

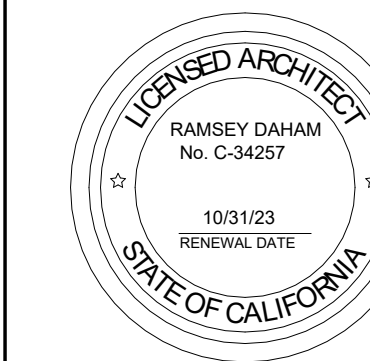
breakform design

[illegible]

DRAWN	Author
CHECKED	Checker
DATE	3/28/2025 11:40:07 AM
SCALE	
JOB #	Project Number

A0.00

[illegible]



807 S 6TH AVE.,
LOS ANGELES,
CA 90291

Revision Schedule	
Revision Number	Revision Date

EXISTING SITE
SURVEY

DRAWN	Author
CHECKED	Checker
DATE	3/28/2025 11:40:11 AM
SCALE	
JOB #	Project Number

A0.02

INDIANA AVENUE

6TH AVENUE

INDIANA COURT

PLEASE NOTE

IF THIS DRAWING IS PROVIDED IN AN ELECTRONIC FORMAT (VIA EMAIL OR ON COMPUTER DISC) AS A COURTESY TO OUR CLIENT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. PACIFIC LAND CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY PACIFIC LAND CONSULTANTS, INC.

UNDERGROUND UTILITIES

ALL INFORMATION SHOWN HEREON REGARDING UNDERGROUND UTILITIES WAS TAKEN FROM VISIBLE SURFACE EVIDENCE OR SOURCES NOT CONNECTED WITH THIS COMPANY AND WHILE SAID INFORMATION IS BELIEVED CORRECT, NO LIABILITY IS ASSUMED FOR THE ACCURACY OR COMPLETENESS OF SAID DATA.

BENCHMARK

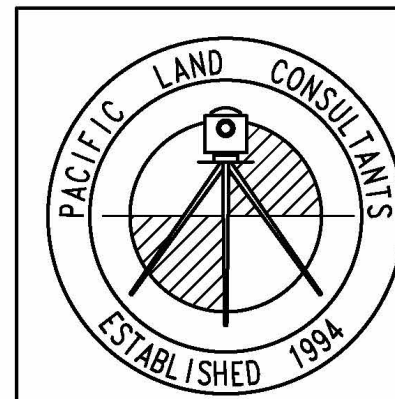
CITY OF LA BM # 16-01200
WIRE SPK E'LY CURB 6TH AVE.,
4.8' S'LY OF BC RETURN S'LY
OF SUNSET AVE.
ELEV: 24.988 (NAVD-88)

AREA = 5941.57 SQ.FT.

APN= 4239-009-014

LEGAL DESCRIPTION

LOT 14, BLOCK 4 OF SEA GIRT TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 5, PAGE 195, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



PACIFIC LAND CONSULTANTS, INC.
28441 HIGHRIIDGE RD. SUITE 230
ROLLING HILLS ESTATES, CA 90274
(310) 544-8689

DRAWN
BY: J.C.M.
PROJECT SITE:
807 6TH AVENUE
VENICE, CA

FILE NAME: 24059LS.DWG
DATE: 6-26-2024

SCALE: 1" = 8'

JOB NO. 24059

SHEET 1 OF 1

LEGEND

A.C. ASPHALT CONCRETE PAVEMENT
B.M. BENCH MARK
C.B.W. CONCRETE BLOCK WALL
C.B.R.W. CONCRETE BLOCK RETAINING WALL
CONC. CONCRETE
C/O SEWER CLEANOUT
DWY. CONC. DRIVEWAY APRON
E.G. EDGE OF GUTTER
E.M. ELECTRIC METER
E.P. EDGE OF PAVEMENT
E.V. ELECTRIC VALVE
F.F. FINISHED FLOOR
F.G. FINISHED GRADE
F.H. FIRE HYDRANT
F.S. FINISHED SURFACE
F.L. FLOW LINE
G.M. GAS METER
INV. DRAIN INVERT
I.C.V. IRRIGATION CONTROL VALVE
P.B. PULL BOX
P.C.R.W. POURED CONC. RETAINING WALL
R.R.W. ROCK RETAINING WALL
S.M.H. SEWER MANHOLE
S.D.M. STORM DRAIN MANHOLE
T.C. TOP OF CURB
T.G. TOP OF DRAIN GRATE
T.W. TOP OF WALL
W.M.H. WATER MANHOLE
W.V. WATER VALVE

OVERHANG

EASEMENT LIMIT

CONCRETE SURFACE

TREE AND TRUNK DIAMETER

WOOD FENCE

POWER POLE

LIGHT POLE

TOPOGRAPHIC NOTES

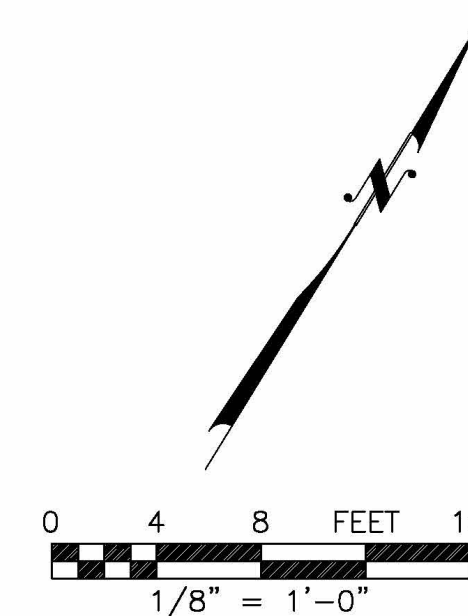
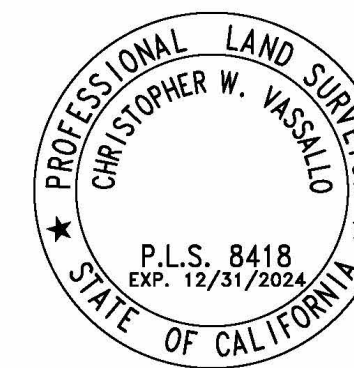
1. CONTOUR LINES SHOWN ON THIS TOPOGRAPHIC SURVEY WERE GENERATED FROM RANDOM SPOT ELEVATIONS. THE EXPECTED LEVEL OF ACCURACY IS $\pm 1/2$ OF THE CONTOUR INTERVAL. ISOLATED ELEVATIONS, AS PLACED ON THE PLAT WERE PHYSICALLY MEASURED AT APPROXIMATELY THE LOCATIONS SHOWN. THEIR EXPECTED LEVEL OF ACCURACY IS ± 0.10 FOOT.
2. IF SPECIFIC ELEVATIONS ARE REQUIRED, THE USER SHOULD CONTACT PACIFIC LAND CONSULTANTS, INC., TEL: (310)544-8689 FOR SAME. INTERPOLATIONS MADE FROM THIS TOPOGRAPHIC SURVEY SHOULD BE DONE IN ACCORDANCE WITH STANDARD SURVEYING PRACTICES, AND LIABILITY FOR INTERPOLATIONS IS NOT ASSUMED BY PACIFIC LAND CONSULTANTS, INC.

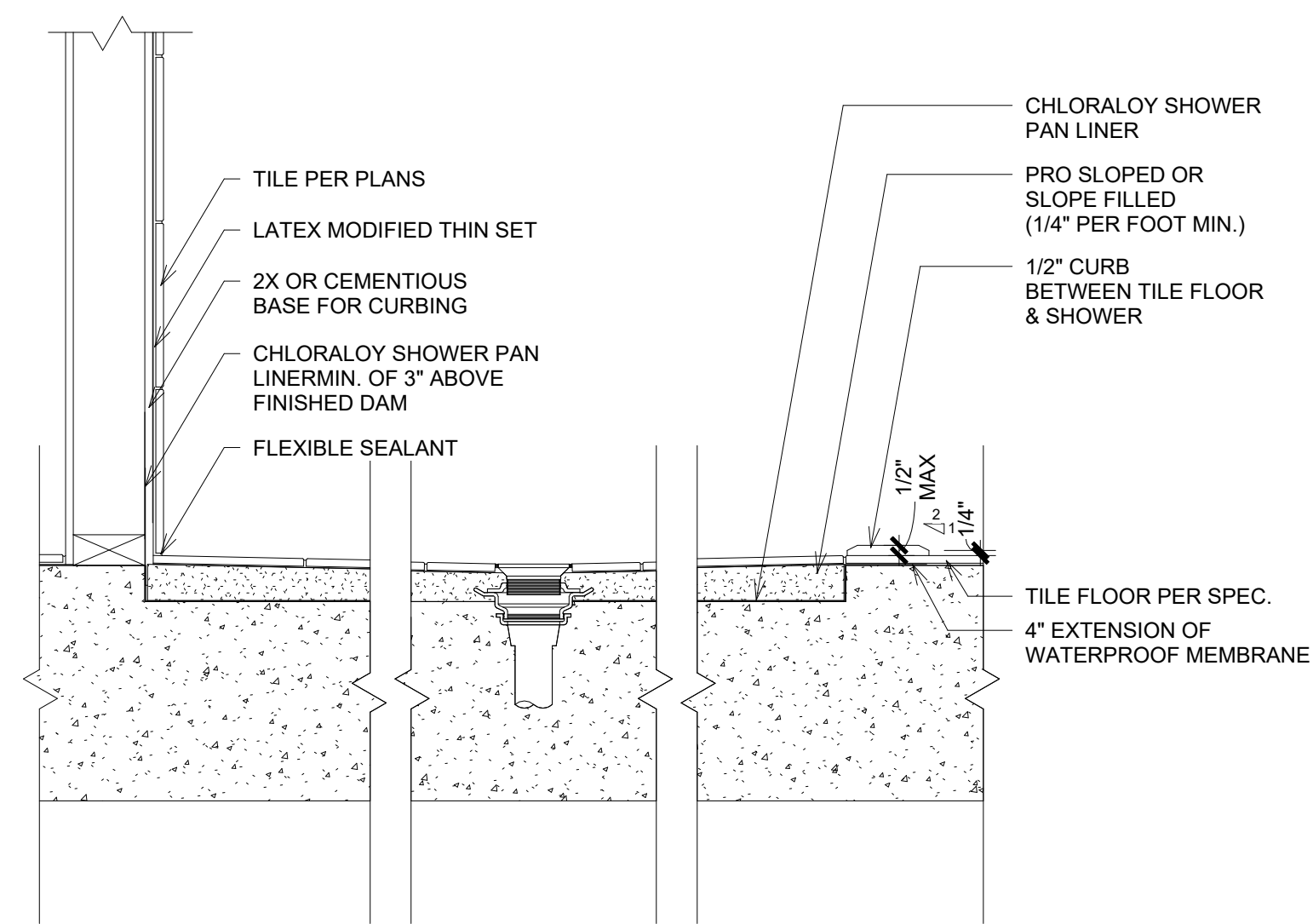
SURVEY CERTIFICATION

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS PLAT, CONSISTING OF ONE SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN XXXXXX, 2024; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN. THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

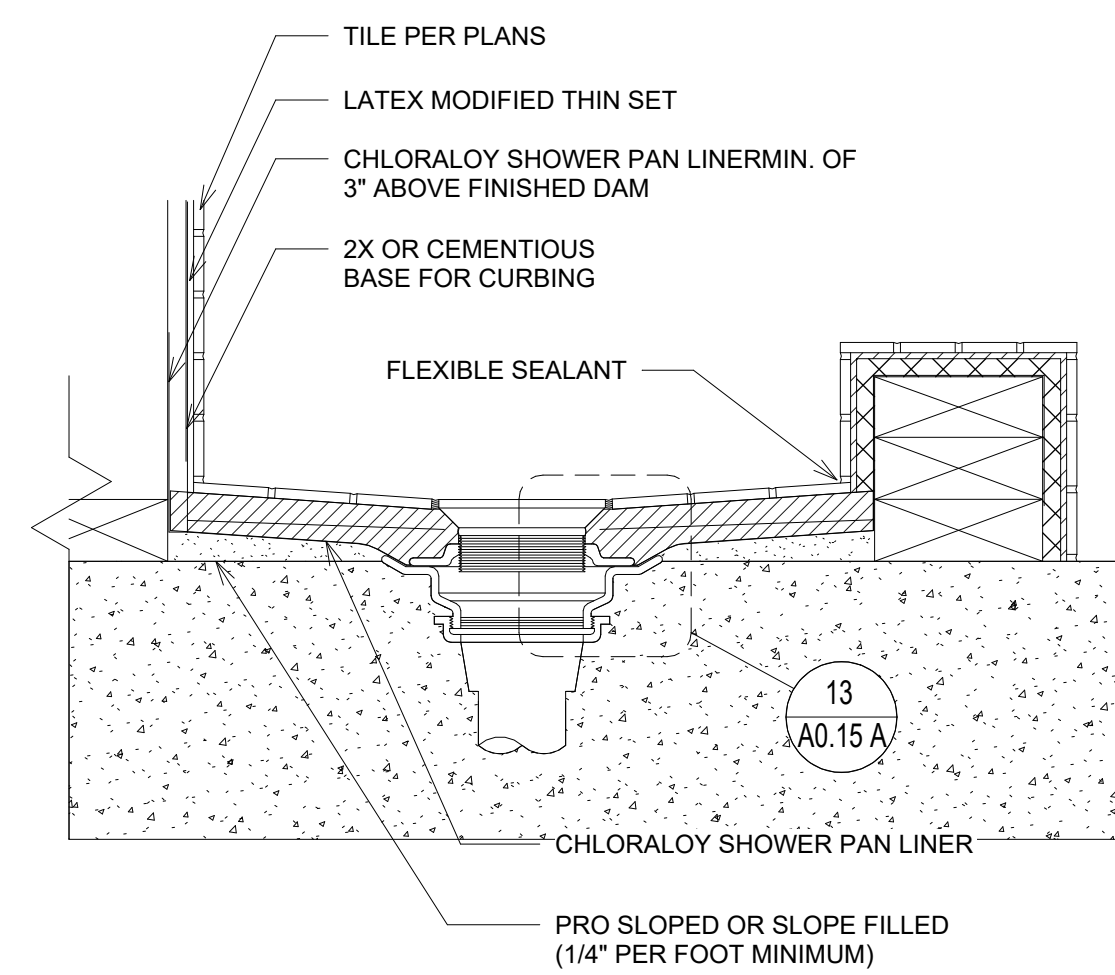
CHRISTOPHER W. VASSALLO
REGISTRATION EXPIRES 12-31-2024

6/26/2024
DATE

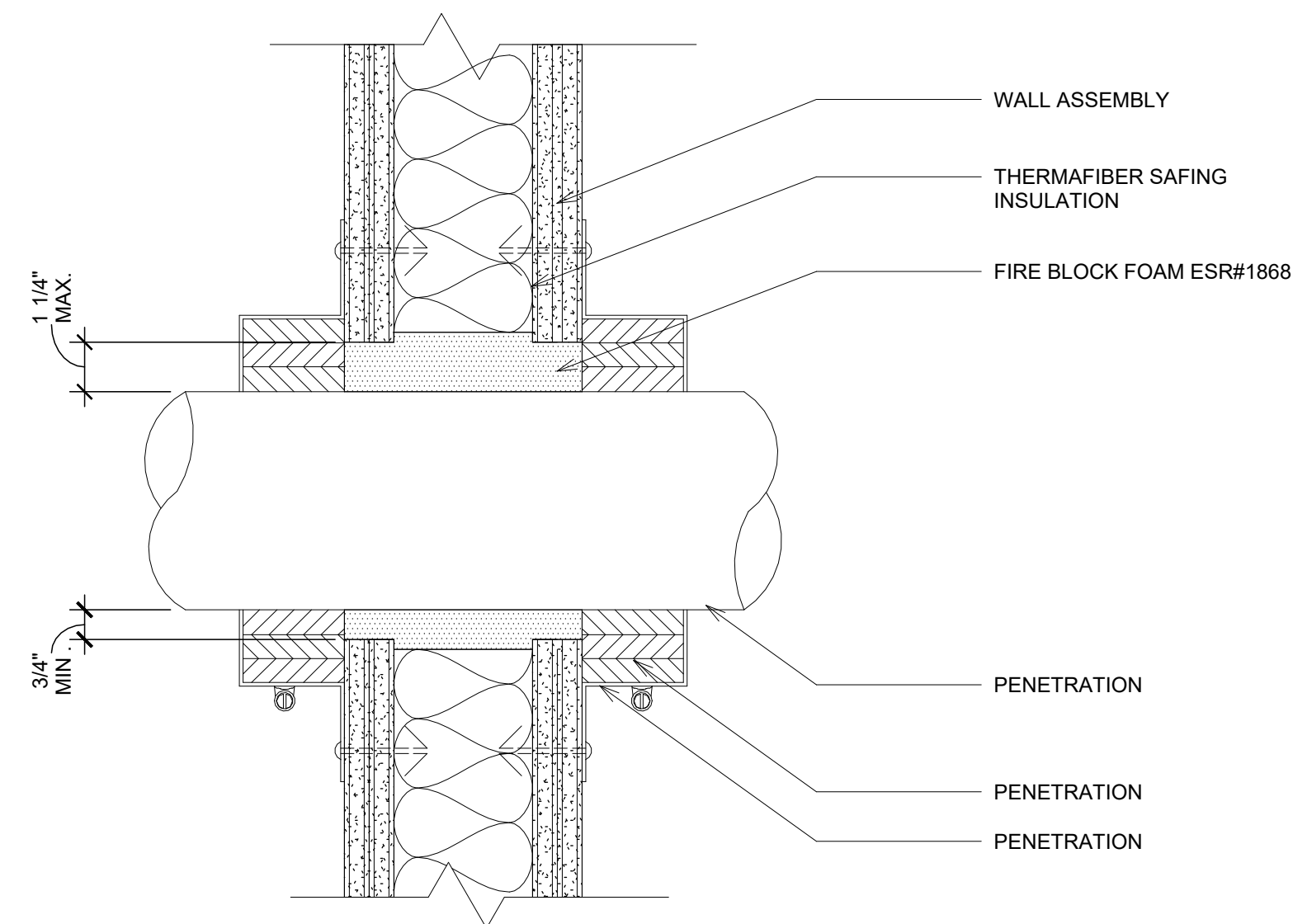




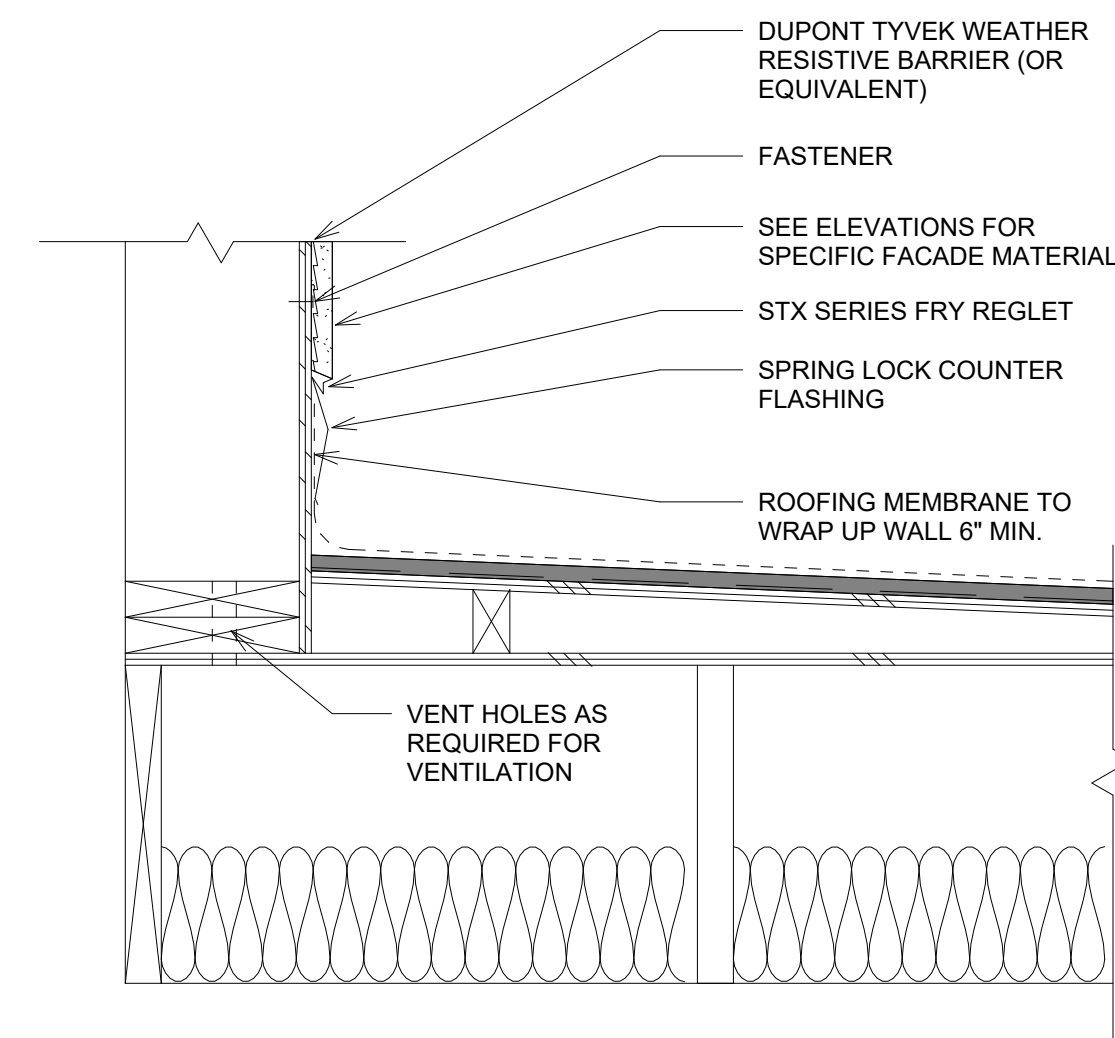
DETAIL - ACCESSIBLE SHOWER
1 1/2" = 1'-0"



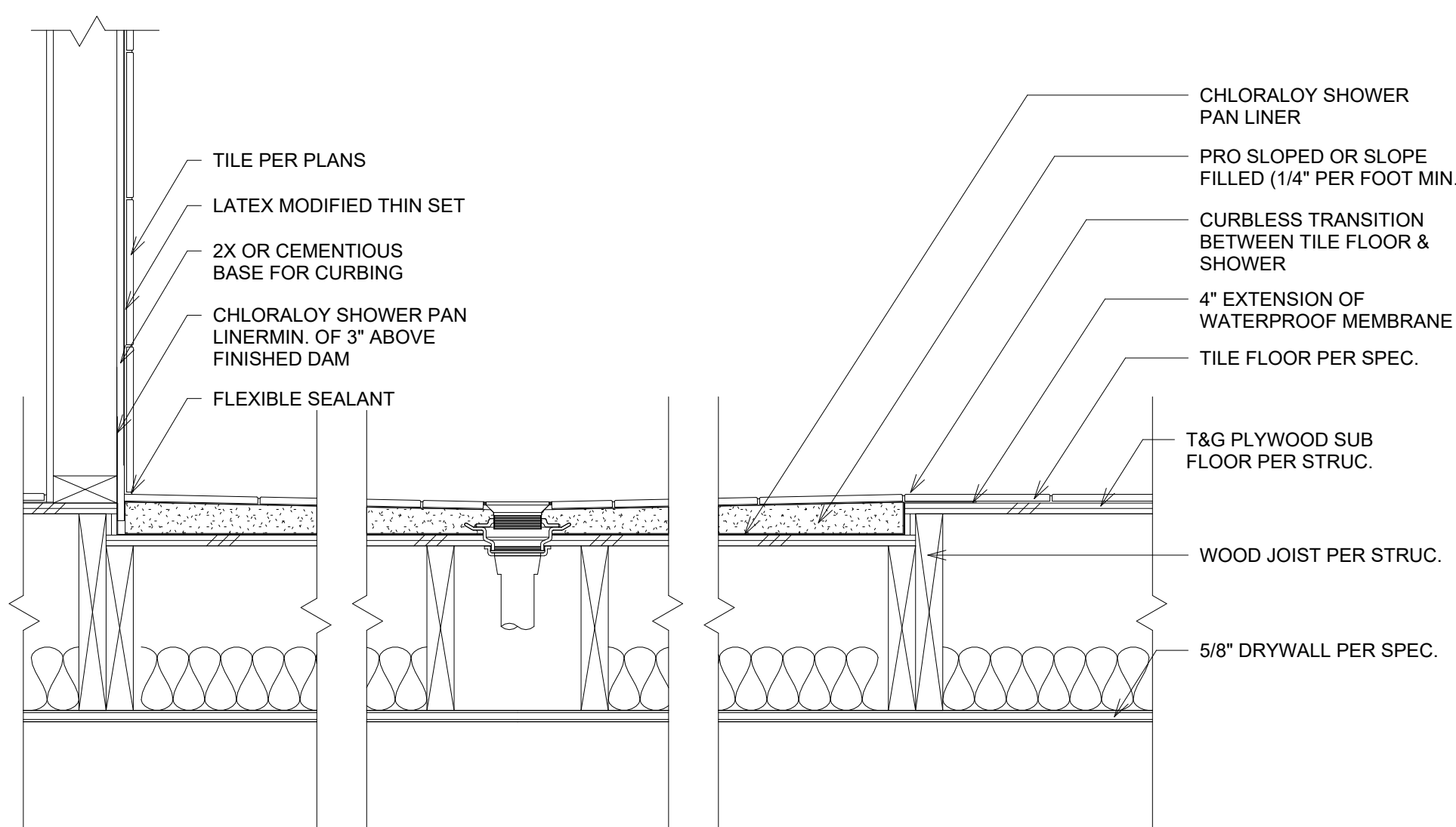
SHOWER
3" = 1'-0"



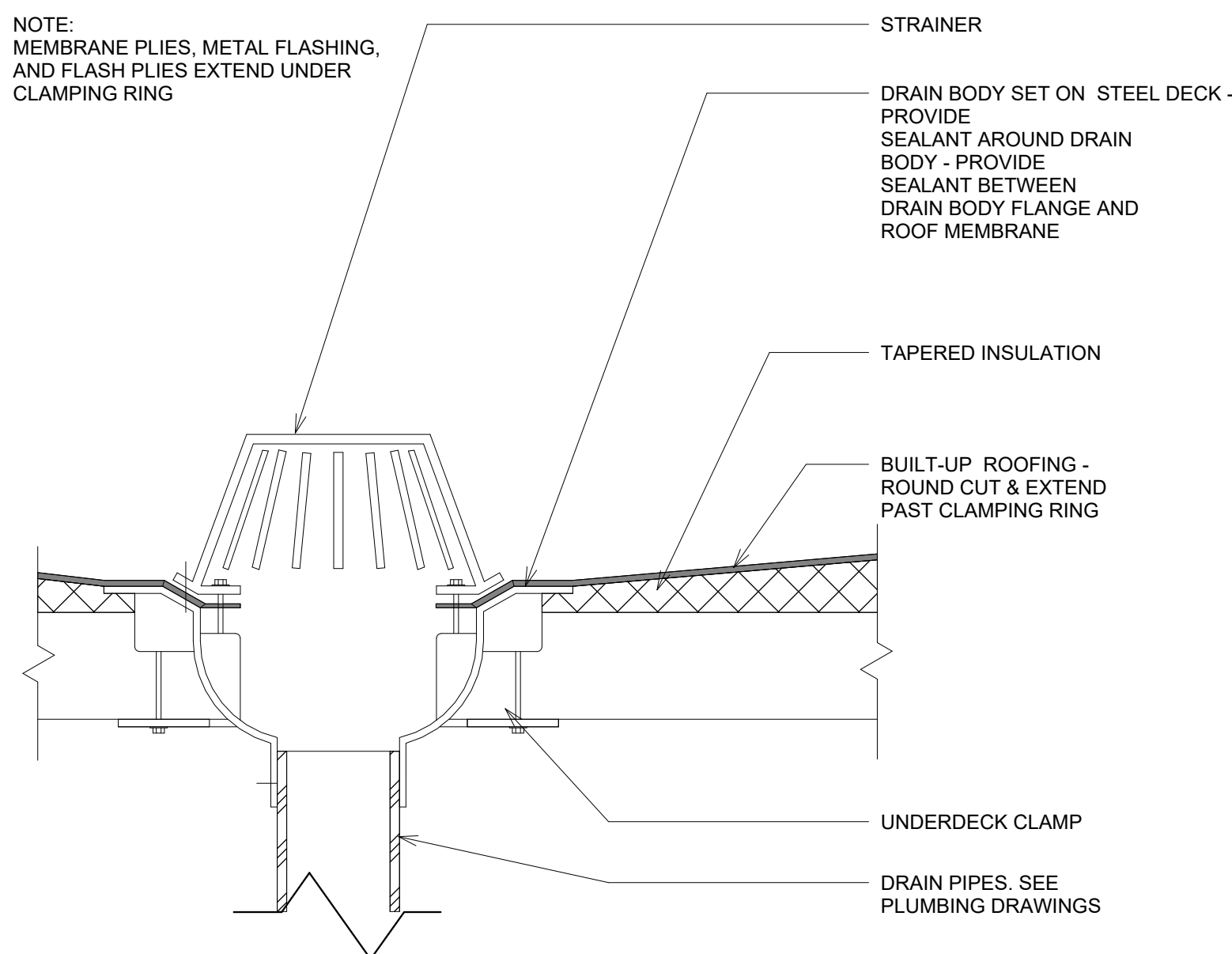
DETAIL - FIRE STOP / 2-HR WALL PENETRATION
3" = 1'-0"



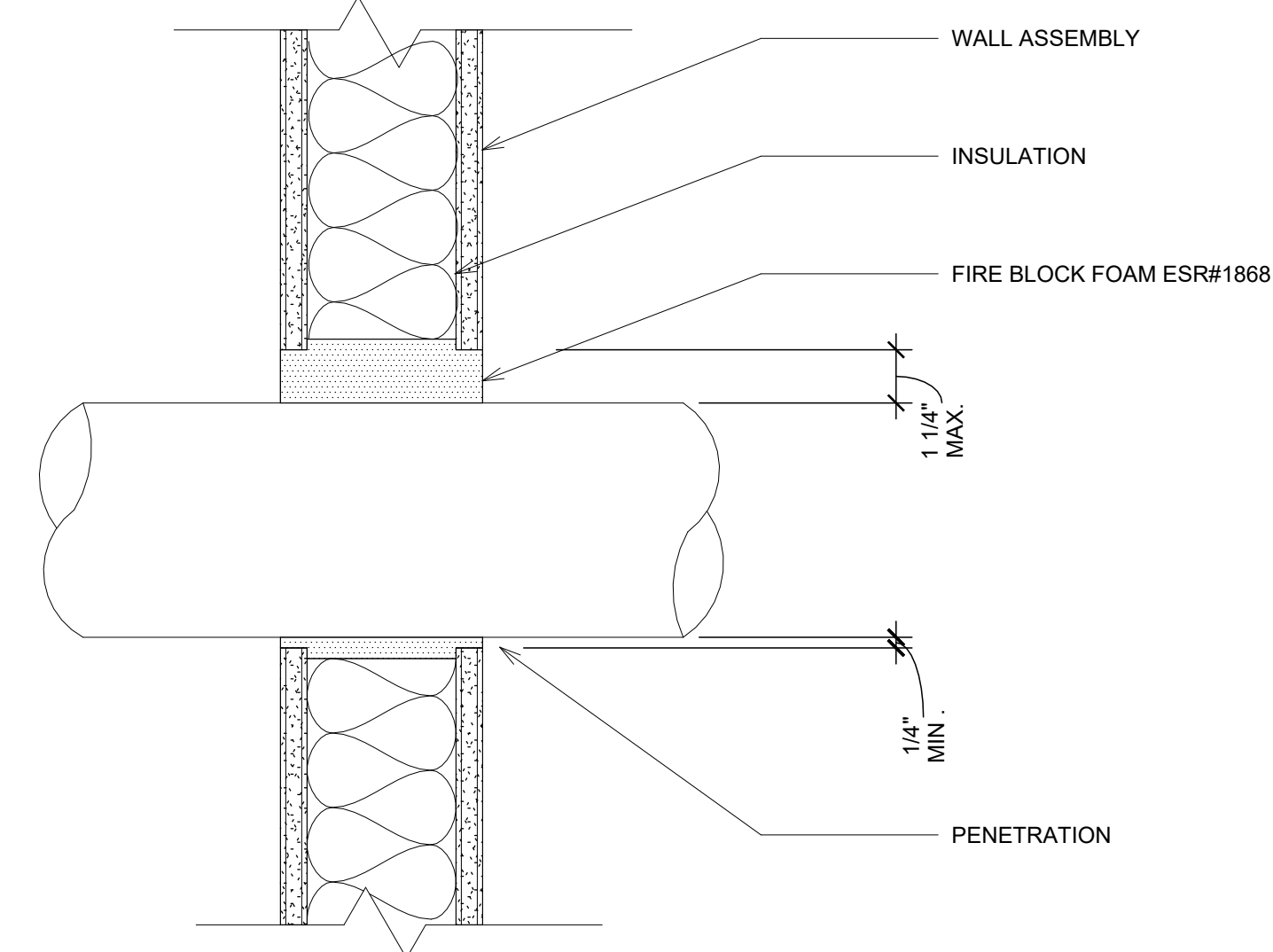
DETAIL - ROOF DECK TO WALL
1 1/2" = 1'-0"



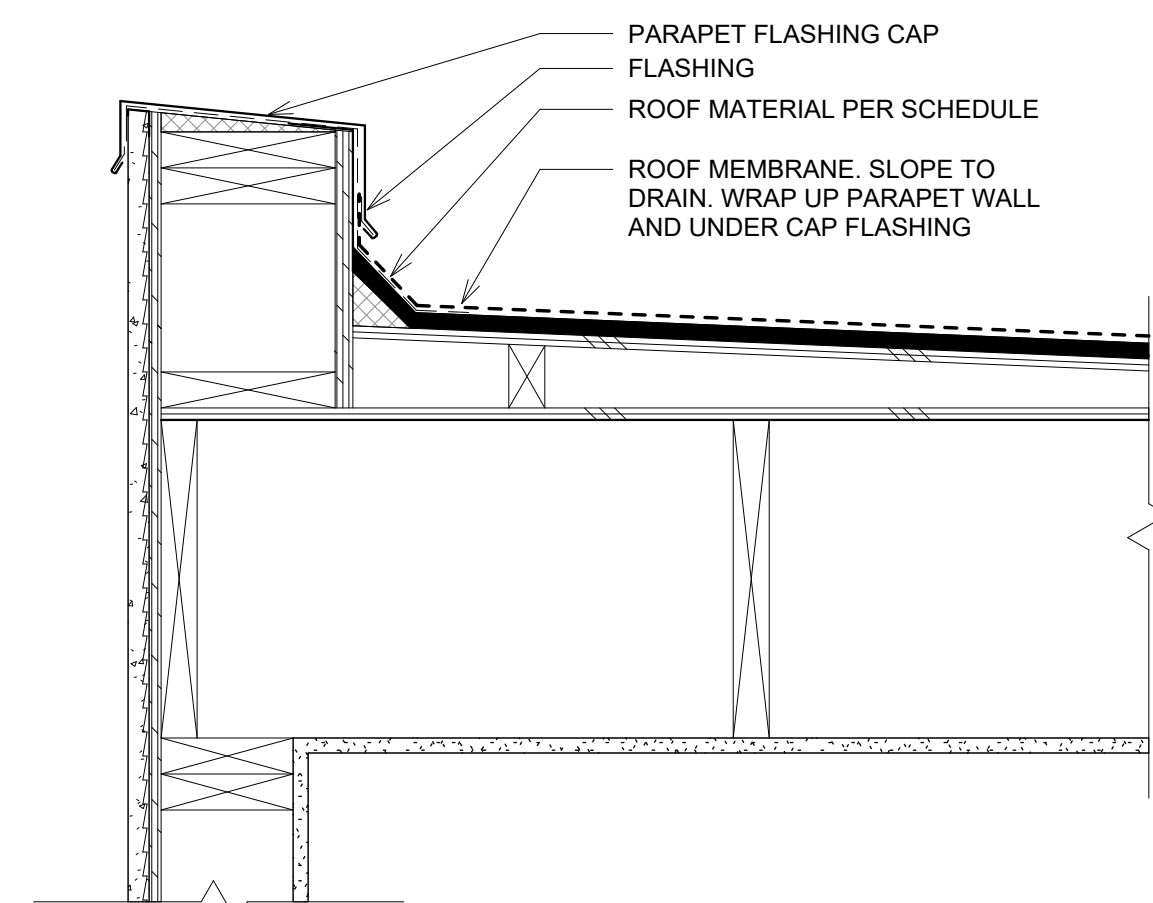
CURBLESS SHOWER TRANSITION
1 1/2" = 1'-0"



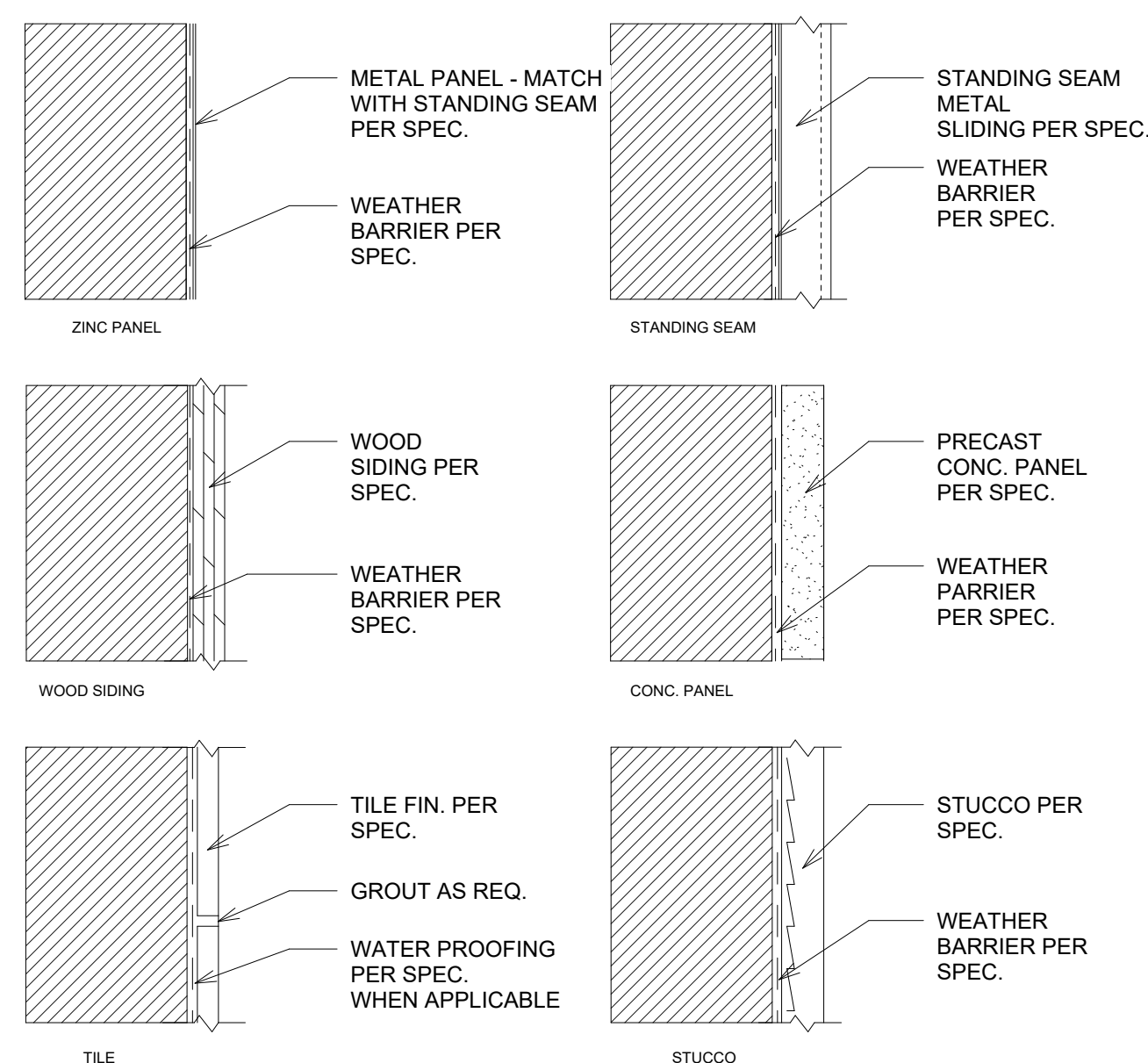
DETAIL - DRAIN
1 1/2" = 1'-0"



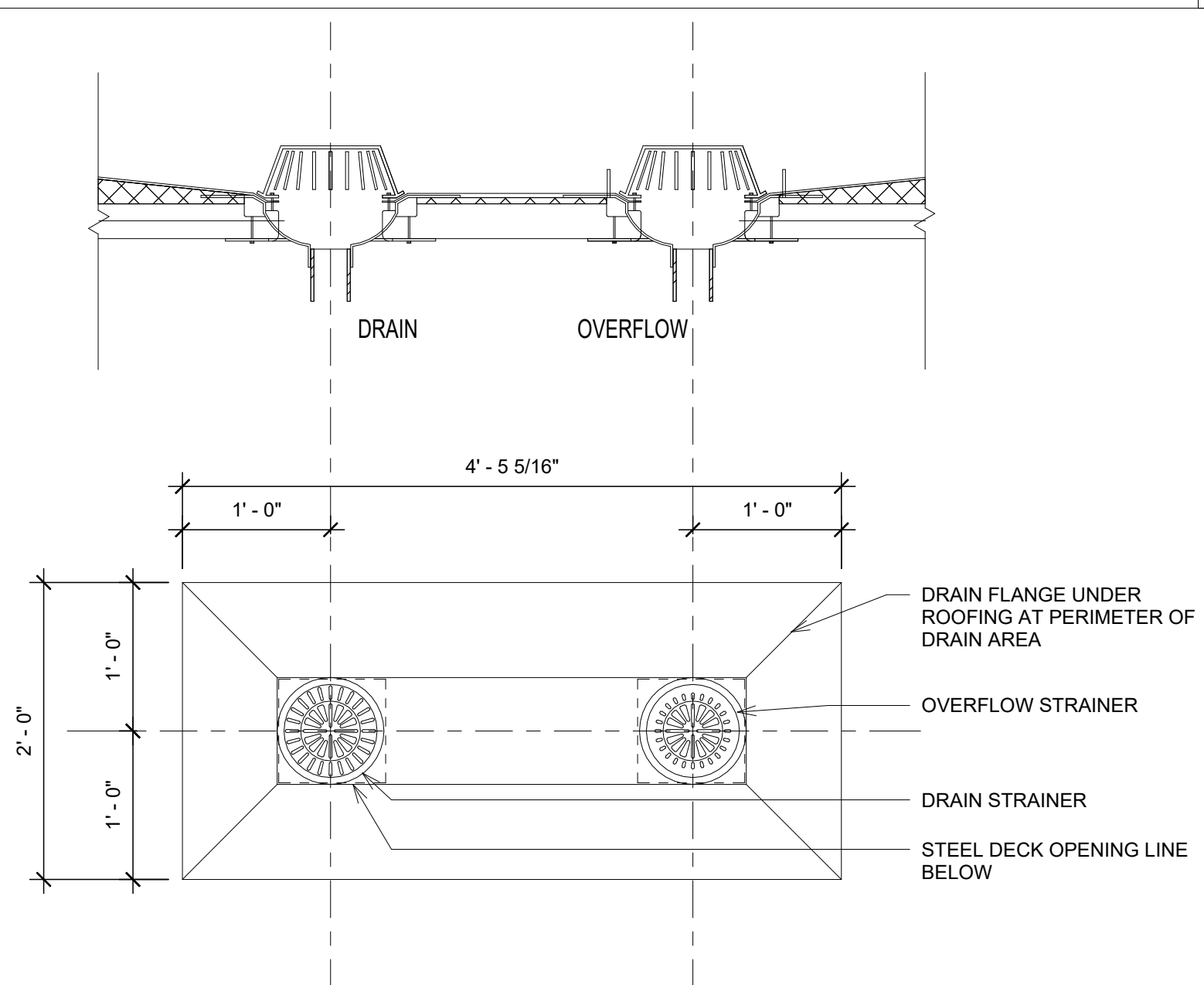
DETAIL - FIRE STOP / 1-HR WALL PENETRATION
3" = 1'-0"



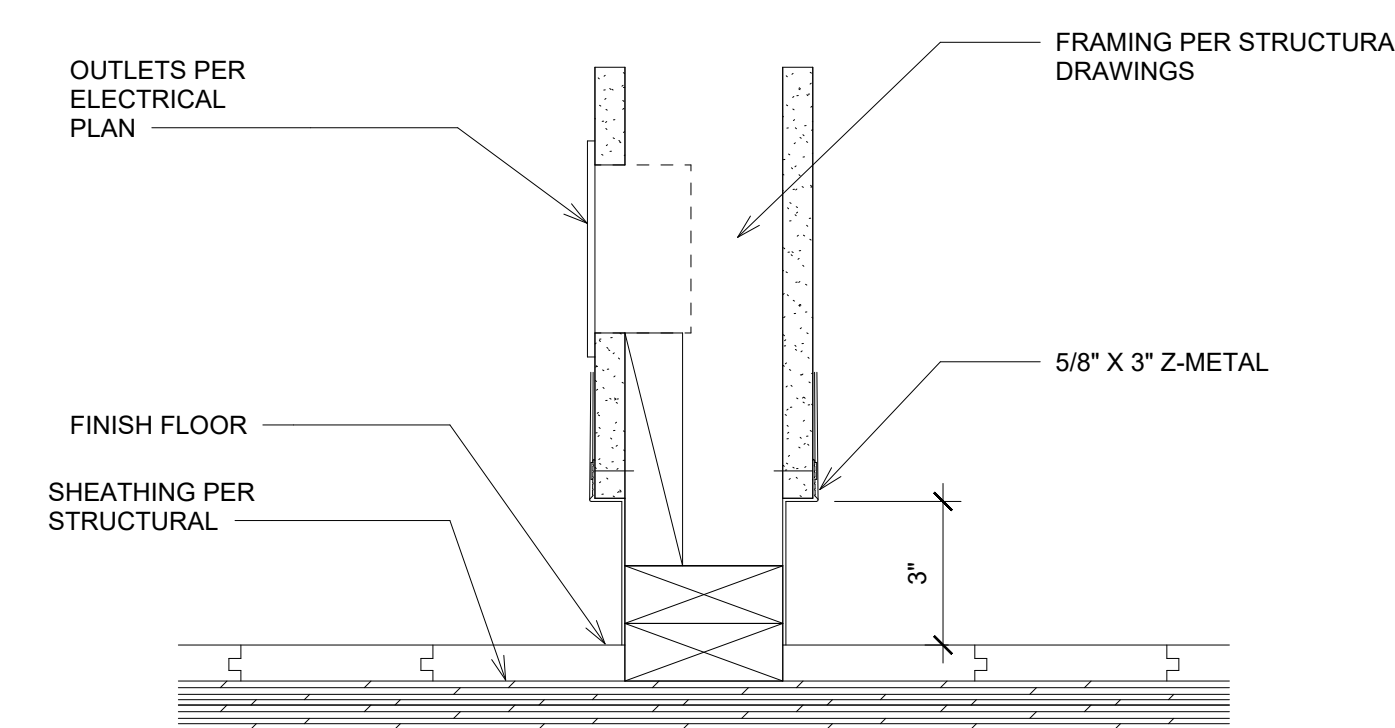
DETAIL - PARAPET
1 1/2" = 1'-0"



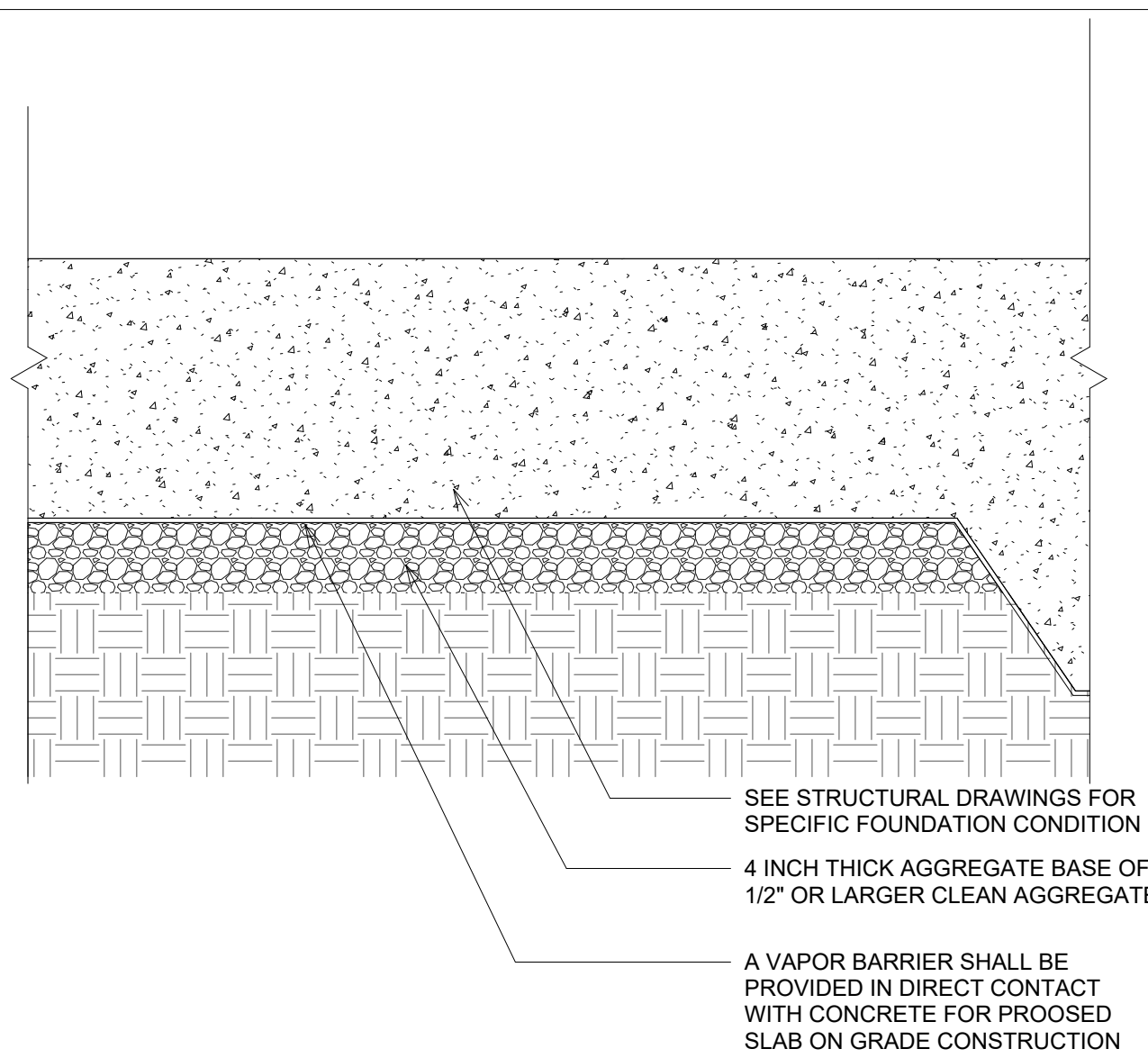
EXTERIOR WALL FINISHES
3" = 1'-0"



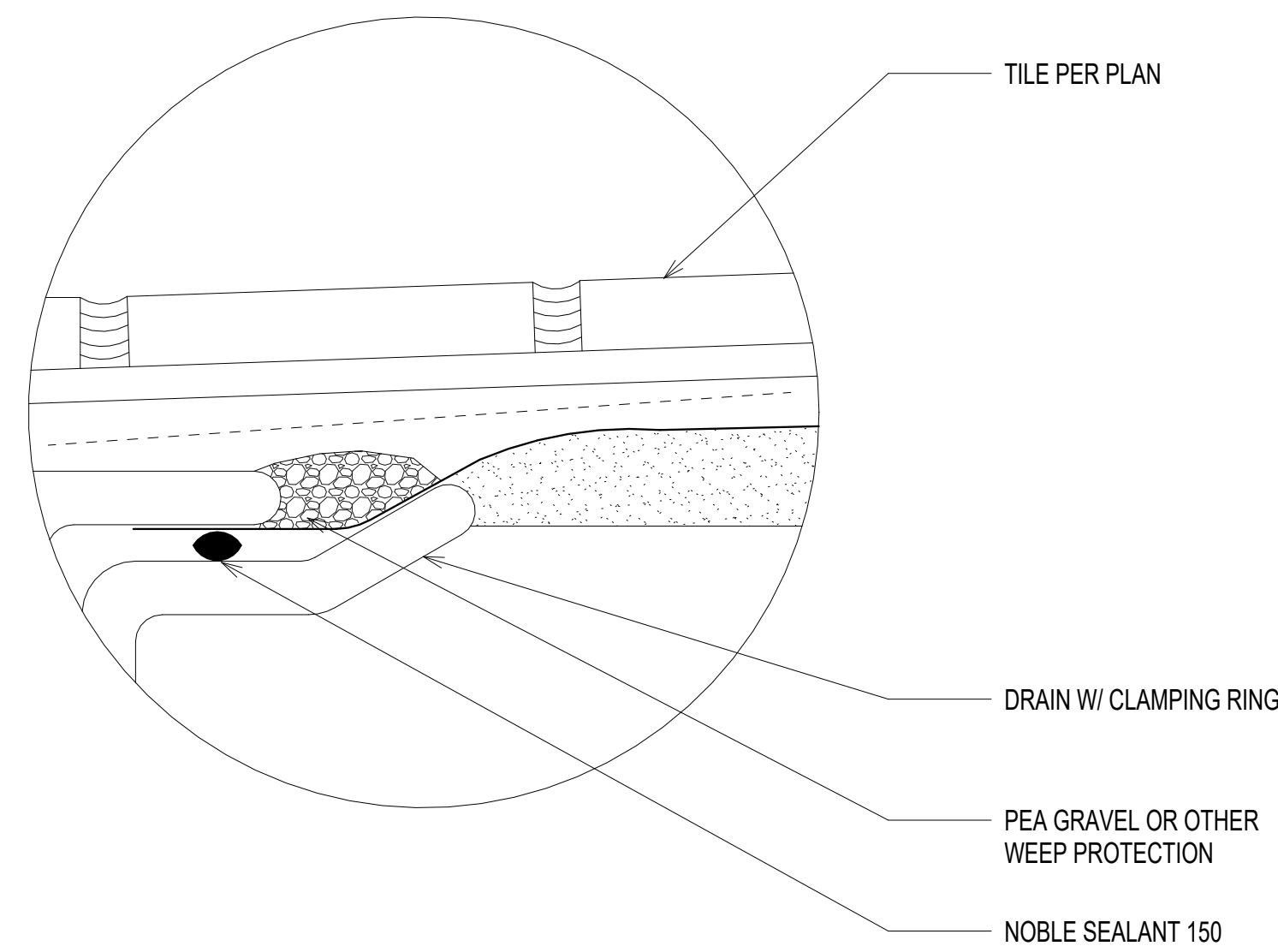
DETAIL - DRAIN / OVERFLOW DRAIN 1" = 1'-0"	10
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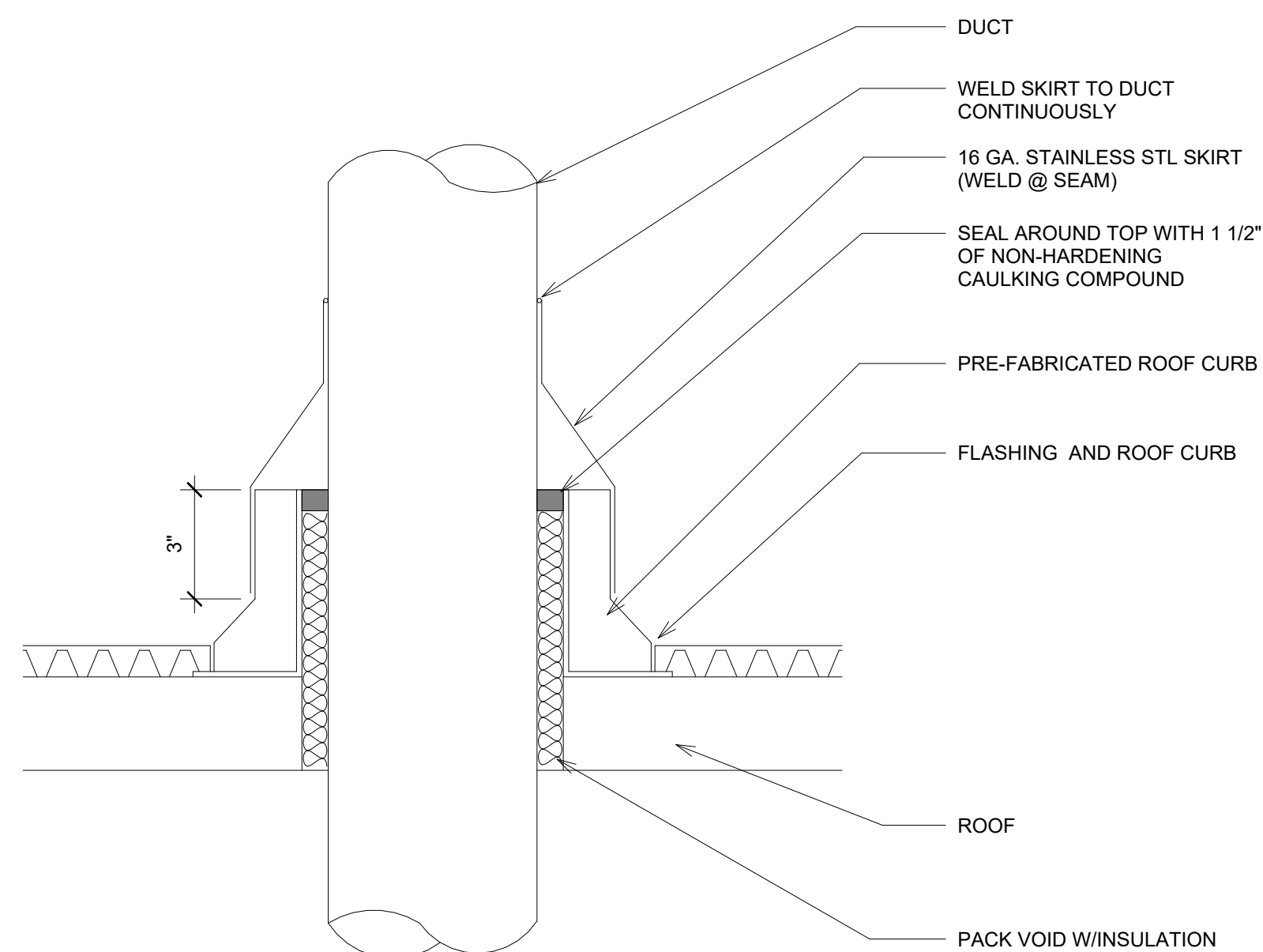
DETAIL - BASEBOARD
3" = 1'-0"



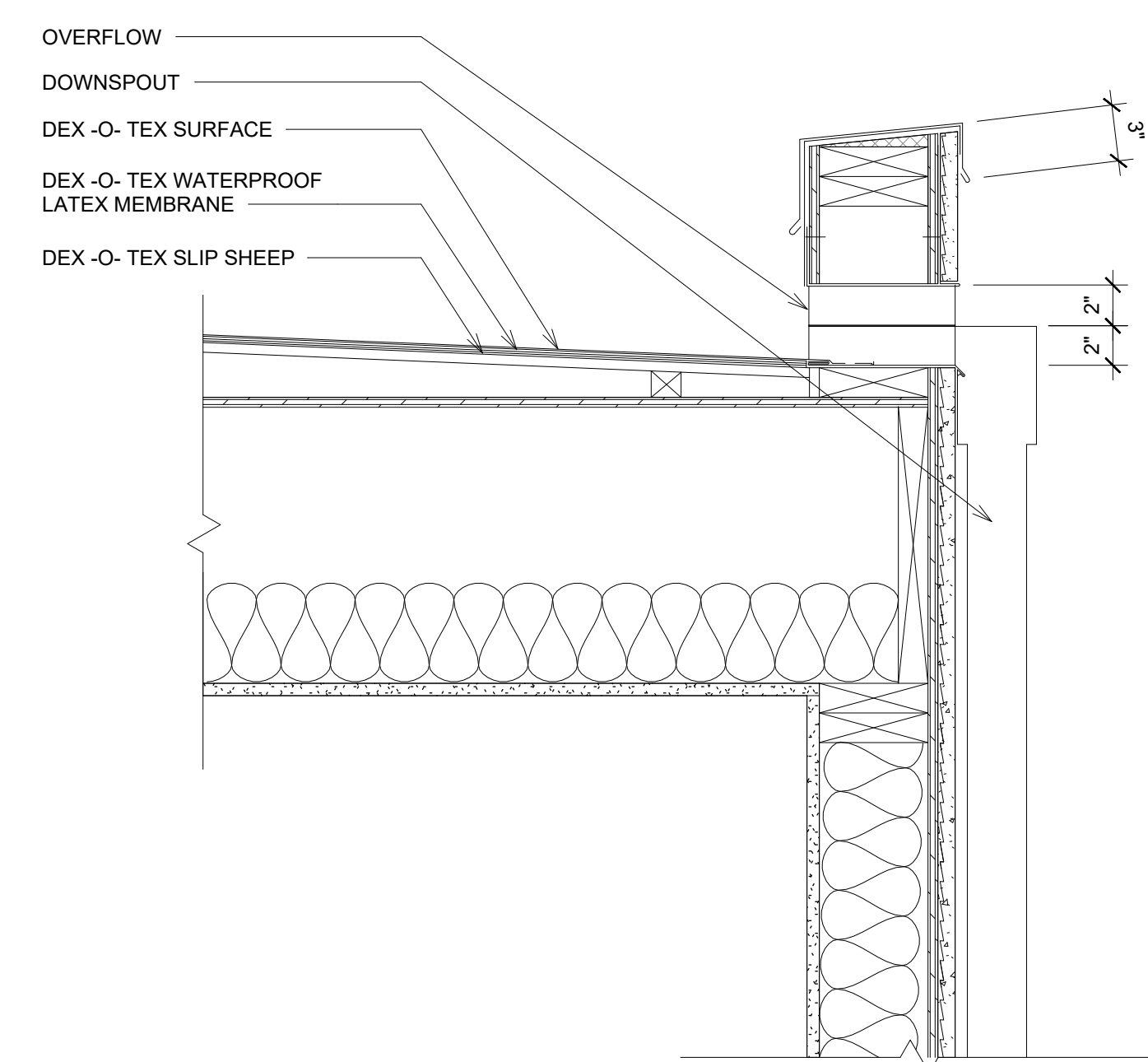
DETAIL - FOUNDATION SLAB ON GRADE
1 1/2" = 1'-0"



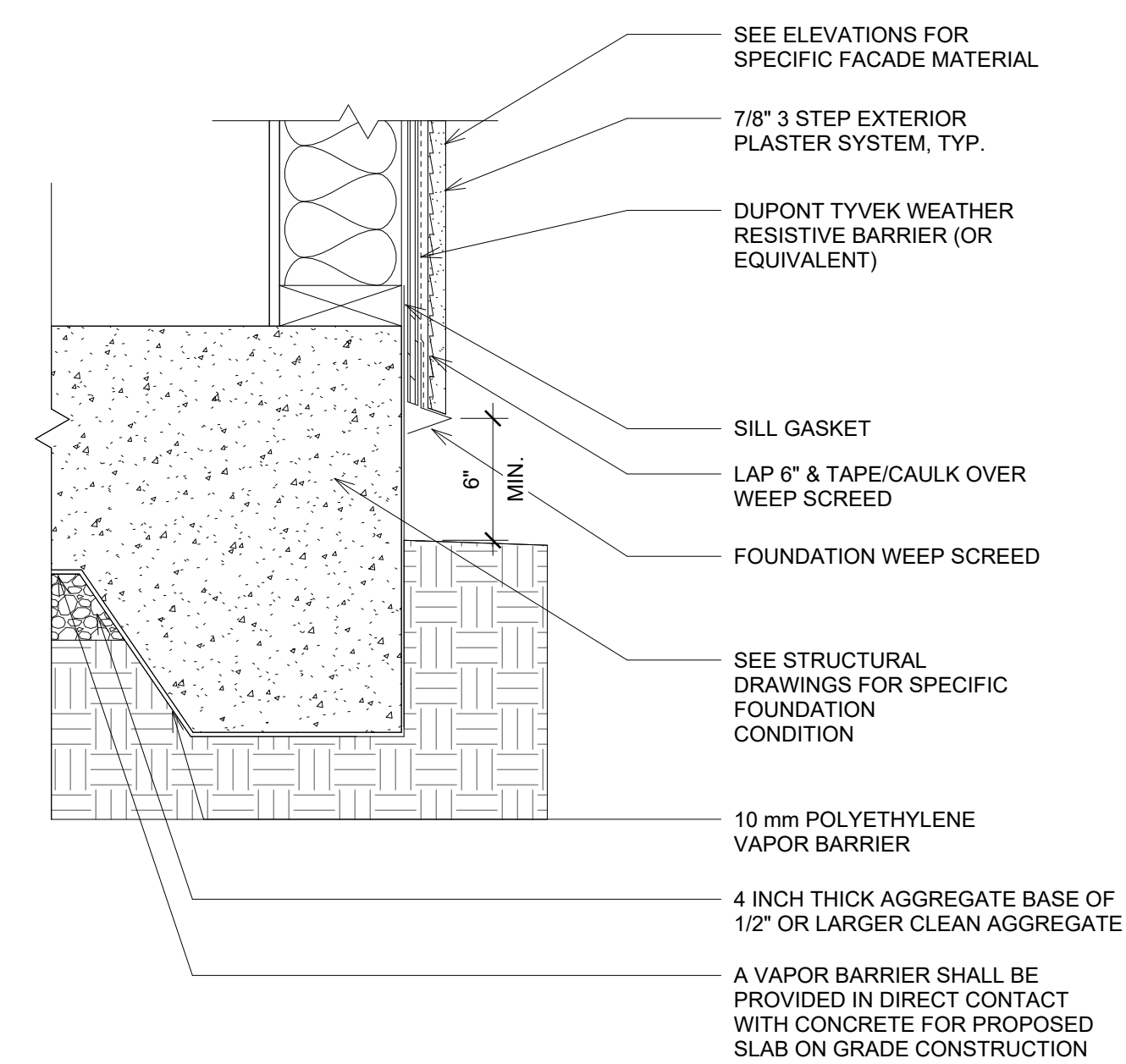
DETAIL - ENLARGED SHOWER
6" = 1'-0"



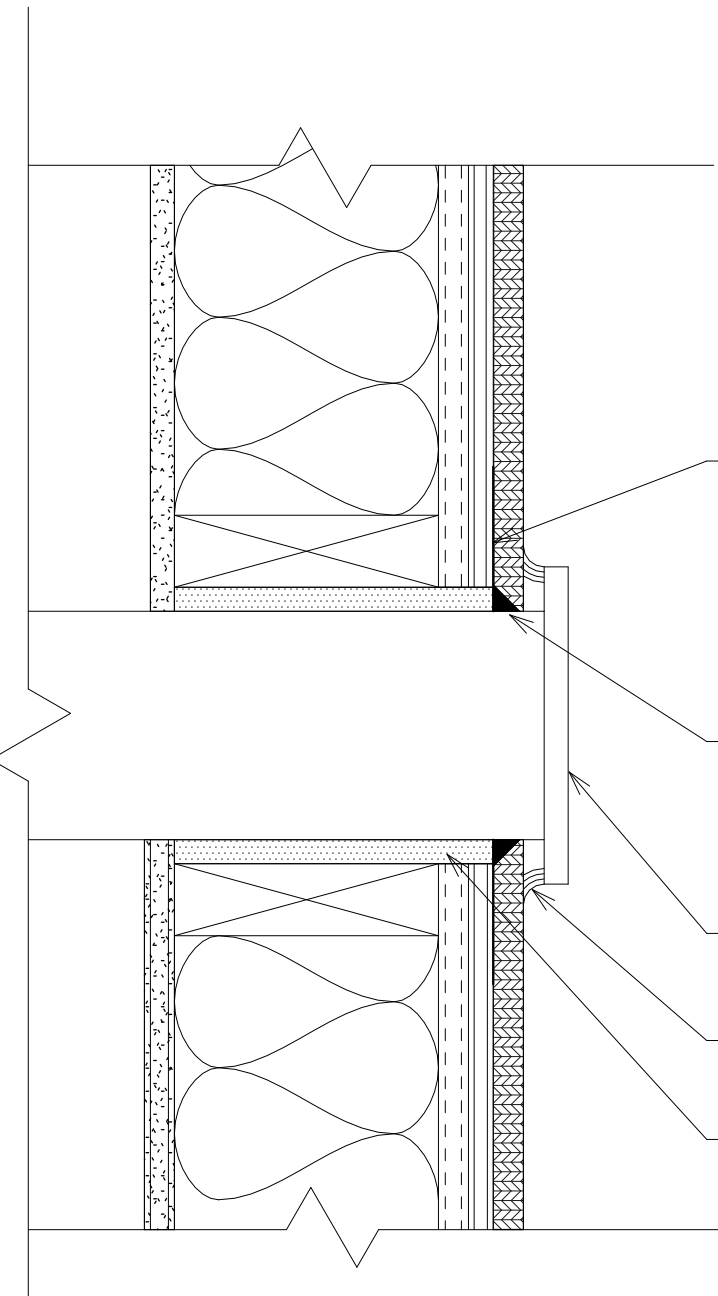
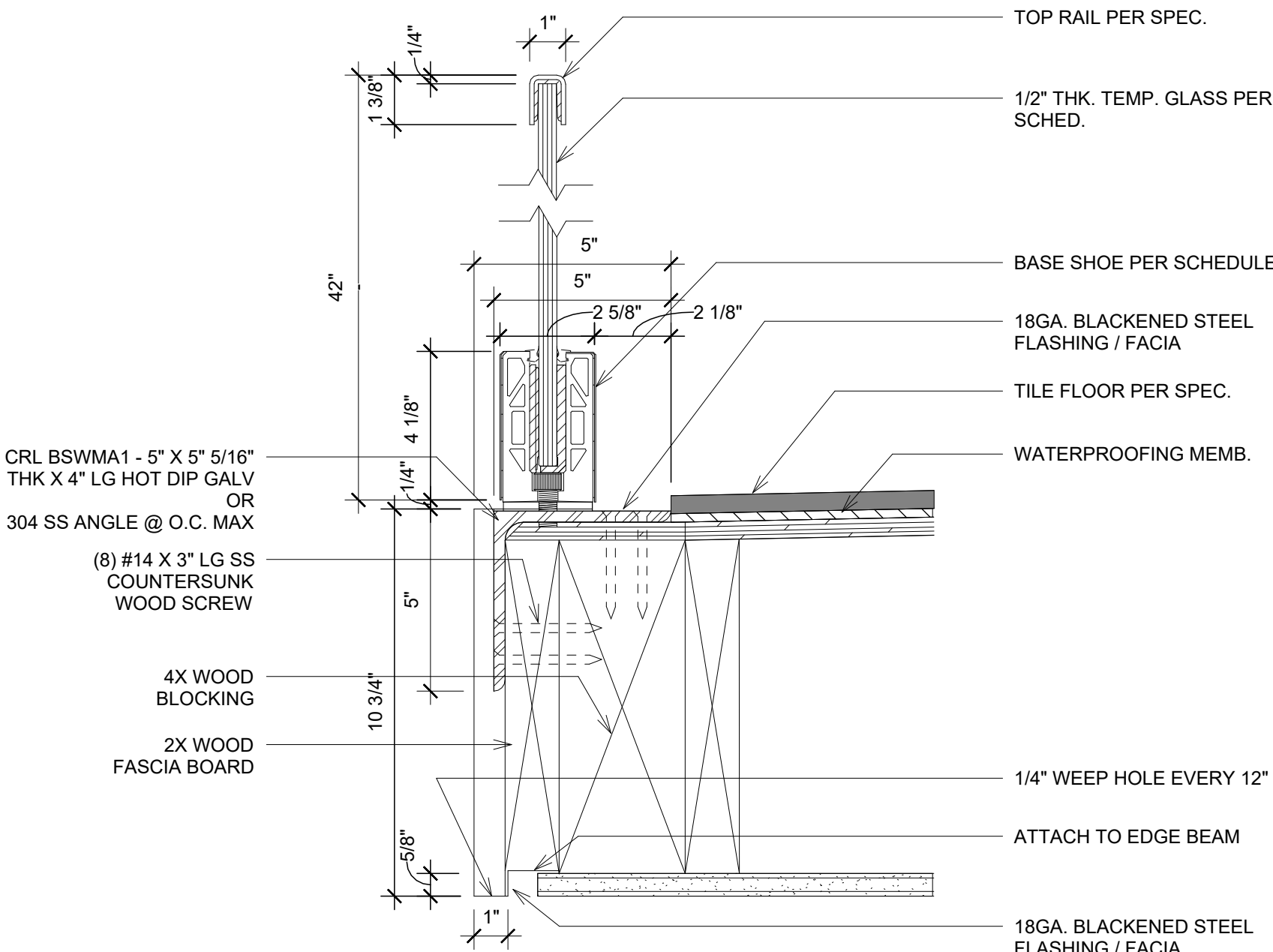
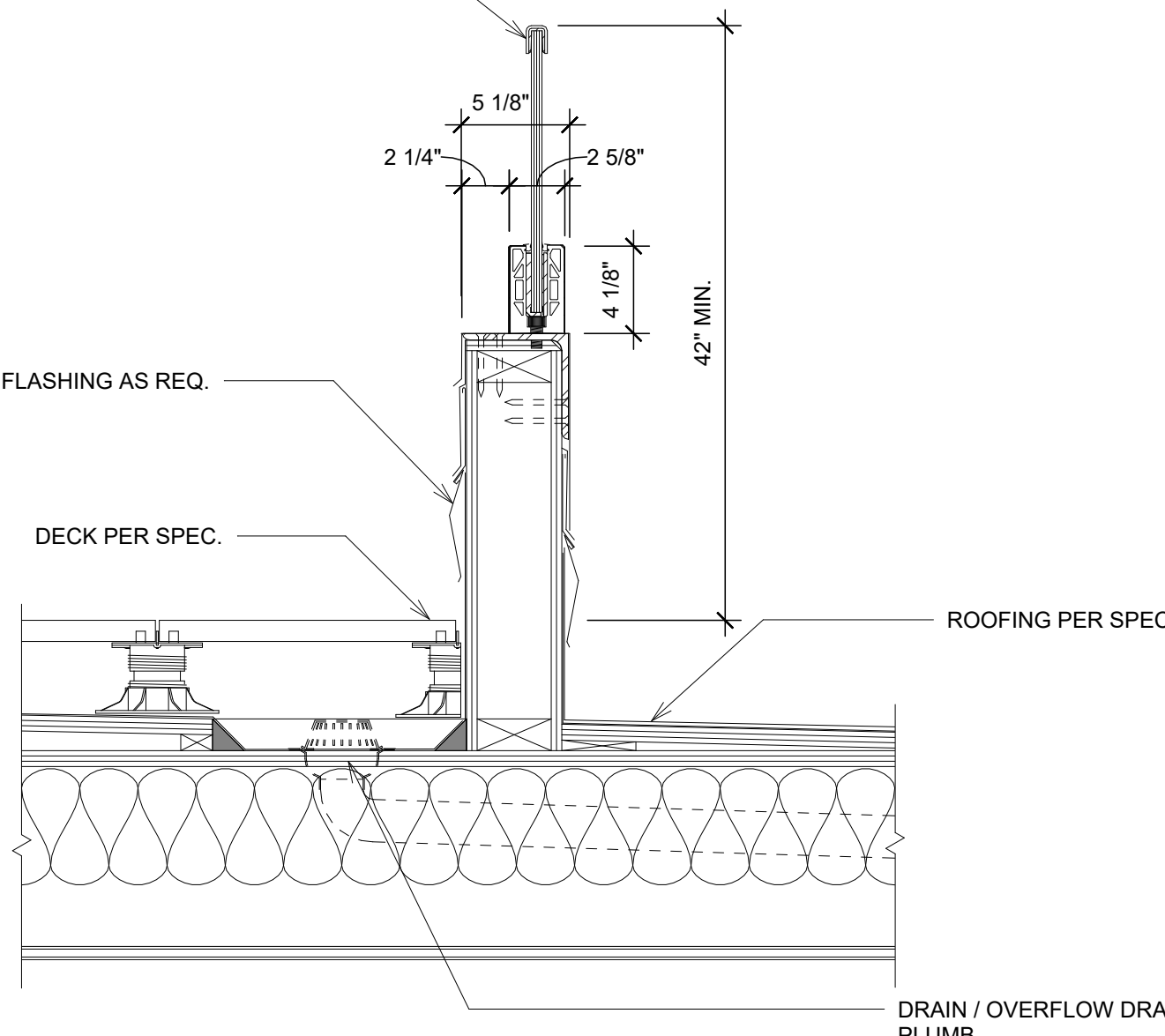
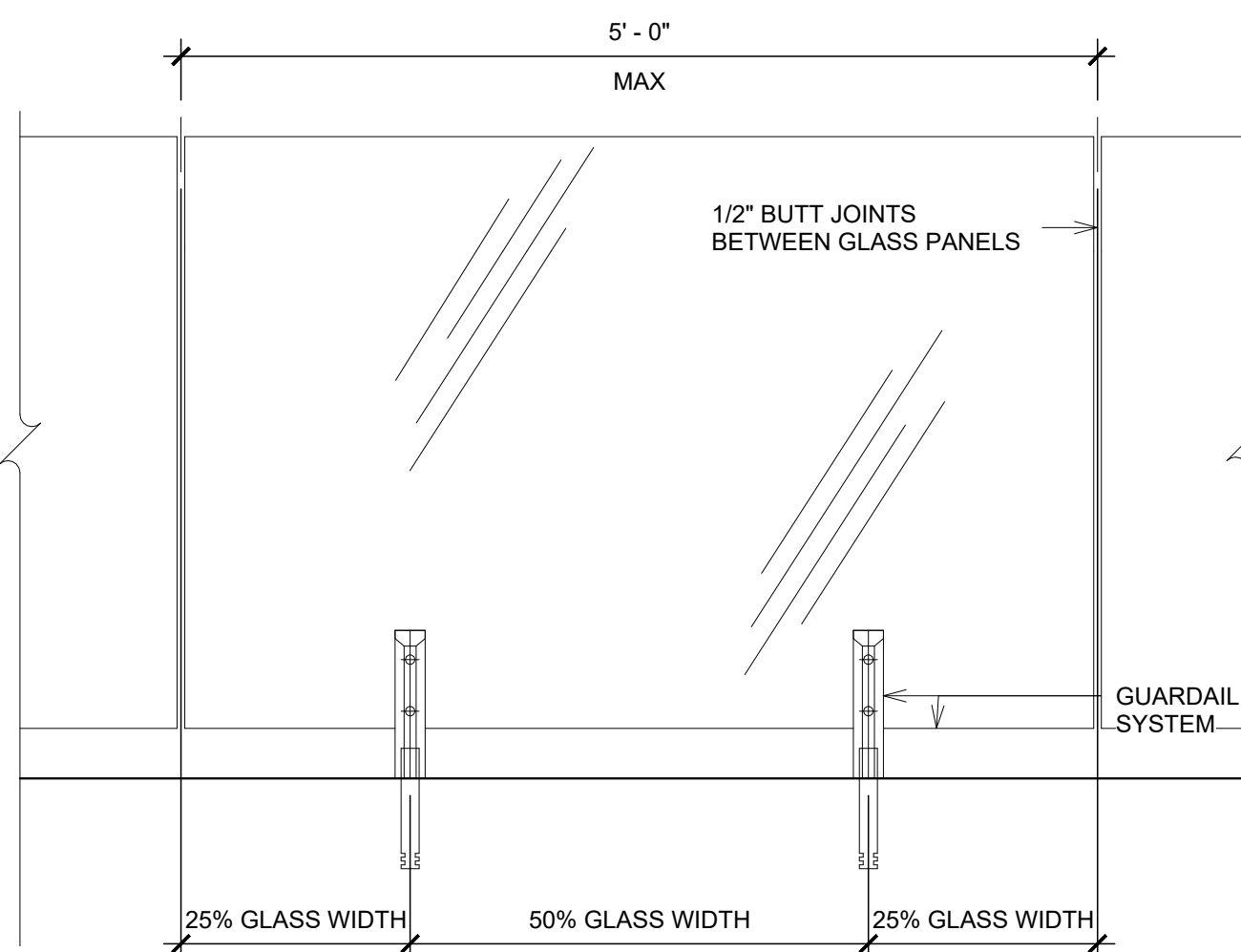
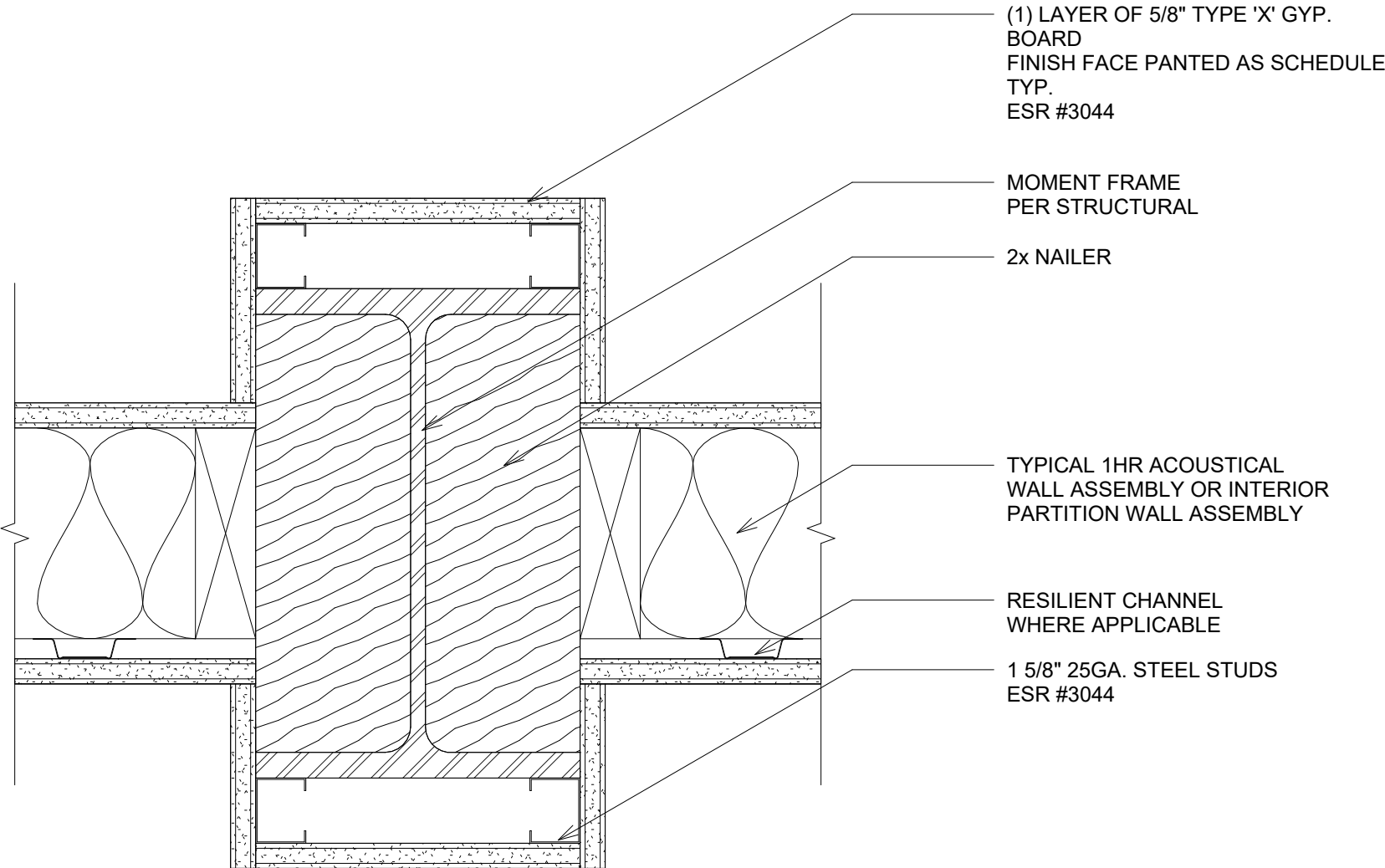
DETAIL - THROUGH DRAIN
3" = 1'-0"



DETAIL - OVERFLOW / SCUPPER
1 1/2" = 1'-0"



DETAIL - WALL TO GROUND
1 1/2" = 1'-0"

			<div></div> <div>DETAIL - EXTERIOR WALL PENETRATION 3" = 1'-0"</div> <div>4</div>	
			<div></div> <div>DETAIL - BALCONY GAURDRAIL 3" = 1'-0"</div> <div>3</div>	
			<div></div> <div>DETAIL - ROOF GAURDRAIL 1 1/2" = 1'-0"</div> <div>2</div>	
		<div></div> <div>DETAIL - GLASS GUARDRAIL 1" = 1'-0"</div> <div>5</div>	<div></div> <div>DETAIL - STEEL COLUMN AT WALL 3" = 1'-0"</div> <div>1</div>	

breakformdesign

127 arena street, el segundo, ca 90245
[O] 310.322.3700

LICENCED ARCHITECT
RAMSEY DAWAM
No. C-34297
10/31/23
RENEWAL DATE
STATE OF CALIFORNIA

807 S 6TH AVE.,
LOS ANGELES,
CA 90291

Revision Schedule

Revision Number	Revision Date

GENERAL DETAILS

DRAWN

Author

CHECKED

Checker

DATE

3/28/2025 11:40:13 AM

SCALE

As indicated

JOB #

Project Number

A0.11 B

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127 arena street, el segundo, ca 90245

[O] 310.322.3700

LICENSED ARCHITECT

RAMSEY DAWHAY

No. C-34257

10/31/23

RENEWAL DATE

STATE OF CALIFORNIA

807 S 6TH AVE.,

LOS ANGELES,

CA 90291

Revision Schedule

Revision Number	Revision Date

GENERAL DETAILS

DRAWN

Author

CHECKED

Checker

DATE

3/28/2025 11:40:13 AM

SCALE

As indicated

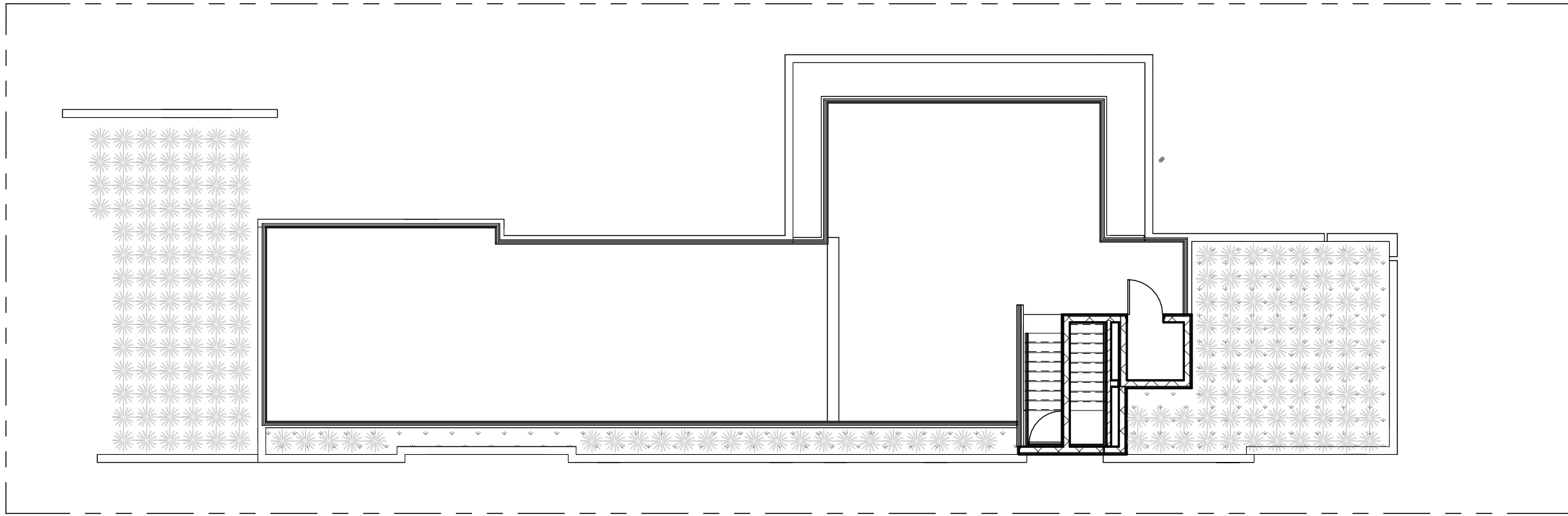
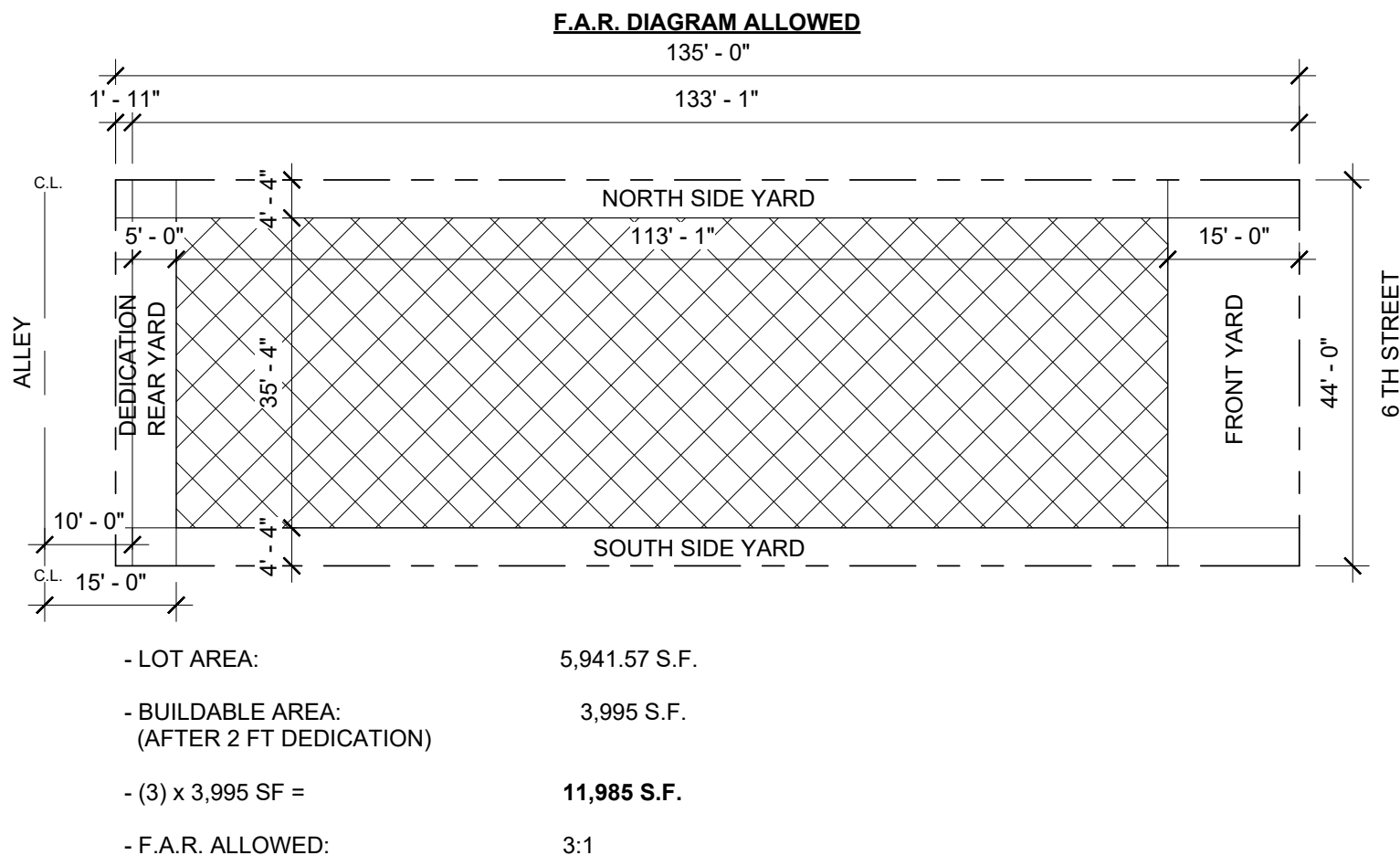
JOB #

Project Number

A0.11 B

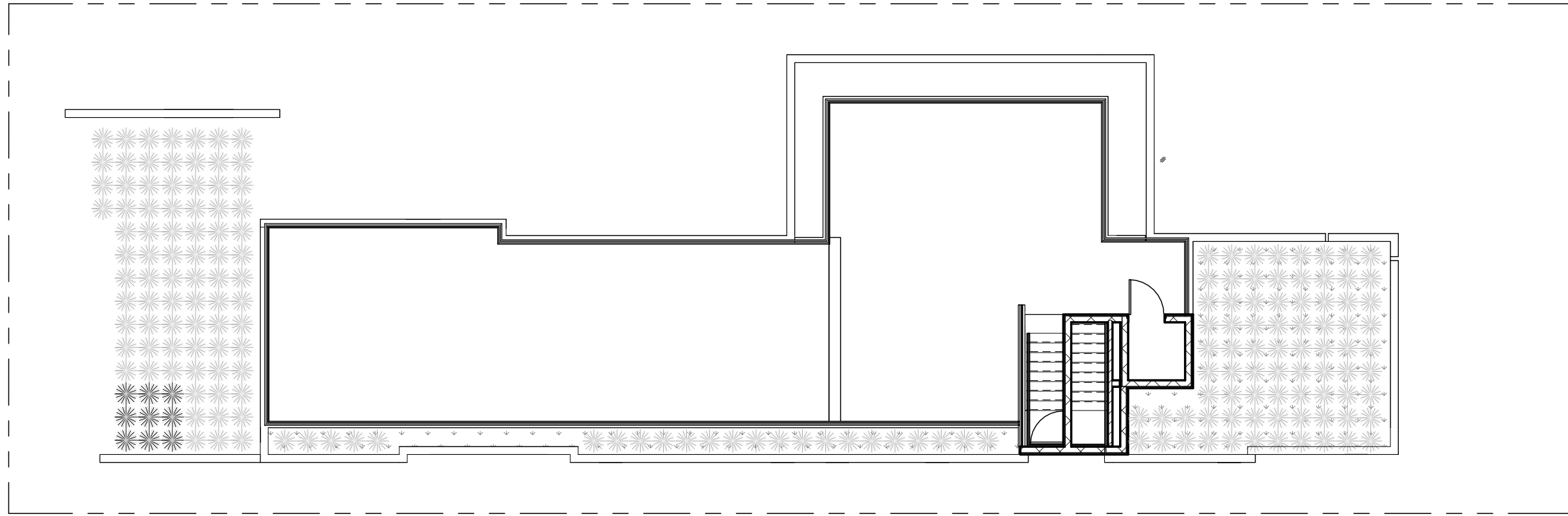
ZONING CODE FLOOR AREA		
MAIN HOUSE		
-BASEMENT FLOOR	1,783 SF	
-FIRST FLOOR COVERED	2,020 SF	
-SECOND FLOOR COVERED	144 SF	
-SECOND FLOOR COVERED	2,258 SF	
-ROOF DECK	20 SF	
TOTAL	N/A	
	6,225 SF	
ADU		
-FIRST FLOOR COVERED	108 SF	
-SECOND FLOOR COVERED	102 SF	
-SECOND FLOOR COVERED	328 SF	
TOTAL	- SF	
	538 SF	
TOTAL PROVIDED	6,763 SF	

F.A.R. CALCS		
MAIN HOUSE		
-BASEMENT FLOOR	1,783 SF	
-FIRST FLOOR COVERED	2,020 SF	
-SECOND FLOOR COVERED	144 SF	
-SECOND FLOOR COVERED	2,258 SF	
-ROOF DECK	20 SF	
TOTAL	N/A	
ADU		
-FIRST FLOOR COVERED	108 SF	
-SECOND FLOOR COVERED	102 SF	
-SECOND FLOOR COVERED	328 SF	
TOTAL PROVIDED	6,763 SF	
TOTAL ZONING AREA PROVIDED	6,763 SF	
F.A.R. CAL	(6,763 / 3,995)	
F.A.R. PROVIDED:	1.69:1	



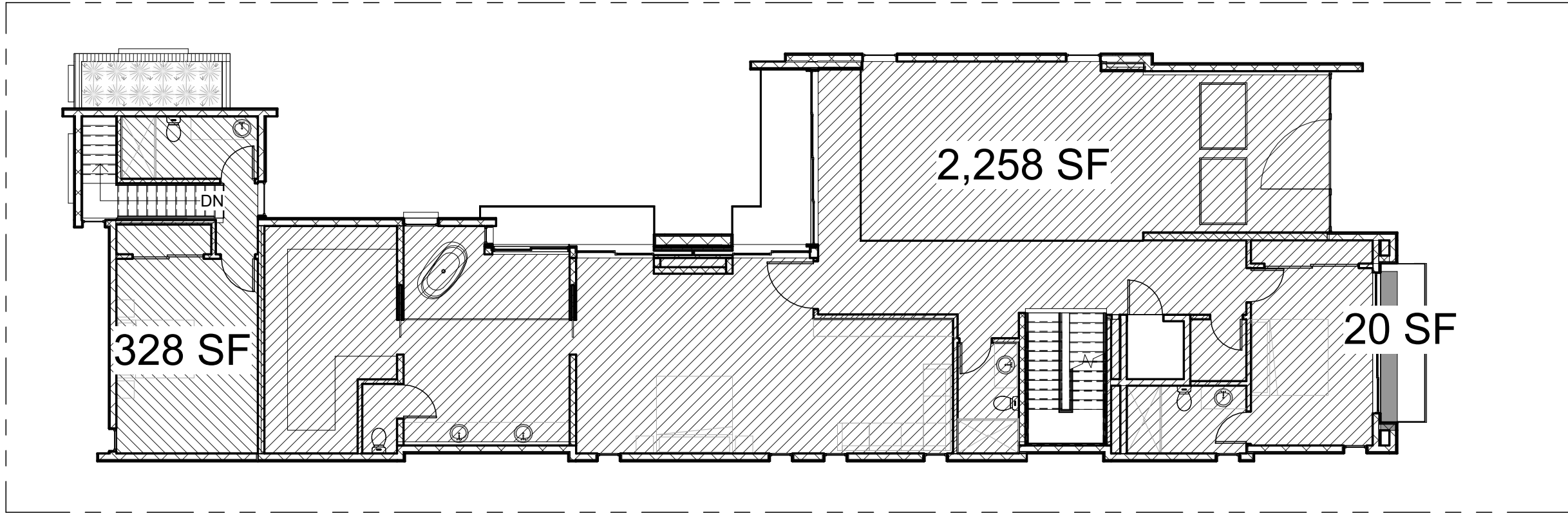
ROOF DECK - F.A.R.
3/32" = 1'-0"

8



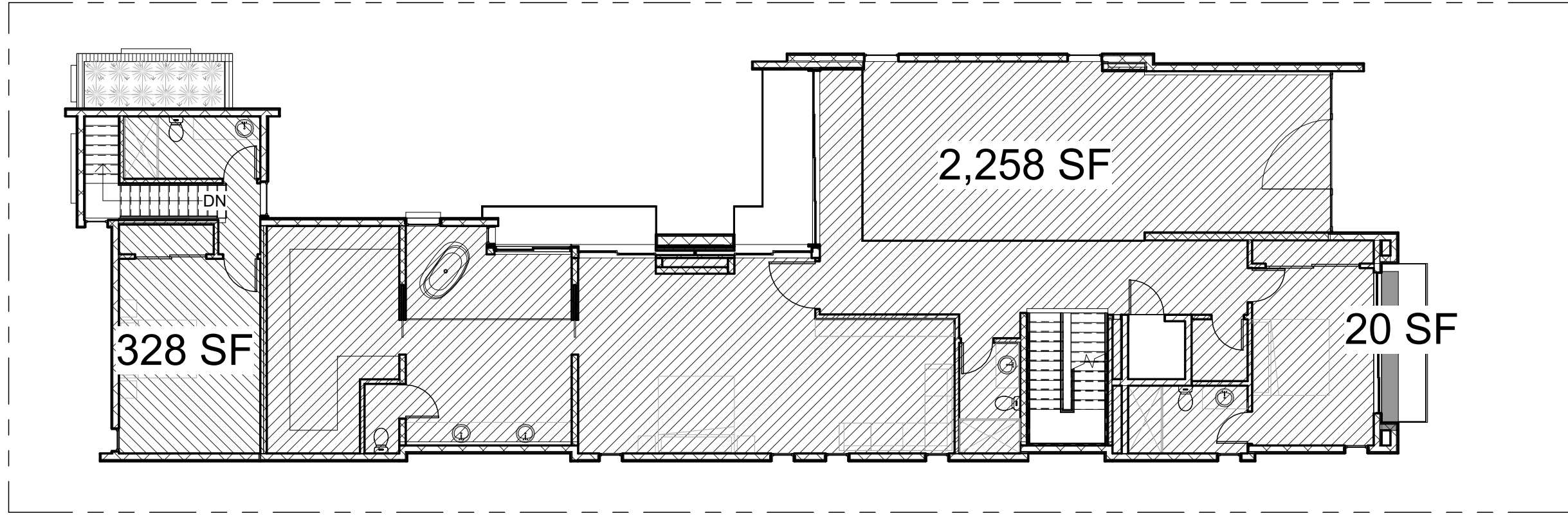
ROOF DECK - ZONING
3/32" = 1'-0"

4



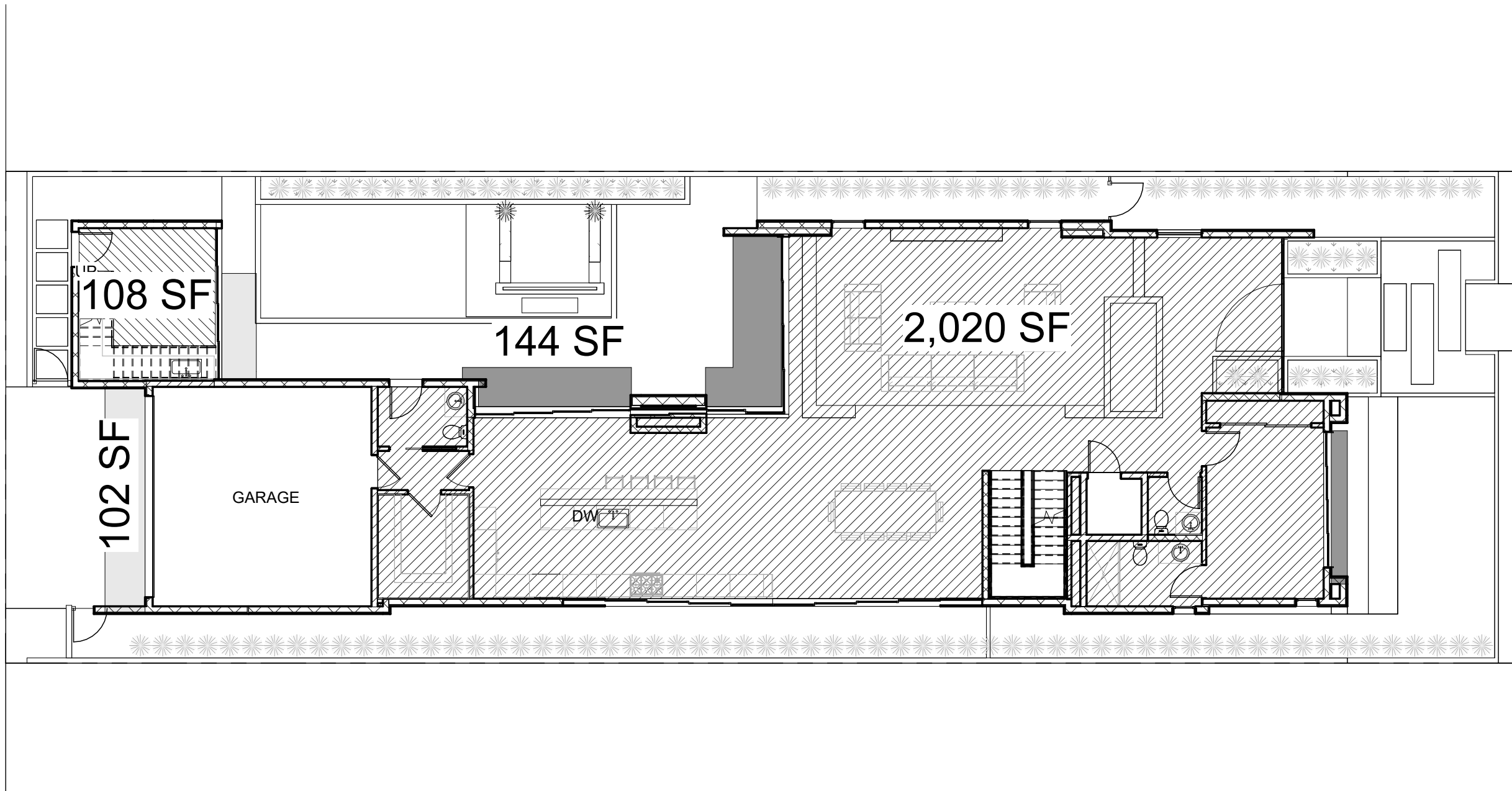
SECOND FLOOR - F.A.R.
3/32" = 1'-0"

7



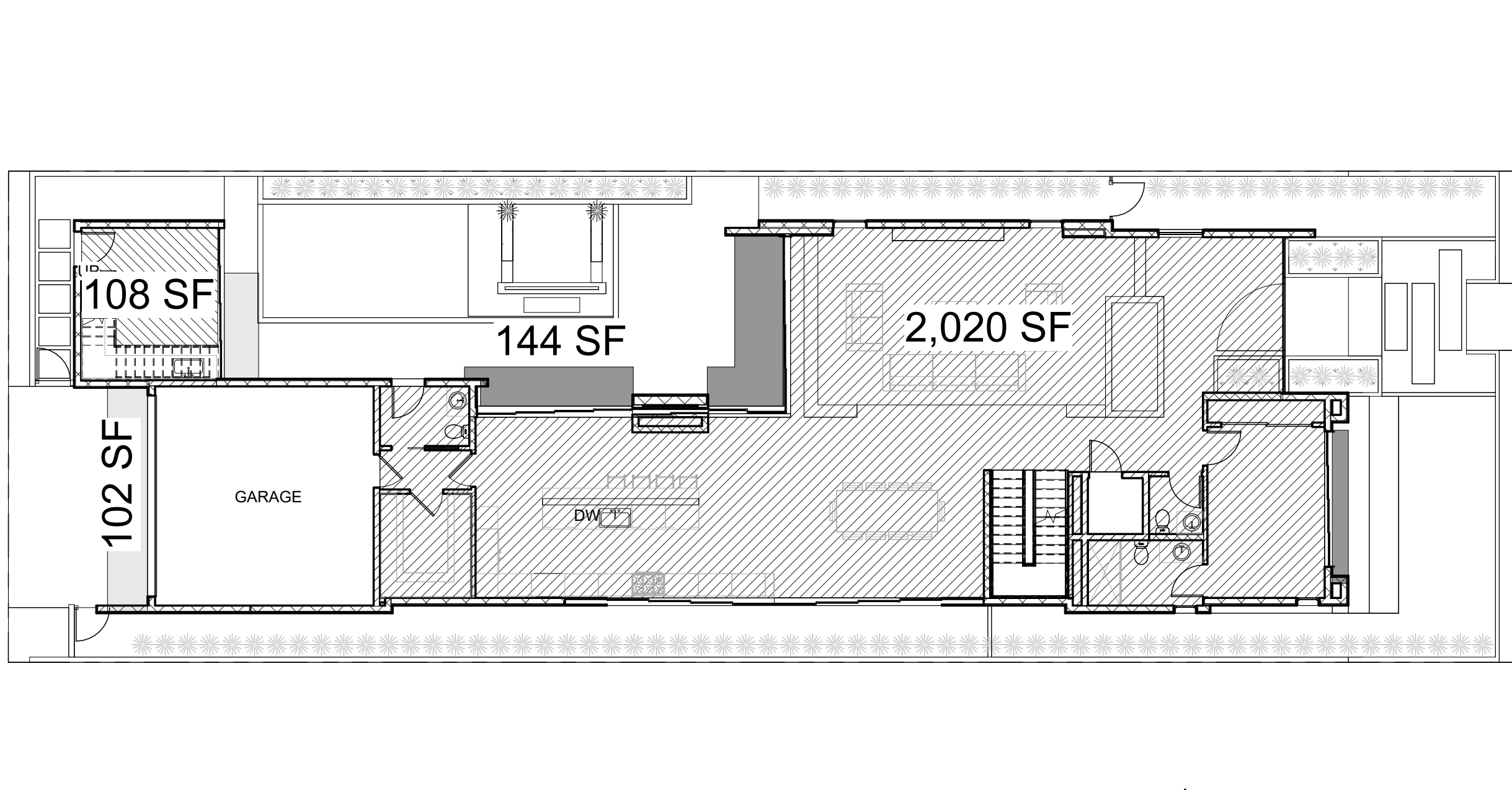
SECOND FLOOR - ZONING
3/32" = 1'-0"

3



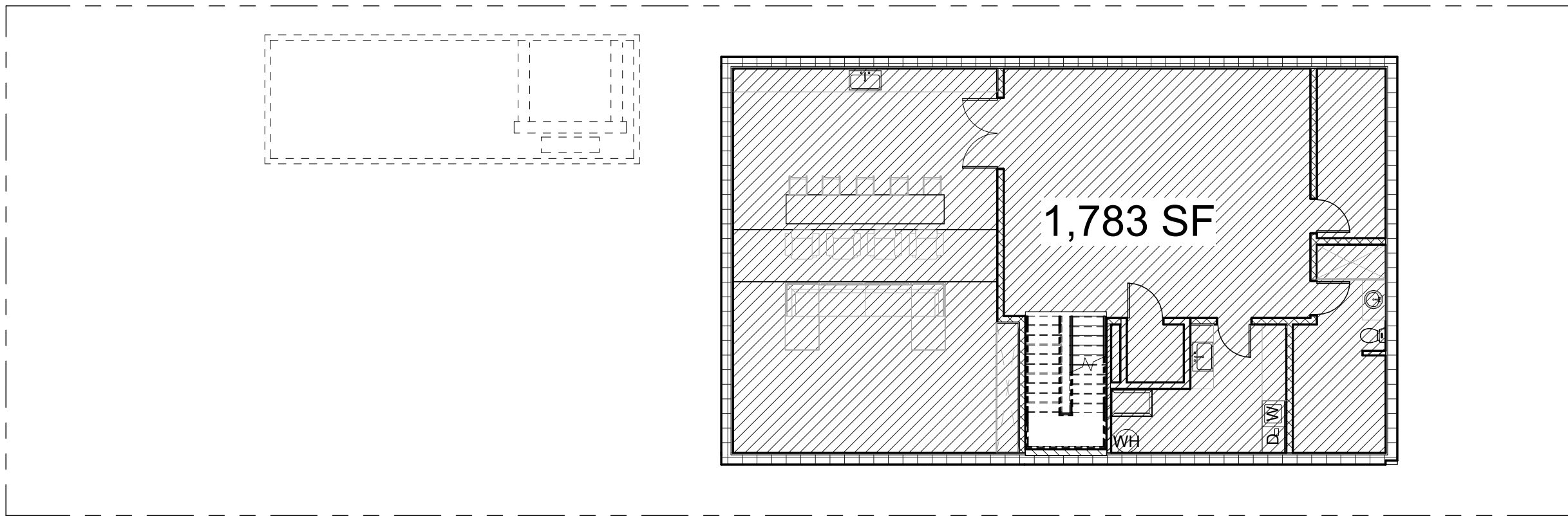
GROUND FLOOR - F.A.R.
3/32" = 1'-0"

6



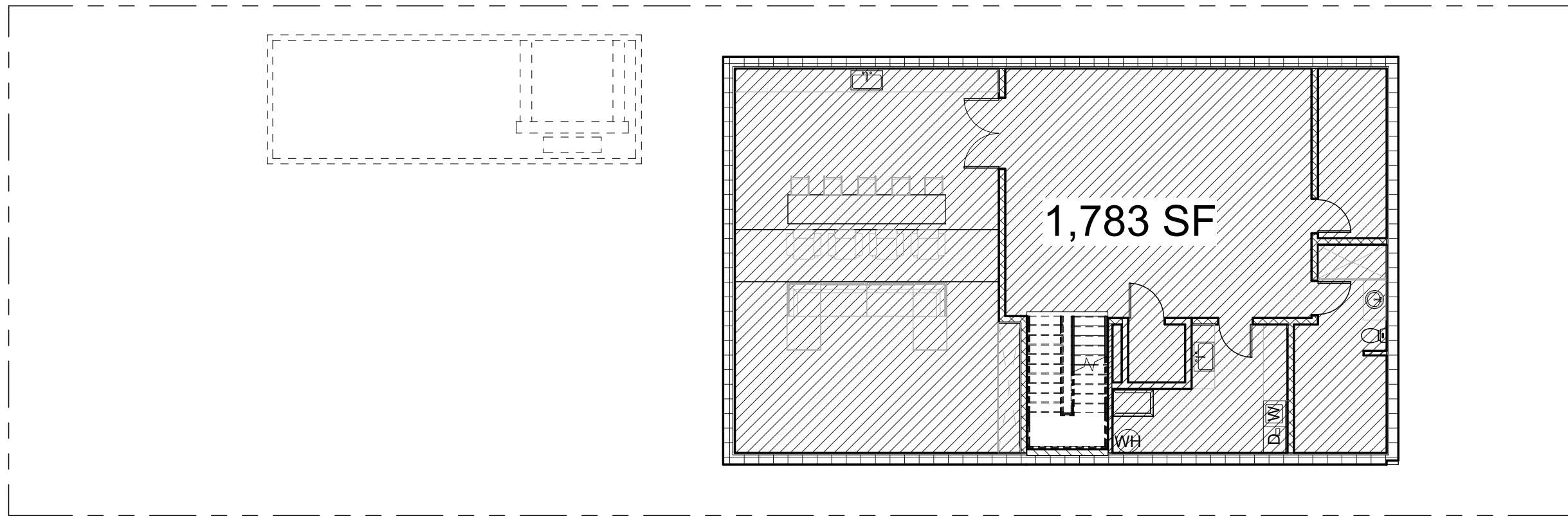
GROUND FLOOR - ZONING
3/32" = 1'-0"

2



BASEMENT - F.A.R.
3/32" = 1'-0"

5

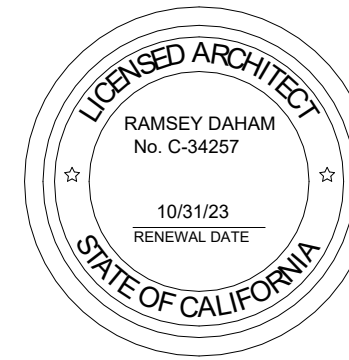


BASEMENT - ZONING
3/32" = 1'-0"

1

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[o] 310.322.3700



807 S 6TH AVE.,
LOS ANGELES,
CA 90291

Revision Schedule

Revision Number	Revision Date

SQUARE
FOOTAGE
BREAKDOWNS

DRAWN Author

CHECKED Checker

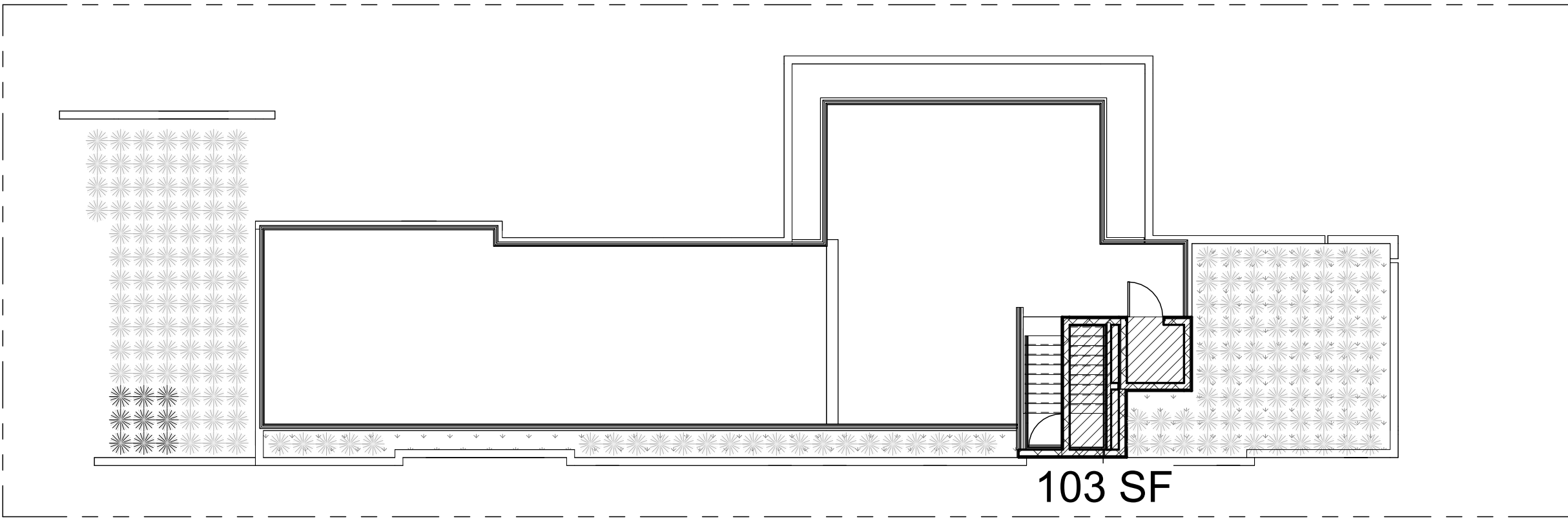
DATE 3/28/2025 11:40:17 AM

SCALE As indicated

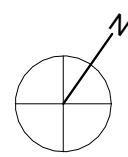
JOB # Project Number

A0.13 A

SCHOOL FEE FLOOR AREA		
MAIN HOUSE		
-BASEMENT FLOOR	2,053 SF	
-FIRST FLOOR	2,317 SF	
-SECOND FLOOR	2,585 SF	
-ROOF DECK	103 SF	
TOTAL	7,058 SF	
ADU		
-FIRST FLOOR	200 SF	
-SECOND FLOOR	436 SF	
TOTAL	636 SF	
TOTAL PROVIDED	7,694 SF	



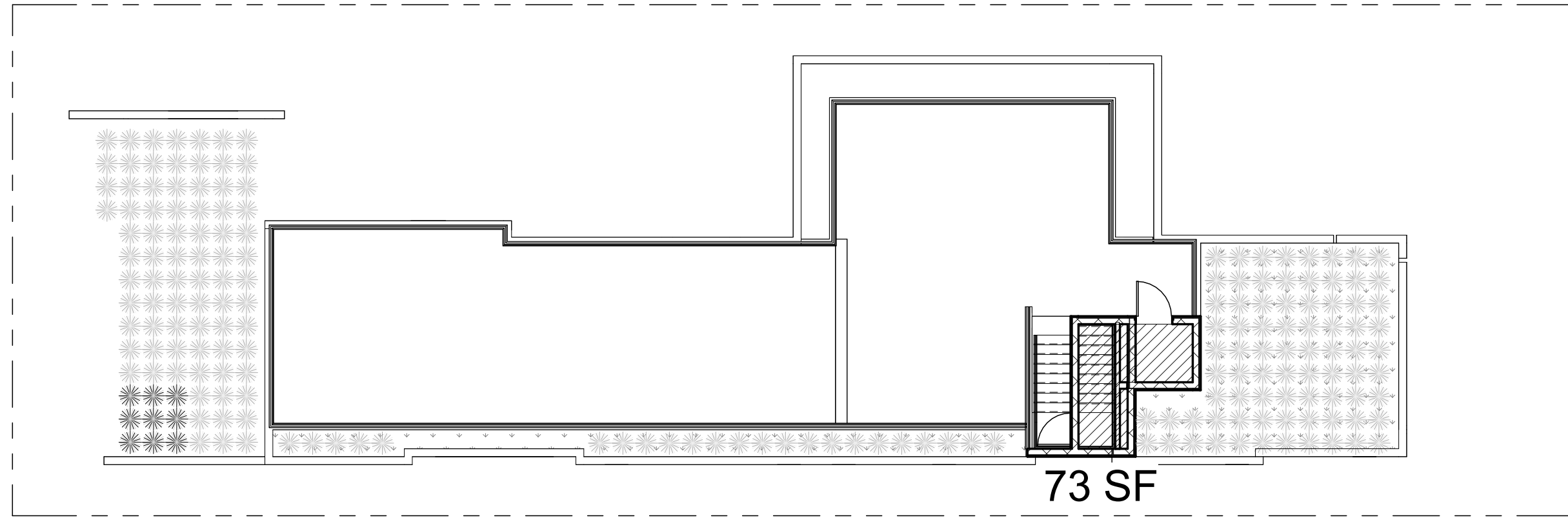
103 SF



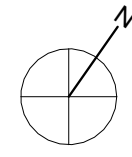
ROOF DECK - SCHOOL
3/32" = 1'-0"

8

BUILDING CODE FLOOR AREA		
MAIN HOUSE		
-BASEMENT FLOOR	1,868 SF	
-FIRST FLOOR	2,115 SF	
COVERED	144 SF	
-SECOND FLOOR	2,386 SF	
COVERED	20 SF	
-ROOF DECK	73 SF	
TOTAL	6,606 SF	
ADU		
-FIRST FLOOR	164 SF	
COVERED	102 SF	
-SECOND FLOOR	386 SF	
COVERED	- SF	
TOTAL	652 SF	
TOTAL PROVIDED	7,258 SF	

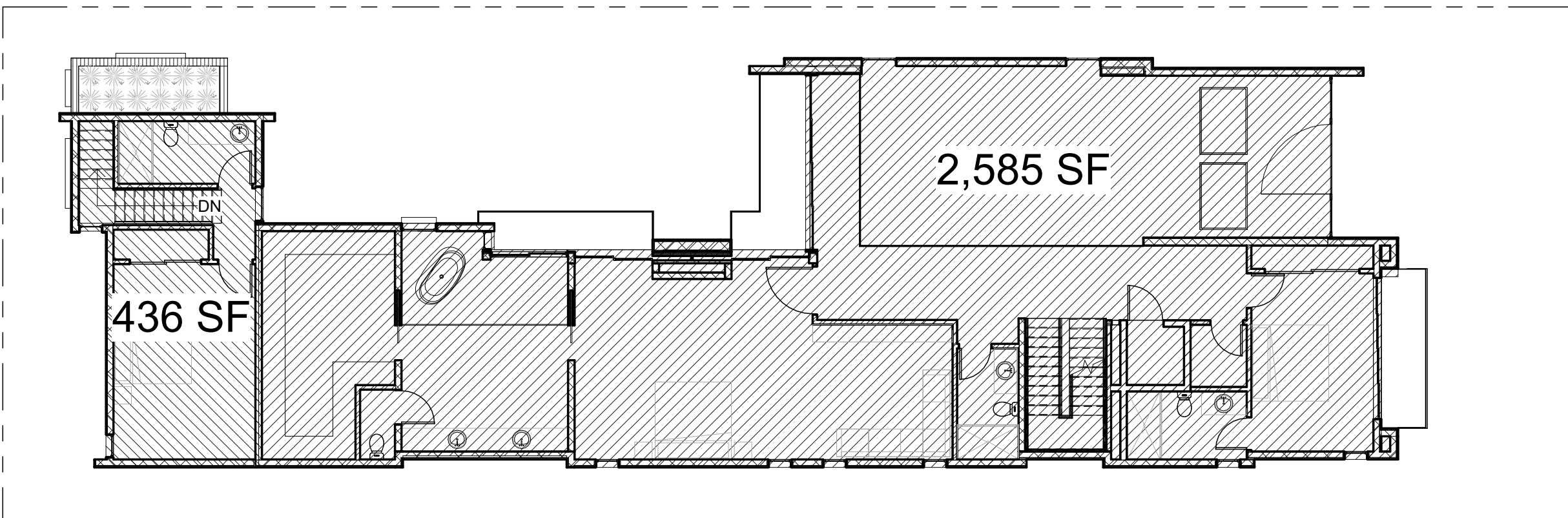


73 SF



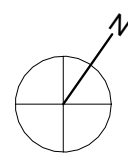
ROOF DECK - BUILDING
3/32" = 1'-0"

4



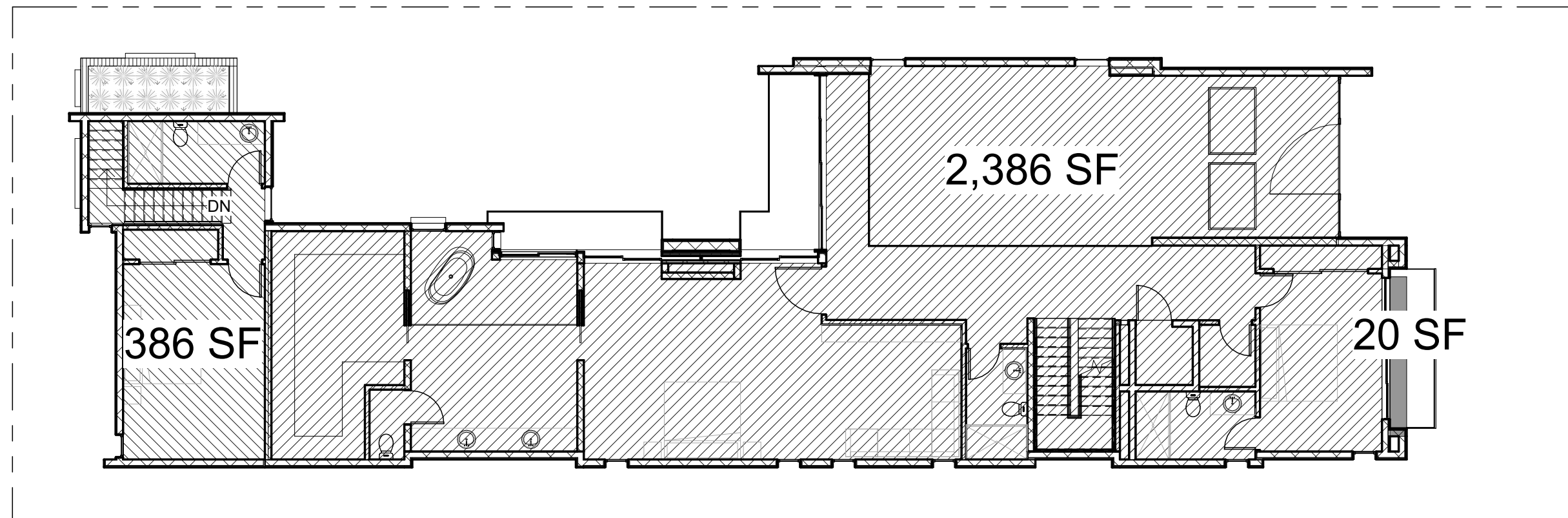
2,585 SF

436 SF



SECOND FLOOR - SCHOOL
3/32" = 1'-0"

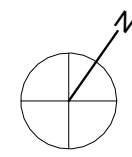
7



2,386 SF

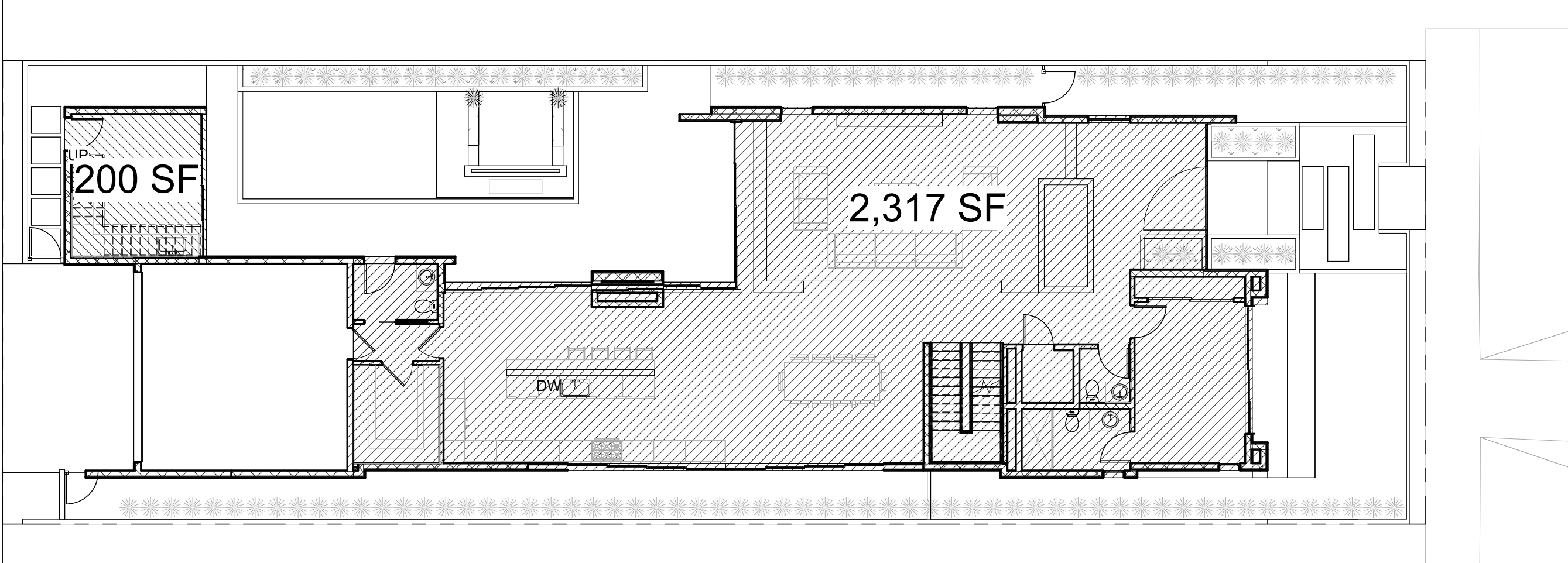
386 SF

20 SF



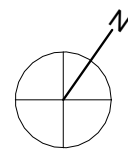
SECOND FLOOR - BUILDING
3/32" = 1'-0"

3



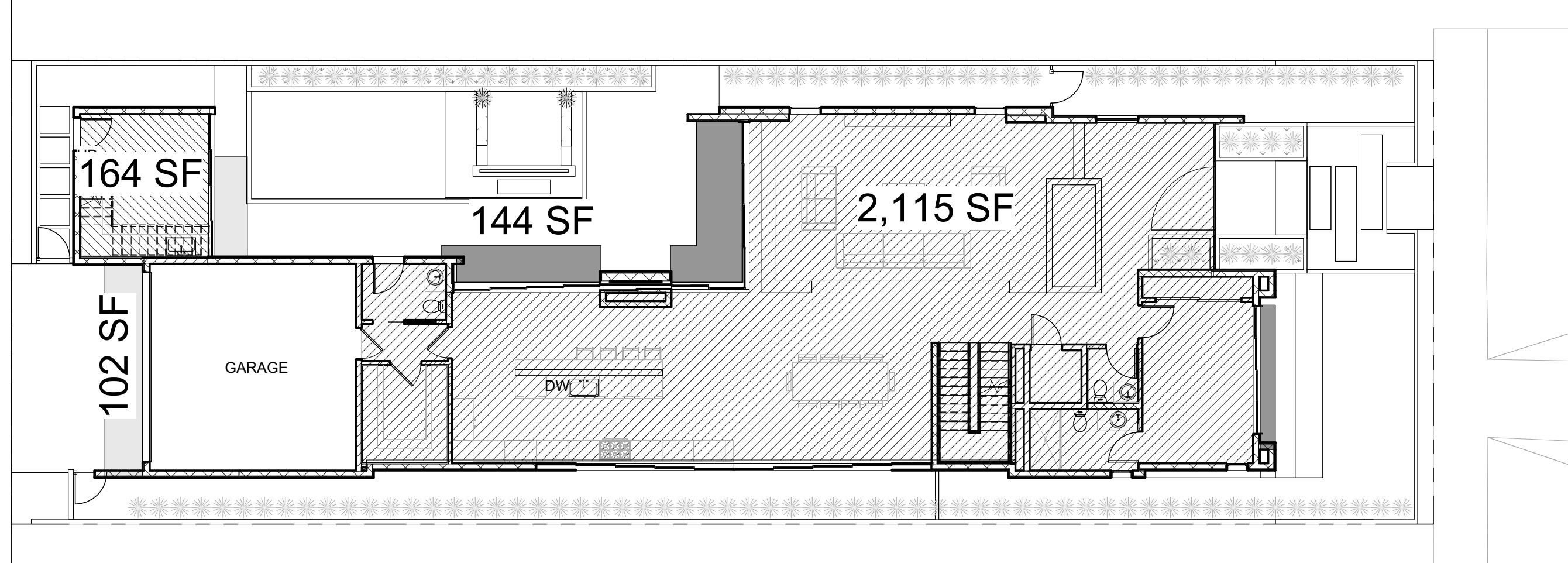
2,317 SF

200 SF



GROUND FLOOR - SCHOOL
3/32" = 1'-0"

6



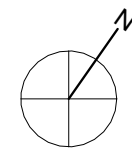
2,115 SF

164 SF

144 SF

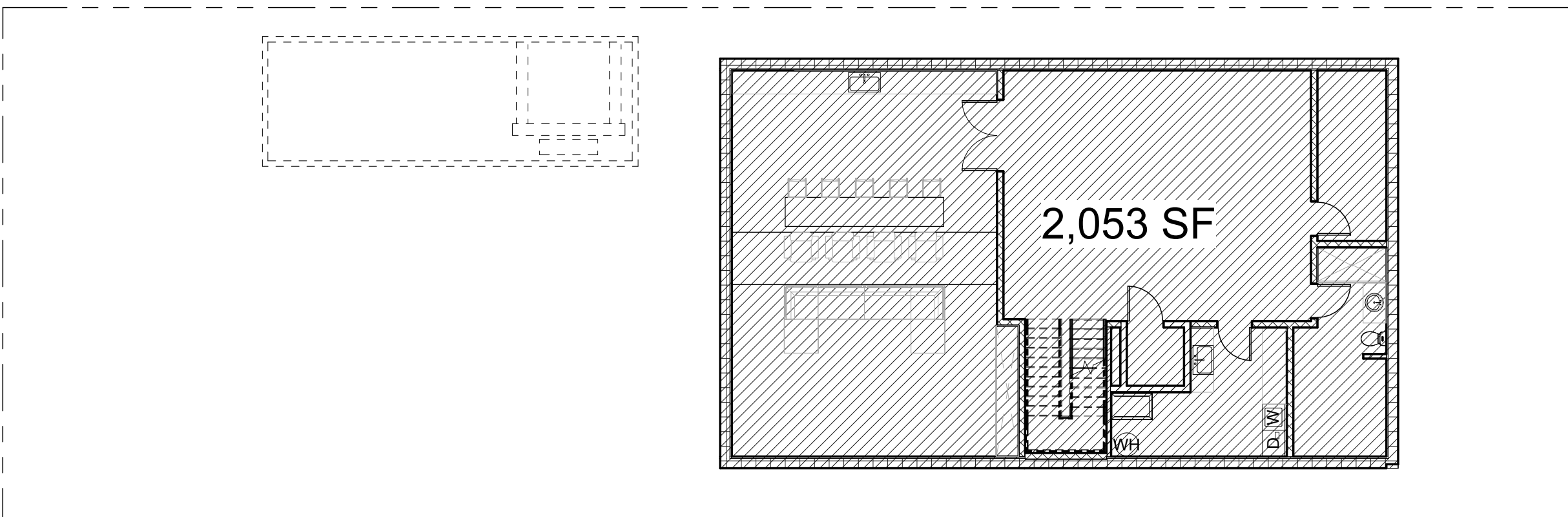
102 SF

GARAGE

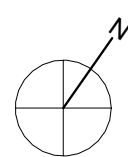


GROUND FLOOR - BUILDING
3/32" = 1'-0"

2

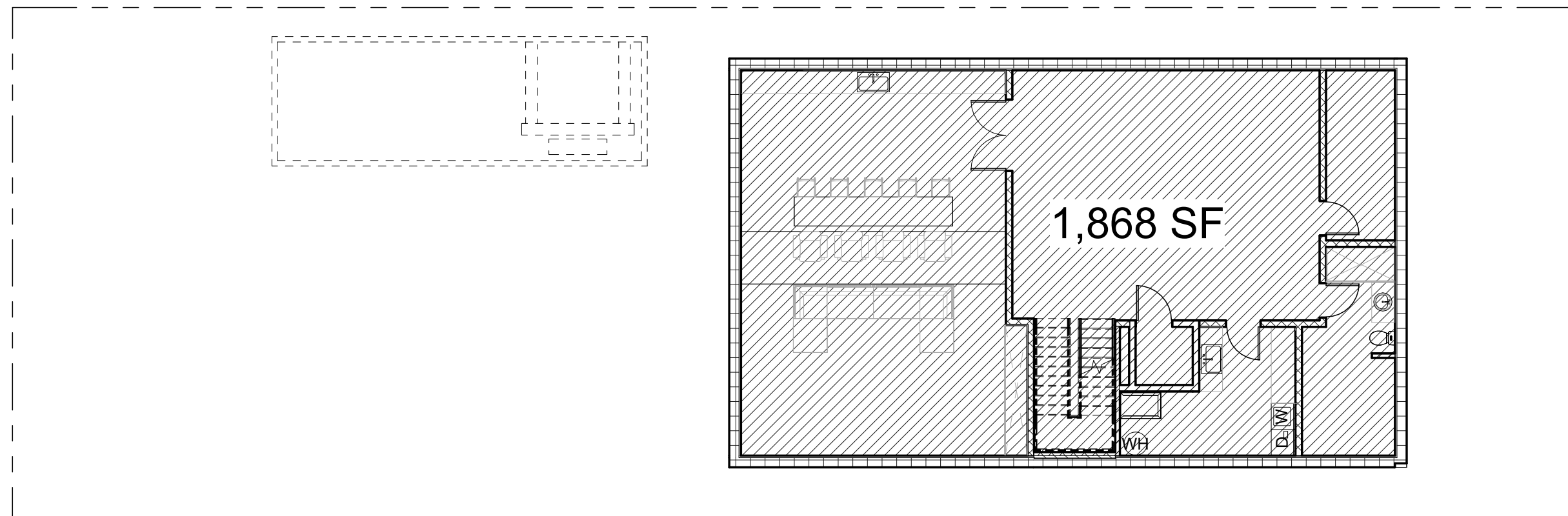


2,053 SF

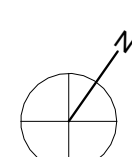


BASEMENT - SCHOOL
3/32" = 1'-0"

5



1,868 SF

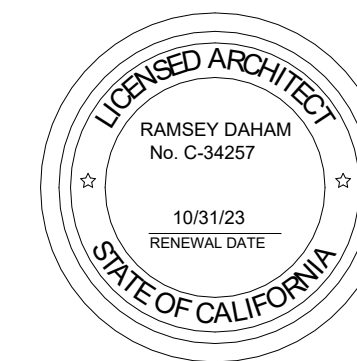


BASEMENT - BUILDING
3/32" = 1'-0"

1

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127 arena street, el segundo, ca 90245
[o] 310.322.3700



807 S 6TH AVE.,
LOS ANGELES,
CA 90291

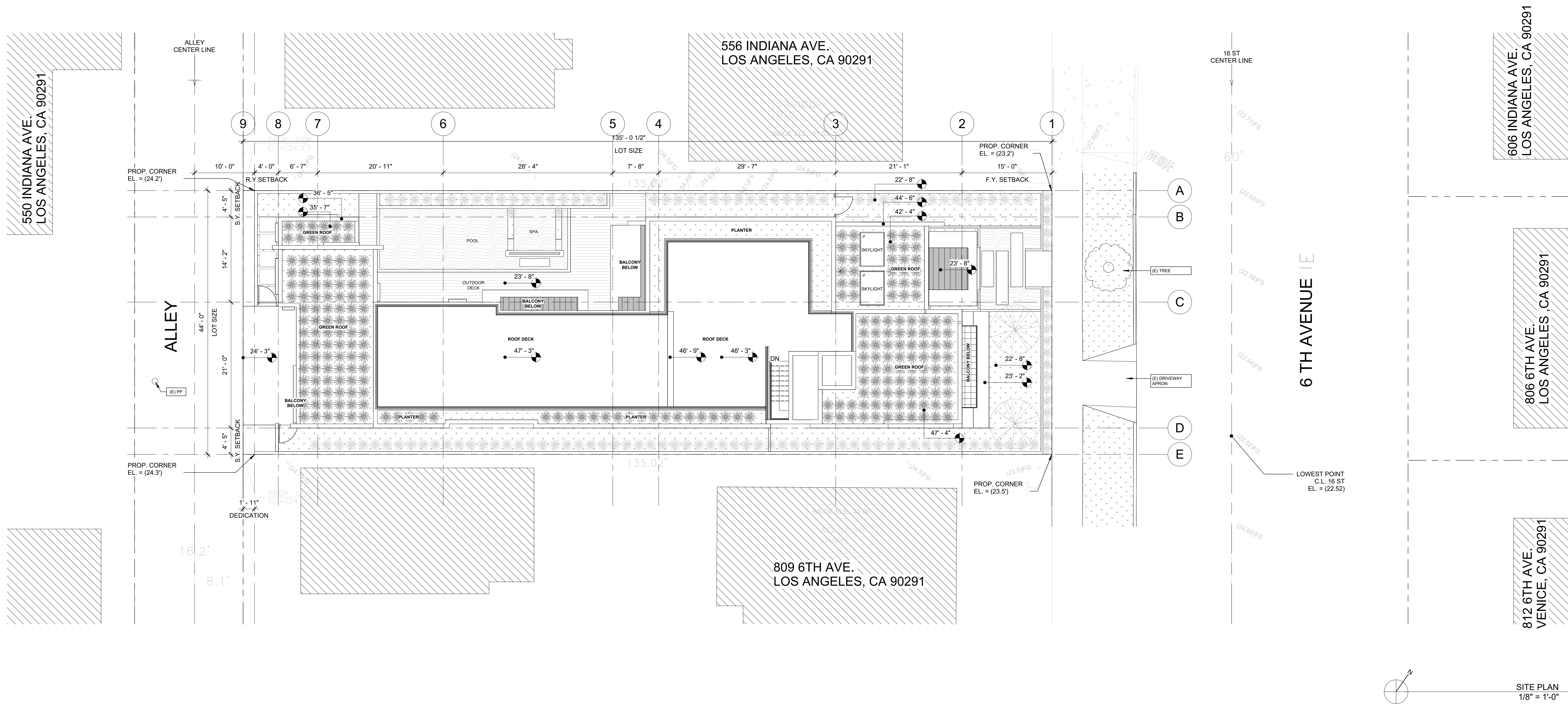
Revision Schedule	
Revision Number	Revision Date

SQUARE
FOOTAGE
BREAKDOWNS

DRAWN	Author
CHECKED	Checker
DATE	3/28/2025 11:40:22 AM
SCALE	As indicated
JOB #	Project Number

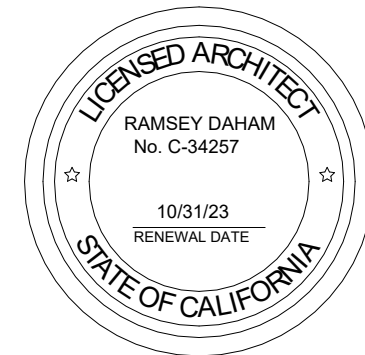
A0.13 B

— — — — — PROPERTY LINE
— — — — — SETBACKS

[illegible]

Revision Schedule

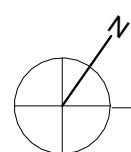
807 S 6TH AVE.,
LOS ANGELES,
CA 90291



127 arena street, el segundo, ca 90245
[o] 310.322.3700

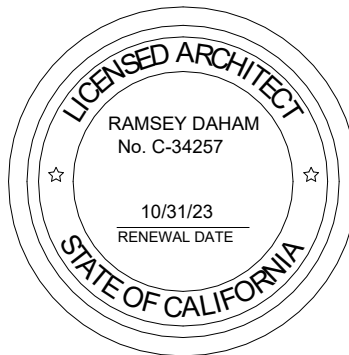
breakformdesign

— — — — — PROPERTY LINE
— — — — — SETBACKS



PLOT PLAN
3/16" = 1'-0"

1



807 S 6TH AVE.,
LOS ANGELES,
CA 90291

[illegible]

PLOT PLAN

DRAWN _____ Author _____

CHECKED _____ Checker _____

DATE 3/28/2025 11:40:25 AM _____

SCALE _____ As indicated _____

JOB # _____ Project Number _____

A1.10

ASSEMBLY TYPES

WALLS

- A1 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10)
A2 1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.10)
A3 2x6 PLUMBING WALL ASSM. (3/A0.10)
A4 1-HR 2x6 EXTERIOR WALL ASSM. W/ STUCCO (4/A0.10)
A5 1-HR 2x6 EXTERIOR WALL ASSM. W/ METAL PANELS (5/A0.10)
A6 MASONRY RETAINING WALL PER STRC. & 2x2 FURRING WALL ASSM. (6/A0.10)

FLOORS

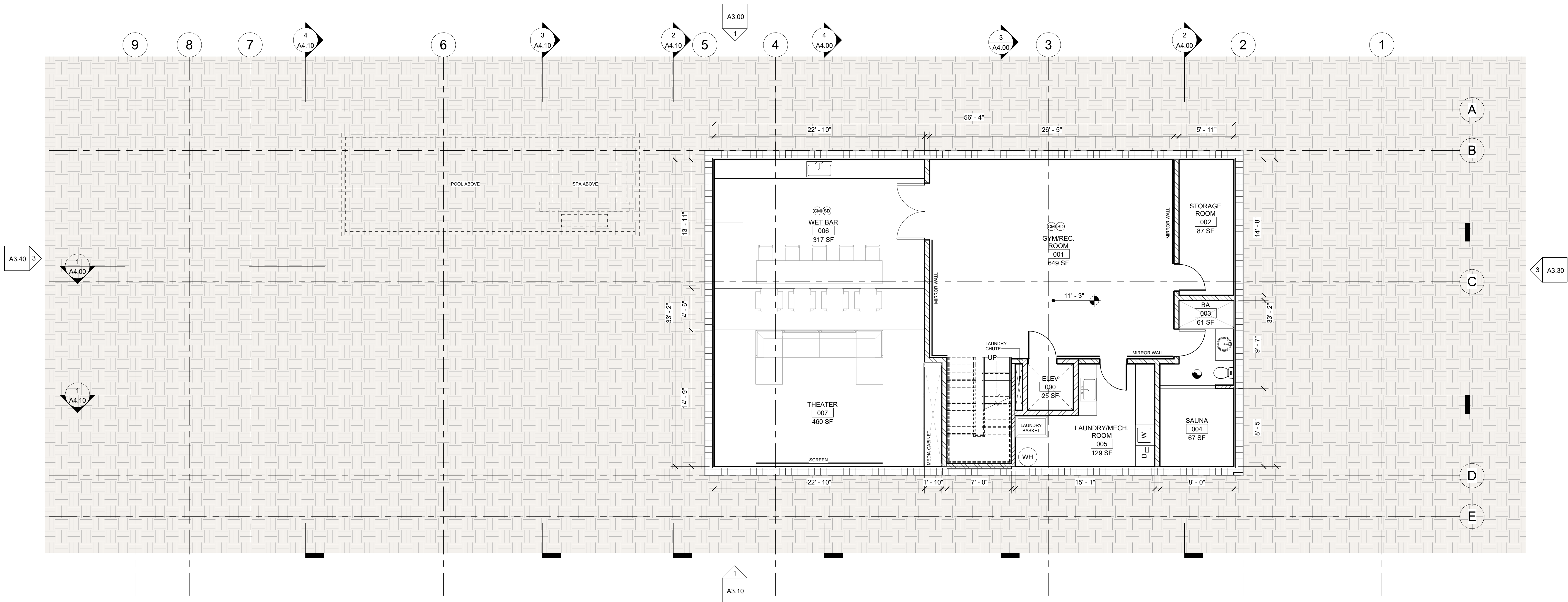
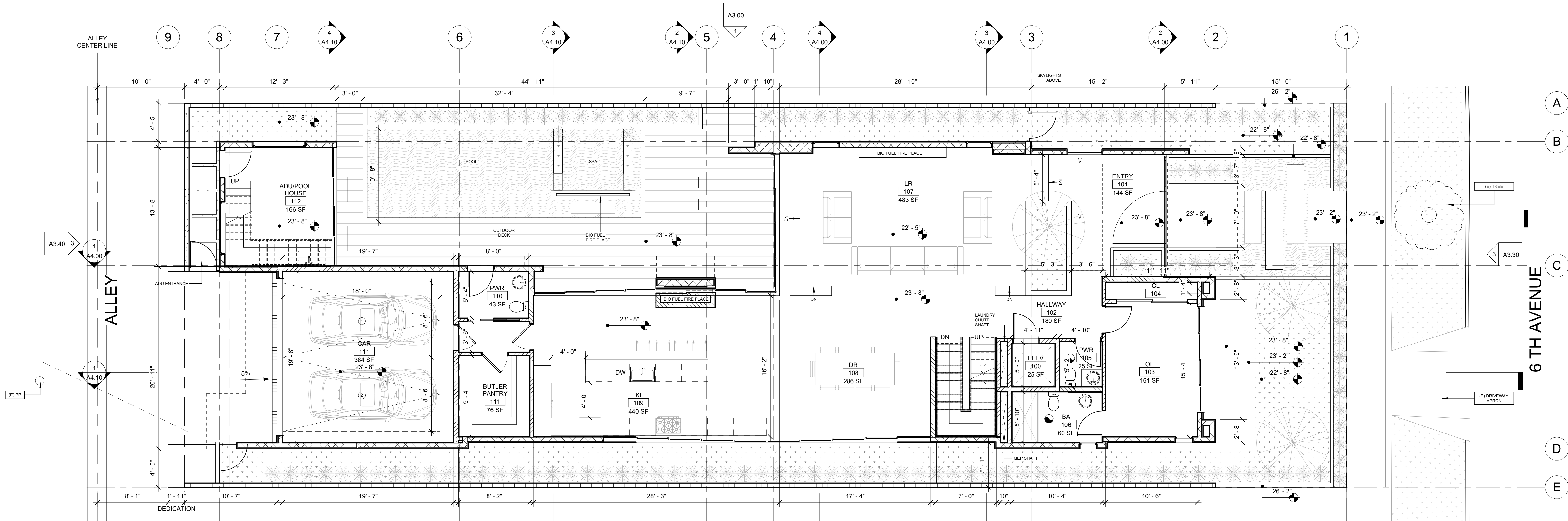
- F1 CONC FLOOR PER STRC. W/ WOOD FINISH (7/A0.10)
F2 CONC FLOOR PER STRC. W/ TILE FINISH (8/A0.10)
F3 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (9/A0.10)
F4 WOOD JOIST W/ WOOD FINISH PER SPEC. (10/A0.10)
F5 WOOD JOIST W/ TILE FINISH PER SPEC. (11/A0.10)
F6 WOOD JOIST W/ BISON WOOD DECK PER SPEC. (12/A0.10)
F7 WOOD JOIST W/ GREEN ROOF PER SPEC. (13/A0.10)
F8 WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (14/A0.10)

FLOOR PLAN LEGEND

- EXTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
INTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
EXTERIOR WALL - NON RATED (SEE WALL TYPES FOR SPECIFICS)

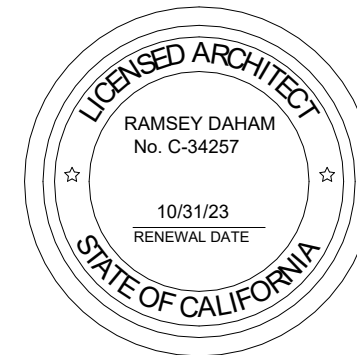
- FLOOR TYPE
WINDOW TAG (A0.08 - SCHEDULE)
DOOR TAG (A0.06 - SCHEDULE)
WALL TYPE
ELEVATION MARKER
PROPERTY LINE
1 HR

- SD SMOKE DETECTOR
CM CARBON MONOXIDE
EXHAUST FAN (MIN 50 CFM)
MB MASTER BEDROOM
BD BEDROOM
BA BATHROOM
LR LIVING ROOM
FR FAMILY ROOM
KI KITCHEN
DR DINING ROOM
PWR POWDER ROOM
CL CLOSET
WIC WALK IN CLOSET
BC BALCONY
EN ENTRY
GAR GARAGE
HALL HALLWAY
OF OFFICE



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Revision Schedule

Revision Number	Revision Date

PROPOSED PLANS

DRAWN	Author
CHECKED	Checker
DATE	3/28/2025 11:40:28 AM
SCALE	As indicated
JOB #	Project Number

A2.00

ASSEMBLY TYPES

WALLS

- A1 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10)
- A2 1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.10)
- A3 2x6 PLUMBING WALL ASSM. (3/A0.10)
- A4 1-HR 2x6 EXTERIOR WALL ASSM. W/ STUCCO (4/A0.10)
- A5 1-HR 2x6 EXTERIOR WALL ASSM. W/ METAL PANELS (5/A0.10)
- A6 MASONRY RETAINING WALL PER STRC. & 2x2 FURRING WALL ASSM. (6/A0.10)

FLOORS

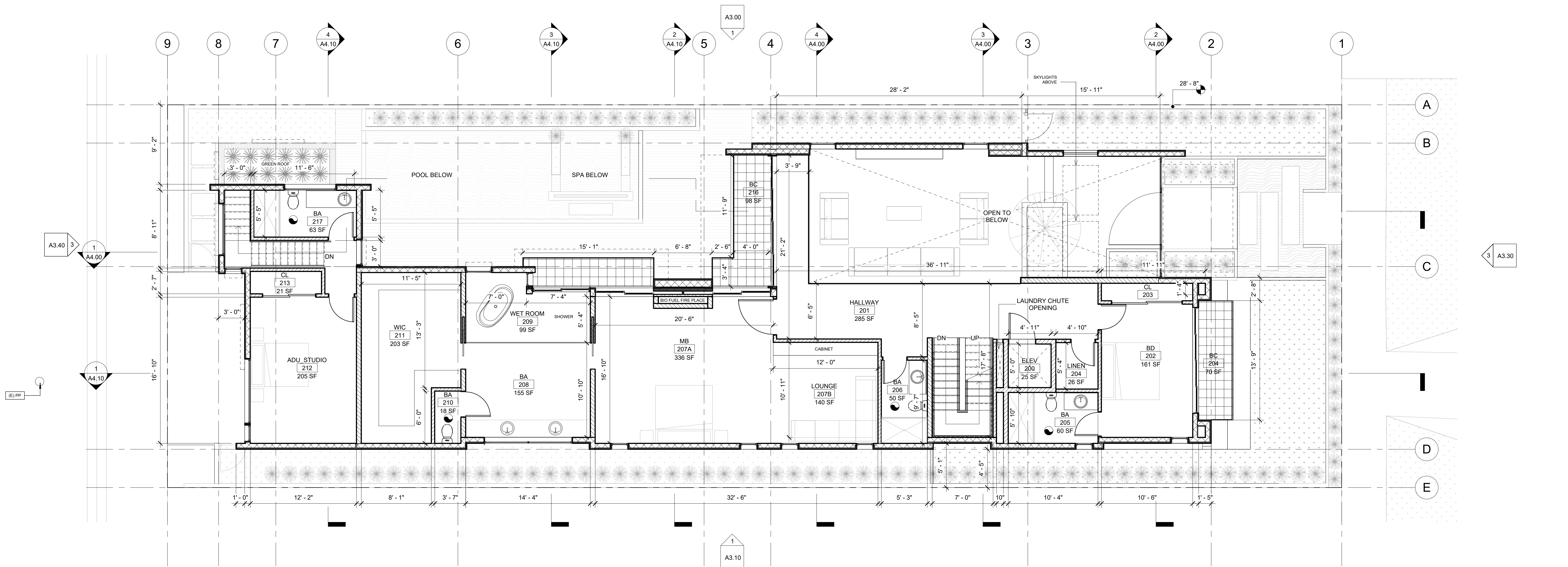
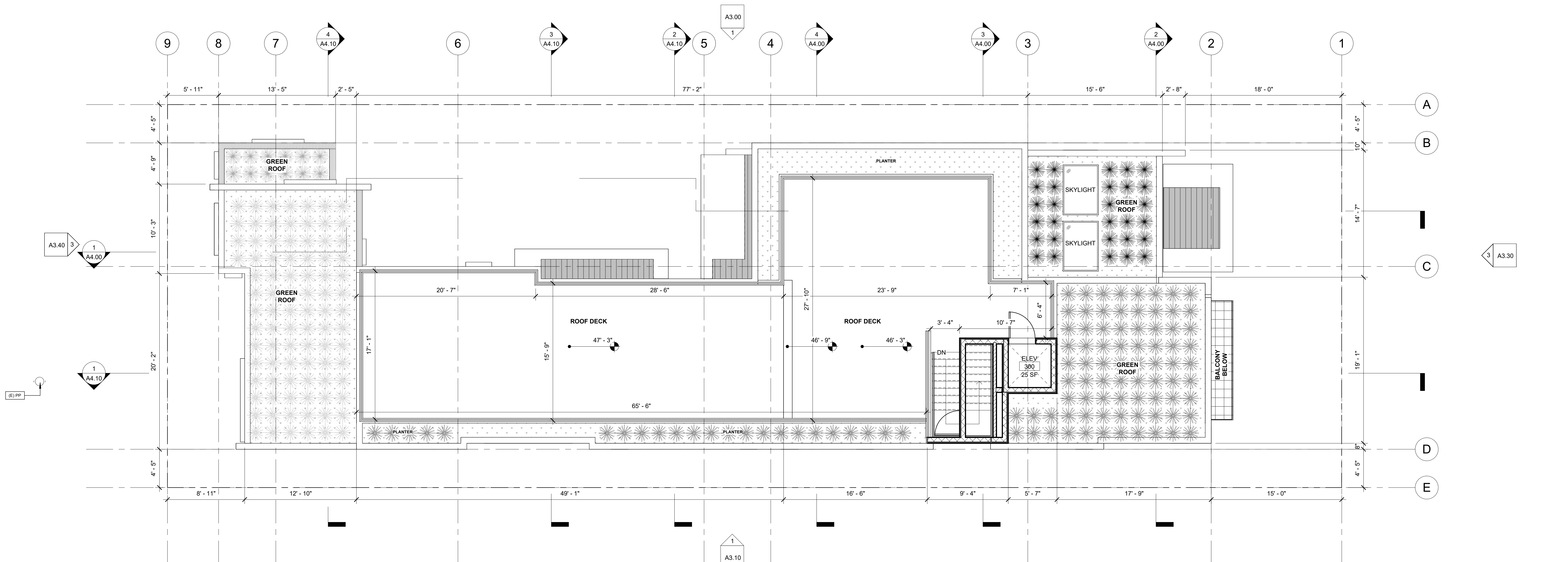
- F1 CONC FLOOR PER STRC. W/ WOOD FINISH (7/A0.10)
- F2 CONC FLOOR PER STRC. W/ TILE FINISH (8/A0.10)
- F3 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (9/A0.10)
- F4 WOOD JOIST W/ WOOD FINISH PER SPEC. (10/A0.10)
- F5 WOOD JOIST W/ TILE FINISH PER SPEC. (11/A0.10)
- F6 WOOD JOIST W/ BISON WOOD DECK PER SPEC. (12/A0.10)
- F7 WOOD JOIST W/ GREEN ROOF PER SPEC. (13/A0.10)
- F8 WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (14/A0.10)

FLOOR PLAN LEGEND

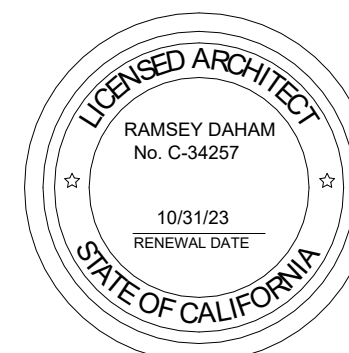
- EXTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
- INTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
- EXTERIOR WALL - NON RATED (SEE WALL TYPES FOR SPECIFICS)

- FLOOR TYPE
- WINDOW TAG (A0.08 - SCHEDULE)
- DOOR TAG (A0.06 - SCHEDULE)
- WALL TYPE
- ELEVATION MARKER
- PROPERTY LINE
- 1 HR

- SD SMOKE DETECTOR
- CM CARBON MONOXIDE
- EXHAUST FAN (MIN 50 CFM)
- MB MASTER BEDROOM
- BD BEDROOM
- BA BATHROOM
- LR LIVING ROOM
- FR FAMILY ROOM
- KI KITCHEN
- DR DINING ROOM
- PWR POWDER ROOM
- CL CLOSET
- WIC WALK IN CLOSET
- BC BALCONY
- EN ENTRY
- GAR GARAGE
- HALL HALLWAY
- OF OFFICE



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LOS ANGELES,
CA 90291

Revision Schedule

Revision Number	Revision Date

PROPOSED PLANS

DRAWN	Author
CHECKED	Checker
DATE	3/28/2025 11:40:29 AM
SCALE	As indicated
JOB #	Project Number

A2.10

SECOND FLOOR
3/16" = 1'-0"

1

WALL TAG

A5

A4

A6

A6

MATERIAL

METAL PANELS

GFRG PANELS

WOOD CLADDING

LIGHT GREY STUCCO

ELEVATION LEGEND

PROPERTY LINE (PL)

XXX

WINDOW TAG

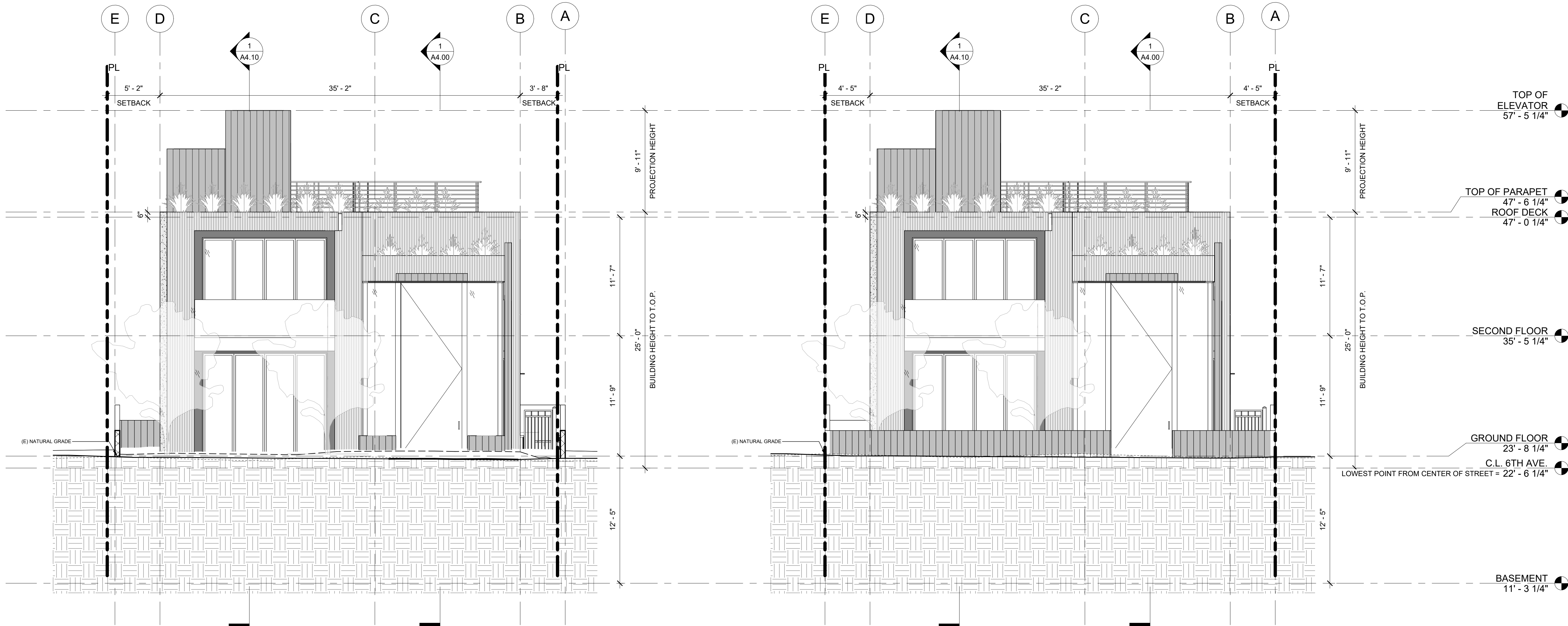
XXX

DOOR TAG

X'-X"

ELEVATION MARKER

NOTE:
1. PROVIDE ANTI-GRAFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. 6306
2. PROVIDE APPROVED ADDRESS IDENTIFICATION THAT IS LEGIBLE AND PLACED VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (LAFC 505.1)
3. ALL ROOF RUNOFF TO DRAIN TO THE PROPOSED BMP.

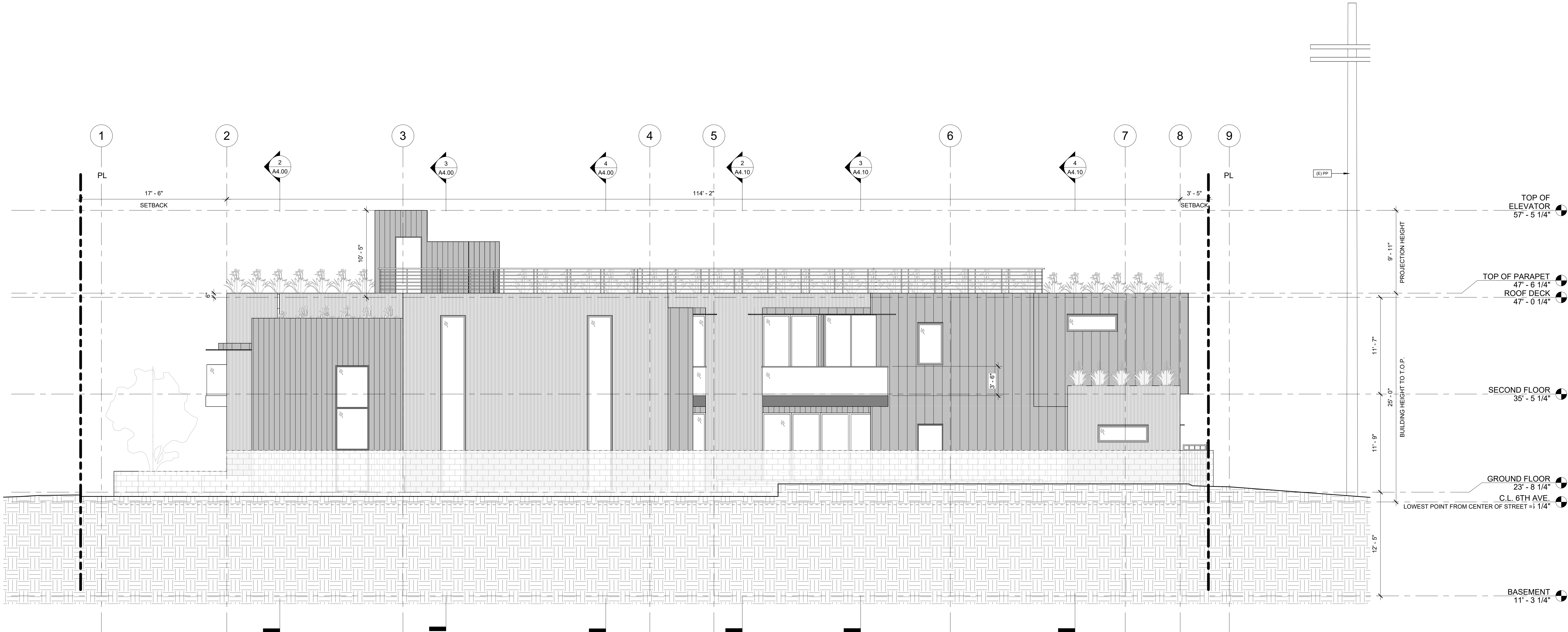


EAST ELEVATION 2
3/16" = 1'-0"

3

EAST ELEVATION
3/16" = 1'-0"

2



NORTH ELEVATION
3/16" = 1'-0"

1

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127 arena street, el segundo, ca 90245
[O] 310.322.3700

LICENSED ARCHITECT
RANDIEY DAWHAY
No. C-34257
10/31/23
RENEWAL DATE
STATE OF CALIFORNIA

807 S 6TH AVE.,
LOS ANGELES,
CA 90291

Revision Schedule

Revision Number	Revision Date

ELEVATIONS

DRAWN

Author

CHECKED

Checker

DATE

3/28/2025 11:40:34 AM

SCALE

As indicated

JOB #

Project Number

A3.00

WALL TAG

A5

A4

A6

A6

MATERIAL

METAL PANELS

GFRP PANELS

WOOD CLADDING

LIGHT GREY STUCCO

ELEVATION LEGEND

PROPERTY LINE (PL)

XXX

WINDOW TAG

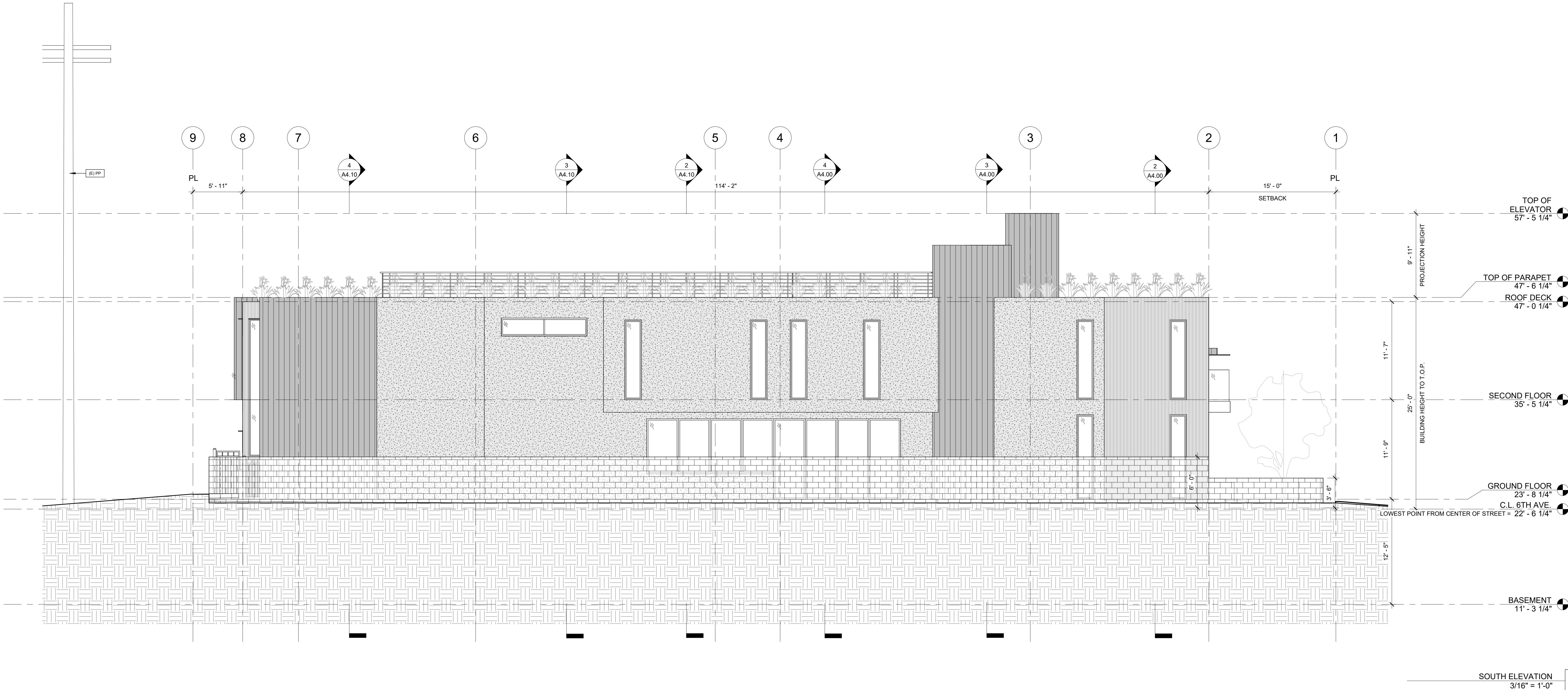
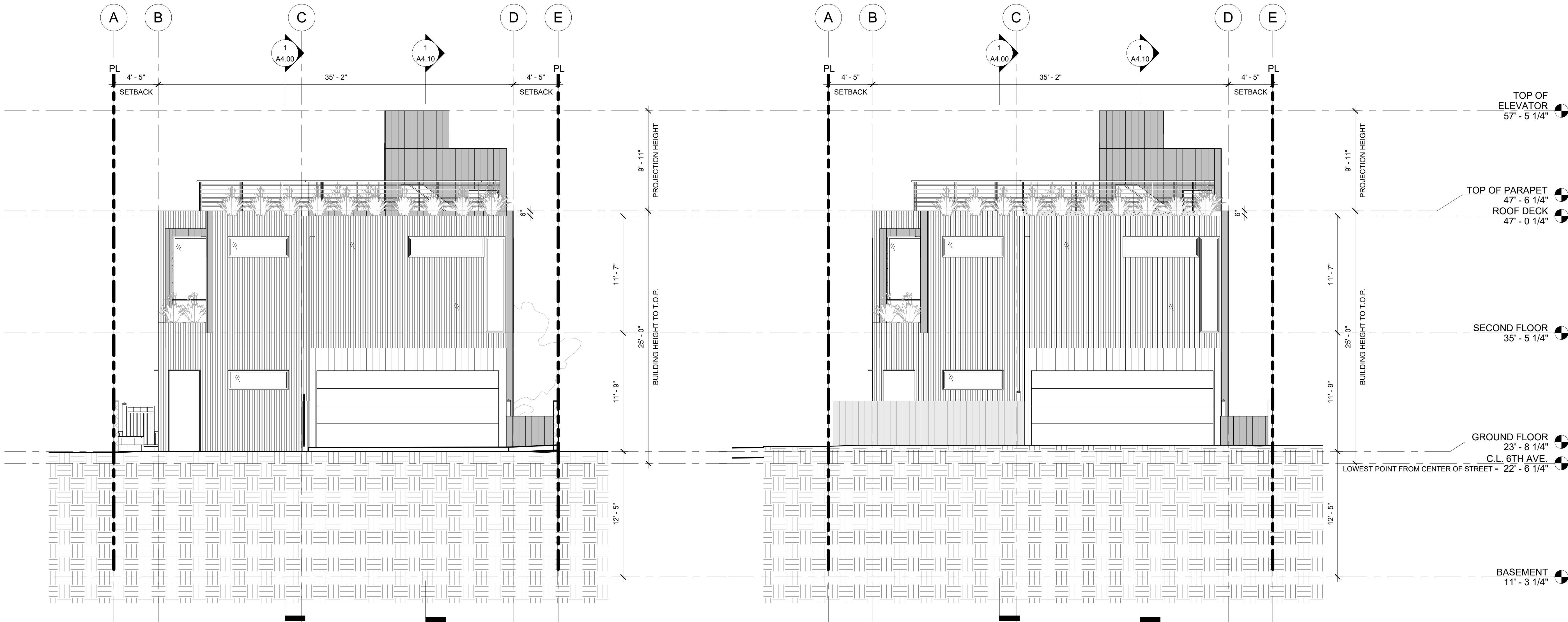
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DOOR TAG

X'-X"

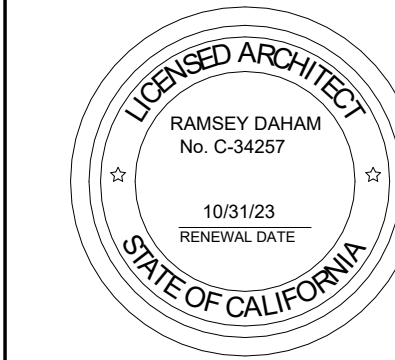
ELEVATION MARKER

NOTE:
1. PROVIDE ANTI-GRAFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. 6306
2. PROVIDE APPROVED ADDRESS IDENTIFICATION THAT IS LEGIBLE AND PLACED VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (LAFC 505.1)
3. ALL ROOF RUNOFF TO DRAIN TO THE PROPOSED BMP.



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Revision Schedule	
Revision Number	Revision Date

ELEVATIONS

DRAWN	Author
CHECKED	Checker
DATE	3/28/2025 11:40:39 AM
SCALE	As indicated
JOB #	Project Number

A3.10

WALL TAG

A5

A4

A6

A6

MATERIAL

METAL PANELS

GFRC PANELS

WOOD CLADDING

LIGHT GREY STUCCO

ELEVATION LEGEND

XXX

XXX

X-X"

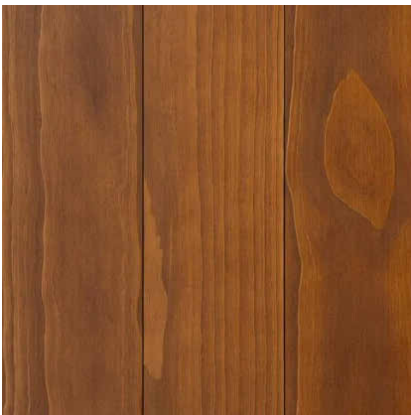

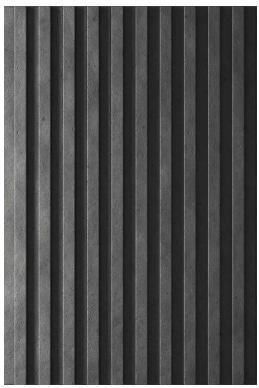

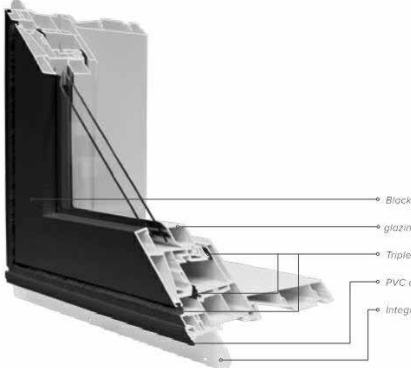
PROPERTY LINE (PL)

WINDOW TAG

DOOR TAG

ELEVATION MARKER

NOTE:
1. PROVIDE ANTI-GRAFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. 6306
2. PROVIDE APPROVED ADDRESS IDENTIFICATION THAT IS LEGIBLE AND PLACED VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (LAFC 505.1)
3. ALL ROOF RUNOFF TO DRAIN TO THE PROPOSED BMP.

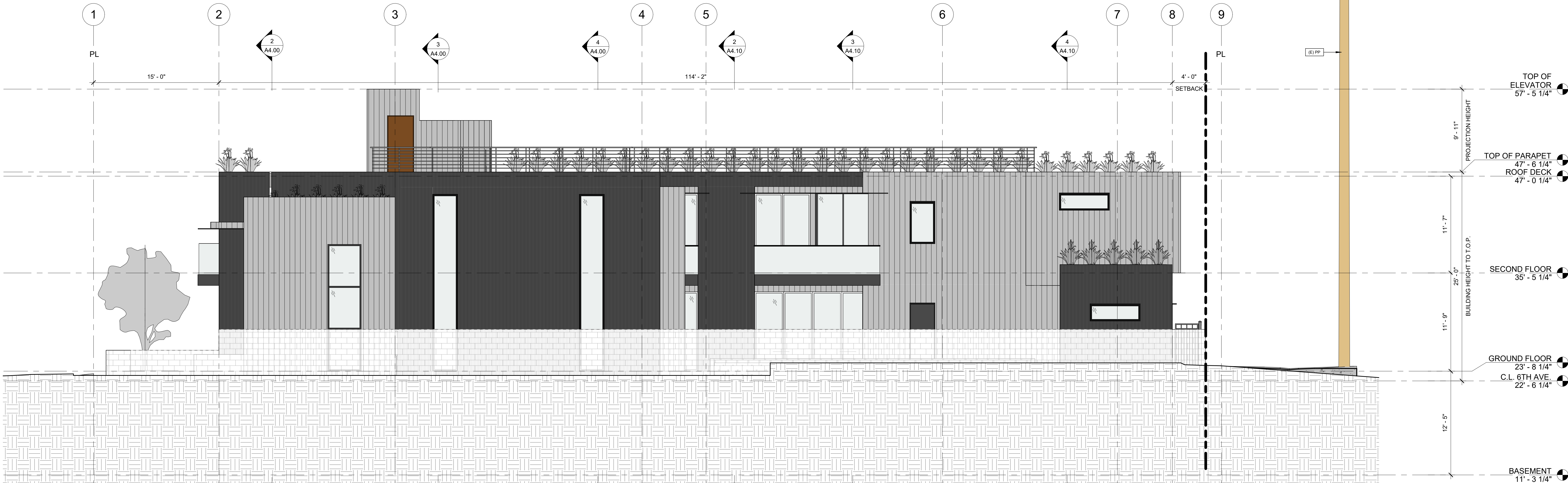
MATERIAL LEGEND			
		WOOD CLADDING	
- MANUFACTURER: TBD - COLOR: TBD - ORIENTATION: VERTICAL		3	
		GFRC PANELS	
- MANUFACTURER: TBD - COLOR: - TEXTURE: VERTICAL		5	
		CORUGATED METAL PANELS	
- MANUFACTURER: ATAS OR SIMILAR - PROFILE: METAFOR - COLOR: SATIN BLACK		2	
		SMOOTH STUCCO	
- MANUFACTURER: TBD - COLOR: LIGHT GREY - TEXTURE: VERTICAL		4	
		EXTERIOR WINDOWS / DOORS	
- MANUFACTURER: ALL WEATHER WINDOWS & DOORS - COLOR: BLACK - TYPE: ARCHITECTURAL ALUMINUM (SERIES 6000)		1	



EAST ELEVATION 2
3/16" = 1'-0"

2

EAST ELEVATION
3/16" = 1'-0"



NORTH ELEVATION
3/16" = 1'-0"

1

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127 arena street, el segundo, ca 90245
[O] 310.322.3700

LICENSED ARCHITECT
RANDIEY DAWAH
No. C-34257
10/31/23
RENEWAL DATE
STATE OF CALIFORNIA

807 S 6TH AVE.,
LOS ANGELES,
CA 90291

Revision Schedule

Revision Number	Revision Date

ELEVATIONS
COLOR

DRAWN

Author

CHECKED

Checker

DATE

3/28/2025 11:40:44 AM

SCALE

As indicated

JOB #

Project Number

A3.30

WALL TAG

A5

A4

A6

A6

MATERIAL

METAL PANELS

GFRC PANELS

WOOD CLADDING

LIGHT GREY STUCCO

ELEVATION LEGEND

PROPERTY LINE (PL)

XXX

WINDOW TAG

XXX

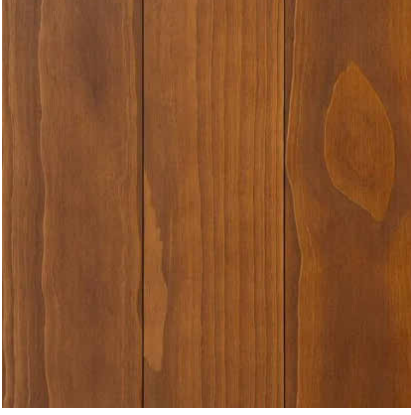
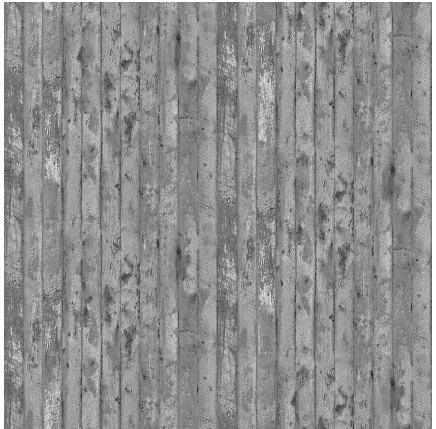
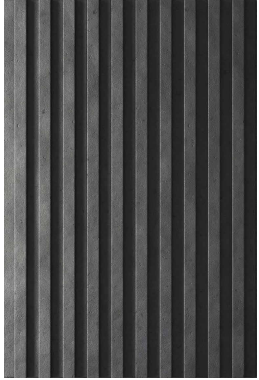
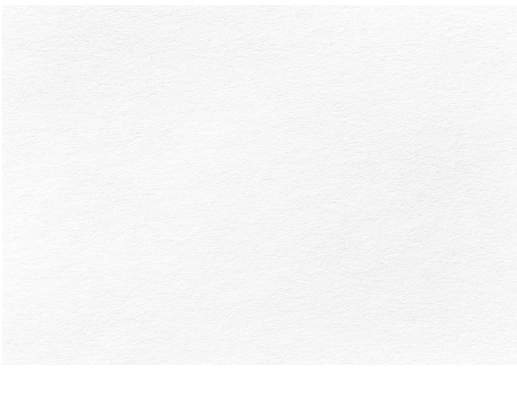
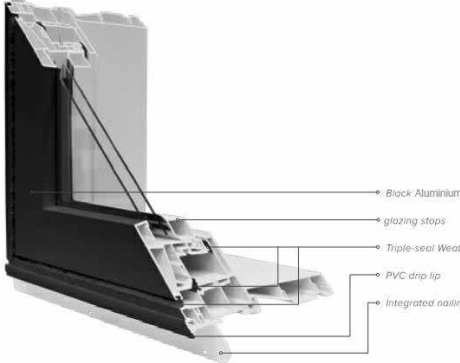
DOOR TAG

X-X"

ELEVATION MARKER

NOTE:

1. PROVIDE ANTI-GRAFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. 6306
2. PROVIDE APPROVED ADDRESS IDENTIFICATION THAT IS LEGIBLE AND PLACED VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (LAFC 505.1)
3. ALL ROOF RUNOFF TO DRAIN TO THE PROPOSED BMP.

MATERIAL LEGEND	
	- MANUFACTURER: TBD - COLOR: TBD - ORIENTATION: VERTICAL
WOOD CLADDING	3
	- MANUFACTURER: TBD - COLOR:- - TEXTURE: VERTICAL
GFRC PANELS	5
	- MANUFACTURER: ATAS OR SIMILAR - PROFILE: METAFOR - COLOR: SATIN BLACK
CORUGATED METAL PANELS	2
	- MANUFACTURER: TBD - COLOR: LIGHT GREY - TEXTURE: VERTICAL
SMOOTH STUCCO	4
	- MANUFACTURER: ALL WEATHER WINDOWS & DOORS - COLOR: BLACK - TYPE: ARCHITECTURAL ALUMINUM (SERIES 6000)
EXTERIOR WINDOWS / DOORS	1

WEST ELEVATION 2
3/16" = 1'-0"

3

WEST ELEVATION
3/16" = 1'-0"

2

SOUTH ELEVATION
3/16" = 1'-0"

1

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CA 90291

Revision Schedule

Revision Number	Revision Date

ELEVATIONS
COLOR

DRAWN Author

CHECKED Checker

DATE 3/28/2025 11:40:48 AM

SCALE As indicated

JOB # Project Number

A3.40

ASSEMBLY TYPES

WALLS

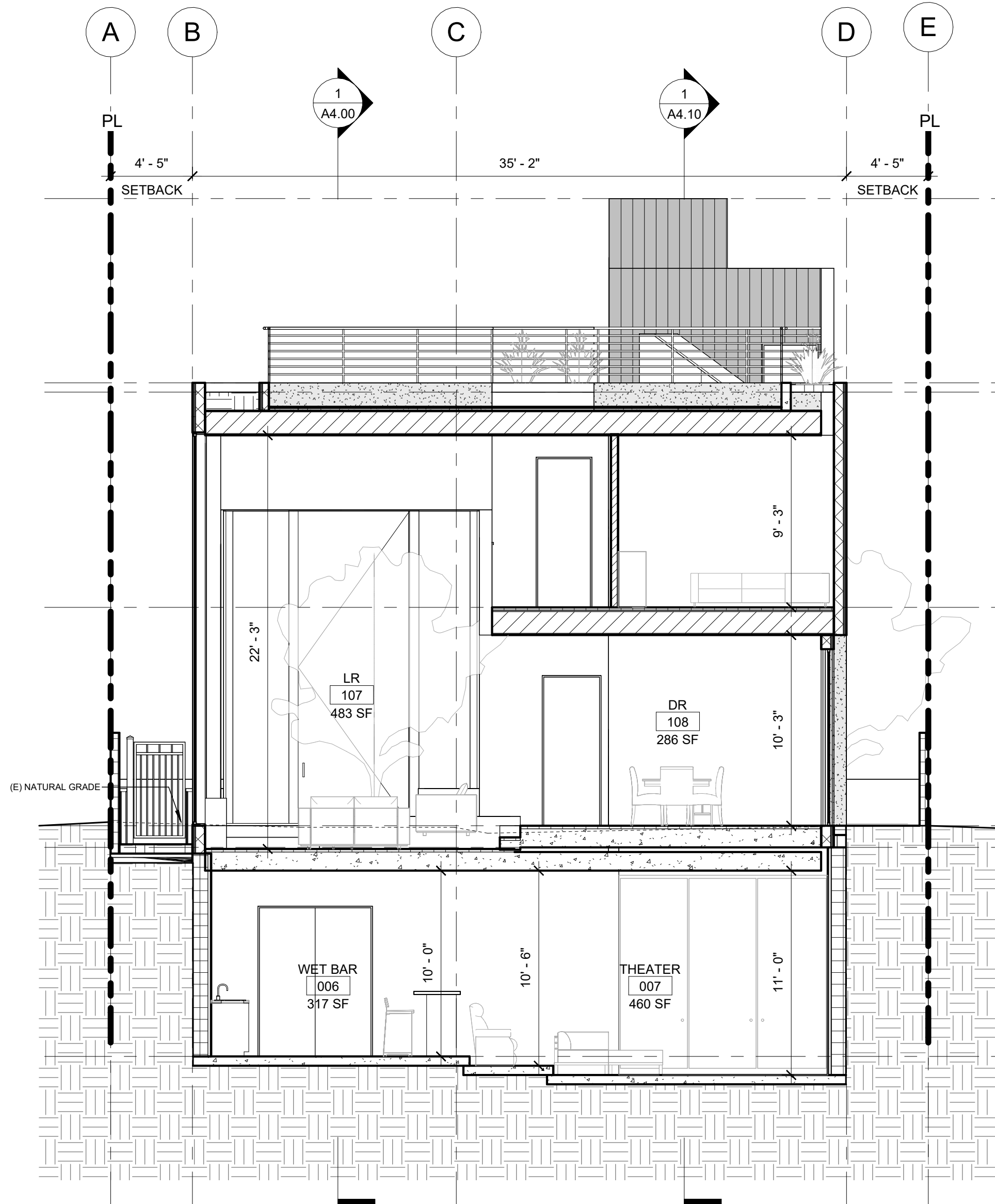
- A1 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10)
A2 1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.10)
A3 2x6 PLUMBING WALL ASSM. (3/A0.10)
A4 1-HR 2x6 EXTERIOR WALL ASSM. W/ STUCCO (4/A0.10)
A5 1-HR 2x6 EXTERIOR WALL ASSM. W/ METAL PANELS (5/A0.10)
A6 MASONRY RETAINING WALL PER STRC. & 2x2 FURRING WALL ASSM. (6/A0.10)

FLOORS

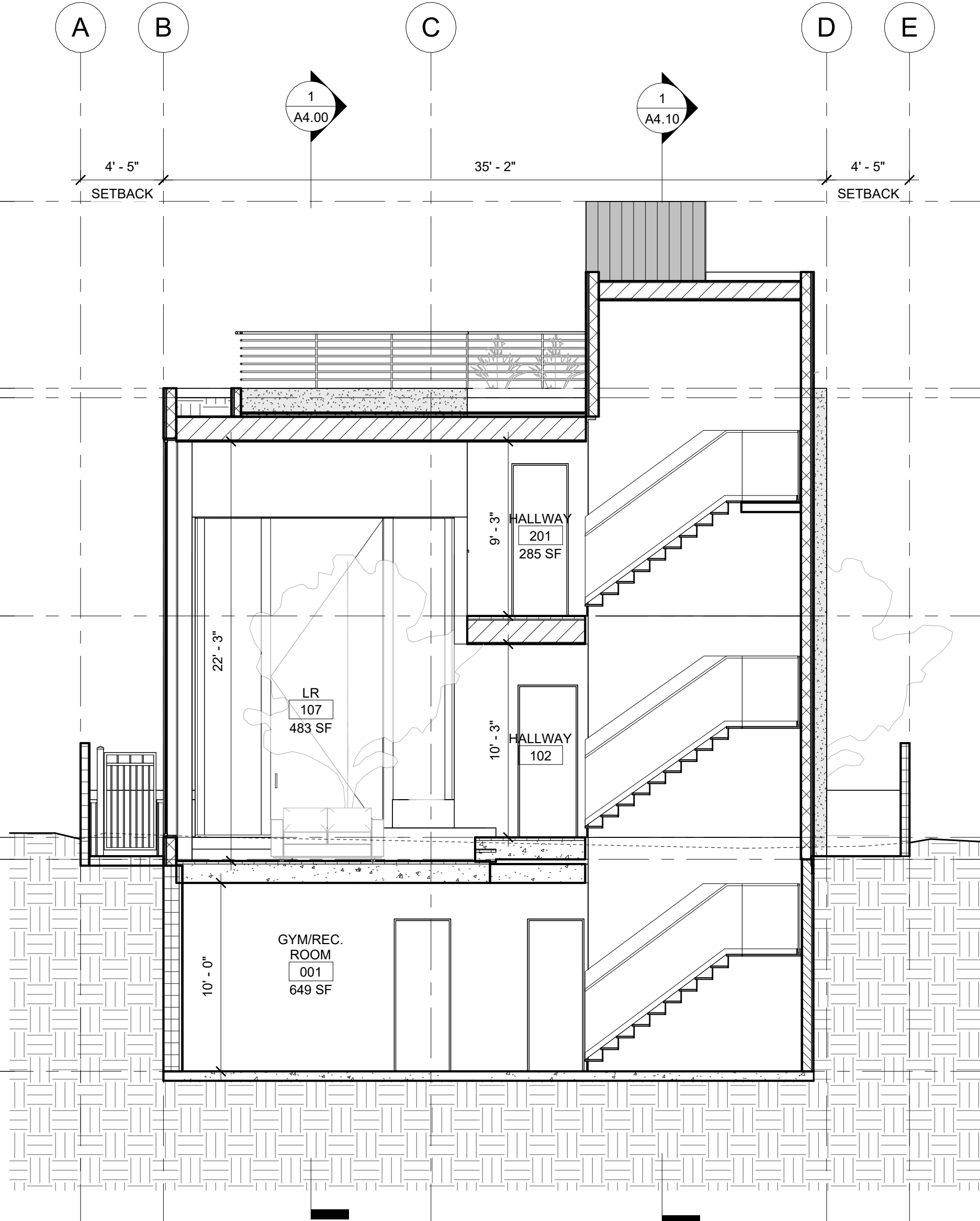
- F1 CONC FLOOR PER STRC. W/ WOOD FINISH (7/A0.10)
F2 CONC FLOOR PER STRC. W/ TILE FINISH (8/A0.10)
F3 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (9/A0.10)
F4 WOOD JOIST W/ WOOD FINISH PER SPEC. (10/A0.10)
F5 WOOD JOIST W/ TILE FINISH PER SPEC. (11/A0.10)
F6 WOOD JOIST W/ BISON WOOD DECK PER SPEC. (12/A0.10)
F7 WOOD JOIST W/ GREEN ROOF PER SPEC. (13/A0.10)
F8 WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (14/A0.10)

SECTION LEGEND

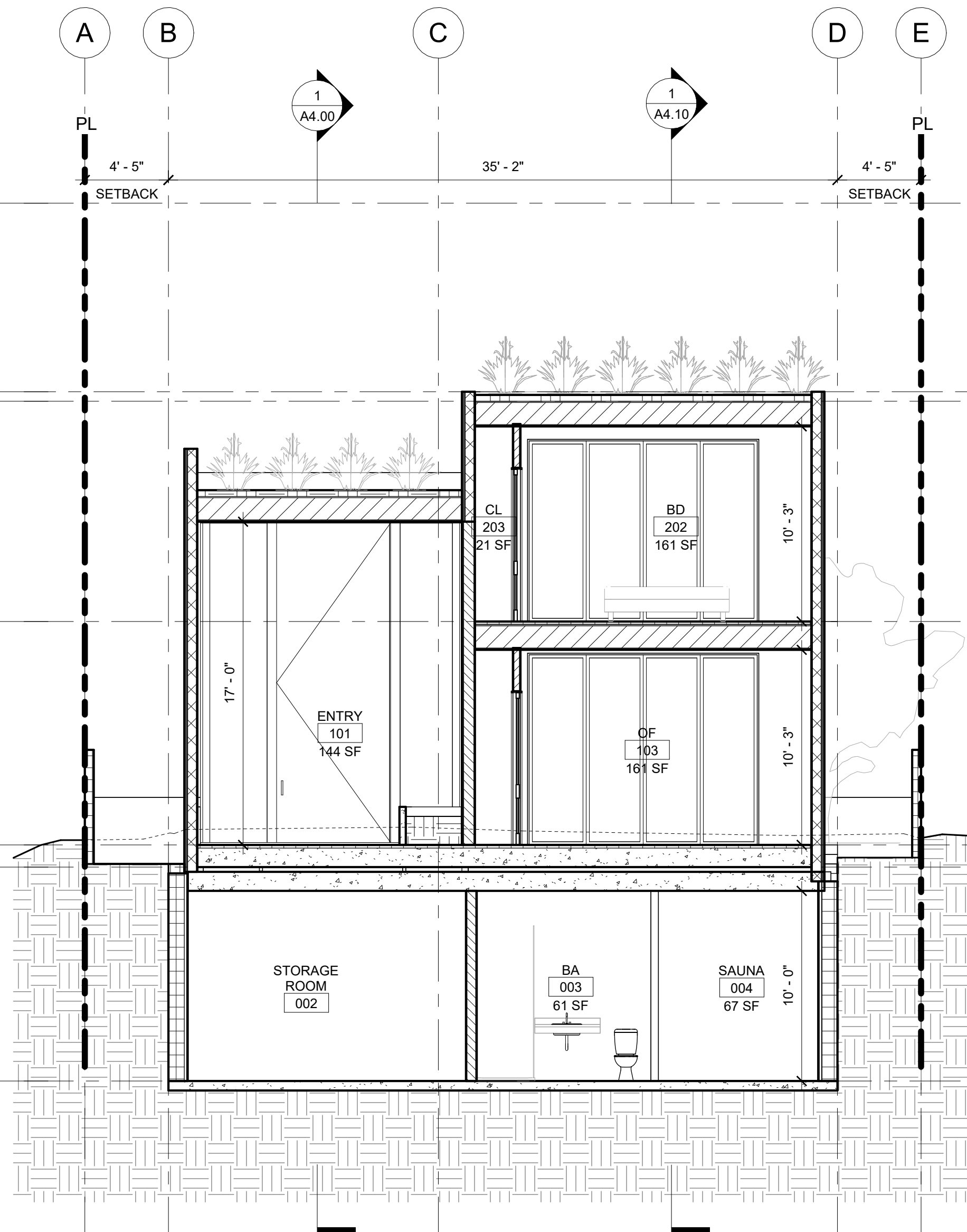
- 1 HR
X'-X" ELEVATION MARKER
--- PROPERTY LINE
--- EXISTING GRADE

SECTION 4
3/16" = 1'-0"

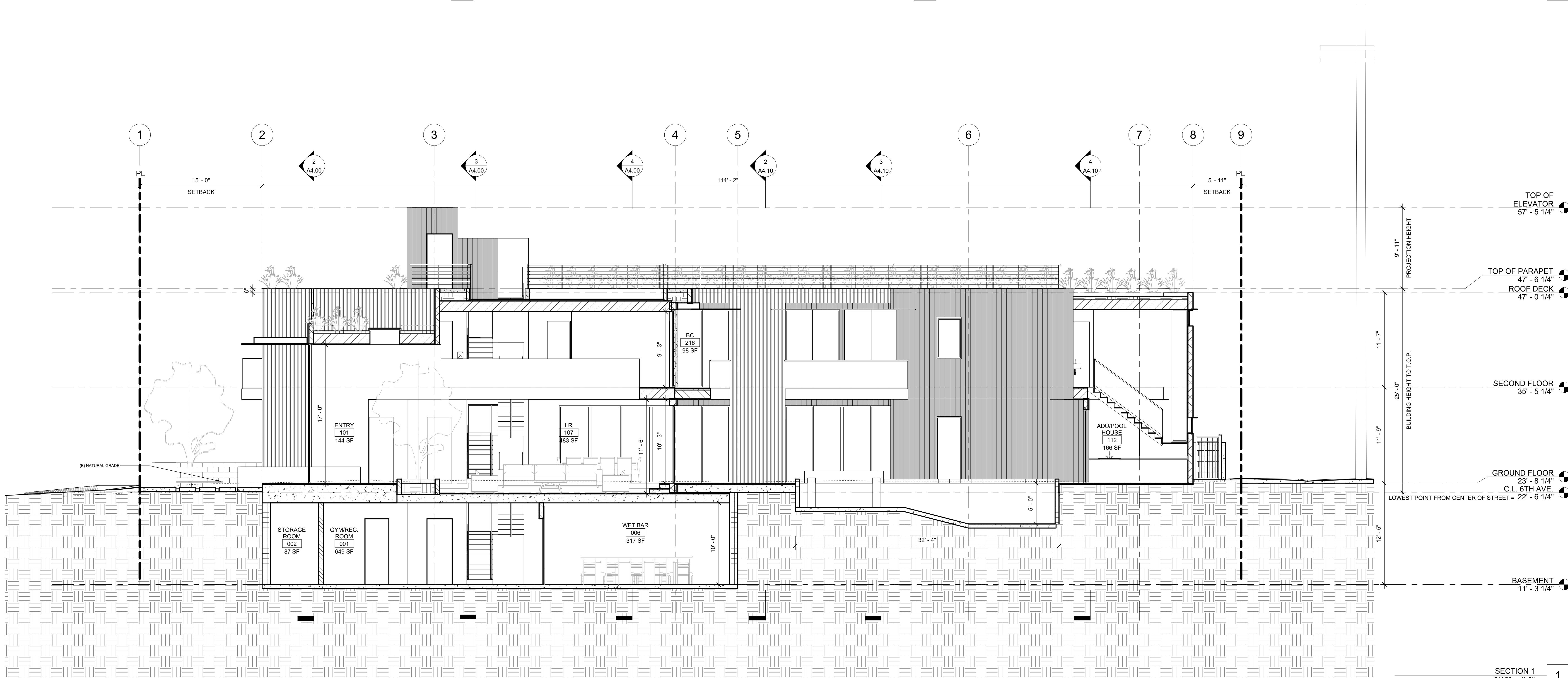
4

SECTION 3
3/16" = 1'-0"

3

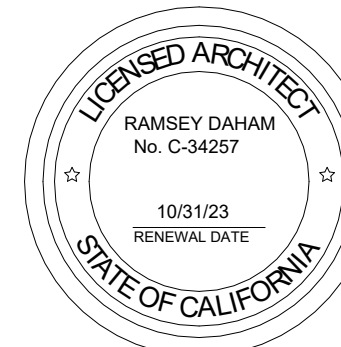
SECTION 2
3/16" = 1'-0"

2

SECTION 1
3/16" = 1'-0"

1

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LOS ANGELES,
CA 90291

Revision Schedule

Revision Number	Revision Date

PROPOSED SECTIONS

DRAWN Author

CHECKED Checker

DATE 3/28/2025 11:40:52 AM

SCALE As indicated

JOB # Project Number

A4.00

127 arena street, el segundo, ca 90245



PROPOSED SECTIONS	
DRAWN	Author
CHECKED	Checker
DATE	3/28/2025 11:40:58 AM
SCALE	As indicated
JOB #	Project Number

SECTION 5
3/16" = 1'-0"

