



Venice Neighborhood Council

P. O. Box 550, Venice, CA 90294

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LUPC STAFF REPORT

March 31, 2025

Case No: DIR-2025-412-CDP-MEL-HCA

CEQA Case No: ENV-2025-413-CE (Categorical Exemption)

Address of Project: 807 6th Avenue

Property Owner: Ramtin Ghaneian

Owner's Representative: Jesi Harris, Brian Silveira & Associates

Standard of Review: Coastal Act, with certified Land Use Plan (LUP) as guidance

Coastal Zone: Single Permit Jurisdiction

City Hearing: Not yet scheduled

LUPC Staff: Robin Rudisill

Project Description:

Demo of existing SFD & construction of a new single-family dwelling, accessory dwelling unit (ADU) and basement, with pool, roof deck with both elevator and Roof Access Structure, and a garage with 2 parking spaces, on a 5,942 square foot lot.

Motion:

The Venice Neighborhood Council (VNC) Land Use and Planning Committee recommends that the VNC supports the City's approval of a Coastal Development Permit (CDP) for the project at 807 6th Avenue, on the following conditions: (i) elevator moves to center mass of building; (ii) elevator placement to allow use by both main home and ADU; and (iii) roof deck area is reduced by 50%.

Moved by Mark Mack, Seconded by Robin Rudisill
Approved 4-2-2 (1 absent)



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Entitlements:

1. City Coastal Development Permit (CDP)

The project would be 2 stories and 25' high, with a 1,783 square foot basement, a 538 square foot ADU, and a 4,442 square foot above ground single family dwelling (total of 6,763 square feet), on a 5,941 square foot lot.

The proposed project includes a front yard of 15', a rear yard of 15' (except for the portion of the rear yard that includes the stairs to the ADU, which is permitted to maintain a reduced rear yard of 4' per City Ordinance 186481), and two side yards of 4'5".

With a lot size of 5,941 square feet, the Floor Area Ratio (FAR) of the proposed structure (above ground) is .84 (.75 excluding the ADU).

Three parking spaces are required by the LUP but two are provided as the property qualifies for the AB 2097 exemption.

It should be noted that the VNC's Venice Community Plan/Local Coastal Program Ad Hoc Committee recommended, and the VNC supported, the following for this area of Oakwood – Density of 2 DU, Maximum height: 2 stories/25' flat roof, FAR of .75 for single-family & 1.0 for multi-family. The proposed project has 2 DU, is 2 stories/25' flat roof, with an above ground FAR of .84. In addition, the Ad Hoc Committee recommended that no roof decks are allowed on structures three stories or taller, no roof decks are allowed in the front third of the structure, roof deck railings must be at least 6' from side and back edges of the structure, and that roof access structures are not allowed but rather access to roof decks must be by outside stairs from top floor located inside the exterior walls.

LUP Policy I.A.1.a. states:

"Residential structures may have an enclosed stairway (roof access structure) to provide access to a roof provided that: I. The roof access structure shall not exceed the specified flat roof height limit by more than 10 feet; II. The roof access structure shall be designed and oriented so as to reduce its visibility from adjacent public walkways and recreation areas; III. The areas within the outside walls of the roof access structure shall be minimized and shall not exceed 100 square feet in area as measured from the outside walls."

There is no exception for elevators, nor is there any indication that the applicant has an ADA requirement. Even if there is, ADA access to the roof deck does not seem to be something that is absolutely required. In addition, access to the roof via internal stairs, with no roof access structure should be considered so that the mass of the overall structure can be limited to two stories.



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Although the home is very large, there is good articulation, including the front elevation and the large cut out from the second floor and roof above the swimming pool on the north side.

The public and LUPC members discussed concerns about the sheer size, felt that the roof deck is way too large, indicated the elevator should be moved further to the rear of the structure as it is located towards the front (approximately 25% back from the property line) and presents as a third story and adds too much mass, and the elevator should be available for use by the ADU as well.

2. Mello Act (MEL)

Only one dwelling unit before and after (+ADU).

3. Housing Crisis Act (HCA)

Same as above.



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Neighborhood Meeting:

The applicant's representative reported that the adjacent neighbors were in support of the project. The neighbors in attendance on the zoom meeting were not opposed to the project, although they did not like the size of the roof deck, indicating later that they weren't aware of the elevator and are not in favor of the additional mass that it creates, and they requested a shade study for impacts on the adjacent neighbors.

There were some questions about de-watering and the basement and the water table on the site. The applicant's representative followed up with the Geological Engineer who prepared the Geotechnical report, and he stated that since they did not hit water until 26 feet below ground surface and the proposed basement only extends 13.5 feet below the existing natural grade, that they are unlikely to hit groundwater during excavation.

Attached is the boring log from the Geotechnical report showing the level of groundwater occurrence.



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<div>IRVINE</div> <div>GEOTECHNICAL Inc</div>						LOG OF BORING				
						PROJECT	IC24084 GHANEEIAN			
						DRILL DATE	10/18/2024			
						LOG DATE	10/18/2024			
						LOGGED BY	RC			
						DRILL TYPE	HOLLOW-STEM			
						DIAMETER	8 INCHES			
SURFACE ELEVATION						24.5 feet				
DRILLING CONTRACTOR						CHARLIES DRILLING				
SURFACE CONDITIONS						Driveway				
BORING 1										
Page 2 of 3										
Sample Type	Sample Depth (feet)	Blows per foot	Moisture (%)	Dry Unit Weight (pcf)	Saturation (%)	USCS Code	Elevation (feet)	Depth (feet)	Lithologic Description	
SPT	20	13/18/18				SW	4.5	20	Gravelly Sand, grey-brown, dense to very dense, moist	
							3.5	21		
SPT	22.5	15/20/20					2.5	22		
							1.5	23		
							0.5	24		
SPT	25	17/24/27					-0.5	25		
							-1.5	26	▼ Groundwater	
SPT	27.5	13/19/20					-2.5	27	Gravelly Sand, grey-brown, dense to very dense, wet	
							-3.5	28		
							-4.5	29		
SPT	30	16/22/27					-5.5	30		
							-6.5	31		
SPT	32.5	16/26/27					-7.5	32		
							-8.5	33		
							-9.5	34		
SPT	35	23/50/5"	-10.5	35						
			-11.5	36						
SPT	37.5	15/27/28	-12.5	37						
			-13.5	38						
			-14.5	39	----- Clayey Sand, yellow brown, wet, very dense					
SPT	40	12/23/50	-15.5	40						
										(continued next page...)




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								LOG OF BORING		
								PROJECT IC24084 GHANEEIAN		
								DRILL DATE 10/18/2024		
								LOG DATE 10/18/2024		
								LOGGED BY RC		
								DRILL TYPE HOLLOW-STEM		
								DIAMETER 8 INCHES		
SURFACE ELEVATION 100 feet										
DRILLING CONTRACTOR CHARLIES DRILLING										
SURFACE CONDITIONS Driveway										
BORING 1										Page 3 of 3
Sample Type	Sample Depth (feet)	Blows per foot	Moisture (%)	Dry Unit Weight (pcf)	Saturation (%)	USCS Code	Elevation (feet)	Depth (feet)	Lithologic Description	
SPT	40	12/23/50				SC	60.0	40	Clayey Sand, yellow brown, wet, very dense	
							59.0	41		
SPT	42.5	8/12/26				SM	58.0	42	Silty Sand, orange-brown, wet, dense, fine to coarse grained	
							57.0	43		
							56.0	44		
SPT	45	12/18/24					55.0	45		
							54.0	46		
							53.0	47		
SPT	47.5	13/25/28					52.0	48		
							51.0	49		
SPT	50	16/26/32					50.0	50		
							49.0	51		
SPT	52.5	14/50/3"				SM	48.0	52	MARINE DEPOSITS: Silty Sand, yellow dark grey, wet, very dense, sea shells	
							47.0	53		
							46.0	54		
SPT	55	21/32/34					45.0	55		
							44.0	56		
SPT	57.5	19/25/31					43.0	57		
							42.0	58		
							41.0	59		
SPT	60	13/21/28					40.0	60	END B1 @ 60': Groundwater at 26'; Fill to 2 feet	



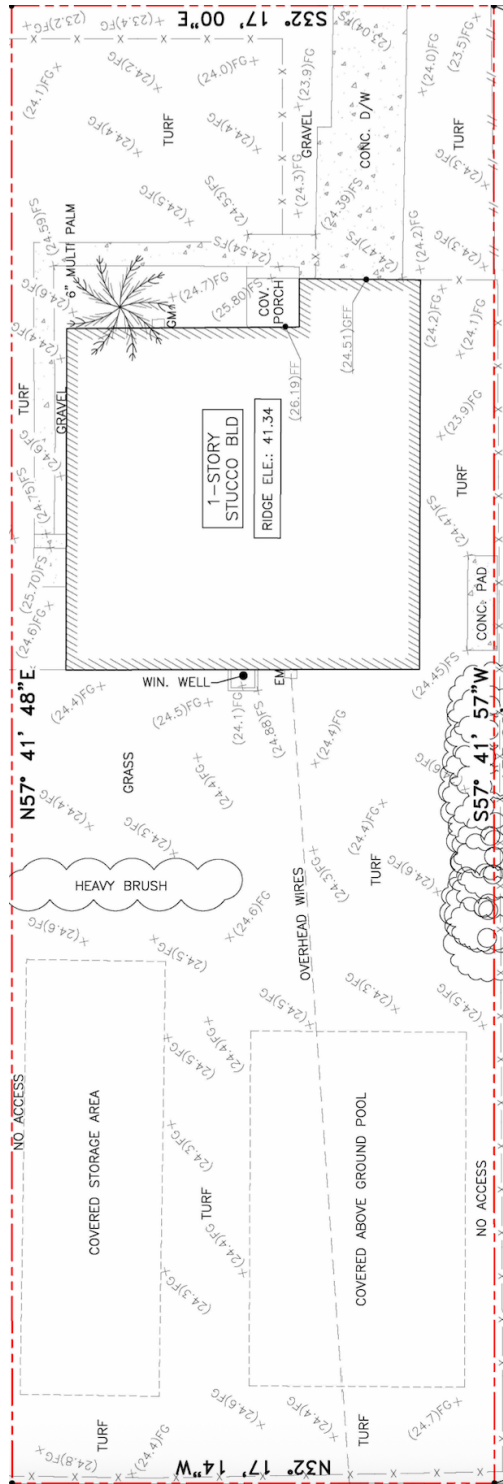
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Existing:





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Existing home:



Rendering of proposed project (does not show roof deck or elevator shaft & roof access structure):



With roof deck and elevator shaft/roof access structure:





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Project Info:

PROJECT INFORMATION	
PROJECT SUMMARY:	NEW 2 STORY WITH A BASEMENT AND ROOF DECK SFD + NEW ADU
PROJECT ADDRESS:	807 S 6TH AVE., LOS ANGELES, CA 90291
LOT SIZE:	NORTH 135.02' X EAST 44.01' X SOUTH 135.02' X WEST 44'
LOT AREA:	5,941.57 SF
F.A.R. ALLOWED:	3:1
F.A.R. PROVIDED:	1.75:1
ASSESSOR'S PARCEL #:	4239009014
TRACT:	SEA-GIRT TRACT
MAP REFERENCE:	M B 5-195
BLOCK:	4
LOT:	14
ZONING:	RD1.5-1
HILLSIDE AREA:	NO
SPECIFIC PLAN AREA:	VENICE COASTAL ZONE OAKWOOD-MILWOOD-SOUTHEAST VENICE
AB 2097	YES
METHANE HAZARD SITE:	METHANE ZONE
SPECIAL GRADING AREA:	NO
USE:	RESIDENTIAL
HEIGHT LIMIT:	25'-0" FLAT ROOF 30'-0" SLOPED ROOF
PROPOSED BUILDING HEIGHT:	25'-0" FROM LOWEST POINT TO TOP OF PARAPET
TYPE OF CONSTRUCTION:	TYPE V-A
OCCUPANCY GROUP:	R2
NUMBER OF STORY:	2 STORY + BASEMENT + ROOF DECK
PARKING PROVIDED:	2 COVERED PARKING SPACES
SPRINKLER:	NFPA-13R



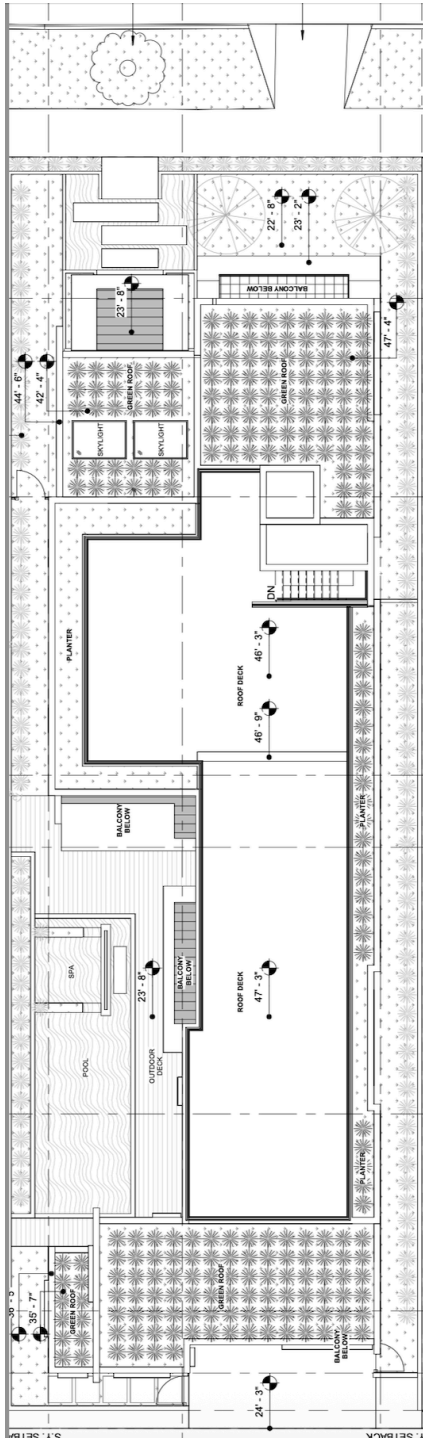
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Site Plan:





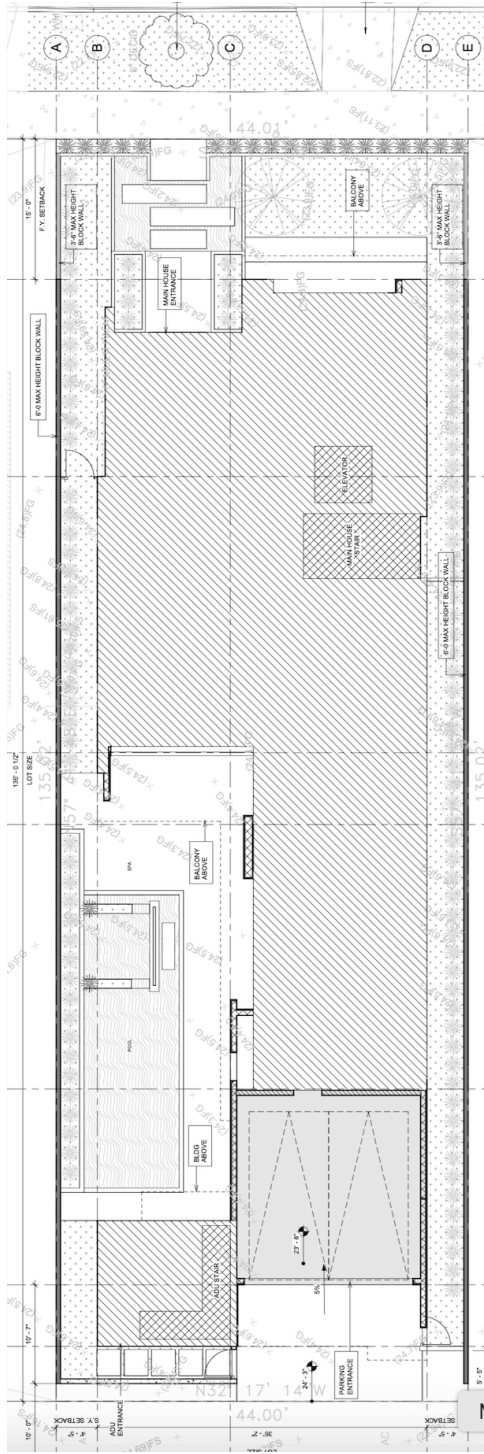
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Plot Plan:





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Floor Area Breakdown:

FLOOR AREA BREAKDOWN			
<u>ZONING AREA: (SEE A0.13 A)</u>		<u>BUILDING AREA: (SEE A0.13 B)</u>	
MAIN HOUSE		MAIN HOUSE	
-BASEMENT FLOOR	1,783 SF	-BASEMENT FLOOR	1,868 SF
-FIRST FLOOR	2,020 SF	-FIRST FLOOR	2,115 SF
COVERED	144 SF	COVERED	144 SF
-SECOND FLOOR	2,258 SF	-SECOND FLOOR	2,386 SF
COVERED	20 SF	COVERED	20 SF
-ROOF DECK	N/A	-ROOF DECK	73 SF
TOTAL	6,225 SF	TOTAL	6,606 SF
ADU		ADU	
-FIRST FLOOR	108 SF	-FIRST FLOOR	164 SF
COVERED	172 SF	COVERED	102 SF
-SECOND FLOOR	351 SF	-SECOND FLOOR	386 SF
COVERED	- SF	COVERED	- SF
TOTAL	538 SF	TOTAL	652 SF
TOTAL PROVIDED	6,763 SF	TOTAL PROVIDED	7,258 SF



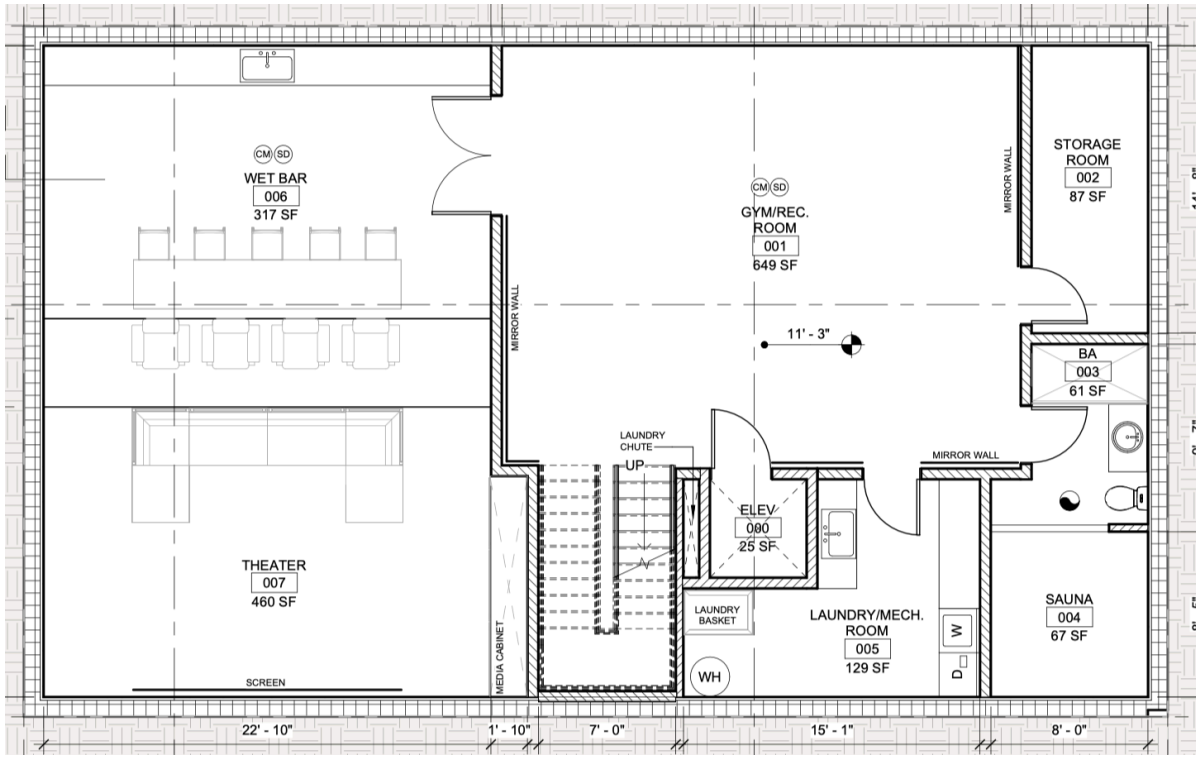
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Basement Plan:





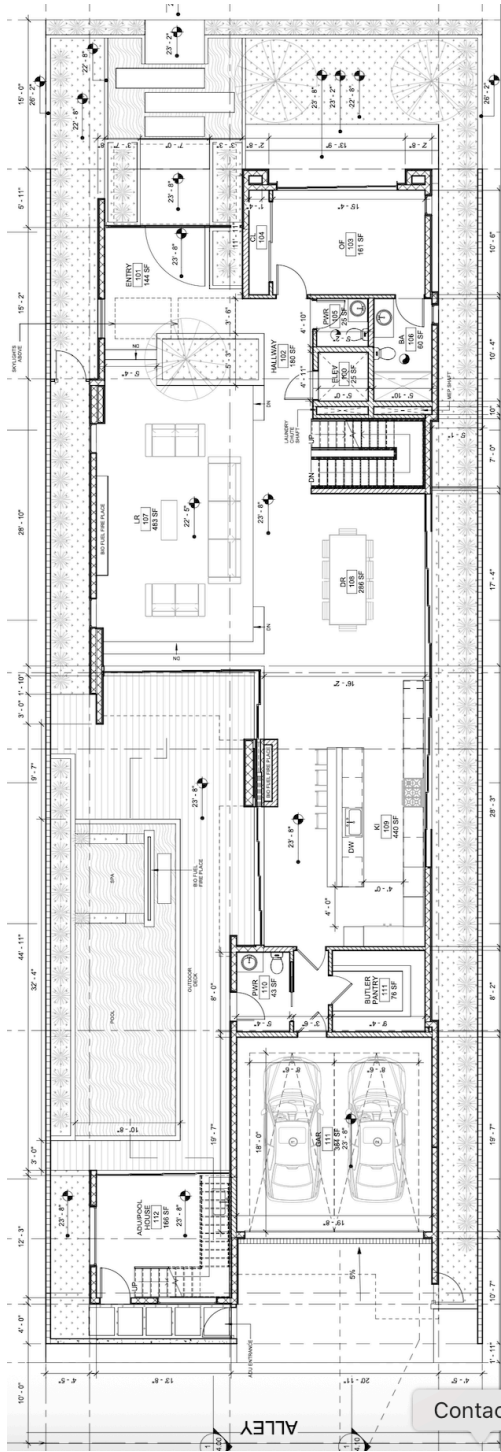
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Ground floor plan:





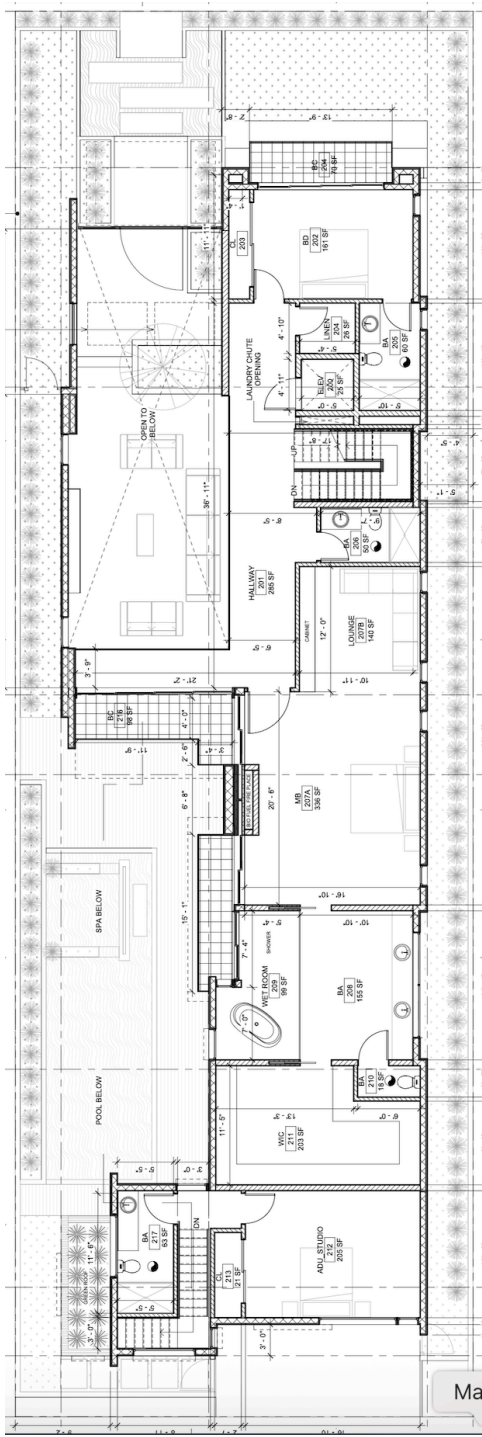
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Second Floor Plan:





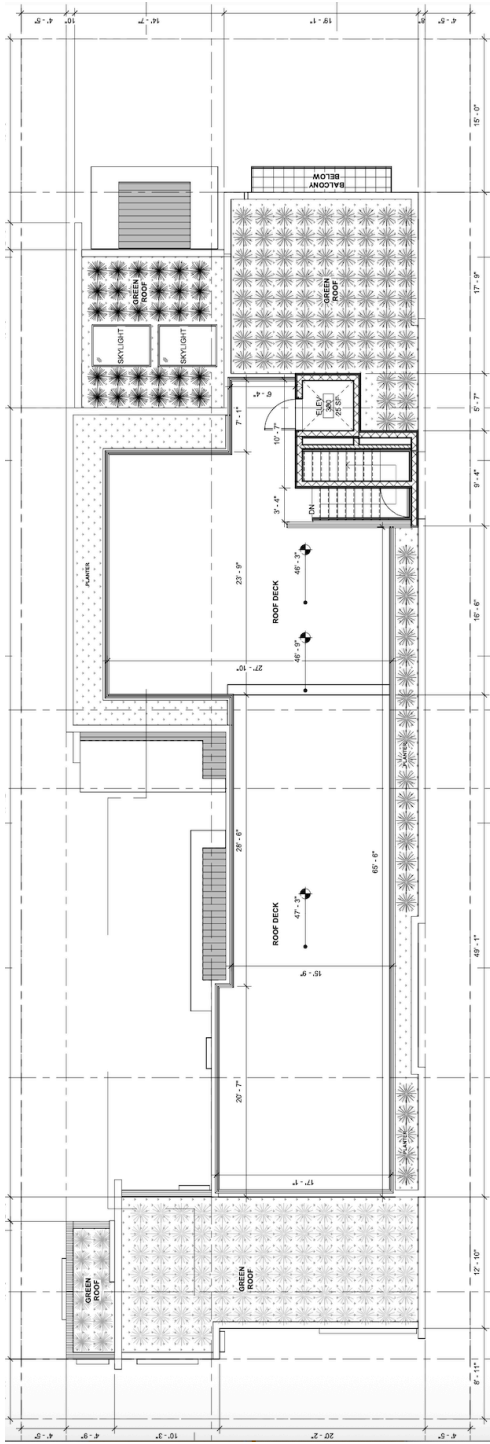
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Roof Plan:





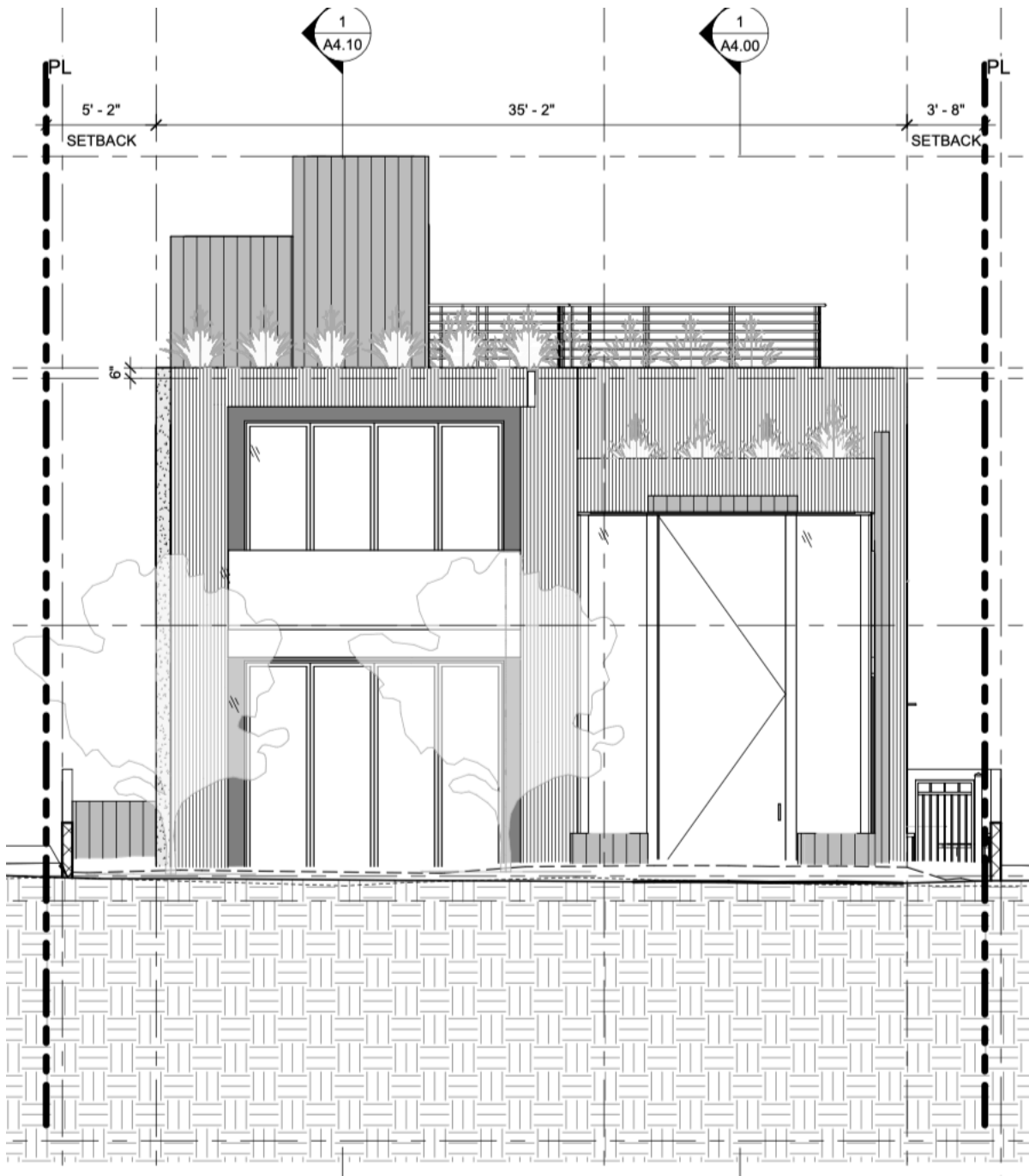
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East elevation/Front:





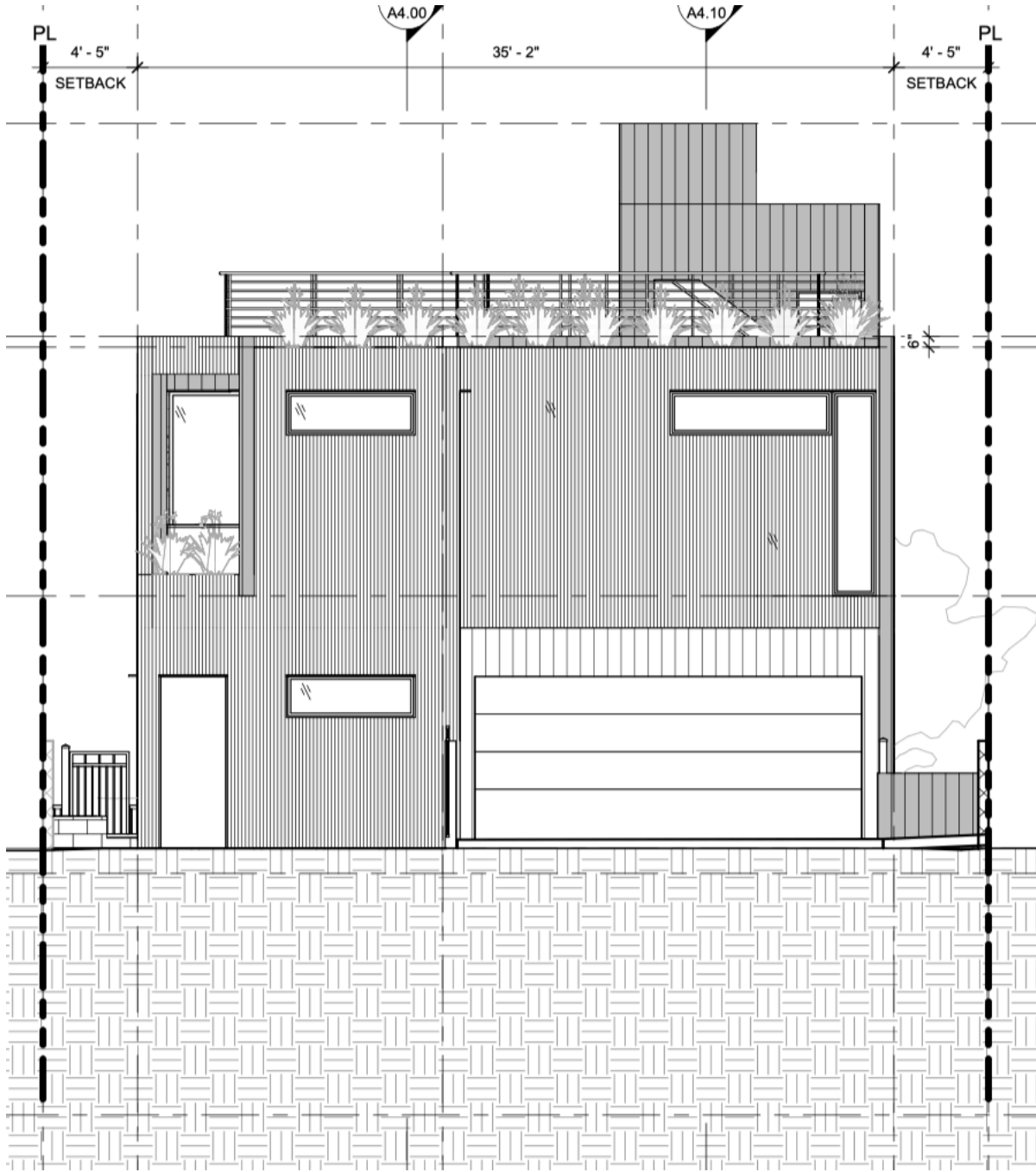
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West elevation/Rear:





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North elevation:





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South elevation:

