BY THE OWNER FOR THE PURPOSE OF COLLECTING TRASH AND SHALL PROVIDE FOR ITS REMOVAL FROM THE SITE TO A LEGAL DISPOSAL SITE.

8. ALL HOLES IN CONCRETE SLABS LEFT AFTER REMOVAL OF PIPES, CONDUITS, ETC., ARE TO BE FILLED WITH POR-ROCK OR SOLID CONCRETE. REFER TO ANY DETAILS WITHIN DRAWING SET FOR FURTHER INFORMATION.

9. THE GENERAL CONTRACTOR SHALL VERIFY SALVAGE REQUIREMENTS OF ALL FURNITURE, FIXTURES AND EQUIPMENT WITH THE OWNER TO DEMOLITION. 10. SURFACE CRACKS AND VOIDS SHALL BE TUCK POINTED OR

11. ALL SURFACES TO BE FINISHED SHALL BE PREPARED IN ACCORDANCE WITH FINISH MANUFACTURERS RECOMMENDATIONS.

12. PROVIDE ALL NECESSARY BLOCKING, BACKING, SLEEVES, AND FRAMES FOR LIGHT FIXTURES, ELECTRICAL UNITS, A/C EQUIPMENT AND OTHER ITEMS REQUIRING SAME.

13. PLEASE RECYCLE DEMOLITION & CONSTRUCTION WASTE. ASK ABOUT POSSIBLE DUMP SITES.

REQUIREMENTS. 15. TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED &

14. THE CONTRACTOR SHALL COMPLY W/ ALL 0.S.H.A.

VISIBLE WHEN THE UNIT IS GLAZED.

16. PENETRATIONS OF FIRE-RATED FLOORS OR FLOOR-CEILING ASSEMBLIES SHALL BE PROTECTED BY THROUGH-PENETRATION FIRE STOPS HAVING AN "F" OR "T" RATING. A "T" RATING IS REQUIRED WHERE PENETRATIONS ARE NOT CONTAINED IN THE WALL AT THE POINT THEY PENETRATE THE FLOOR OR WHERE THEY ARE LARGER THAN A 4" (IOOmm) PIPE OR 16 SQ IN (IO320mm SQ) IN AREA. UBC SEC 710.3 EX 5

CODE NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY TO THE CURRENT ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, NATIONAL ELECTRIC CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA FIRE CODE AND ALL LOCAL CODES, REGULATIONS, LAWS & ORDINANCES GOVERNING CONSTRUCTION . SECURITY IN THIS JURISDICTION.

2. METAL FABRICATION SHALL CONFORM TO C.B.C. AND STANDARDS OF A.S.T.M., A.I.S.C., A.W.S. AND S.S.P.C. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE CODE

3. DEPARTMENT OF INDUSTRIAL RELATIONS DIVISION OF INDUSTRIAL SAFETY (O.S.H.A.) REQUIREMENTS. CONTRACTOR SHALL PROVIDE OCCUPANCY SIGNAGE PER LOCAL BUILDING REQUIREMENTS AND/OR FIRE DEPARTMENT REQUIREMENTS.

4. OCCUPANCY SIGNAGE SHALL BE PLACED PER LOCAL CODE & FIRE DEPARTMENT REQUIREMENTS AS APPLICABLE. 5. ALL REQUIRED PERMITS MUST BE OBTAINED AND KEPT ON THE

PREMISES AT ALL TIMES IN A LOCATION SPECIFIED BY THE CITY.

<u>GENERAL NOTES:</u>

1. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY INCONSISTENCY . ERROR OR OMISSION HE MAY DISCOVER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE MEANS OF CORRECTING ANY ERROR, BEFORE OR AFTER THE START OF CONSTRUCTION, SHALL FIRST BE APPROVED BY THE ARCHITECT.

2. STAMPED SETS OF APPROVED PLANS SHALL BE PROVIDED FOR ALL WORK, THE CONTRACTOR SHALL MAINTAIN IN. GOOD CONDITION, COMPLETE SETS OF STAMPED AND APPROVED PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THEY ARE TO BE UNDER THE CARE OF THE GENERAL CONTRACTOR OR HIS SUPERINTENDENT IN A LOCATION SPECIFIED BY THE CITY.

3. THE ARCHITECT WILL REVIEW ALL SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.

4. THE ARCHITECT MAKES NO GUARANTEE FOR PRODUCTS NAMED BY TRADE NAME OR MANUFACTURER

5. REFERENCES OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWIING OR DETAIL. 6. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS

PART OF THE WORK. 7. THE CONTRACTOR SHALL NOT BREAK SETS FOR TRADE BIDDING, ERRORS IN BIDDING AS A RESULT OF THIS PRACTICE ARE NOT THE RESPONSIBILITY OF THE OWNER OR THE ARCHITECT. 8. THE CONTRACTOR SHALL REFER TO AND CROSS-CHECK DETAILS, DIMENSIONS, NOTES, AND ALL REQUIREMENTS SHOWN

ON THE ARCHITECTURAL DRAWINGS WITH THE EXISTING SITE

CONDITIONS AND SPECIFICATIONS.

9. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE FOLLOWING IS REQUIRED FROM THE AGENT OF THE OWNER, a) AN AUTHORIZATION LETTER FROM THE OWNER TO PULL PERMITS. THE FOLLOWING IS REQUIRED FROM THE CONTRACTOR AGENT:- b) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND FOLLOWING LANDLORD'S RULES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO PROVIDING INSURANCE CERTIFICATES PER LANDLORD'S CRITERIA. c) CERTIFICATE OF WORKERS COMPENSATION INSURANCE MADE OUT TO THE CONTRACTORS STATE LICENSE BOARD. d) COPY OF THE CITY BUSINESS TAX REGISTRATION CERTIFICATE OR NEWLY PAID RECEIPT FOR ONE. e) NOTARIZED LETTER OF AUTHORIZATION FOR AGENTS OF

10. THE CONTRACTOR SHALL PROVIDE A LIST OF SUBCONTRACTORS TO THE OWNER FOR REVIEW PRIOR TO SIGNING THE OWNER / CONTRACTOR AGREEMENT.

11. ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC., TO MAKE THE SEVERAL PIECES COME TOGETHER PROPERLY AND FIT OR BE RECEIVED BY WORK OF OTHER TRADES.

THEREOF DURING CONSTRUCTION. 13. THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER, AND TOILET FACILITIES AS REQUIRED AND SHALL INSTALL THEM IN ACCORDANCE TO LOCAL CODES. CONTRACTOR MAY USE

TEMPORARY BRACING OR SHORING AS REQUIRED OR PORTION

12. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE

OWNERS FACILITIES UPON WRITTEN AUTHORIZATION FROM

OWNER'S REPRESENTATIVE.

DELIVER THE JOB COMPLETELY CLEAN.

14. THE GENERAL CONTRACTOR AND HIS ASSOCIATES, SUBCONTRACTORS, ETC., MUST MAINTAIN THE SPACE, ACCESS AREAS, ETC., CLEAN AT ALL TIMES AND SWEEP, DUST, CLEAN, ETC., EVERY DAY AT THE END OF WORKING HOURS. 15. IT S THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO

16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR, ND SHALL REPLACE OR REMEDY ANY FAULTY. IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.

FIRE SAFETY NOTES:

1. THE GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A WITHIN A 75-FOOT TRAVEL DISTANCE. 2. THE GENERAL CONTRACTOR SHALL PROVIDE ANY ADDITIONAL

DEPARTMENT FIELD INSPECTOR. 3. THE GENERAL CONTRACTOR SHALL PROVIDE PLANS FOR REVISION OF THE FIXED FIRE PROTECTION EQUIPMENT AND SHALL SUBMIT THEM TO THE LOCAL JURISDICTION AS REQUIRED AND TO

FIRE EXTINGUISHERS AS REQUIRED BY THE LOCAL FIRE

THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

4. THE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWNGS AND SPECIFICATIONS FOR REVISION TO FIXED FIRE PROTECTION EQUIPMENT AND SUBMITTAL OF PLANS TO THE FIRE MARSHALL AS REQUIRED FOR APPROVAL PRIOR TO INSTALLATION.

STORM WATER POLLUTION CONTROL:

1. ERODED SEDIMENTS AND POLLUTANTS SHALL BE RETAINED ON SITE AND SHALL NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE OR WIND.

2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED

MATERIALS SHALL BE COVERED AND/OR PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER. 3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND SHALL NOT

CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL

APPROVED TOXIC STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY AND SHALL NOT BE WASHED INTO THE DRAINAGE SYSTEM.

4. NON-STORM WATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED ON THE

5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE

PUBLIC WAY OR ANY DRAINAGE SYSTEM. PROVISIONS SHALL BE

MADE TO RETAIN CONCRETE WASTE ON-SITE UNTIL IT CAN BE APPROPRIATELY DISPOSED OF OR RECYCLED. 6. TRASH AND CONSTRUCTION -RELATED SOLID WASTES MUST BE

DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF STORM WATER AND DISPERSAL BY WIND. 7. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE STREET/PUBLIC

8. RETENTION BASINS OF SUFFICIENT SIZE SHALL BE PROVIDED TO RETAIN STORM WATER RUNOFF ON-SITE AND SHALL BE PROPERLY

IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY

WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP

LOCATED TO COLLECT ALL TRIBUTARY SITE RUNOFF.

9. WHERE RETENTION OF STORM WATER RUNOFF ON-SITE IS NOT FEASIBLE DUE TO SITE CONSTRAINTS. RUNOFF MAY BE CONVEYED TO THE STREET AND THE STORM DRAIN SYSTEM PROVIDED THAT AN APPROVED FILTERING SYSTEM IS INSTALLED AND MAINTAINED ON-SITE DURING THE CONSTRUCTION DURATION.

GREEN BUILDING CODE PLAN CHECK NOTES:

1. FOR NEW DWELLINGS AND TOWNHOUSES, PROVIDE ONE 208/240 V 40AMP, GROUNDED AC OUTLETS OR PANEL CAPACITY AND CONDUIT FOR THE FUTURE INSTALLATION OF A 208/240V 40AMP. GROUNDED AC OUTLET. (4.106.6)

2. FOR ADDITIONS RESULTING IN OVER 2,000 SQUARE FEET OF NEW ROOF AREA. A CONDUIT TERMINATION SHALL BE PROVIDED ADJACENT TO AN UNOBSTRUCTED AND CONTIGUOUS AREA OF AT LEAST 250 SQUARE FEET THAT HAS BEEN DESIGNATED AS SUITABLE FOR THE FOR THE FUTURE INSTALLATION OF A SOLAR ENERGY SYSTEM. THE CONDUIT SHALL BE LABELED AS PER THE LOS ANGELES FIRE DEPARTMENT REQUIREMENTS. (9.211.4)

3. EACH APPLIANCE PROVIDED AND INSTALLED MEETS ENERGY STAR IF AN ENERGY STAR DESIGNATION IS APPLICABLE FOR THAT APPLIANCE. (4.210.1, 9.210.1)

4. FORM GRN16 AND AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION.

5. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT. (4.504.1)

6. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS SHALL BE WEATHER- OR SOIL-BASED CONTROLLERS. (4.304.1,

7. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. (STATE ASSEMBLY BILL

8. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(b) THROUGH 110.10(c) SHALL BE PROVIDED TO THE OCCUPANT

9. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1- 4.504.3.

10. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING AND MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100% OF THE POOL DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80% OF THE POOL SHALL BE COVERED

11.FOR SITES WITH OVER 500 SQFT OF LANDSCAPED AREA, W 12. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH

CIRCUIT OVERCURRENT PROTECTIVE DEVICE. 13. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

14. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR REQUIRED.

15. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC

16. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.

17. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH LOS ANGELES ELECTRICAL CODE. (4.106.4.2, 4.106.4.3)

18.THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES SPECIFIED IN SECTION 4.303.1

19. MULTI-FAMILY DWELLINGS NOT EXCEEDING THREE STORIES AND CONTAINING 50 UNITS OR LESS SHALL INSTALL A SEPARATE METER OR SUBMETER WITHIN COMMON AREAS AND WITHIN EACH INDIVIDUAL DWELLING UNIT.

20.FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.

21. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS.

22. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED. (4.304.5)

23. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHES WASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAYWATER IRRIGATION SYSTEM. (4.305.1)

24. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2) 25. BUILDING NOT EXCEEDING 25 STORIES SHALL HAVE COOLING

(BLOWDOWN) OR HAVE A MINIMUM OF 50% OF MAKEUP WATER SUPPLY TO COOLING TOWERS COME FROM NON-POTABLE WATER SOURCES. (4.305.3.1) 26. BUILDING EXCEEDING 25 STORIES SHALL HAVE COOLING TOWERS WITH MINIMUM OF 6 CYCLES OF CONCENTRATION

TOWERS WITH MINIMUM OF 6 CYCLES OF CONCENTRATION

(BLOWDOWN) AND HAVE A MINIMUM OF 100% OF MAKEUP

GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER.

ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3.

WATER SUPPLY TO COOLING TOWERS COME FROM NON-POTABLE WATER SOURCES. (4.305.3.2) 27.WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND CONSTRUCTED IF THE

28.THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS

GENERAL NOTES CONTD...

8. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS. OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES, PIPING PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 313.0 OF THE LOS ANGELES PLUMBING CODE. (4.406.1)

9. MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE. (4.407.4, 9.407.4)

10. ONLY A CITY OF LOS ANGELES CERTIFIED HAULER WILL BE USED FOR HAULING OF CONSTRUCTION WASTE. (4.408.1, 9.408.1) 11. FOR ALL NEW EQUIPMENT, AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT

THE TIME OF FINAL INSPECTION. (4.410.1, 9.410.1)

COMPOUND (VOC) LIMITS. (4.504.2, 9.504.2)

12. ALL NEW GAS FIREPLACES MUST BE DIRECT-VENT, SEALED COMBUSTION TYPE. WOOD BURNING FIREPLACES ARE PROHIBITED PER AQMD RULE 445. (4.503.1, 9.503.1, AQMD RULE 445)

13. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT. (4.504.1, 9.504.1) 14. THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 2,

SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOBSITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.2.4, 9.504.2.4) 15. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC

16. ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF

THE FOLLOWING: A. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM B. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350 C. NSF/ANSI 140 AT THE GOLD LEVEL D. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD (4.504.3, 9.504.3)

17. ALL NEW CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. (4.504.3.1, 9.504.3.1)

18. 50% OF THE TOTAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: A. VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE B. PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM

HEALTH'S SPECIFICATION 01350 (CALGREEN 4.504.4, 9.504.4) 19. NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5/TABLE 9.504.5. (4.504.5, 9.504.5)

D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC

20. THE FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOW ING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION.(4.504.5.1,

21. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT. (4.504.1)

22. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1- 4.504.3.

21. A 4-INCH THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR PROPOSED SLAB ON GRADE CONSTRUCTION.(4.505.2.1, 9.505.2.1)

22. A VAPOR BARRIER SHALL BE PROVIDED IN DIRECT CONTACT

WITH CONCRETE FOR PROPOSED SLAB ON GRADE

BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE

CONSTRUCTION. (4.505.2.1, 9.505.2.1) 23. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT

24. NEWLY INSTALLED BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. PROVIDE THE MANUFACTURER'S CUT SHEET FOR VERIFICATION.(4.506.1, 9.506.1)

SATISFACTORY BY THE BUILDING INSPECTOR. (4.505.3, 9.505.3)

25. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. (4.506.1, 9.506.1)

26. NEW WHOLE HOUSE EXHAUST FANS SHALL HAVE COVERS OR

INSULATED WITH A MINIMUM INSULATION VALUE OF R-4.2. (4.507.1,

LOUVERS WHICH CLOSE WHEN THE FAN IS OFF AND THAT ARE

27. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.

(CALGREEN 4.507.2, 9.507.2) **LADBS GENERAL REQUIREMENTS:**

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS

3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

4. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

5. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

ADAPTED FOR LOW WATER CONSUMPTION. 7. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED

6. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW

CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE

LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

8. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC) 9. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

LISTED IN ACCORDANCE WITH UL 325. 11. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000).

10. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE

(R314.6.2) 12. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS. REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT

FOR WHICH THE PERMIT WAS OBTAINED. (R315.2) 13. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE

14. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

LADBS ADDITIONAL NOTES: GARAGE/CARPORTS

FLOOR LEVEL. (R303.1)

THICK. (R302.5.1).

(R302.5.2)

DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES

DUCT PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENING INTO THE GARAGE

OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALL SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3)

4. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBALE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR YOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R309.1)

FIRE RESISTANCE RATED CONSTRUCTION

1. THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 R302.4.1.2. PROVIDE DETAIL AND COPY OF LISTING ON THE

2. MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRERESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE- RESISTANCE RATING WILL NOT BE REDUCED. (R302.4.2)

3. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)

4. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.

FIRE PROTECTION

AND APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STOREY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STOREY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALI RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)

2. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A

3.THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION

DWELLING UNIT INCLUDING BASEMENTS. (R315).

MEANS OF EGRESS

THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE EXTERIOR OF THE DWELLING AT THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. (R311.1)

ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS. UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM

3. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7)

FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4 INCH. (2407)

PROVIDE 42" HIGH GUARDS WITH MAXIMUM 4" CLEAR

INTERIOR ENVIRONMENT

SPACING OPENING BETWEEN RAILS. (R312)

1.BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE. (R303.3)

2. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM

TEMPERATURE OF 68 DEGREE FAHRENHEIT AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9) **BUILDING ENVELOPE**

1. PROVIDE A CLASS A, B OR C FIRE-RETARDANT ROOF COVERING PER SECTION R902.1

2. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6 3. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES

WITHIN THE FIRST 10 FEET (R401.3).

WALKING SURFACE.

DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USED OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA 5. PROVIDE ANTI GRAFFITI FINISH WITHIN THE FIRST 9 FEET,

MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.

EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED

BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS

4. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM

ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306) 6. GLAZING IN THE FOLLOWING SECTIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF

SECTION R308.3 (SEE EXCEPTIONS) (R308.4): A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING

AND BI-FOLD DOOR ASSEMBLIES. B. BLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL

THAT MEETS ALL OF THE FOLLOWING CONDITIONS: 1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.

2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE

3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE

4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING D. GLAZING IN RAILINGS.

E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY

ABOVE ANY STANDING OR WALING SURFACE

OF THE WATER'S EDGE.

F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 I NCHES, MEASURED HORIZONTALLY AN IN A STRAIGHT LINE,

G. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AN RAMPS. H. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 I NCHES ABOVE THE LANDING AND WITHIN 60 INCHES

7. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION

HORIZONTALLY OF THE BOTTOM TREAD.

8. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS THAT ARE EITHER ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT AND EACH CHARACTER SHALL NOT BE LESS THAN 4" IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5". THE BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE

FROM THE STREET OR ROAD FRONTING THE PROPERTY. R319.1

SECURITY REQUIREMENTS

1. SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES. (6707)

2. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT

A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR. (6708)

UNLESS SECURED ELECTRICALLY OPERATED. (6711)

HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT

3. SLIDING GLASS DOORS PANELS SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.1 4. METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED

STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE

5. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. (6712)

6. IN GROUP B, F, M, AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 IN. BUT LESS THAN 48 IN, SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES (6714)

7. GLAZED OPENINGS WITHIN 40" OF THE REQUIRED LOCKING DEVICE OF THE DOOR, WHEN THE DOOR IS IN THE CLOSED AND LOCKED POSITION AND WHEN THE DOOR IS OPENABLE FROM THE INSIDE WITHOUT USE OF KEY, SHALL BE FULLY TEMPERED GLASS PER SECTION 2406, OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO SLIDE GLASS DOORS WHICH CONFORM TO THE PROVISIONS OF SECTION 6710 OR TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THER GREATEST DIMENSIONS. (6715.3)

8. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN

9. OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN GROUP B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. (6715.2) 10. SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICES. A DEVICE SHALL BE INSTALLED IN THE UPPER CHANNEL

OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF

THE MOVING PANEL IN THE CLOCOSED OR PARTIALLY OPEN POSITION. 6715.1 11. SLIDING GLASS WINDOWS SASH SHALL BE CLOSED AND

LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC.

12. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRCLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION.

13. ALL OTHER OPENINGSMUST BE PROTECTED BY METAL BARS

OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION.

REGULATION OF SMOKING (CCMC SUBCHAPTER 9.11.200)

NONSMOKING UNITS.

CONCERNING SMOKING.

TERMS RELATED TO NONSMOKING:

2. SMOKING UN UNITS, COMMON AREAS AND EXCLUSIVE-USE UNENCLOSED AREAS SHALL BE PROHIBITED. 3. LANDLORDS AND HOA BOARDS ARE REQUIRED TO PROVIDE IN THEIR LEASES AND RULES, RESPECTIVELY, THE FOLLOWING

A. IT IS MATERIAL BREACH OF THE LEASE AND A VIOLATION

B. IT IS A MATERIAL BRACH OF THE LEASE, OR VIOLATION

C. OTHER OCCUPANTS OF THE PROPERTY ARE EXPRESS

1. ALL DWELLING UNITS OF MULTI-UNIT RESIDENTIAL PROPERTY

(CONTAINING TWO OR MORE UNITS) SHALL BE DESIGNATED

APPLICABLE, TO VIOLATE ANY OF THE SMOKING LAWS WHILE ANYWHERE ON THE PROPERTY.

ANY COMMON AREA, EXCEPT IN AN OUTDOOR DESIGNATED

SMOKING AREA, IF ONE HAS VIOLATION OF THE HOA RULES, AS

THIRD PARTY BENEFICIARIES OF THE PROVISIONS OF THE LEASE

OF THE HOA RULES TO ALLOW OR ENGSAGE IN SMOKING IN A

OF THE HOA RULES, AS APPLICABLE, TO ENGAGE IN SMOKING IN

RAMSEY DAHAM No. C-34257 RENEWAL DATE

Revision Schedule Revision Number Revision Date

GENERAL NOTES DRAWN

Checker

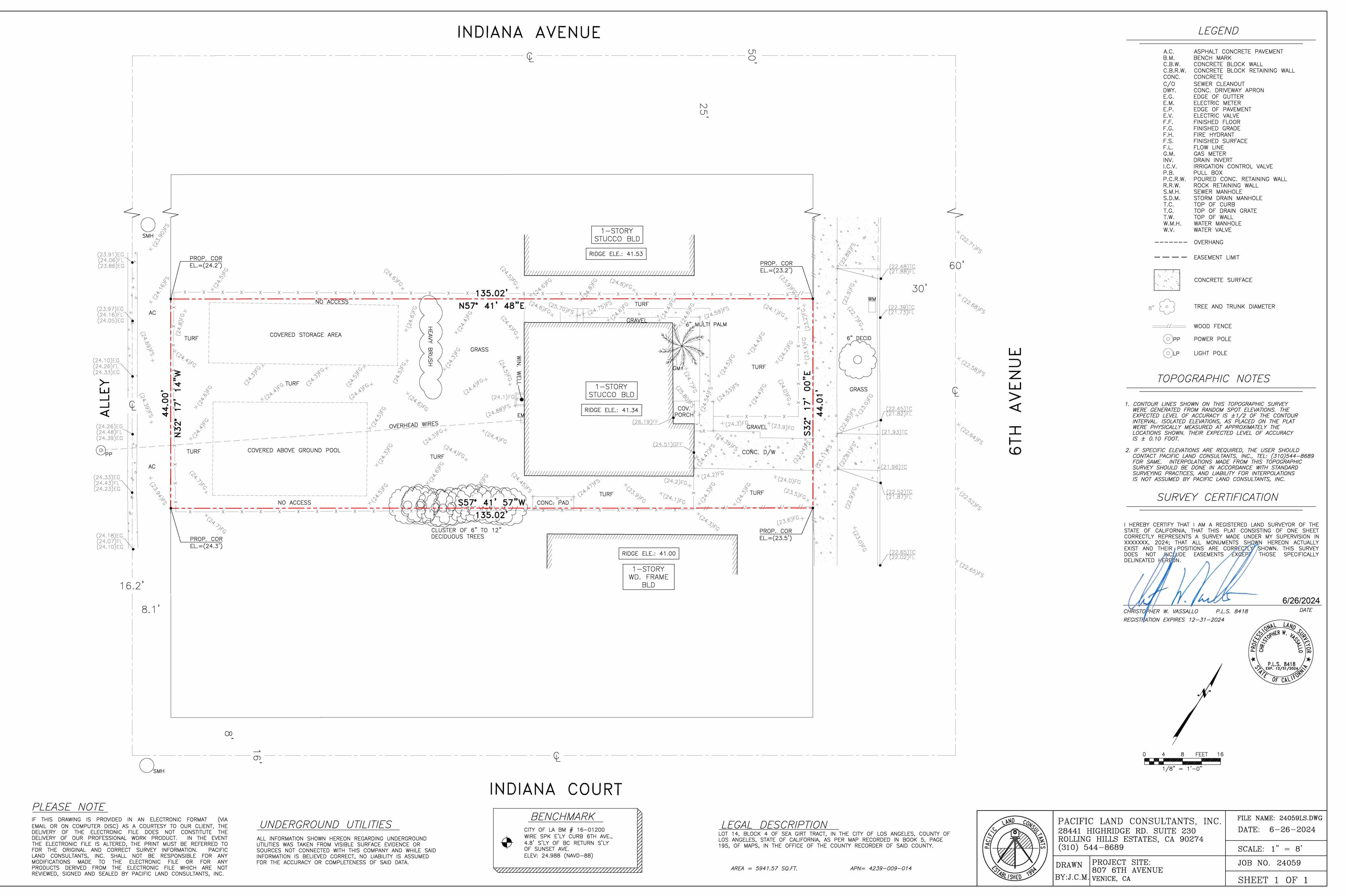
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JOB#

Project Number



breakform design

RAMSEY DAHAM
No. C-34257

10/31/23
RENEWAL DATE

OF CALIFORNIA

307 S 6TH AVE., LOS ANGELES, CA 90291

Revision Schedule

Revision
Number

Revision Date

EXISTING SITE SURVEY

DRAWN Author

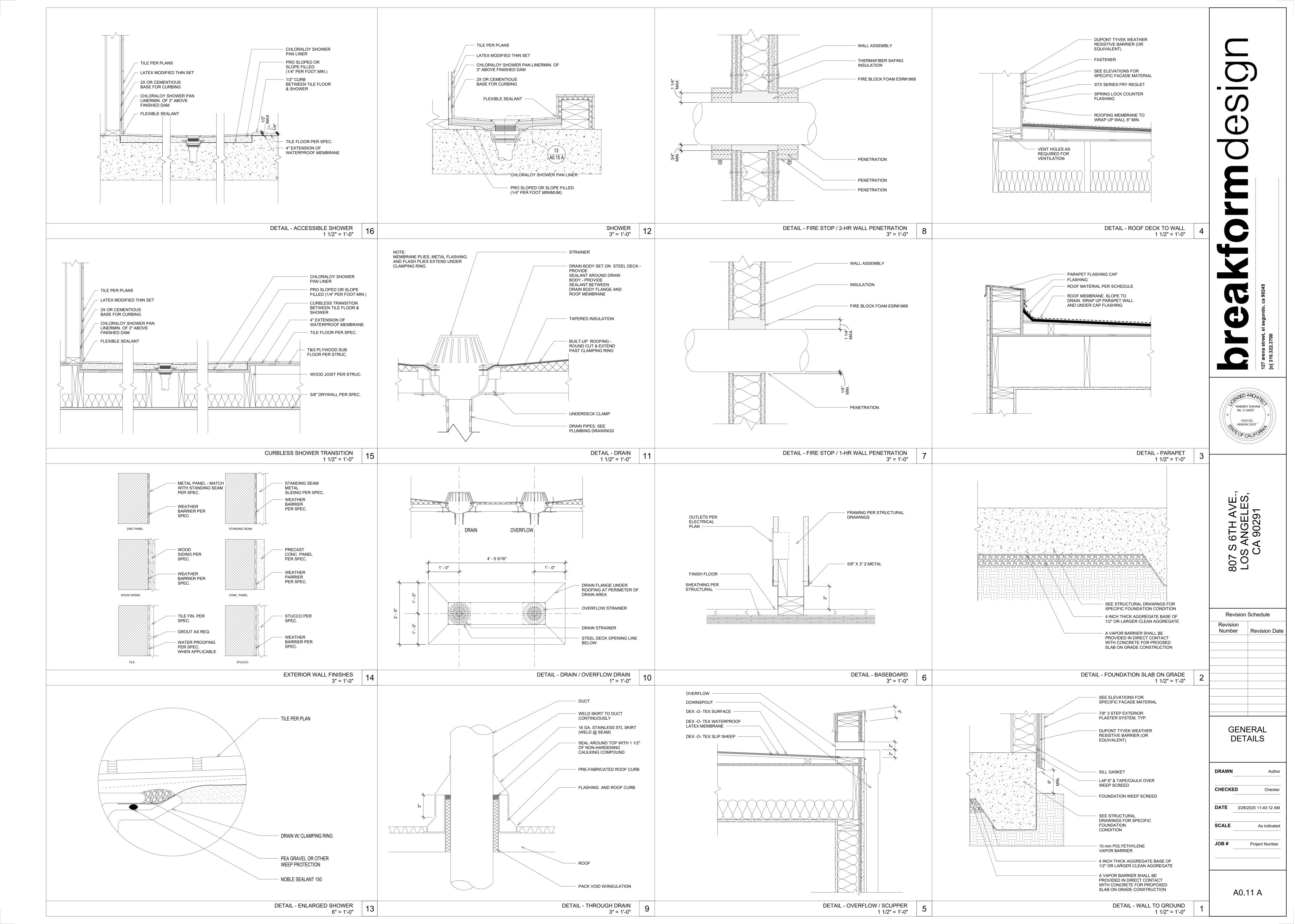
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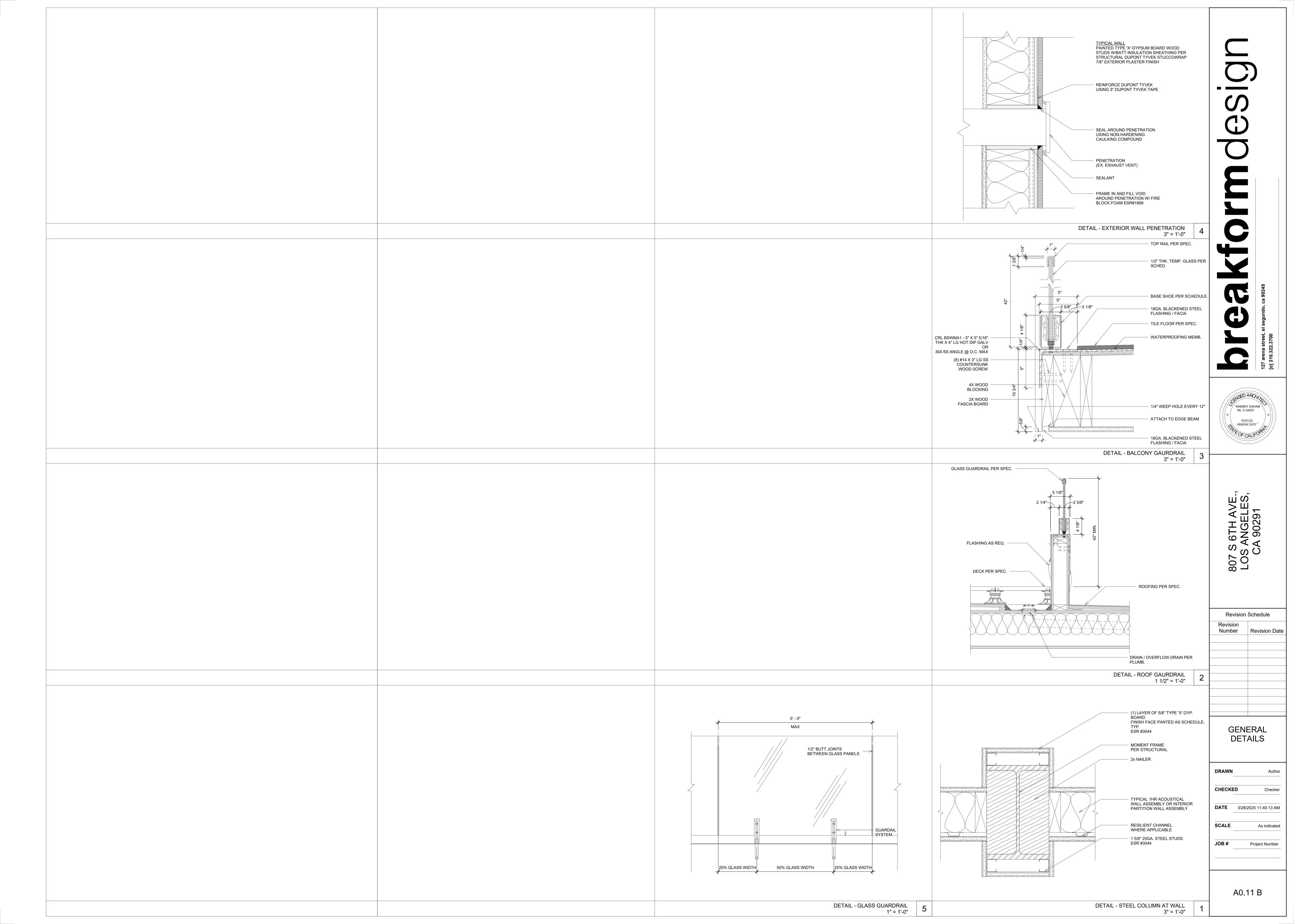
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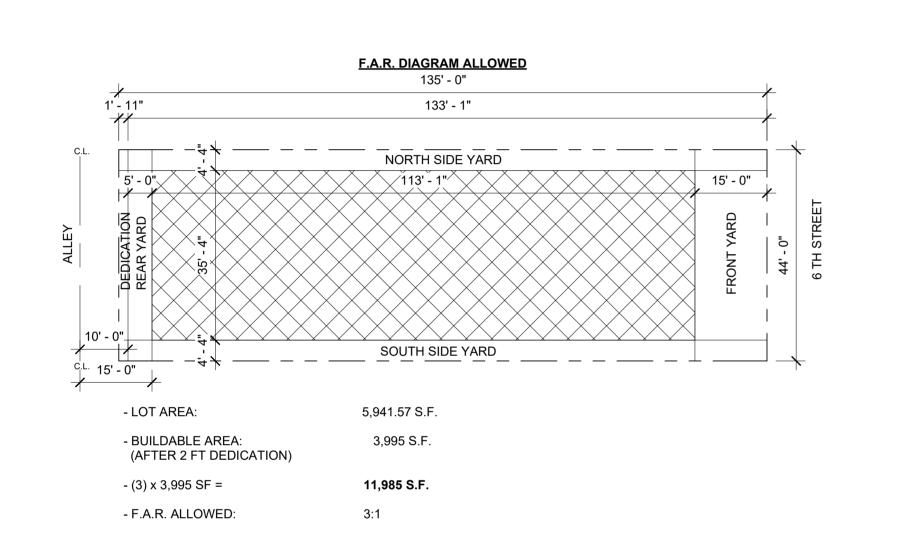
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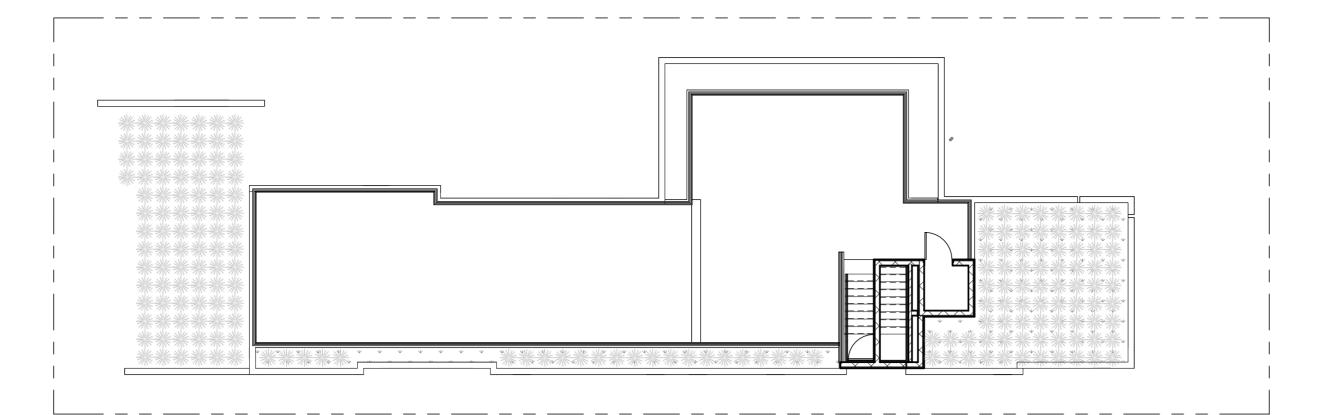


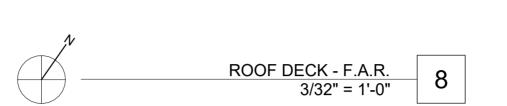


ZONING CODE FLOOR AREA MAIN HOUSE -BASEMENT FLOOR -FIRST FLOOR COVERED -SECOND FLOOR COVERED -ROOF DECK 1,783 SF 2,020 SF 144 SF 2,258 SF 20 SF N/A 6,225 SF TOTAL 108 SF 102 SF 328 SF - SF 538 SF -FIRST FLOOR COVERED -SECOND FLOOR COVERED TOTAL TOTAL PROVIDED 6,763 SF

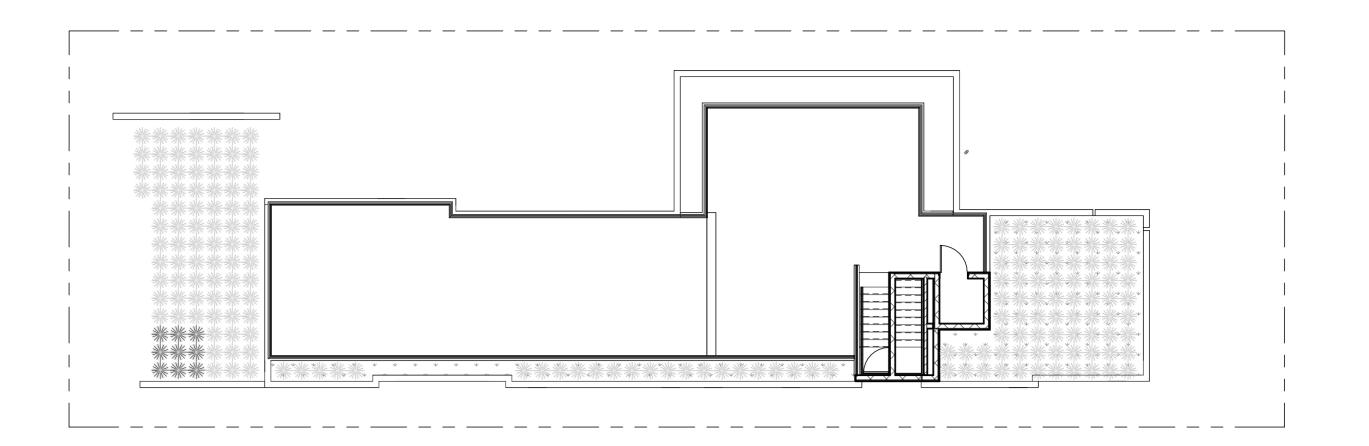
F.A.R. CALCS	
MAIN HOUSE	
-BASEMENT FLOOR -FIRST FLOOR COVERED -SECOND FLOOR COVERED -ROOF DECK	1,783 SF 2,020 SF 144 SF 2,258 SF 20 SF N/A
ADU	
-FIRST FLOOR COVERED -SECOND FLOOR COVERED	108 SF 102 SF 328 SF - SF
TOTAL PROVIDED	6,763 SF
TOTAL ZONING AREA PROVIDED	6,763 SF
F.A.R CAL: F.A.R PROVIDED:	(6,763 / 3,995) 1.69:1



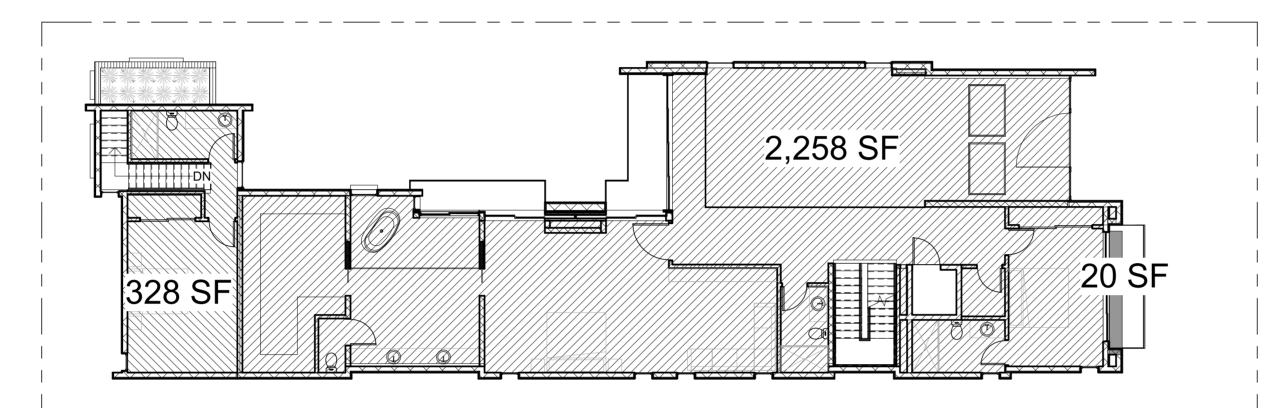


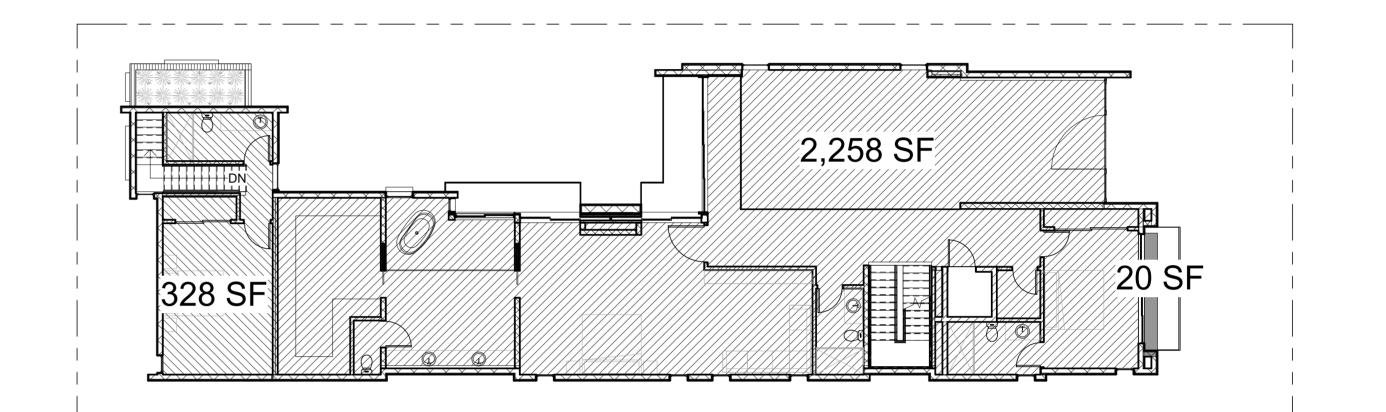


SECOND FLOOR - F.A.R. 3/32" = 1'-0" 7

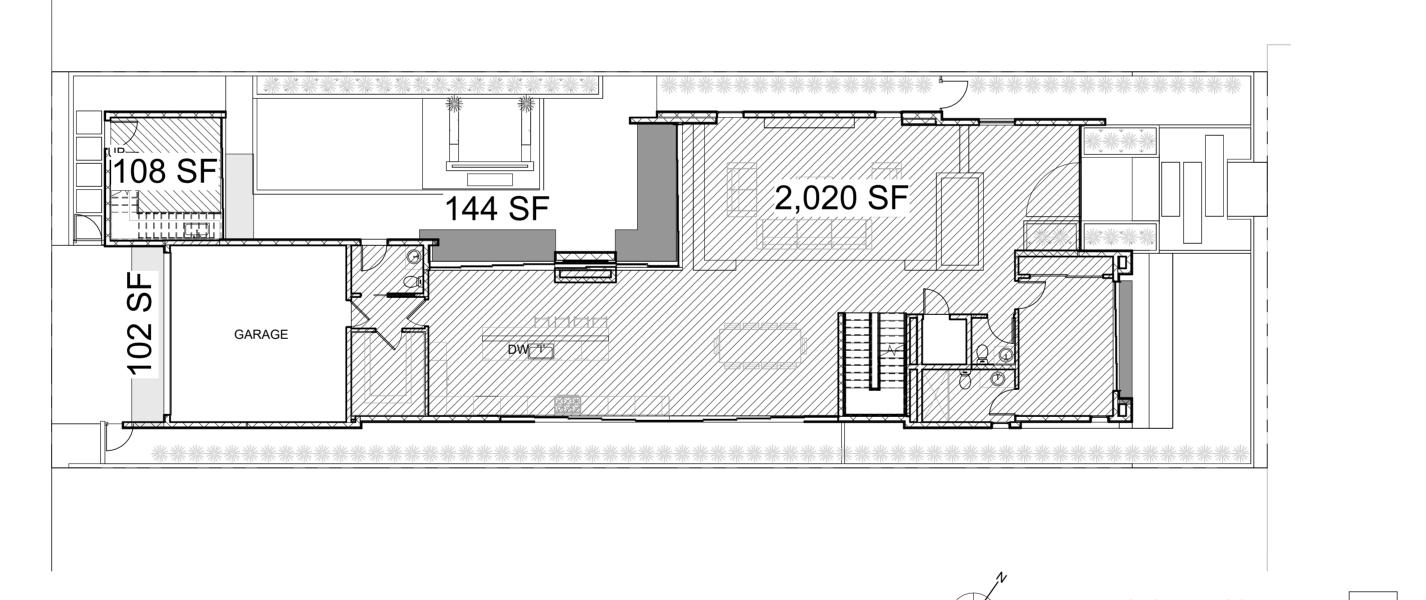


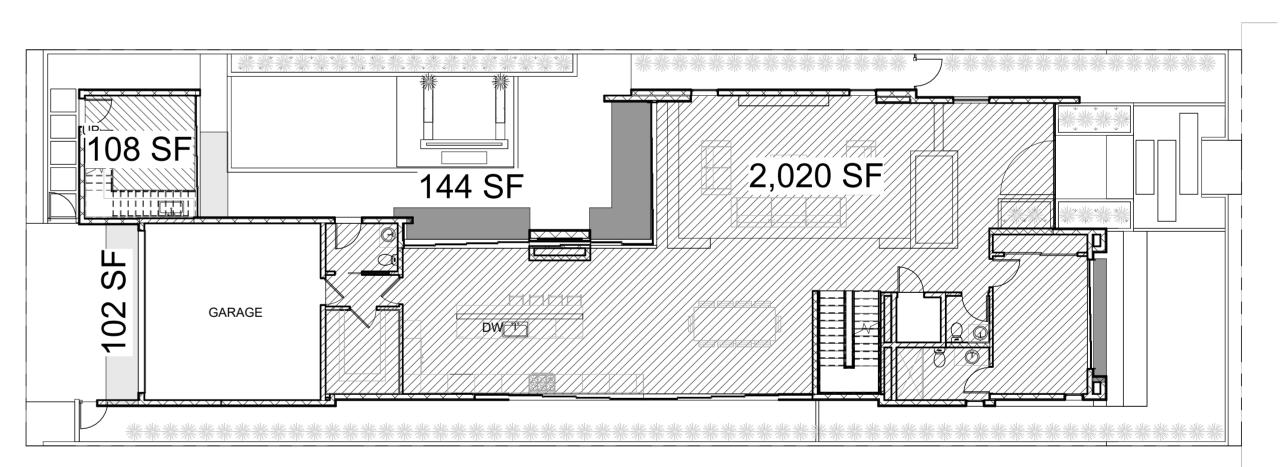


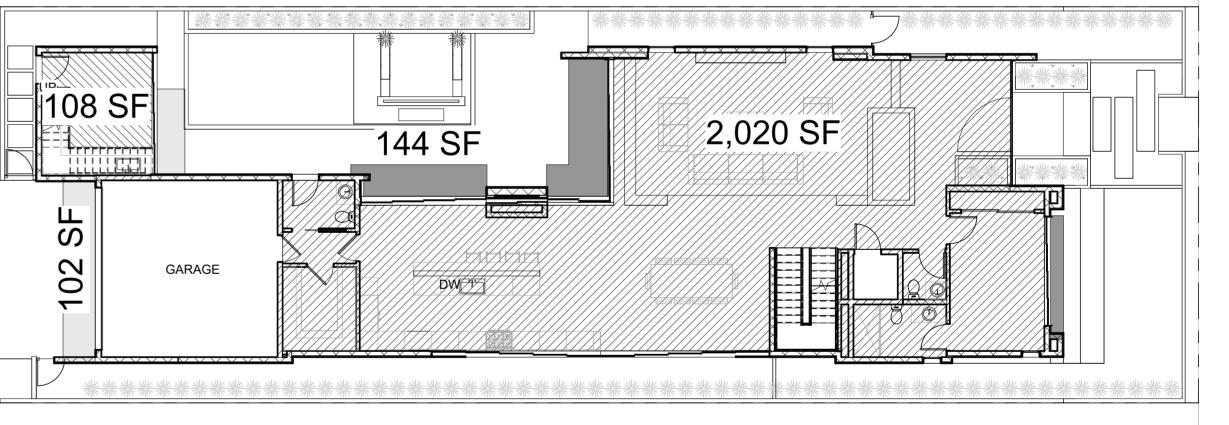




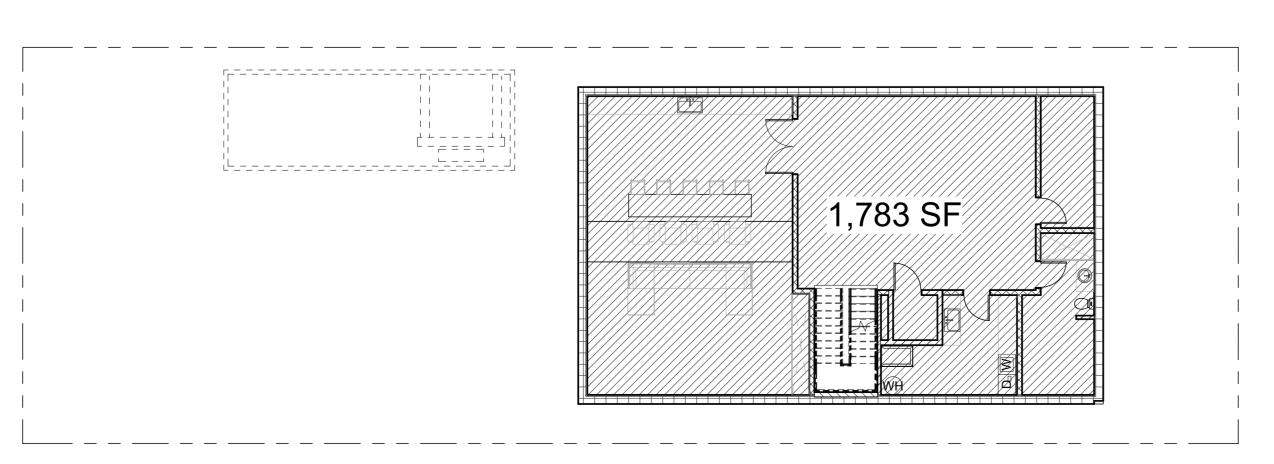


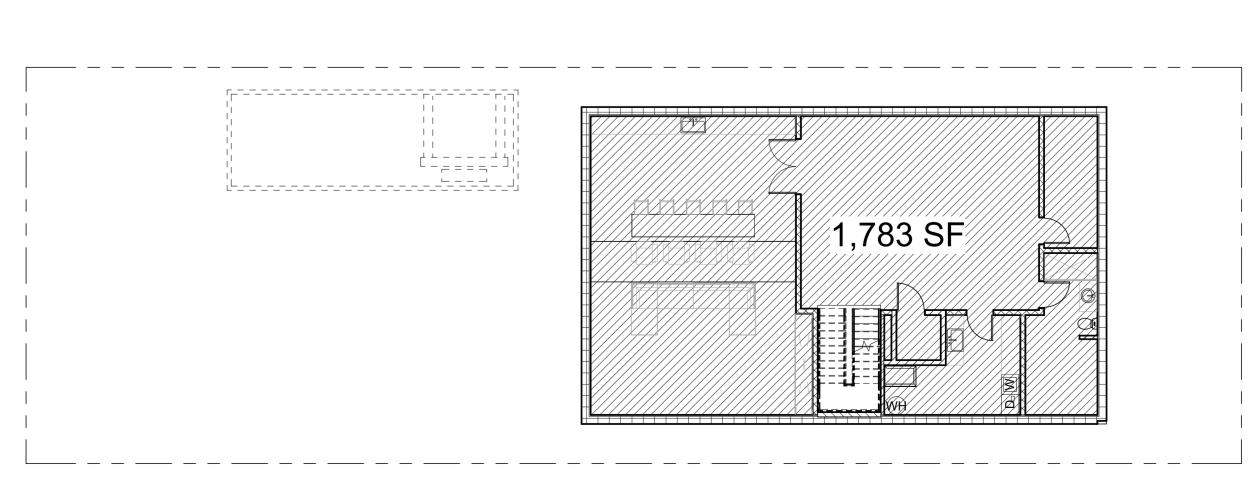














SQUARE FOOTAGE **BREAKDOWNS** DRAWN

807 S 6TH AVE., LOS ANGELES, CA 90291

Revision Schedule

Revision Date

Revision Number

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A0.13 A

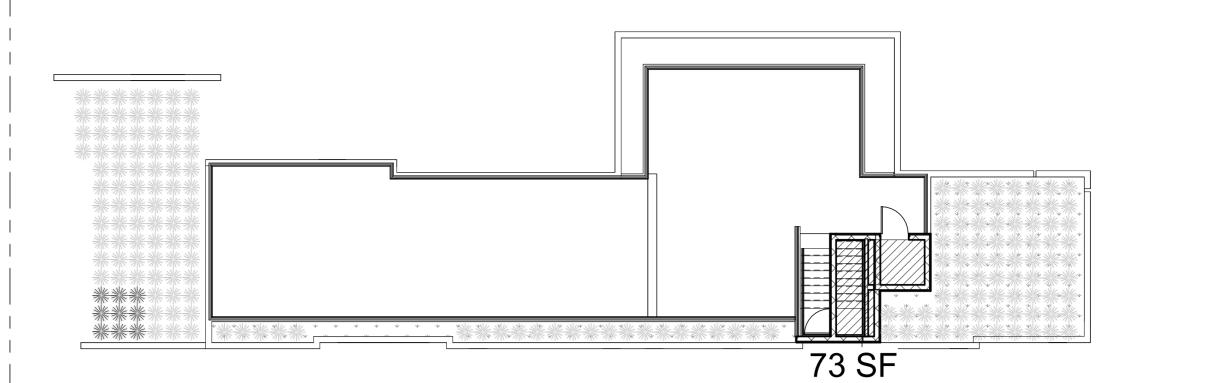
Revision Schedule Number Revision Date

SQUARE FOOTAGE **BREAKDOWNS**

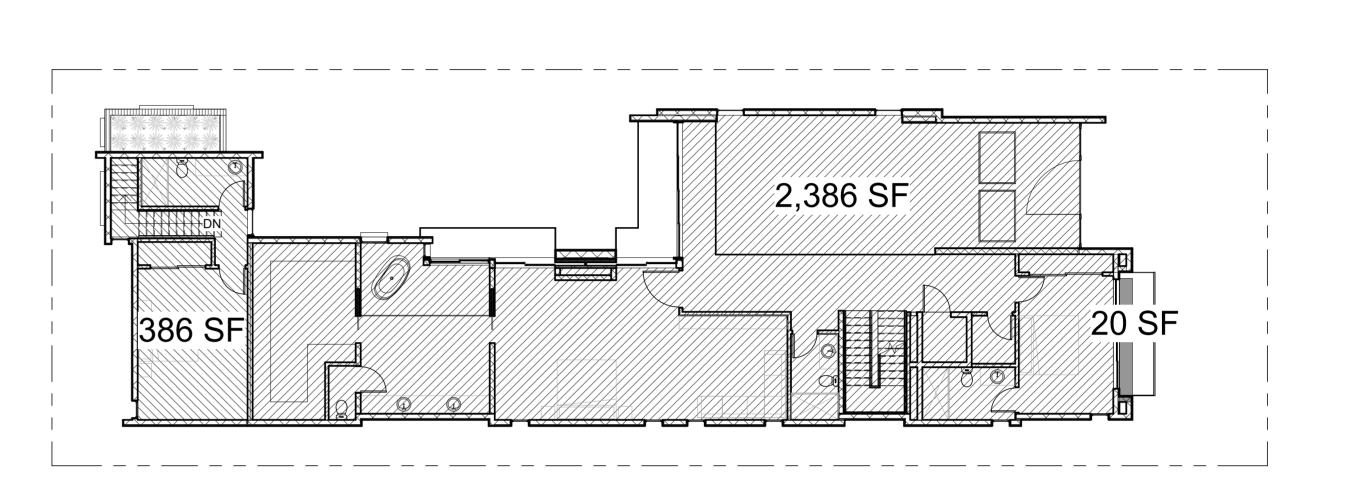
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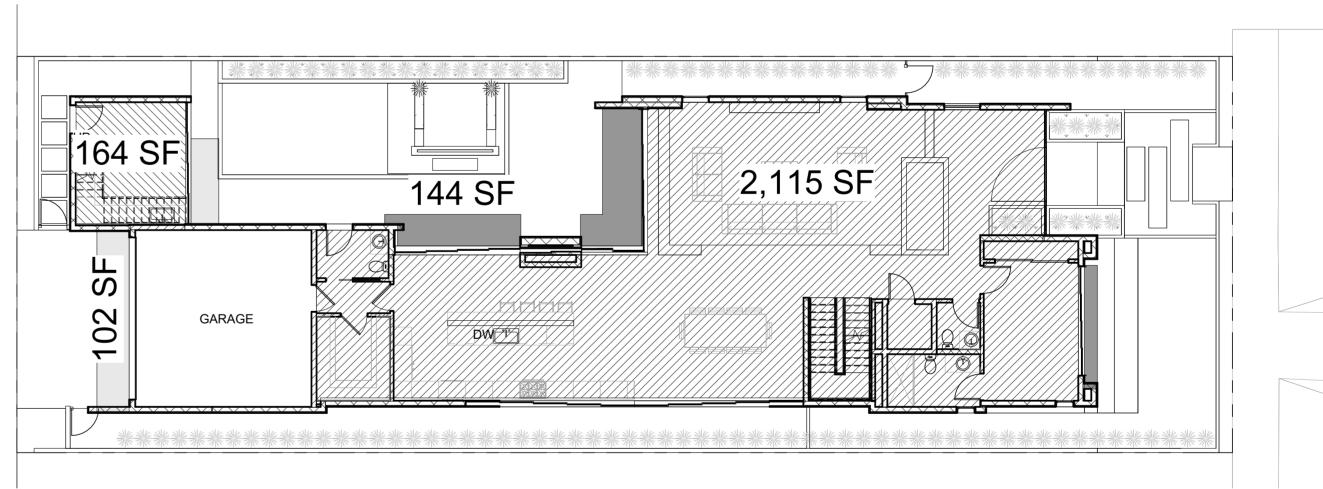
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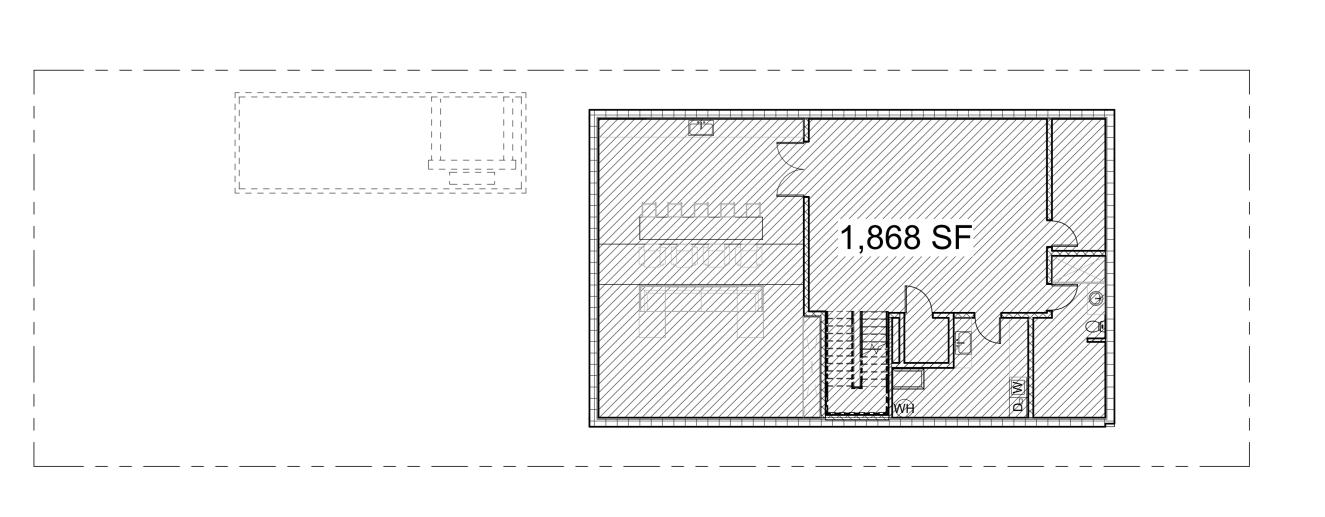


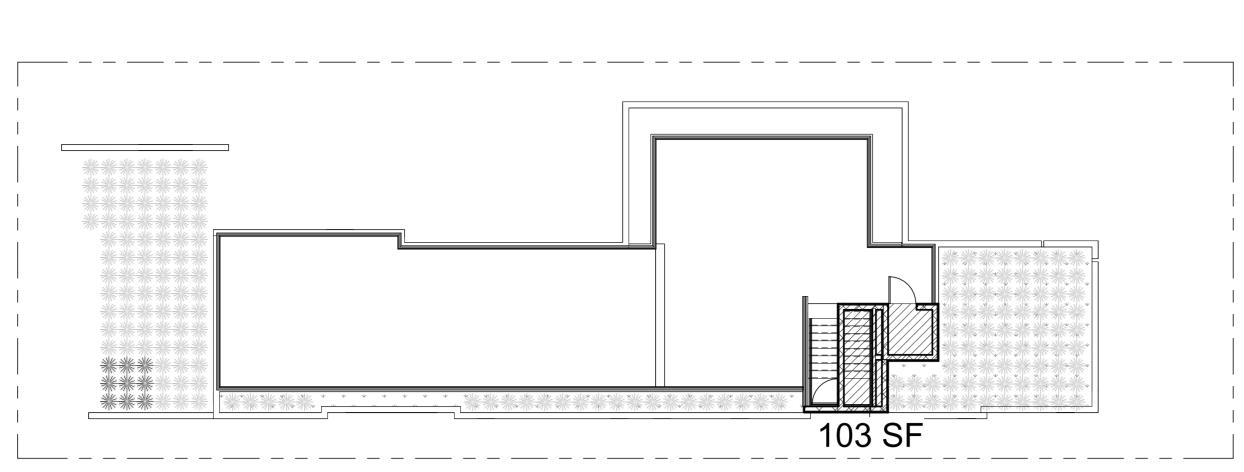




N		
	GROUND FLOOR - BUILDING 3/32" = 1'-0"	2

BASEMENT - BUILDING 3/32" = 1'-0"





SCHOOL FEE FLOOR AREA

200 SF 436 SF 636 SF

7,694 SF

MAIN HOUSE

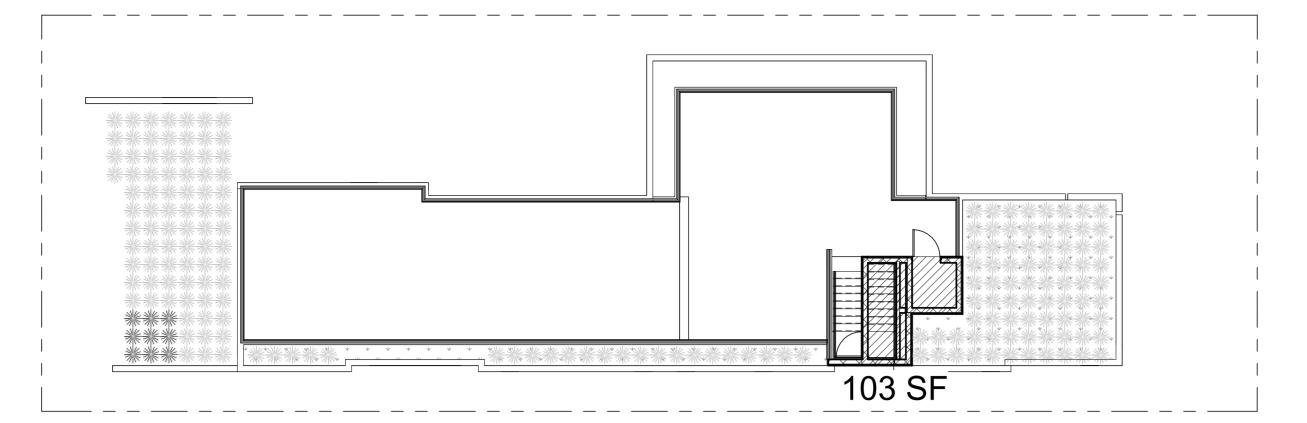
-ROOF DECK TOTAL

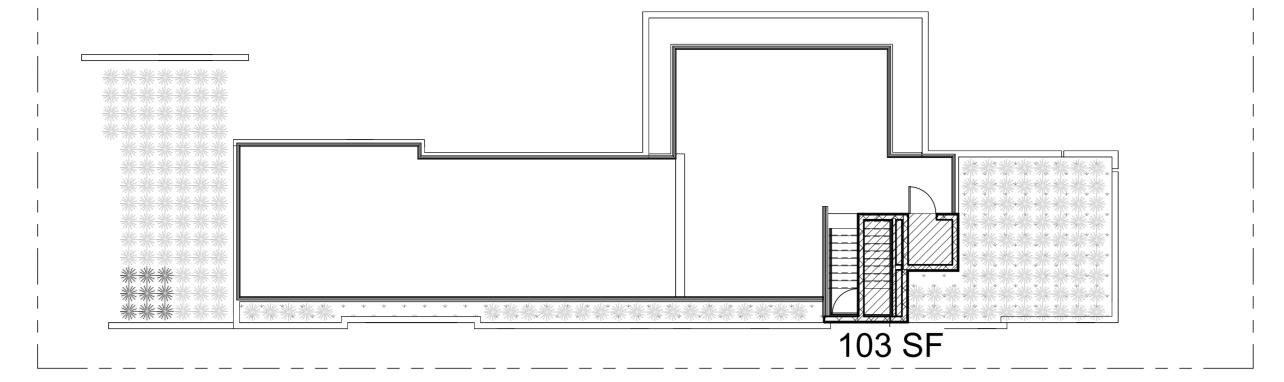
-FIRST FLOOR -SECOND FLOOR

TOTAL

TOTAL PROVIDED

-BASEMENT FLOOR -FIRST FLOOR -SECOND FLOOR







BUILDING CODE FLOOR AREA

1,868 SF 2,115 SF 144 SF 2,386 SF 20 SF 73 SF 6,606 SF

164 SF 102 SF 386 SF - SF

652 SF

7,258 SF

MAIN HOUSE

-FIRST FLOOR

COVERED -ROOF DECK TOTAL

-FIRST FLOOR

-SECOND FLOOR

TOTAL

TOTAL PROVIDED

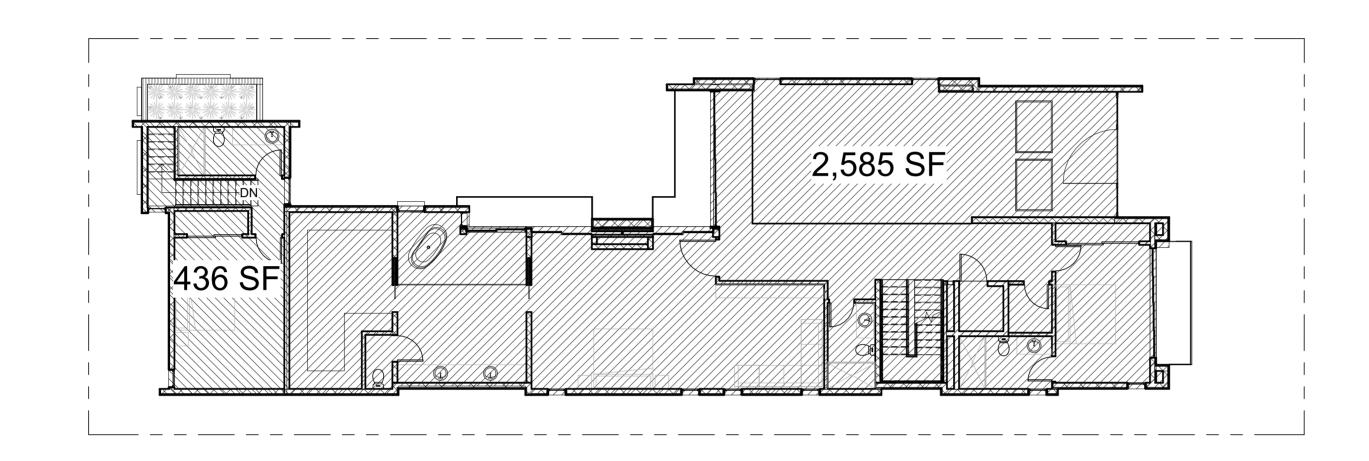
COVERED

COVERED

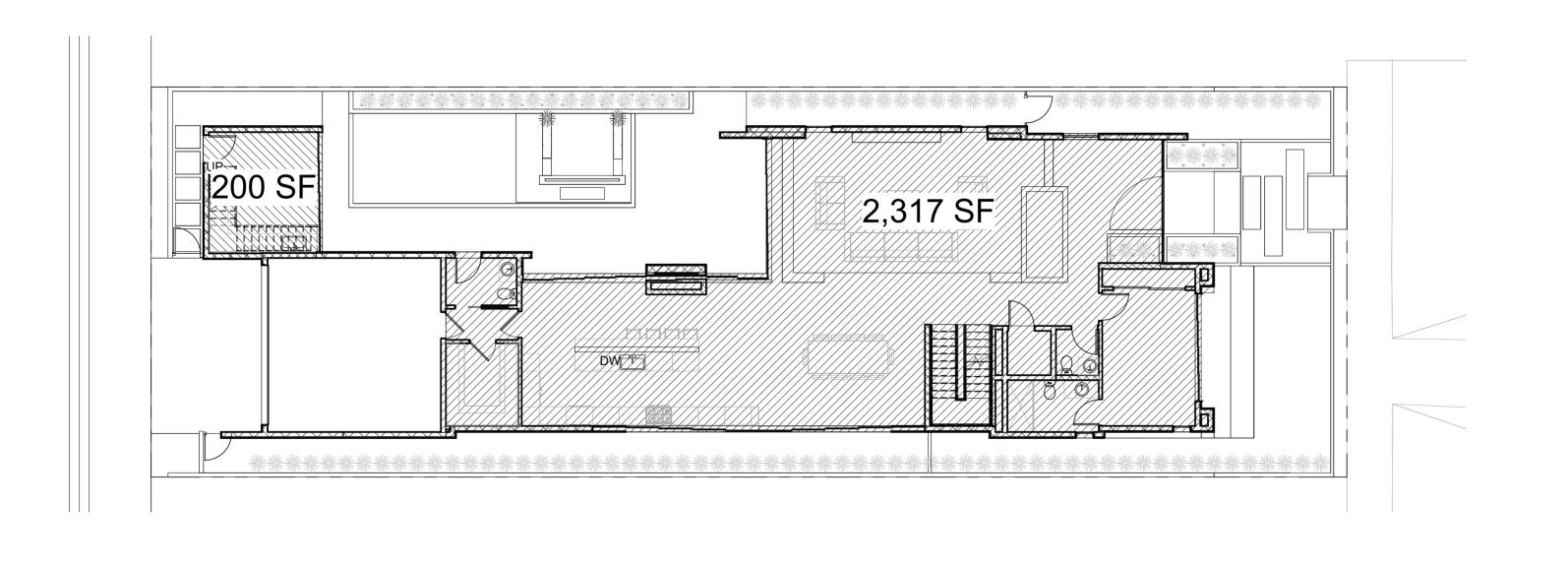
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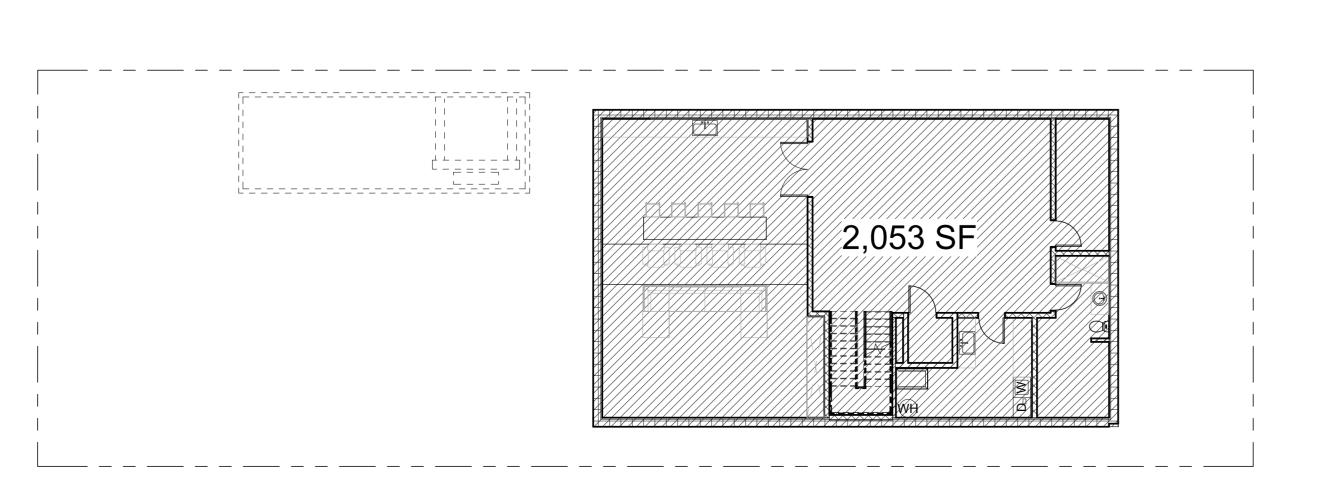
COVERED -SECOND FLOOR

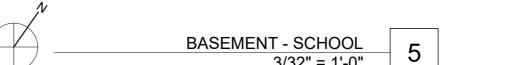
-BASEMENT FLOOR







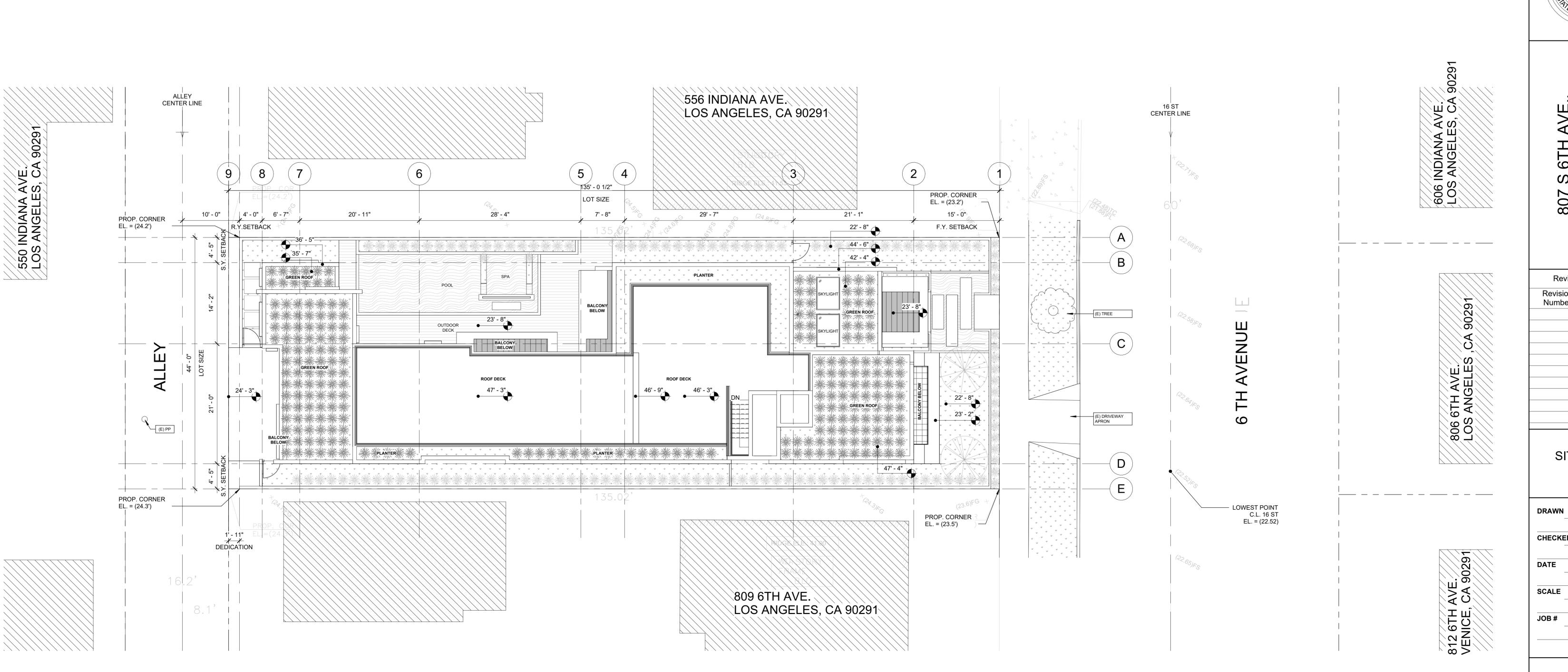




SITE PLAN LEGEND

— — — PROPERTY LINE

---- SETBACKS



To rena street, el segundo, ca 90245
[9] 310.322.3700

RAMSEY DAHAM
No. C-34257

10/31/23
RENEWAL DATE

307 S 6TH AVE., LOS ANGELES, CA 90291

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Number

Revision Date

SITE PLAN

SHE PLAN

DRAWN Author

CHECKED Checker

DATE 3/28/2025 11:40:24 AM

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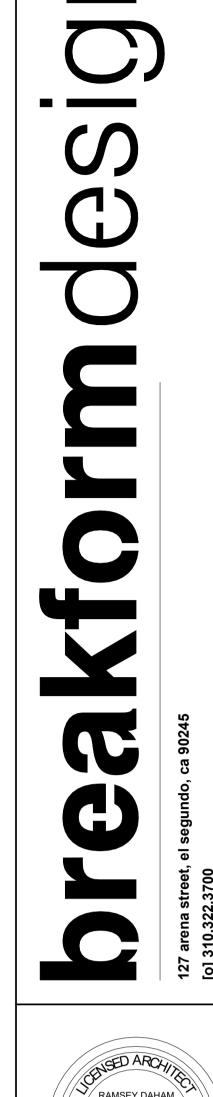
B # Project Number

A1.00

SITE PLAN 1/8" = 1'-0" SITE PLAN LEGEND

— — — PROPERTY LINE

--- SETBACKS



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No. C-34257

10/31/23
RENEWAL DATE

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Revision Schedule

Revision
Number Revision Date

PLOT PLAN

DRAWN Author

CHECKED Checker

DATE 3/28/2025 11:40:25 AM

DATE

3/28/2025 11:40:25 AM

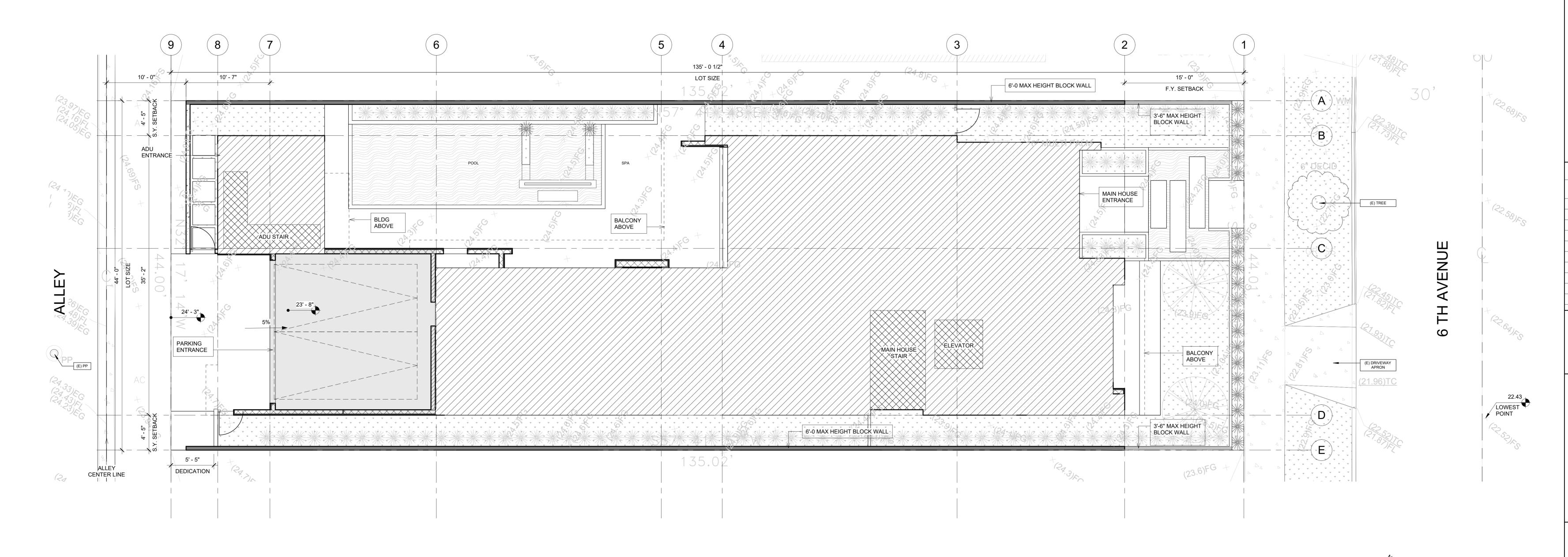
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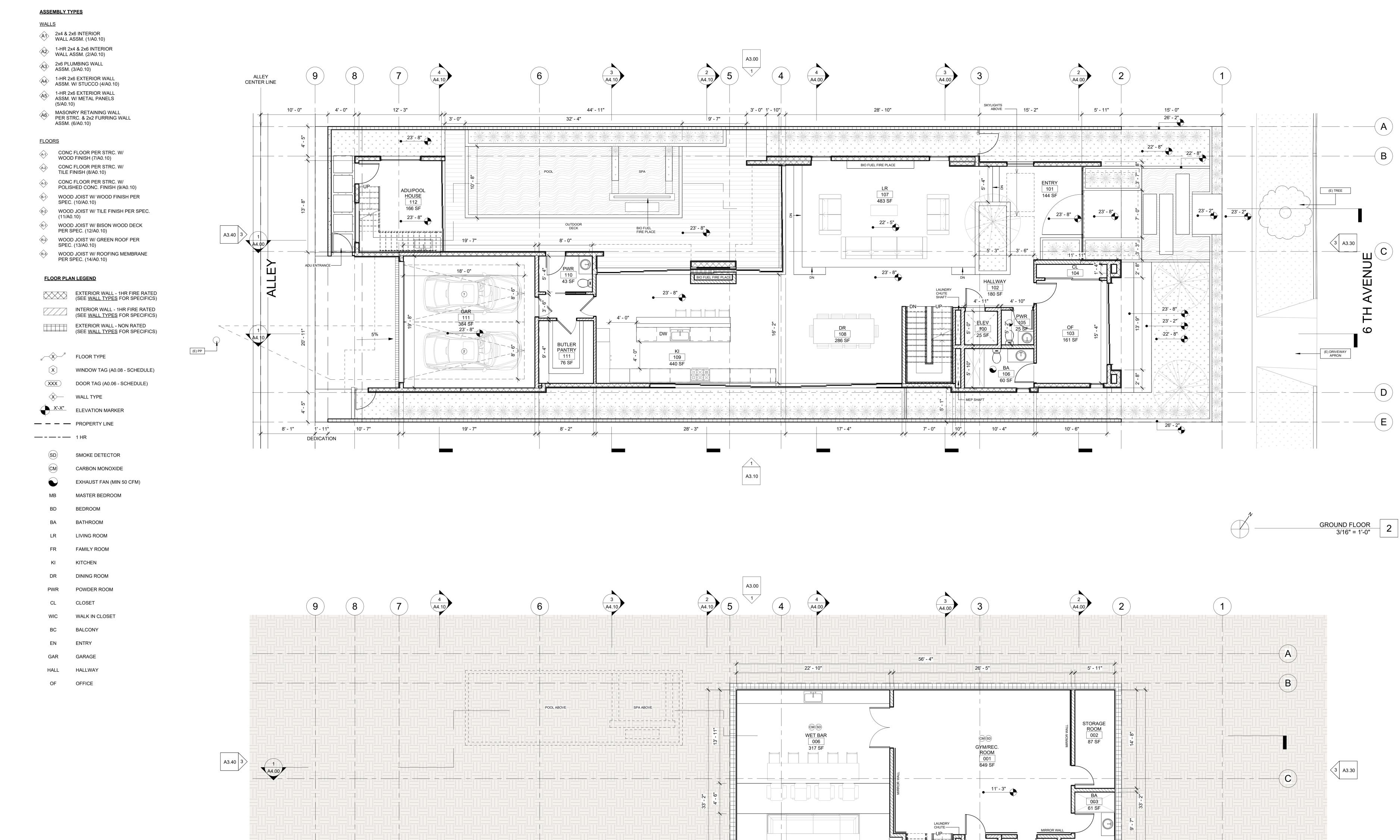
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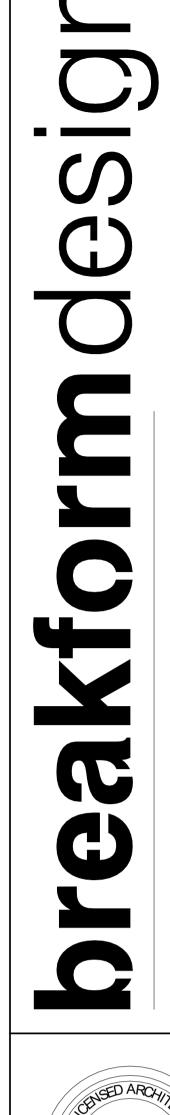
JOB # Project Number

A1.10

PLOT PLAN 3/16" = 1'-0"







807 S 6TH AVE., LOS ANGELES, CA 90291

RAMSEY DAHAM No. C-34257

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PROPOSED PLANS

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DATE 3/28/2025 11:40:28 AM

SCALE As indicated

JOB # Project Number

A2.00

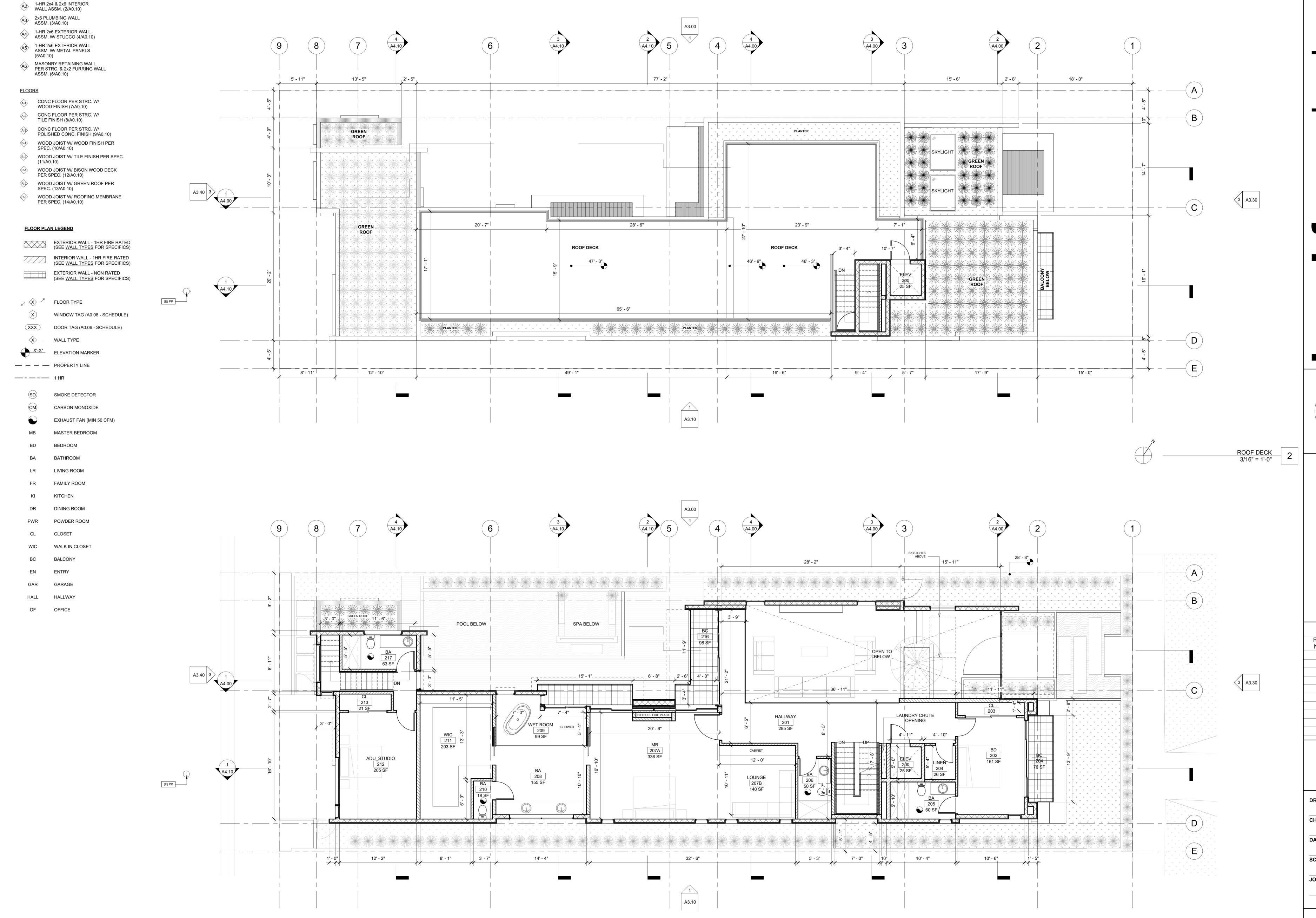
BASEMENT
3/16" = 1'-0"

LAUNDRY/MECH. ROOM

15' - 1"

1' - 10" 7' - 0"

22' - 10"



ASSEMBLY TYPES

2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10)

WALLS

DISTANDED KTOLING GSIGN 127 arena street, el segundo, ca 90245

RAMSEY DAHAM
No. C-34257

10/31/23
RENEWAL DATE

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A2.10

SECOND FLOOR 3/16" = 1'-0"

