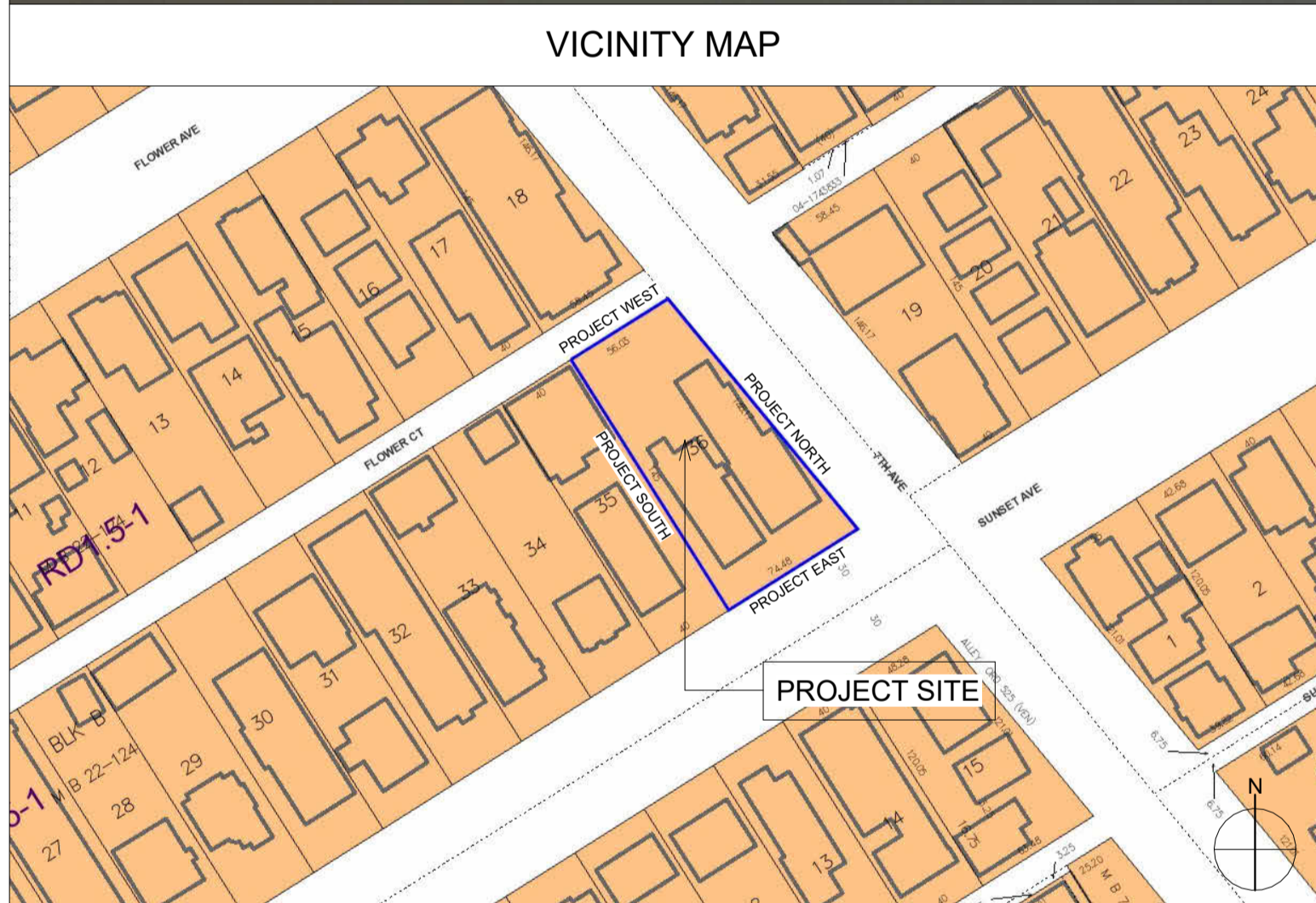


657 SUNSET AVE



PROJECT DIRECTORY		
OWNER	LAND SURVEYOR	MEP ENGINEER
NAME:	NAME:	NAME:
ADDRESS:	ADDRESS:	ADDRESS:
PHONE #:	PHONE #:	PHONE #:
ARCHITECT	SOIL ENGINEER	
NAME:	NAME:	
ADDRESS:	ADDRESS:	
PHONE #:	PHONE #:	
STRUCTURAL ENGINEER	CIVIL ENGINEER	
NAME:	NAME:	
ADDRESS:	ADDRESS:	
PHONE #:	PHONE #:	

ABBREVIATIONS & SYMBOLS																			
&	And	BLKG	Blocking	D	Deep, Depth	EXP	Expansion	GALV	Galvanized	JT	Joint	N	North	P.T.D	Paper Towel Dispenser	SIM	Similar	T.P.D.	Toilet Paper Dispenser
<	Angle	BM	Beam	DBL	Double	EXPO	Exposed	G.B.	Grab Bar		Kitchen	N.I.C.	Not in Contract	PTN	Partition	SLDG	Siding	T.S.	Top of Steel
@	At	BOT	Bottom	D.F.	Detail	EXT	Exterior	G.I.	Galvanized Iron	KIT	Kitchen	NOM	Not to Scale	Q.T.	Quarry Tile	SPEC	Specification	T.V.	Top of Wall
Ø	Centerline	DR	Drinking Fountain	DIA	Diameter	F.A.	Fire Alarm	GL	Glass, Glazing	LAM	Laminate	N.S.	No Scale	R	Riser	S.S.	Stainless Steel	T.O.W.	Typical
⊥	Diameter or Round	BSMT	Basement	DIM	Dimension	F.D.	Fire Hose Cabinet	GND	Ground	LAV	Lavatory	N.T.S.	Not to Scale	REF	Reference	STD	Standard	UNF	Unfinished Unless Otherwise Noted
#	Perpendicular	DISP	Basement Built Up Roofing	DISP	Dispenser	FEN	Finish	GR	Grade	L.F.	Left Hand	O	Overall	REFR	Refrigerator	STRUC	Structural	UR	Urinal
(E)	Number	DR	Down	DN	Down	F.E.C.	Fire Extinguisher	GYP	Gypsum	L.H.	Locker	O.A.	Overhead	REIN	Reinforced or Reinforcing	SUSP	Suspended	O.N.	O.N.
AB	Existing	CAB	Cabinet	DO	Door Opening	F.E.C.	Fire Extinguisher	H	Hose	LKR	Living Room	O.BSC	On Center	REQ	Required	RESIL	Resilient	W	West
A/C	Anchor Bolt	CARP	Carpet	DR	Door	F.E.C.	Fire Extinguisher	H.B.	Hose Bib	LKR	Locker	O.BSC	On Center	REQ	Required	RESIL	Resilient	W	With
A/C	Air Conditioning	CEM	Cement	DS	Downspout	F.G.	Finish Grade	H.C.	Hollow Core	LT	Light	O.C.	On Center	REQ	Required	RESIL	Resilient	W	Water Heater
ACT	Asphaltic Concrete	CER	Ceramic	D.S.P.	Dry Standpipe	F.H.C.	Fire Hose Cabinet	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Without
ACUS	Acoustical Tile	C.I.	Cast Iron	DWG	Drawing	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Water Closet
ADJ	Adjustable	CLG	Ceiling	DISP	Dispenser	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Wood
A.F.F.	Above Finish Floor	CLO	Closet	DISP	Dispenser	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Waterproof
ALT	Alter or Alternate	CMU	Concrete Masonry Unit	DISP	Dispenser	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Waterproof Membrane
ALUM	Aluminum	CNT	Counter	DISP	Dispenser	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Waterproof Membrane
ANOD	Anodized	COL	Column	DISP	Dispenser	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Waterproof Membrane
A.P.	Access Panel	CONC	Concrete	DISP	Dispenser	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Waterproof Membrane
APPROX	Approximate	CONN	Connection	DISP	Dispenser	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Waterproof Membrane
ARCH	Architectural	CONSTR	Construction	DISP	Dispenser	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Waterproof Membrane
ASPH	Asphalt	CONTR	Contractor	DISP	Dispenser	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Waterproof Membrane
BD	Board	CORR	Corridor	DISP	Dispenser	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Waterproof Membrane
BITUM	Bituminous	C.T.	Ceramic Tile	DISP	Dispenser	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Waterproof Membrane
BLDG	Building	CTR	Center	DISP	Dispenser	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Waterproof Membrane
BLK	Block	CTS&K	Countersunk	DISP	Dispenser	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Waterproof Membrane
		C.W.	Cold Water	DISP	Dispenser	F.H.C.	Finish	H.C.	Hollow Core	LVR	Louver	O.D.	Outside Diameter	REF	Reference	REV	Revised	W	Waterproof Membrane

PROJECT INFORMATION			
PROJECT SUMMARY:	NEW 25 UNITS APARTMENT FOUR STORY BUILDING WITH GROUND FLOOR PARKING.		
PROJECT ADDRESS:	657-659 SUNSET AVE, VENICE, CA 90291		
LOT SIZE (PER SURVEY):	EAST: 74.46' x WEST: 56.04' x SOUTH: 144.83' x NORTH: 145.97'		
LOT AREA:	9,414.5 sq. ft. (Per Assessor)		
ASSESSOR'S PARCEL #:	4240012039		
TRACT:	TR 2352		
MAP REFERENCE:	M B 22-124		
BLOCK:	BLK B		
LOT:	36		
ZONING:	RD1.5-1		
HILLSIDE AREA:	NO		
SPECIFIC PLAN AREA:	VENICE COASTAL ZONE OAKWOOD - MILWOOD - SOUTH EAST VENICE LOS ANGELES COASTAL TRANSPORTATION CORRIDOR		
METHANE HAZARD SITE:	NONE		
VERY HIGH FIRE HAZARD SEVERITY ZONE:	NO		
AB 2097 : (SEE A0.15 FOR RECORD)	YES		
ZONING AREA:	18,773 SF		
BUILDING AREA:	24,724 SF		
SCHOOL FEE AREA:	17,989 SF		
FAR:	2.7:1		
BUILDING CODE HEIGHT:			
ZONING CODE HEIGHT:			
VENICE SPECIFIC PLAN HEIGHT:	48' - 7 1/2"		
TYPE OF CONSTRUCTION:	I-A & V-A		
OCCUPANCY GROUP:	S2 & R2		
NUMBER OF STORY:	4		
PARKING REQUIREMENT:	NO PARKING REQUIRED PER AB 2097		
PARKING PROVIDED:	11 PARKING SPACES		
FIRE ALARM:	MANUAL ALARM SYSTEM		
FIRE SPRINKLER:	NFPA -13 REQ'D (PERMIT TO BE SECURED PRIOR TO INSTALLATION. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING PRIOR TO INSTALLATION)		
THE PROJECT IS PRIVATELY FUNDED NOT RECEIVING TAX CREDIT INCENTIVE, NOT A PUBLIC HOUSING			
RESIDENTIAL UNITS			
UNIT #	OCCUPANCY	S.F.	TYPE
2A	1 BD / 1 BTH	657 SF	
2B	STUDIO / 1 BTH	344 SF	
2C	STUDIO / 1 BTH	344 SF	
2D	STUDIO / 1 BTH	344 SF	
2E	STUDIO / 1 BTH	344 SF	
2F	1 BD / 1 BTH	590 SF	
2G	STUDIO / 1 BTH	367 SF	
2H	1 BD / 1 BTH	570 SF	
2I	1 BD / 1 BTH	603 SF	
2J	1 BD / 1 BTH	656 SF	
3A	1 BD / 1 BTH	657 SF	
3B	STUDIO / 1 BTH	344 SF	
3C	STUDIO / 1 BTH	344 SF	
3D	STUDIO / 1 BTH	344 SF	
3E	STUDIO / 1 BTH	344 SF	
3F	1 BD / 1 BTH	590 SF	
3G	STUDIO / 1 BTH	367 SF	
3H	1 BD / 1 BTH	570 SF	
3I	1 BD / 1 BTH	603 SF	
3J	1 BD / 1 BTH	656 SF	
4A	2 BD / 2 BTH	962 SF	
4B	1 BD / 1 BTH	653 SF	
4C	STUDIO / 1 BTH	383 SF	
4D	1 BD / 1 BTH	618 SF	
4E	1 BD / 1 BTH	652 SF	

F.A.R. PROVIDED VS. REQUIRED			
PROVIDED	ALLOWED		
RESIDENTIAL FLOOR AREA:	18,773 SF	TOTAL LOT AREA:	9,414.5 SF
BUILDABLE AREA:	6,950 SF	BUILDABLE AREA:	6,950 SF
(F.A.R.) x 6,950 SF =	18,321 SF	F.A.R. ALLOWED:	3:1
F.A.R. PROVIDED:	2.7:1	(3) x 6,950 =	20,850 SF
TOTAL PROVIDED:	18,773 SF	TOTAL ALLOWED:	20,850 SF
RESIDENTIAL DENSITY PROVIDED VS. REQUIRED			
PROVIDED	ALLOWED		
RESIDENTIAL UNITS	11 STUDIOS 13 BEDROOMS 1 2 BEDROOMS	TOTAL LOT AREA + 1/2 ALLEY: (9,414.5 SF + 496.41 SF)	9,910.91 SF
MARKET RATE:	19 DWELLING UNITS	9,910.91 SF / 1,200: (BASE DENSITY, AB 2334)	8.26 ≈ 9
VERY LOW INCOME:	6 DWELLING UNITS		
TOTAL PROVIDED:	25 DWELLING UNITS	TOTAL ALLOWED:	9 DWELLING UNITS
PARKING PROVIDED VS. REQUIRED			
PROVIDED	REQUIRED		
STANDARD:	4 SPACES	PARKING PER VENICE SPECIFIC PLAN (25 UNITS X 2 = 50 SPACES)	50 SPACES
ADA:	1 SPACES		
COMPACT:	6 SPACES	1 GUEST SPACE (4 DWELLING UNIT (25 UNITS / 4 = 6.25 ≈ 7	7 SPACES
GUEST:	NOT REQUIRED / NOT PROVIDED	PARKING REDUCTION (28 BICYCLES) (PER LAMC 12.21 A.4)	- 7 SPACES
TOTAL PROVIDED:	11 SPACES	AB 2097 (SEE A0.15 FOR RECORD): NO PARKING REQUIRED	0 SPACES
BICYCLE PARKING PROVIDED VS. REQUIRED			
PROVIDED	REQUIRED		
LONG TERM BICYCLE PARKING:	25 SPACES	LONG TERM BICYCLE PARKING:	25 SPACES
RESIDENTIAL:	25 SPACES	RESIDENTIAL: 1 / UNIT	25 SPACES
SHORT TERM BICYCLE PARKING:	6 SPACES	SHORT TERM BICYCLE PARKING:	2 SPACES
RESIDENTIAL:	25 SPACES	RESIDENTIAL: 1 / 10 UNITS (MIN. 2)	2 SPACES
TOTAL LONG TERM PROVIDED:	25 SPACES	TOTAL LONG TERM REQUIRED:	25 SPACES
TOTAL SHORT TERM PROVIDED:	6 SPACES	TOTAL SHORT TERM REQUIRED:	2 SPACES
OPEN SPACE PROVIDED VS. REQUIRED			
PROVIDED	REQUIRED		
COMMON OPEN SPACE:	0 SF	24 @ < 3 HABITABLE ROOMS (100 SF) (24 UNITS) (100 SF) =	2,400 SF
PRIVATE OPEN SPACE TOWARDS CALCULATION BASED ON ZONING CODE 12.21 G:	350 SF	1 @ 3 HABITABLE ROOMS (125 SF) (1 UNITS) (125 SF) =	125 SF
REQUIRED 50% OF USABLE OPEN SPACE AS COMMON:	- 350 SF	0 @ > 3 HABITABLE ROOMS (175 SF) (0 UNITS) (175 SF) =	0 SF
TOTAL PROVIDED USABLE OPEN SPACE:	0 SF	TOTAL OPEN SPACE REQUIRED:	0 SF
ACTION REQUEST			
A CONDITIONAL USE PERMIT PURSUANT TO LAMC 12.24 U 26 TO PERMIT A DENSITY BONUS OF 167.5% FOR A TOTAL OF UP TO 25 DWELLING UNITS, WITH SIX OF THOSE UNITS SET ASIDE FOR VERY LOW INCOME HOUSEHOLDS, IN LIEU OF THE 9 UNITS PERMITTED BY AB 2334 AND THE LAMC 12.09.05 C. 4			
THE FOLLOWING INCENTIVES:			
(A) (OFF MENU) PERMIT A 33% DECREASE IN THE REQUIRED SOUTHERLY FRONT YARD TO ALLOW FOR A 10-FOOT SETBACK IN LIEU OF THE 15-FOOT SETBACK REQUIRED FOR BUILDINGS IN RD 1.5-1 ZONES, PURSUANT TO LAMC 12.09.1.B1.			
(B) (OFF MENU) PERMIT A 29% DECREASE IN THE REQUIRED WESTERLY SIDE YARD SETBACK TO ALLOW A 5-FOOT SETBACK IN LIEU OF THE 7-FOOT SETBACK REQUIRED FOR FOUR-STORY BUILDINGS IN THE RD 1.5 ZONE PURSUANT TO LAMC 12.09.1.B2.A			
(C) (OFF MENU) PERMIT A 29% DECREASE IN THE REQUIRED EASTERLY SIDE YARD SETBACK TO ALLOW A 5-FOOT SETBACK IN LIEU OF THE 7-FOOT SETBACK REQUIRED FOR FOUR-STORY BUILDINGS IN THE RD 1.5 ZONE PURSUANT TO LAMC 12.09.1.B2.A			
THE FOLLOWING WAIVERS OF DEVELOPMENT STANDARDS			
(D) PERMIT AN 23'-7.5" INCREASE IN ALLOWABLE HEIGHT TO PERMIT A HEIGHT OF 48'-7.5" IN LIEU OF THE ALLOWABLE 25 FEET FOR A PROJECT WITH A FLAT ROOF, PURSUANT TO THE VENICE COASTAL ZONE SPECIFIC PLAN - OAKWOOD MILWOOD SOUTHEAST VENE SUBAREA			
(E) PERMIT A 100% REDUCTION IN REQUIRED, USABLE OPEN SPACE TO ALLOW THE PROVISION OF ZERO (0) SQUARE FEET IN LIEU OF THE 2,525 SQUARE FEET REQUIRED PURSUANT TO LAMC 12.21 G.2			
PURSUANT TO LAMC SECTION 12.20.2, A COASTAL DEVELOPMENT PERMIT FOR THE DEMOLITION OF THE EXISTING DUPLEXES AND THE CONSTRUCTION OF A 25-UNIT RESIDENTIAL DEVELOPMENT LOCATED IN THE SINGLE PERMIT JURISDICTION OF THE COASTAL ZONE.			
PURSUANT TO LAMC SECTION 11.5.7, A PROJECT PERMIT COMPLIANCE REVIEW FOR A PROJECT WITHIN THE VENICE COASTAL ZONE SPECIFIC PLAN;			
PURSUANT TO GOVERNMENT CODE SECTION 65590 AND 65590.1 AND THE CITY OF LOS ANGELES INTERIM MELLO ACT COMPLIANCE ADMINISTRATIVE PROCEDURES, A MELLO ACT COMPLIANCE REVIEW FOR THE CONSTRUCTION OF 25 RESIDENTIAL UNITS IN THE COASTAL ZONE.			
YARD SETBACKS PROVIDED VS. REQUIRED			
YARD	PROVIDED	REQUIRED	
SUNSET AVE	10' - 1/2" @ ALL LEVELS (AFTER DEDICATION)	15' - 0" @ ALL LEVELS	
ALLEY	15' - 0" FROM CENTER OF ALLEY @ ALL LEVELS	15' - 0" FROM CENTER OF ALLEY @ ALL LEVELS	
7TH AVENUE	5' @ ALL LEVELS	7' - 0" @ ALL LEVELS	
SOUTH SIDE YARD	5' @ ALL LEVELS	7' - 0" @ ALL LEVELS	

SHEET INDEX	
Sheet Number	Sheet Name
ARCHITECTURAL	
A0.00	COVER
A0.01	GENERAL NOTES
A0.02	EXISTING SITE SURVEY
A0.03	APPROVAL LETTERS
A0.04	GREEN FORMS
A0.05 A	SPECS / RESEARCH REPORTS
A0.05 B	SPECS / RESEARCH REPORTS
A0.05 C	SPECS / RESEARCH REPORTS
A0.05 D	SPECS / RESEARCH REPORTS
A0.06 A	DOOR SCHEDULE
A0.06 B	DOOR SCHEDULE
A0.06 C	DOOR SCHEDULE
A0.07 A	DOOR DETAILS
A0.07 B	DOOR DETAILS
A0.08 A	WINDOW SCHEDULE
A0.08 B	WINDOW SCHEDULE
A0.09 A	WINDOW DETAILS
A0.09 B	WINDOW DETAILS
A0.10 A	WALL TYPES
A0.10 B	WALL TYPES
A0.10 C	FLOOR TYPES
A0.11 A	GENERAL DETAILS
A0.11 B	GENERAL DETAILS
A0.11 C	GENERAL DETAILS
A0.11 D	GENERAL DETAILS
A0.12 A	ACCESSIBILITY NOTES & DETAILS
A0.12 B	ACCESSIBILITY NOTES & DETAILS
A0.12 C	ACCESSIBILITY NOTES & DETAILS
A0.13 A	FIRE LIFE SAFETY
A0.13 B	FIRE LIFE SAFETY
A0.13 C	FIRE LIFE SAFETY
A0.14 A	AREA CALCULATIONS ZONING
A0.14 B	AREA CALCULATIONS BUILDING
A0.14 C	AREA CALCULATIONS SCHOOL FEE
A0.14 D	F.A.R. CALCULATIONS
A0.14 E	OPEN SPACE AREA CALCULATIONS
A1.00	SITE PLAN
A1.01	PLOT PLAN
A2.00	PROPOSED PLANS
A2.01	PROPOSED PLANS
A2.02	PROPOSED PLANS
A2.03	PROPOSED PLANS
A2.04	PROPOSED PLANS
A3.10	ELEVATIONS
A3.20	ELEVATIONS
A3.40	OPENING ANALYSIS
A3.50	ELEVATIONS COLOR
A3.60	ELEVATIONS COLOR
A4.10	PROPOSED SECTIONS
A4.20	PROPOSED SECTIONS
A5.00	ENLARGED PLANS
A5.10	ENLARGED PLANS
A6.10	VERTICAL CIRCULATION
A6.20	VERTICAL CIRCULATION
A6.30	VERTICAL CIRCULATION
A6.40	VERTICAL CIRCULATION
A6.50	STAIR DETAILS
A6.60	ELEVATOR HOISTWAY SECTION
A7.00	REFLECTED CEILING PLAN
A7.01	LIGHTING SCHEDULE - SUBTERRANEAN PARKING
A7.10	REFLECTED CEILING PLAN
A7.11	LIGHTING SCHEDULE - FIRST FLOOR
A7.20	REFLECTED CEILING PLAN
A7.21	LIGHTING SCHEDULE - SECOND FLOOR
A7.30	REFLECTED CEILING PLAN
A7.31	LIGHTING SCHEDULE - THIRD FLOOR
A7.40	REFLECTED CEILING PLAN
A7.41	LIGHTING SCHEDULE - FOURTH FLOOR
A7.50	REFLECTED CEILING PLAN
A7.51	LIGHTING SCHEDULE - FIFTH FLOOR
DEMO	DEMO PLAN
L1.00	LANDSCAPE PLAN
L1.10	LANDSCAPE PLAN
T24.1	TITLE 24
T24.2	TITLE 24

breakformdesign

127 arena street, el segundo, ca 90245
[o] 310.322.3700

LICENSED ARCHITECT
RAMSEY DANAHA
No. C-34527
10/31/23
RENEWAL DATE
STATE OF CALIFORNIA

657 SUNSET AVE.
VENICE, CA 90291

Revision Schedule

Revision Number	Revision Date

COVER

DRAWN JV

CHECKED BD

DATE 10/2/2024 2:00:48 PM

SCALE

JOB # 23 - A023

A0.00

657 SUNSET AVE.
VENICE, CA 90291

Revision Schedule

Revision Number	Revision Date

EXISTING SITE SURVEY

DRAWN JV

CHECKED BD

DATE 10/2/2024 2:00:53 PM

SCALE

JOB # 23 - A023

A0.02

LEGEND

A.C.	ASPHALT CONCRETE PAVEMENT
B.M.	BENCH MARK
C.B.W.	CONCRETE BLOCK WALL
C.B.R.W.	CONCRETE BLOCK RETAINING WALL
CONC.	CONCRETE
C/O	SEWER CLEANOUT
DWY.	CONC. DRIVEWAY APRON
E.G.	EDGE OF GUTTER
E.M.	ELECTRIC METER
E.P.	EDGE OF PAVEMENT
E.V.	ELECTRIC VALVE
F.F.	FINISHED FLOOR
F.G.	FINISHED GRADE
F.H.	FIRE HYDRANT
F.S.	FINISHED SURFACE
F.L.	FLOW LINE
G.M.	GAS METER
INV.	DRAIN INVERT
I.C.V.	IRRIGATION CONTROL VALVE
P.B.	PULL BOX
P.C.R.W.	POURED CONC. RETAINING WALL
R.R.W.	ROCK RETAINING WALL
S.S.M.H.	SEWER MANHOLE
S.D.M.	STORM DRAIN MANHOLE
T.C.	TOP OF CURB
T.G.	TOP OF DRAIN GRATE
T.W.	TOP OF WALL
W.M.H.	WATER MANHOLE
W.V.	WATER VALVE

OVERHANG

EASEMENT LIMIT

CONCRETE SURFACE

TREE AND TRUNK DIAMETER

WOOD FENCE

POWER POLE

LIGHT POLE

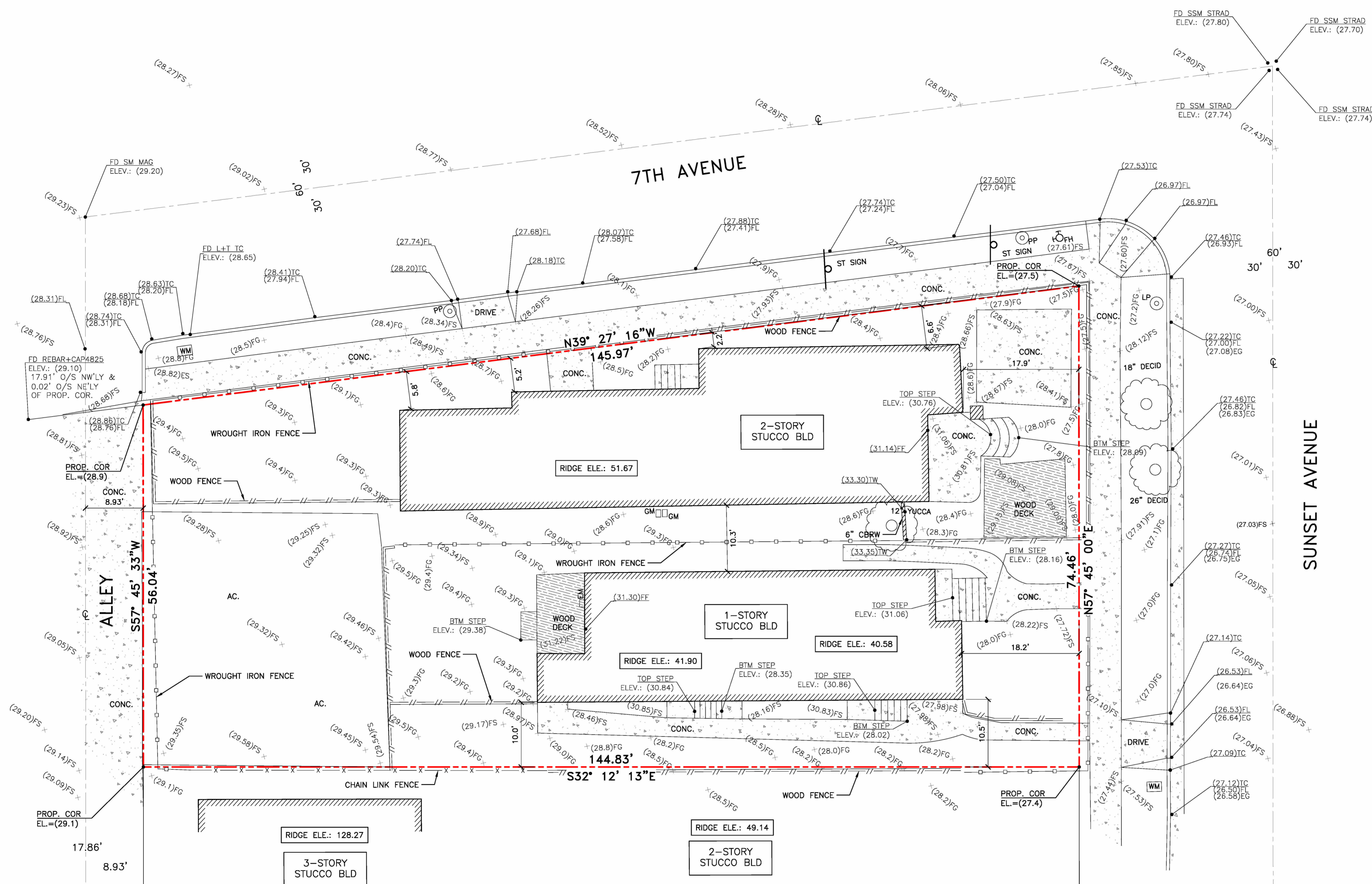
TOPOGRAPHIC NOTES

1. CONTOUR LINES SHOWN ON THIS TOPOGRAPHIC SURVEY WERE GENERATED FROM RANDOM SPOT ELEVATIONS. THE EXPECTED LEVEL OF ACCURACY IS $\pm 1/2$ OF THE CONTOUR INTERVAL. ISOLATED ELEVATIONS, AS PLACED ON THE PLAT WERE PHYSICALLY MEASURED AT APPROXIMATELY THE LOCATIONS SHOWN. THEIR EXPECTED LEVEL OF ACCURACY IS ± 0.10 FOOT.
2. IF SPECIFIC ELEVATIONS ARE REQUIRED, THE USER SHOULD CONTACT PACIFIC LAND CONSULTANTS, INC., TEL: (310)544-8689 FOR SAME. INTERPOLATIONS MADE FROM THIS TOPOGRAPHIC SURVEY SHOULD BE DONE IN ACCORDANCE WITH STANDARD SURVEYING PRACTICES, AND LIABILITY FOR INTERPOLATIONS IS NOT ASSUMED BY PACIFIC LAND CONSULTANTS, INC.

SURVEY CERTIFICATION

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS PLAT CONSISTING OF ONE SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN SEPTEMBER, 2023, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN. THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREIN.

CHRISTOPHER W. VASSALLO P.L.S. 8418
REGISTRATION EXPIRES 12-31-2024

9/29/2023
DATE0 4 8 FEET 16
1/8" = 1'-0"

PLEASE NOTE

IF THIS DRAWING IS PROVIDED IN AN ELECTRONIC FORMAT (VIA EMAIL OR ON COMPUTER DISC) AS A COURTESY TO OUR CLIENT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. PACIFIC LAND CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE, WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY PACIFIC LAND CONSULTANTS, INC.

UNDERGROUND UTILITIES

ALL INFORMATION SHOWN HEREON REGARDING UNDERGROUND UTILITIES WAS TAKEN FROM VISIBLE SURFACE EVIDENCE OR SOURCES NOT CONNECTED WITH THIS COMPANY AND WHILE SAID INFORMATION IS BELIEVED CORRECT, NO LIABILITY IS ASSUMED FOR THE ACCURACY OR COMPLETENESS OF SAID DATA.

BENCHMARK

BM#16-01200
WIRE SPK E CURB 6TH AVE, 4.8FT S
OF BC RET S OF SUNSET AVE
ASSUMED ELEV.: 24.9888'
NAVD 1988

LEGAL DESCRIPTION

LOT 36X, BLOCK B OF TRACT NO. 2352, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 22, PAGES 124, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

AREA = 9,450.02 SQ.FT.

APN = 4240-012-039



PACIFIC LAND CONSULTANTS, INC.
28441 HIGHRISE RD. SUITE 230
ROLLING HILLS ESTATES, CA 90274
(310) 544-8689

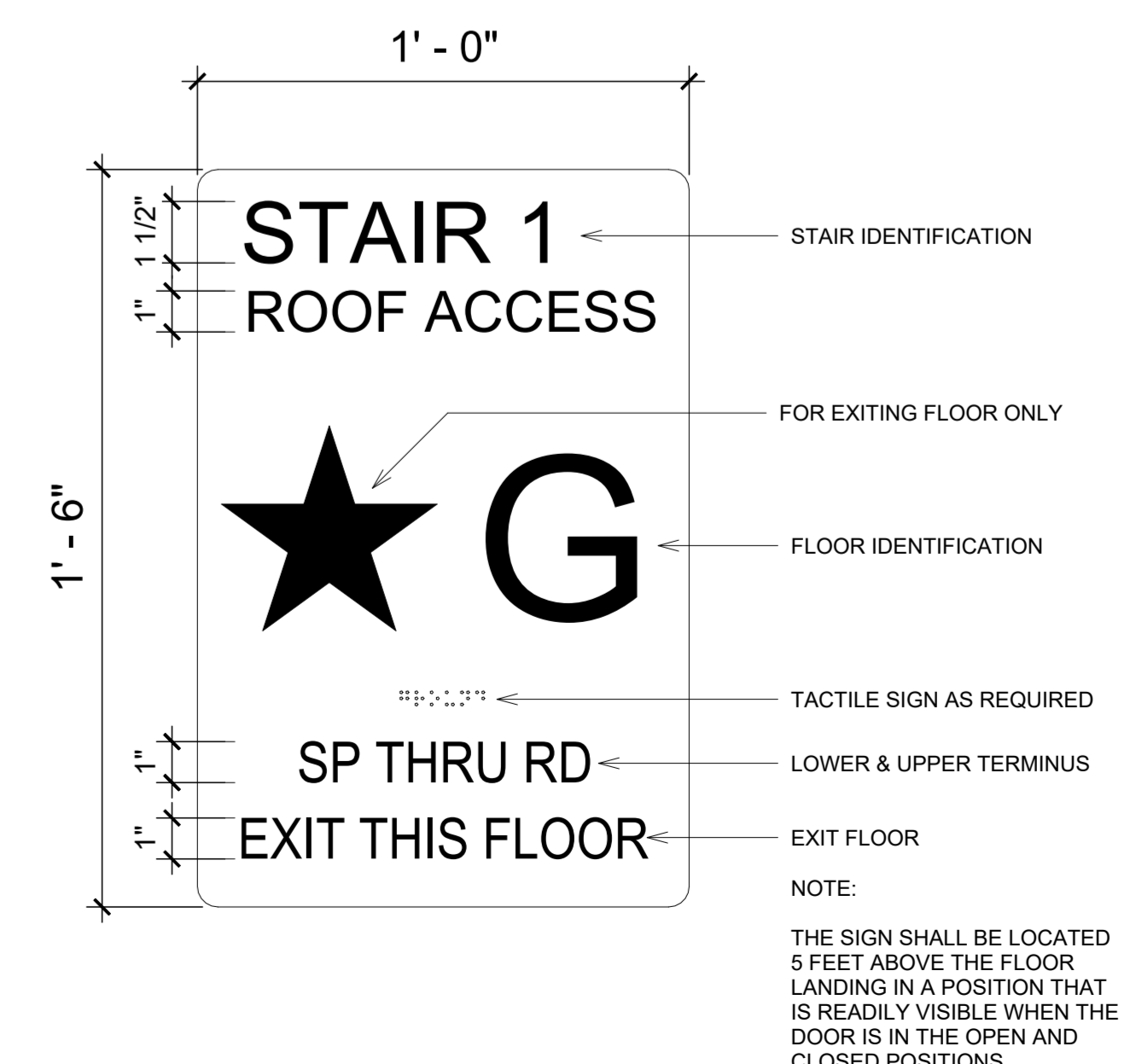
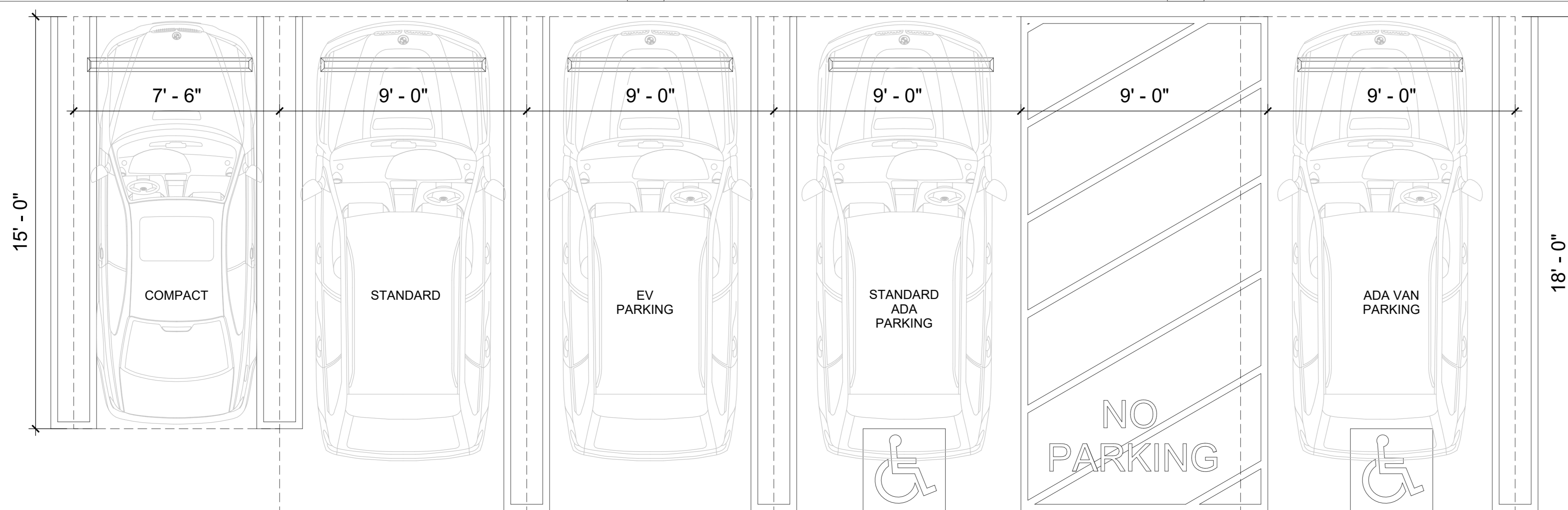
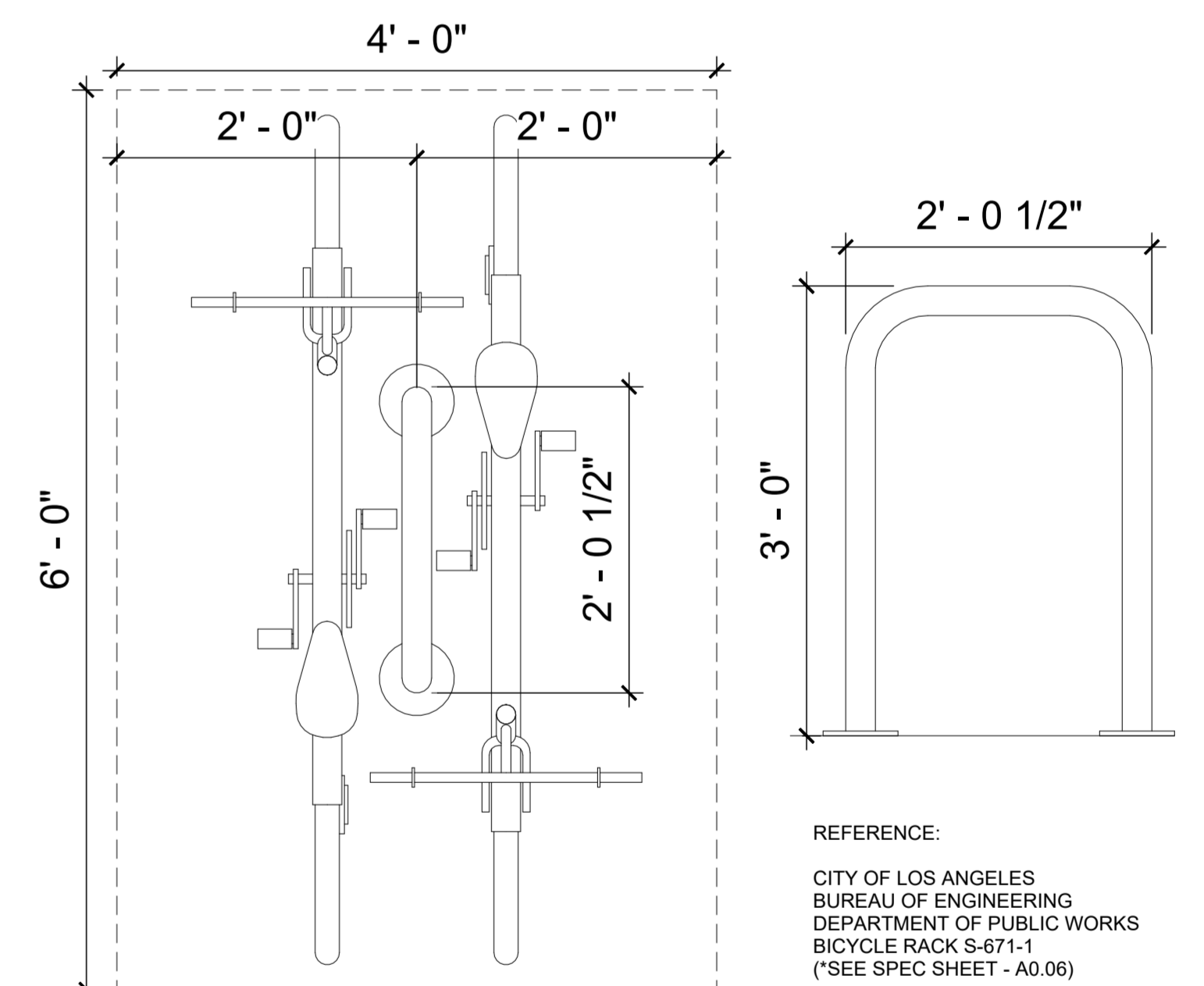
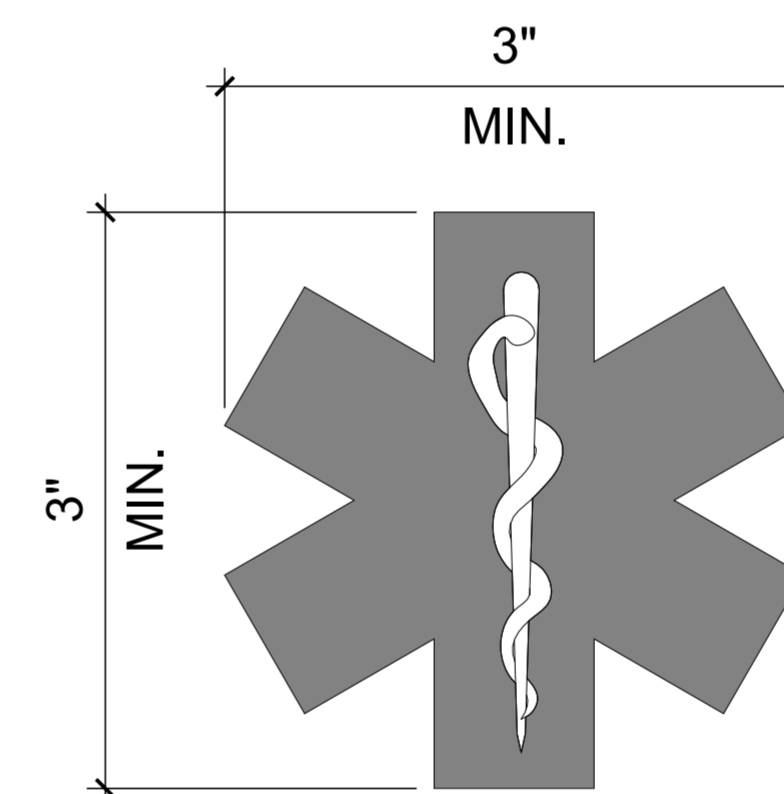
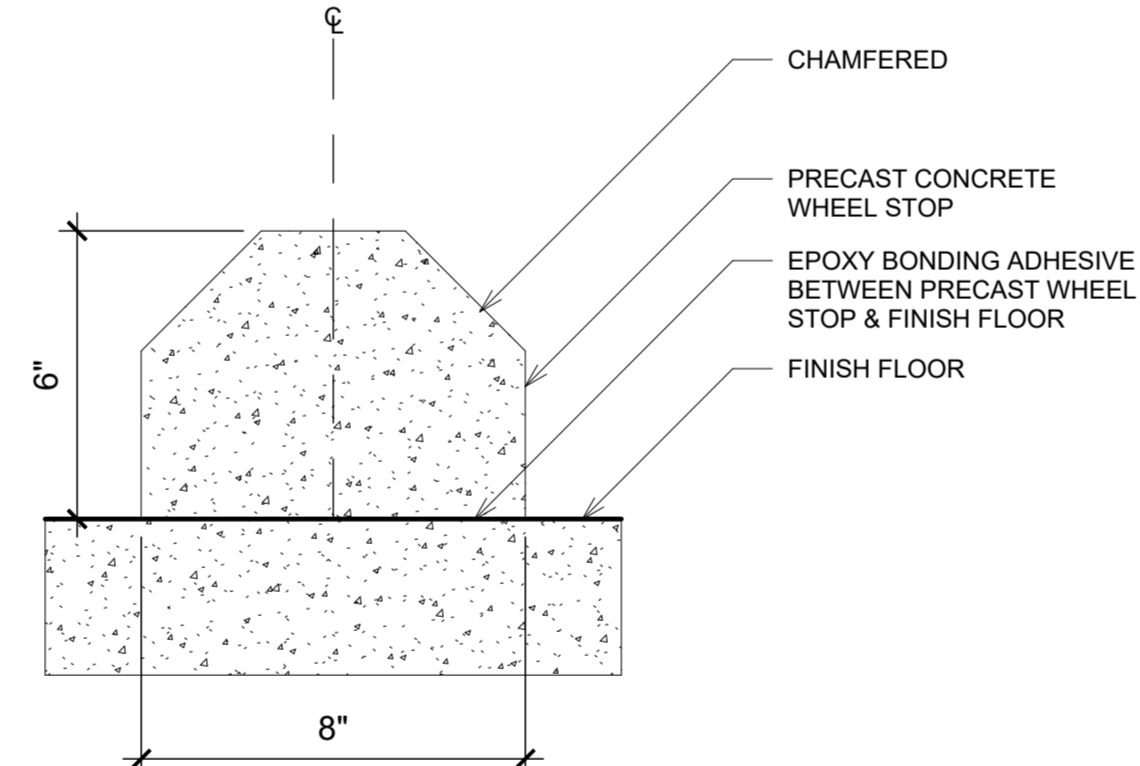
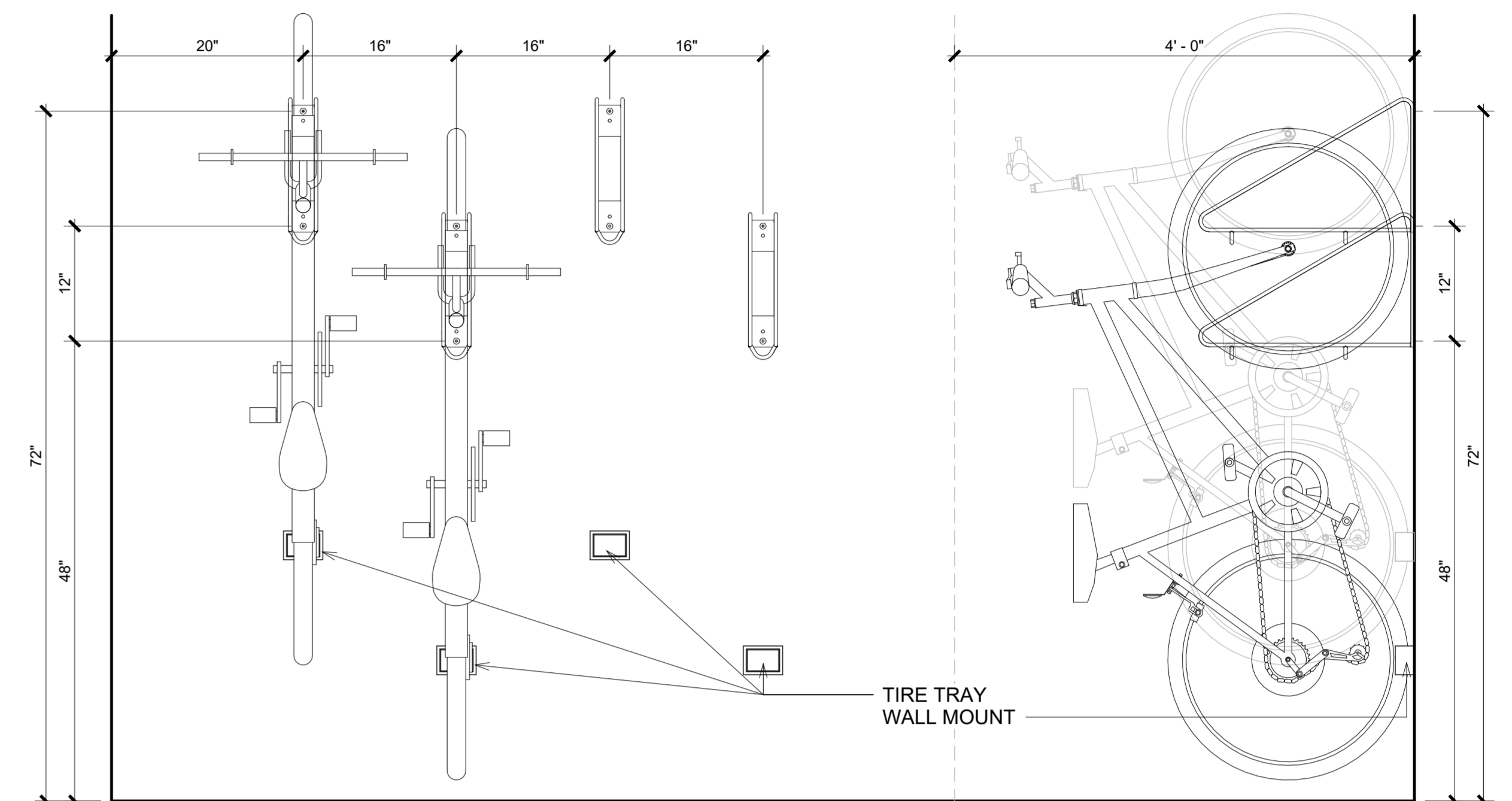
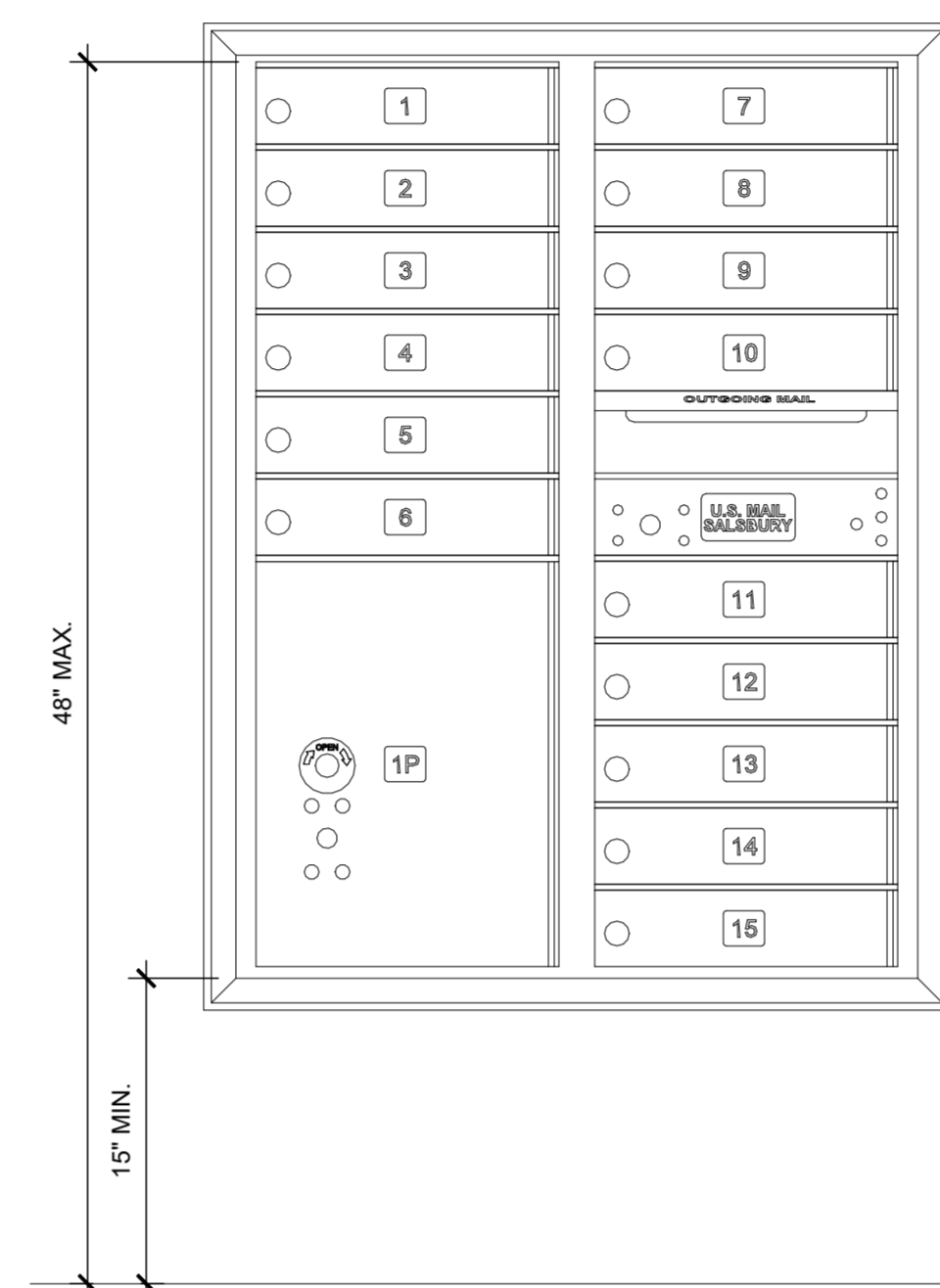
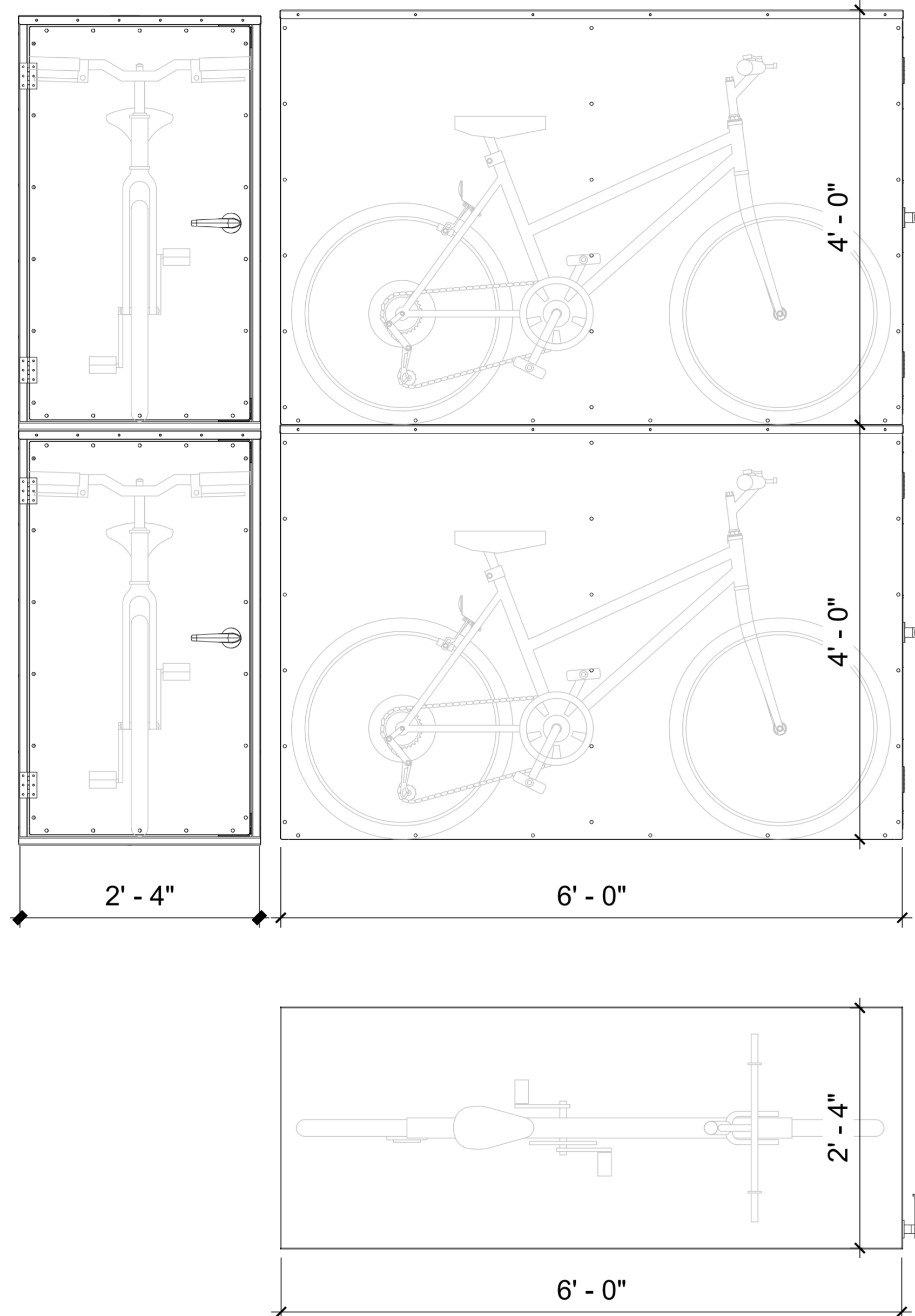
DRAWN BY: A.P.
PROJECT SITE:
657 SUNSET AVENUE
VENICE, CA

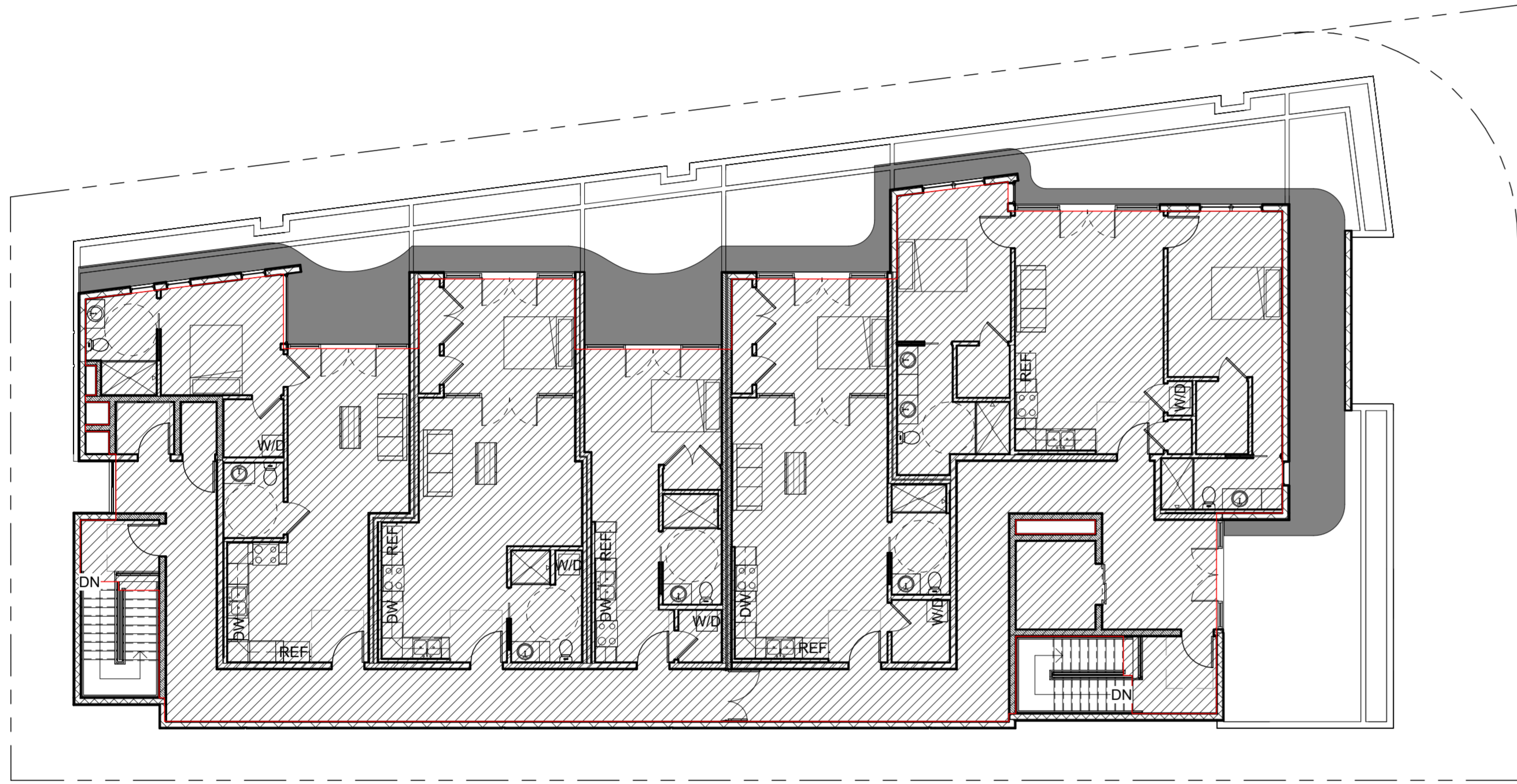
FILE NAME: 23099LS.DWG
DATE: 9-29-2023

SCALE: 1/8" = 1'-0"

JOB NO. 23099

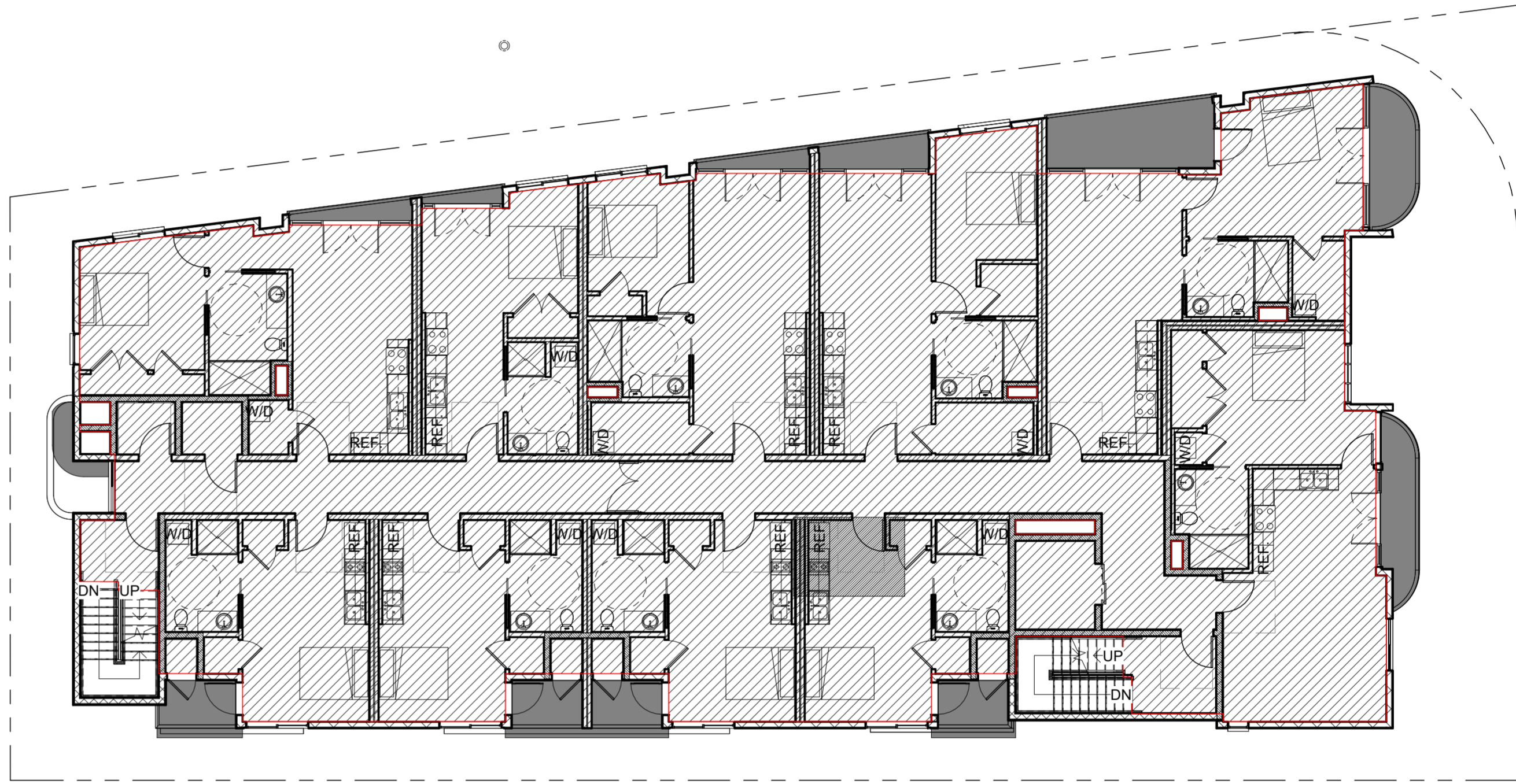
SHEET 1 OF 1





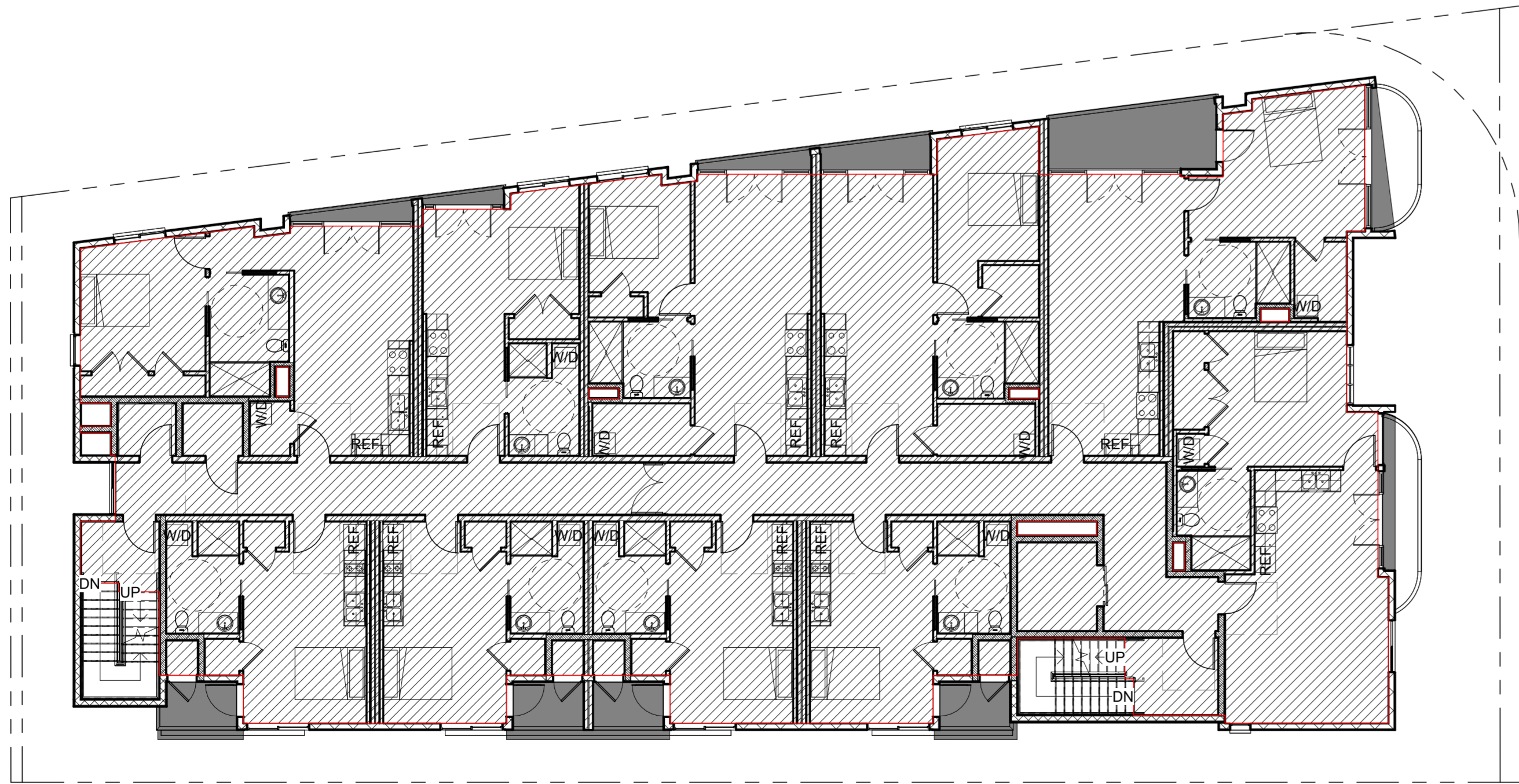
FOURTH FLOOR
3/32" = 1'-0"

4



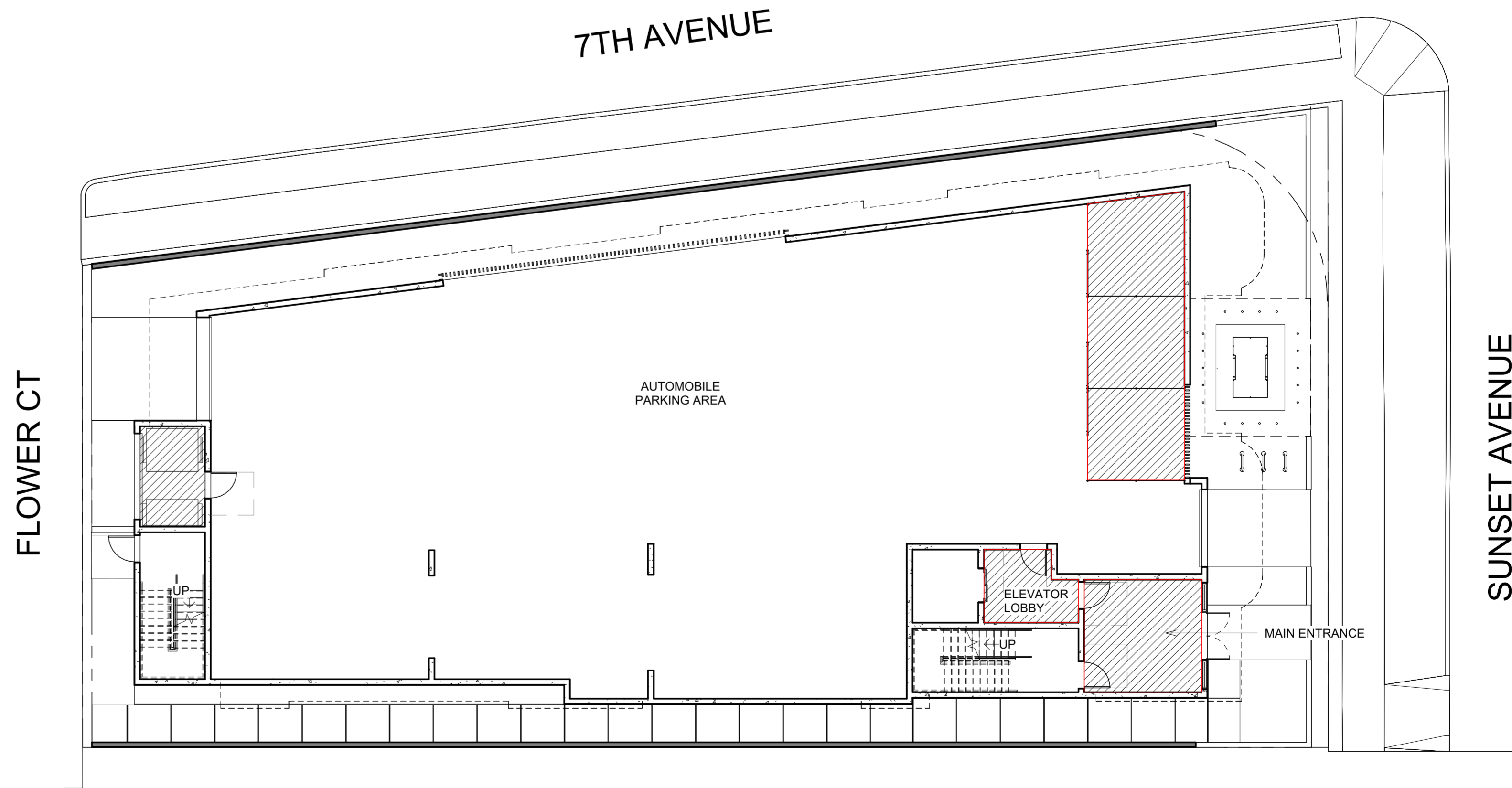
SECOND FLOOR
3/32" = 1'-0"

2



THIRD FLOOR
3/32" = 1'-0"

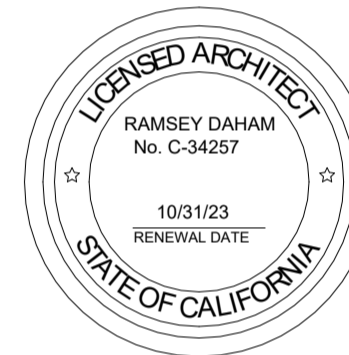
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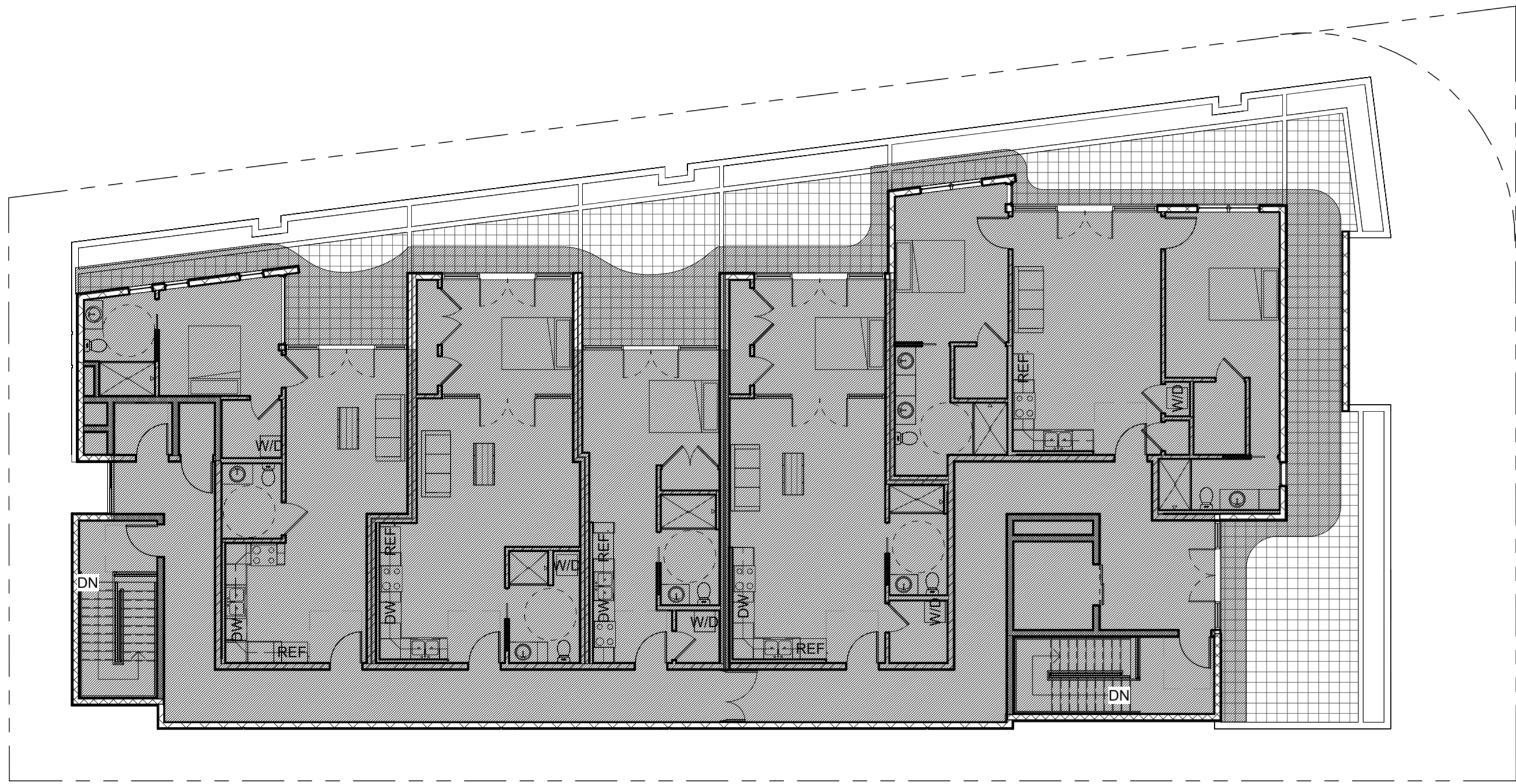


GROUND FLOOR
3/32" = 1'-0"

1

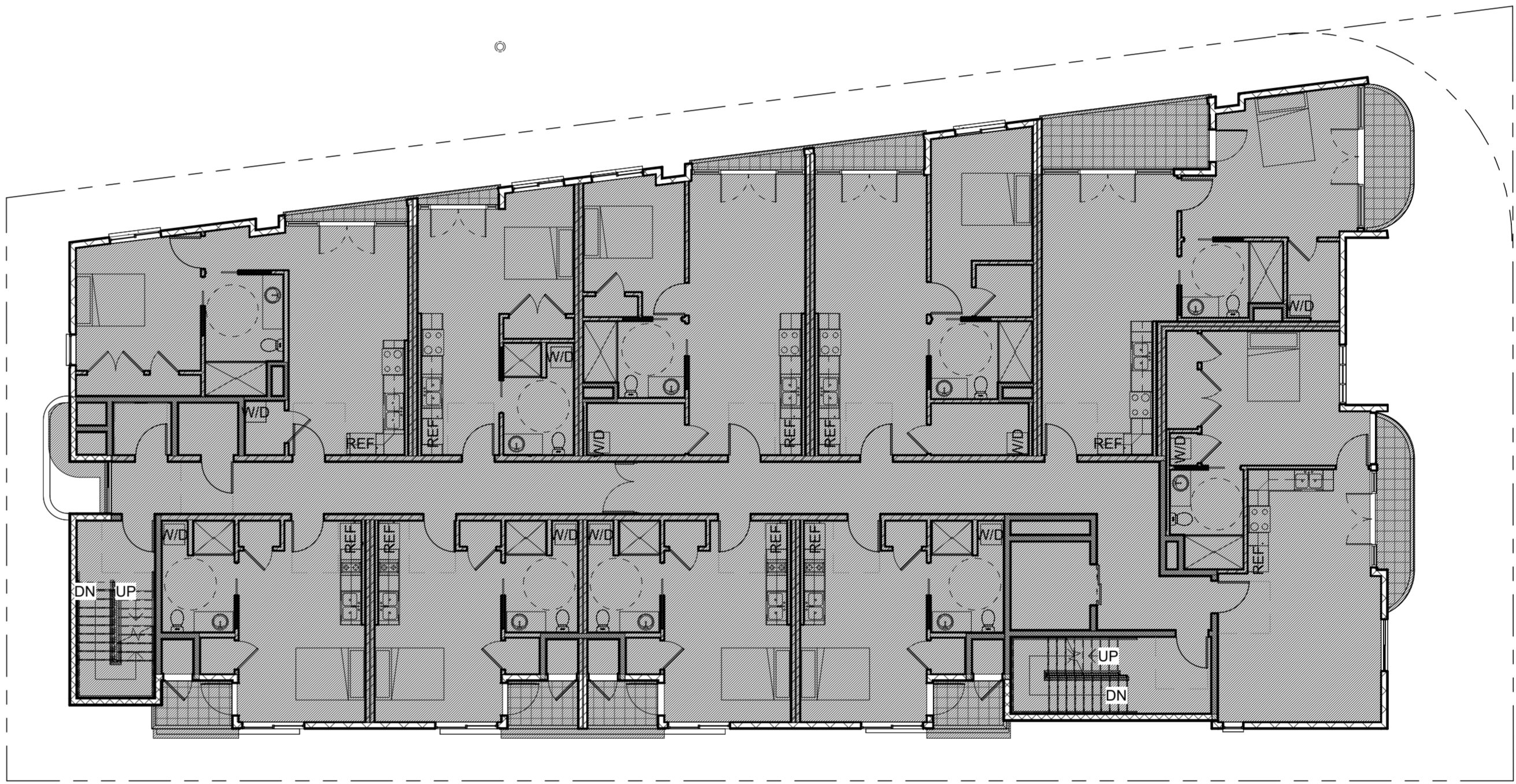
ZONING CODE FLOOR AREA		
GROUND FLOOR	712 SF	
- COVERED	N/A	
SECOND FLOOR	6,017 SF	
- COVERED	470 SF	
THIRD FLOOR	6,017 SF	
- COVERED	369 SF	
FOURTH FLOOR	4,593 SF	
- COVERED	595 SF	
TOTAL PROVIDED	18,773 SF	





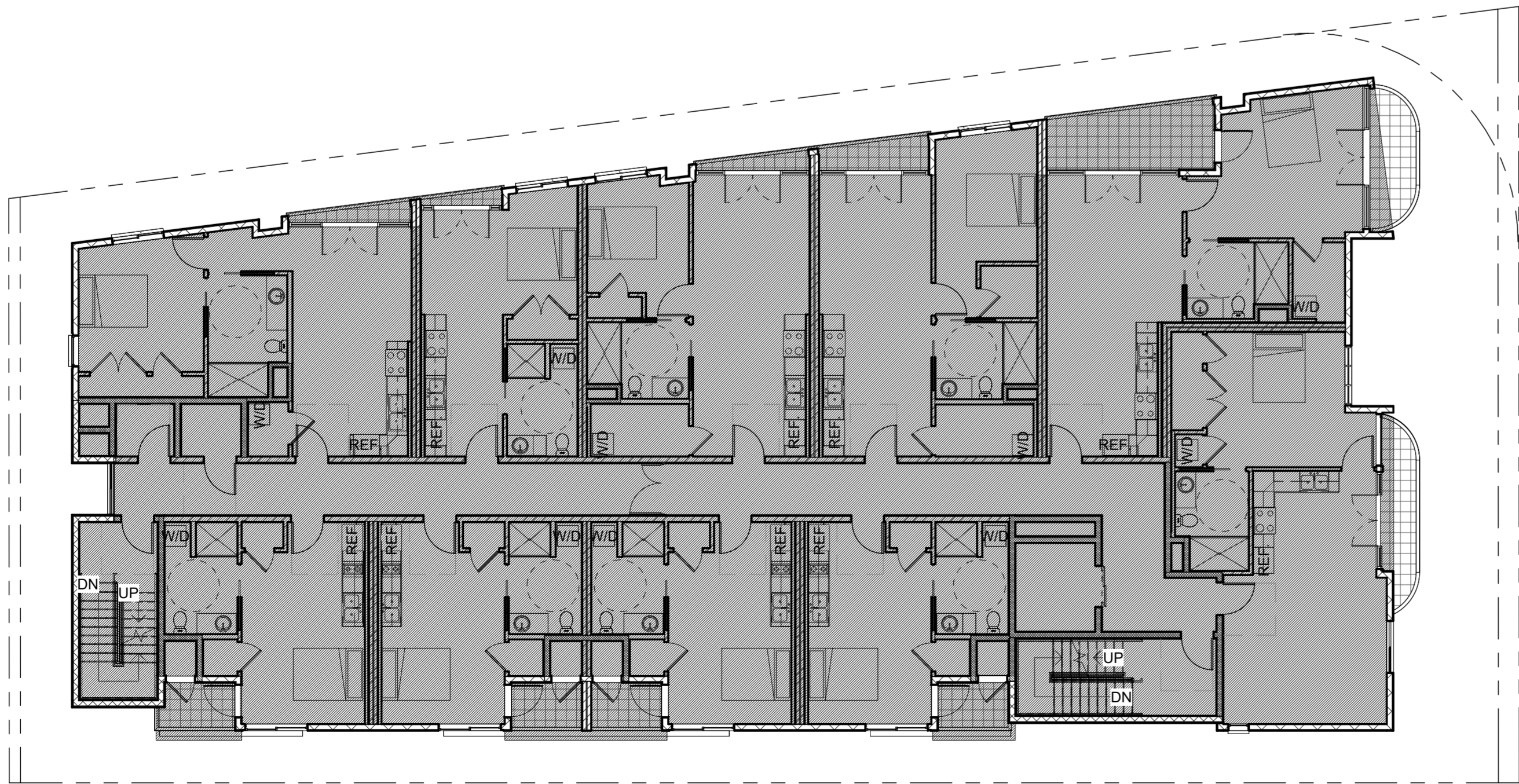
BUILDING CODE - FOURTH FLOOR PLAN
3/32" = 1'-0"

4



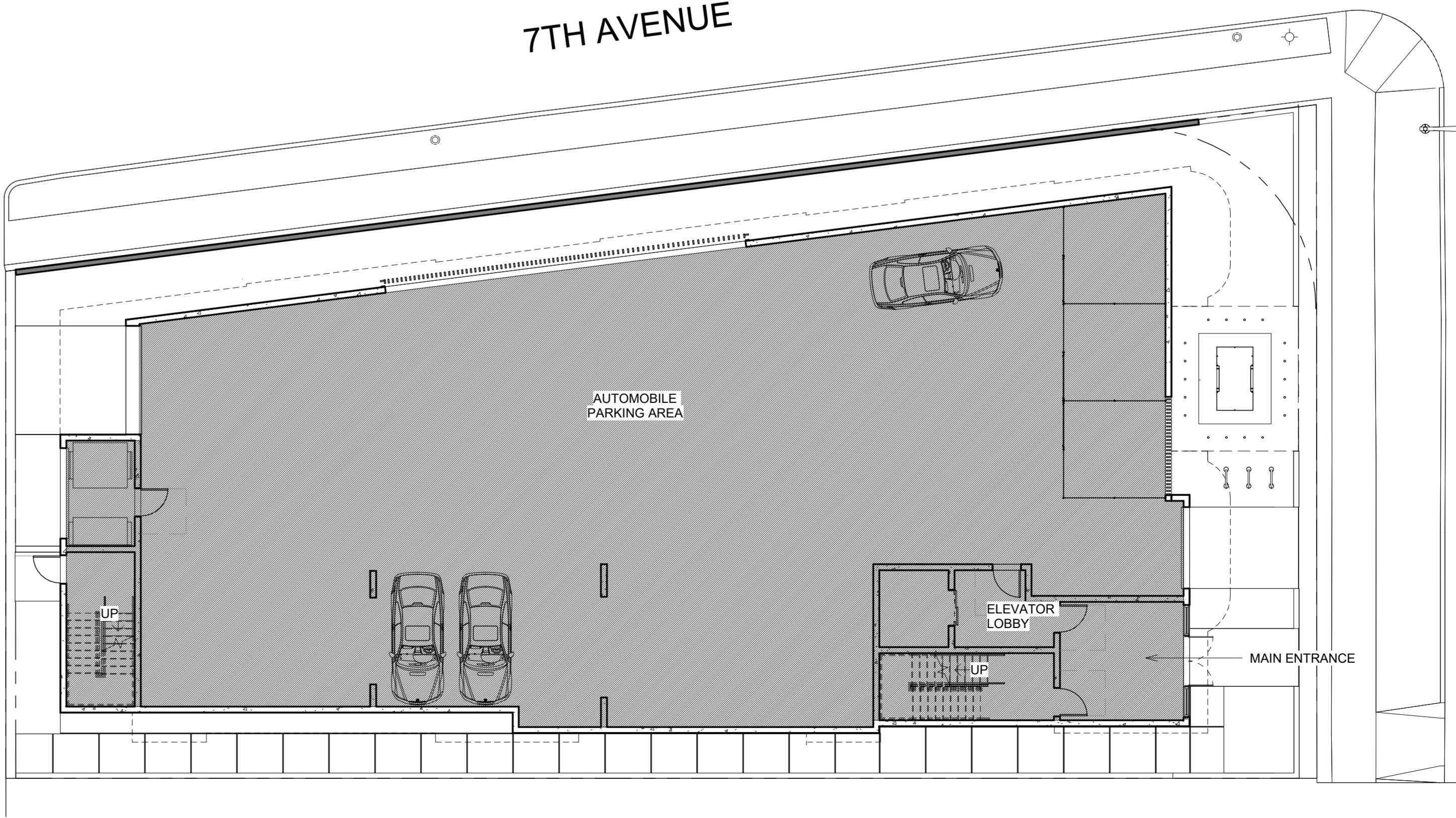
BUILDING CODE - SECOND FLOOR PLAN
3/32" = 1'-0"

2



BUILDING CODE - THIRD FLOOR PLAN
3/32" = 1'-0"

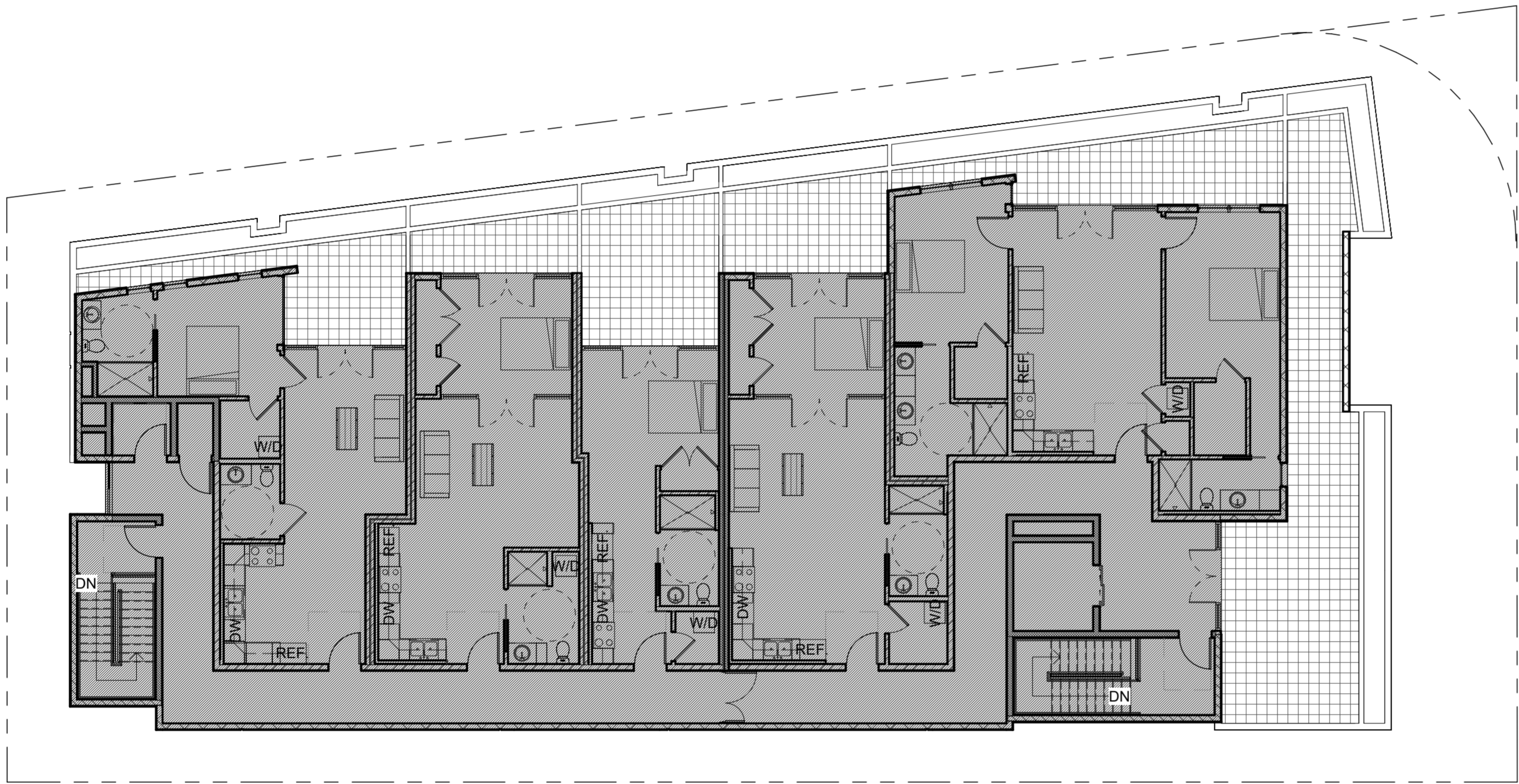
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BUILDING CODE - GROUND FLOOR PLAN
3/32" = 1'-0"

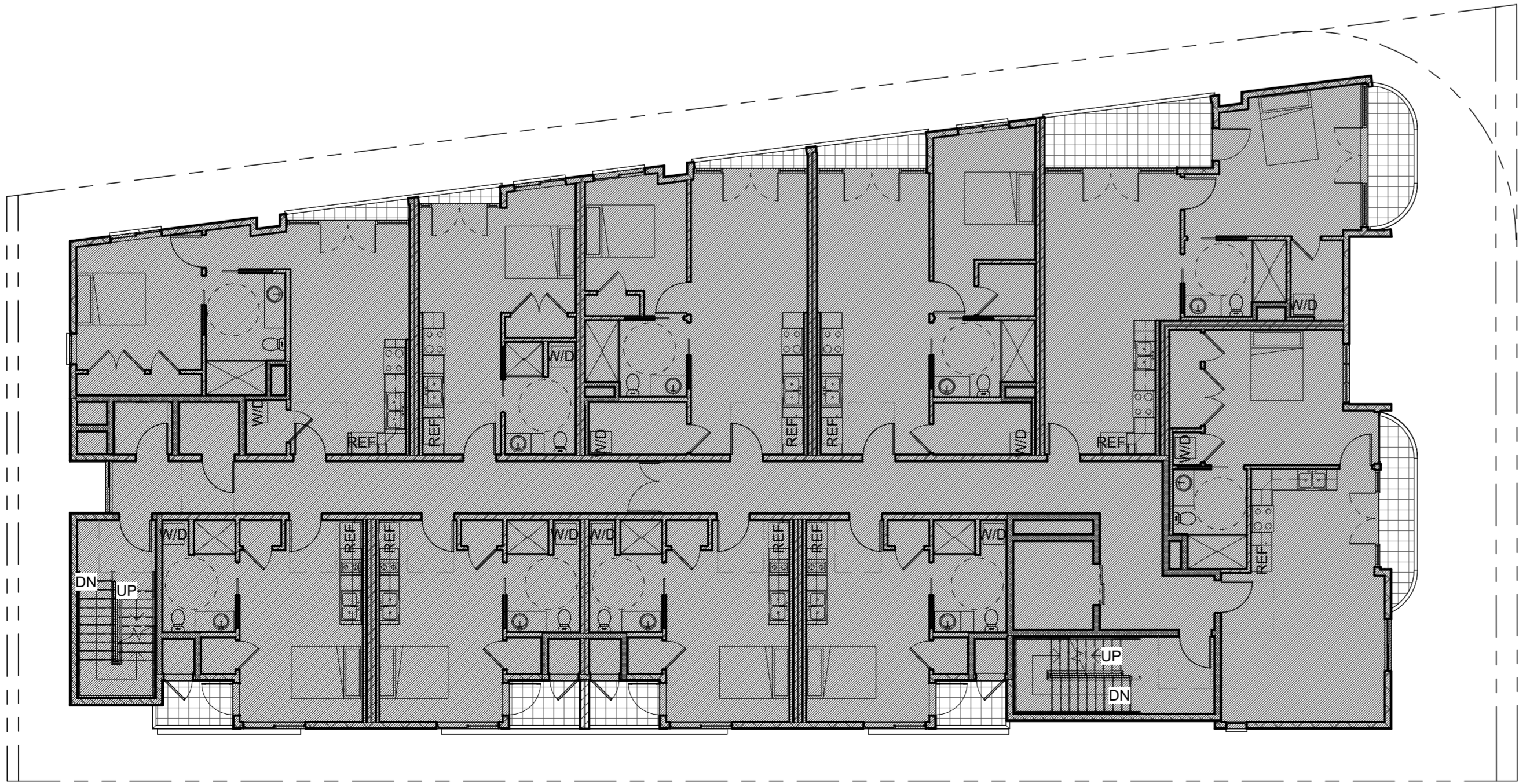
1

BUILDING CODE FLOOR AREA	
FIRST FLOOR	6,031 SF
SECOND FLOOR	6,686 SF
THIRD FLOOR	6,584 SF
FOURTH FLOOR	5,423 SF
TOTAL PROVIDED	24,724 SF



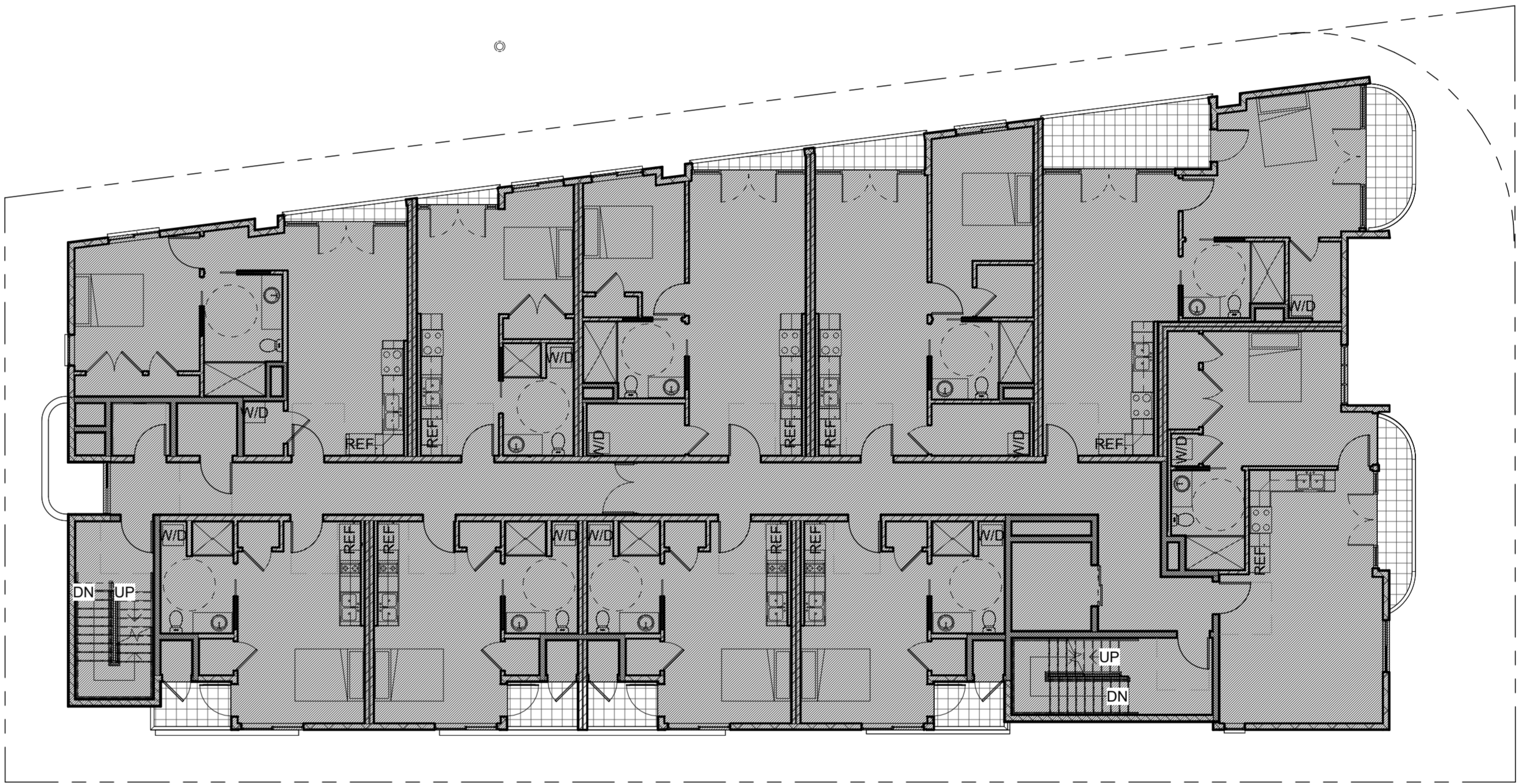
SCHOOL FEES - FOURTH FLOOR PLAN
3/32" = 1'-0"

4



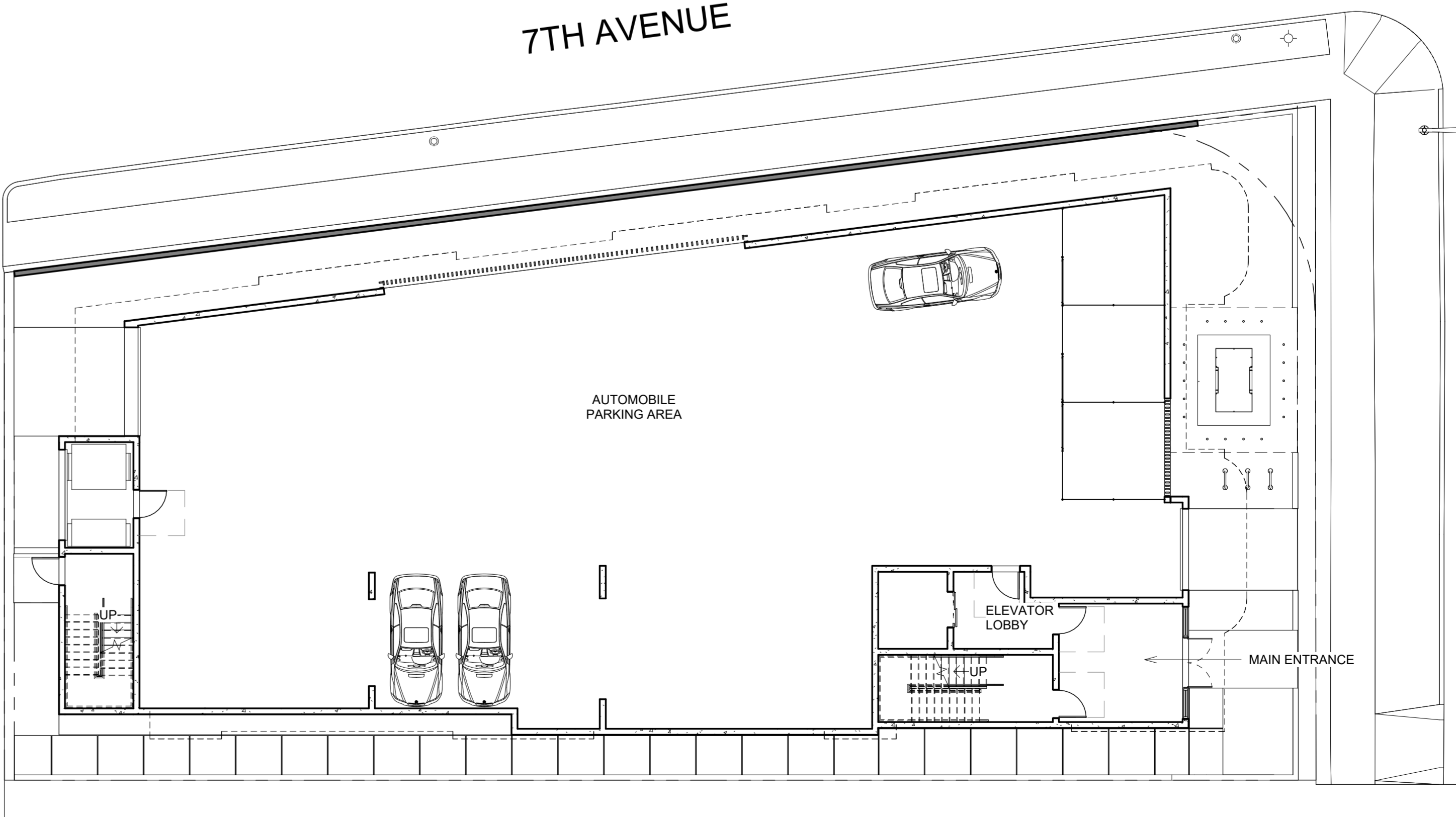
SCHOOL FEES - THIRD FLOOR PLAN
3/32" = 1'-0"

3



SCHOOL FEES - SECOND FLOOR PLAN
3/32" = 1'-0"

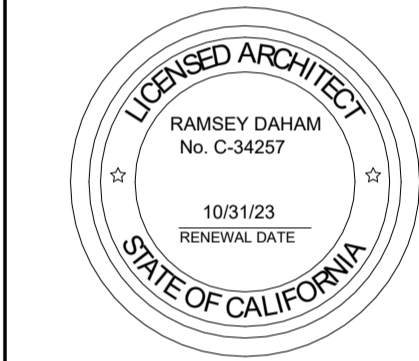
2



SCHOOL FEES - GROUND FLOOR PLAN
3/32" = 1'-0"

1

SCHOOL FEES FLOOR AREA	
GROUND FLOOR	N/A
SECOND FLOOR	6,485 SF
THIRD FLOOR	6,485 SF
FOURTH FLOOR	5,019 SF
TOTAL	17,989 SF

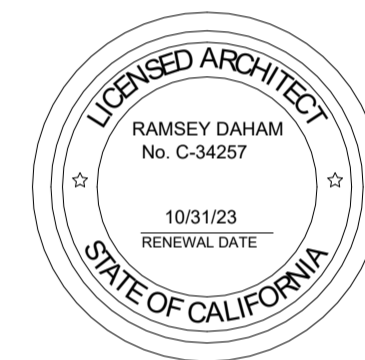


657 SUNSET AVE.
VENICE, CA 90291

Revision Schedule	
Revision Number	Revision Date

AREA CALCULATIONS SCHOOL FEE	
DRAWN	JV
CHECKED	BD
DATE	10/2/2024 2:01:09 PM
SCALE	3/32" = 1'-0"
JOB #	23 - A023

A0.14 C



657 SUNSET AVE.
VENICE, CA 90291

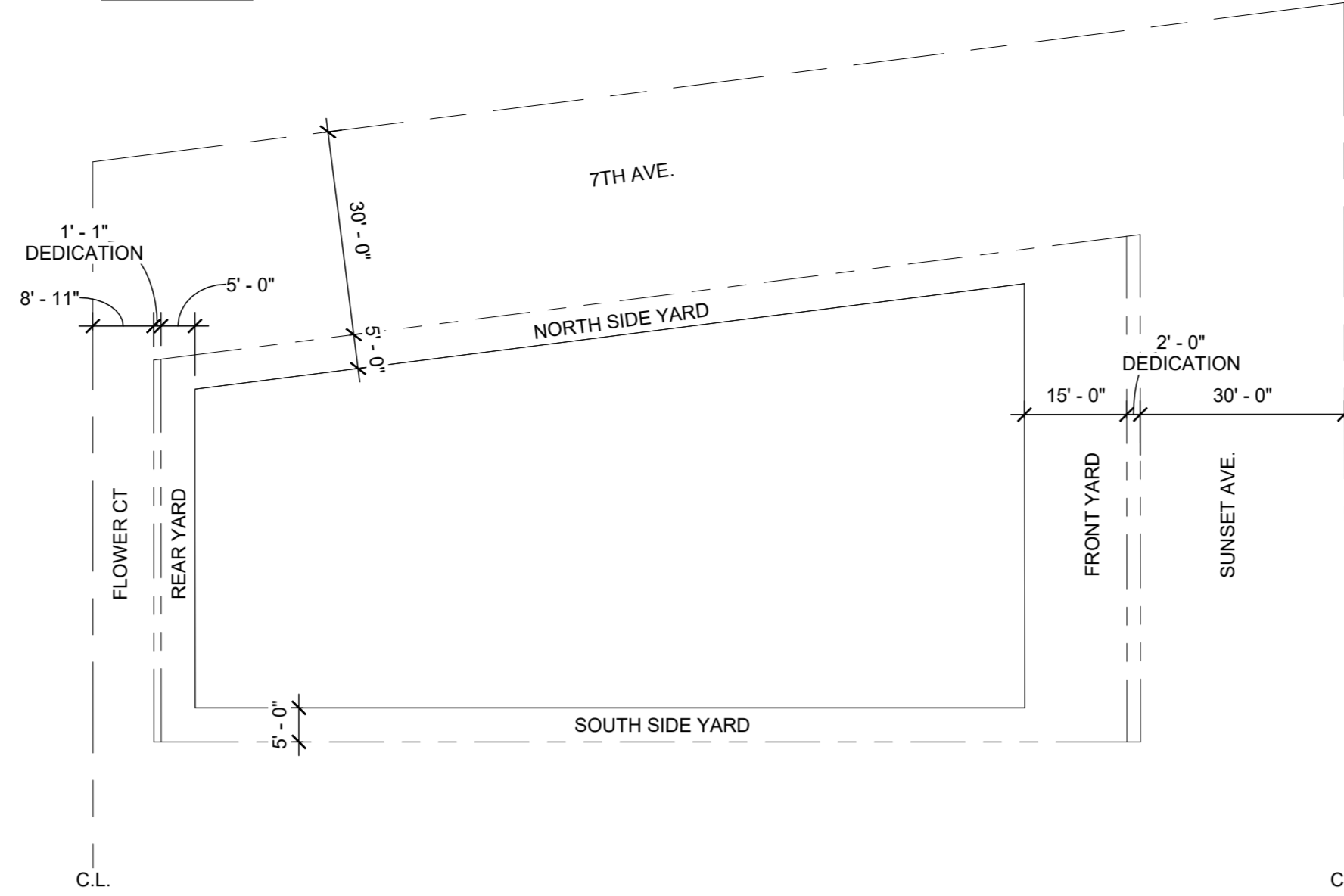
Revision Schedule	
Revision Number	Revision Date

F.A.R. CALCULATIONS

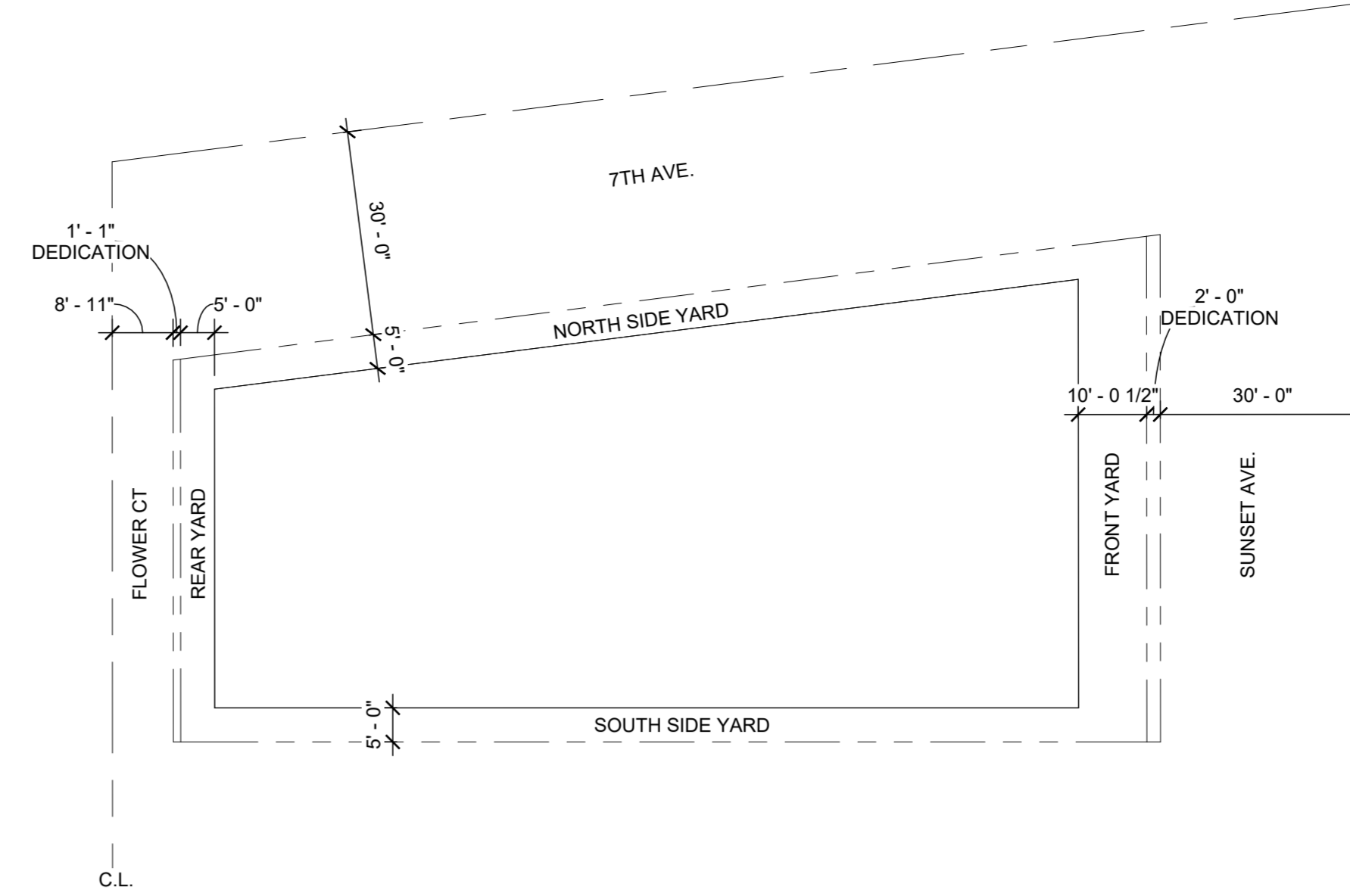
DRAWN	JV
CHECKED	BD
DATE	10/2/2024 2:01:11 PM
SCALE	As indicated
JOB #	23 - A023

A0.14 D

F.A.R. DIAGRAM

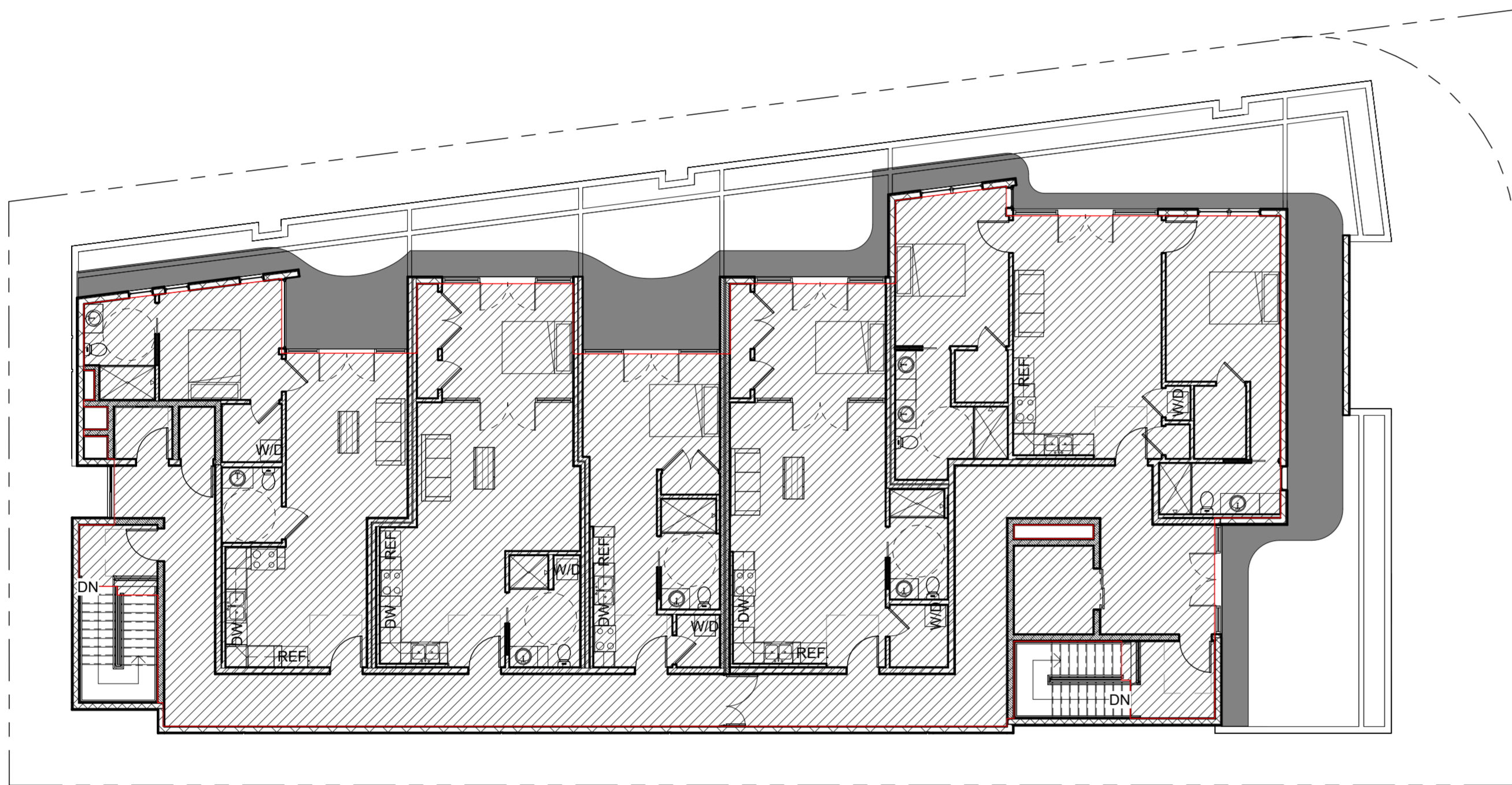


ALLOWED	
- LOT AREA:	9,414.5 S.F.
- BUILDABLE AREA:	6,950 S.F.
- (3) x 6,950 S.F. =	20,850 S.F.
- F.A.R. PROVIDED:	3.1



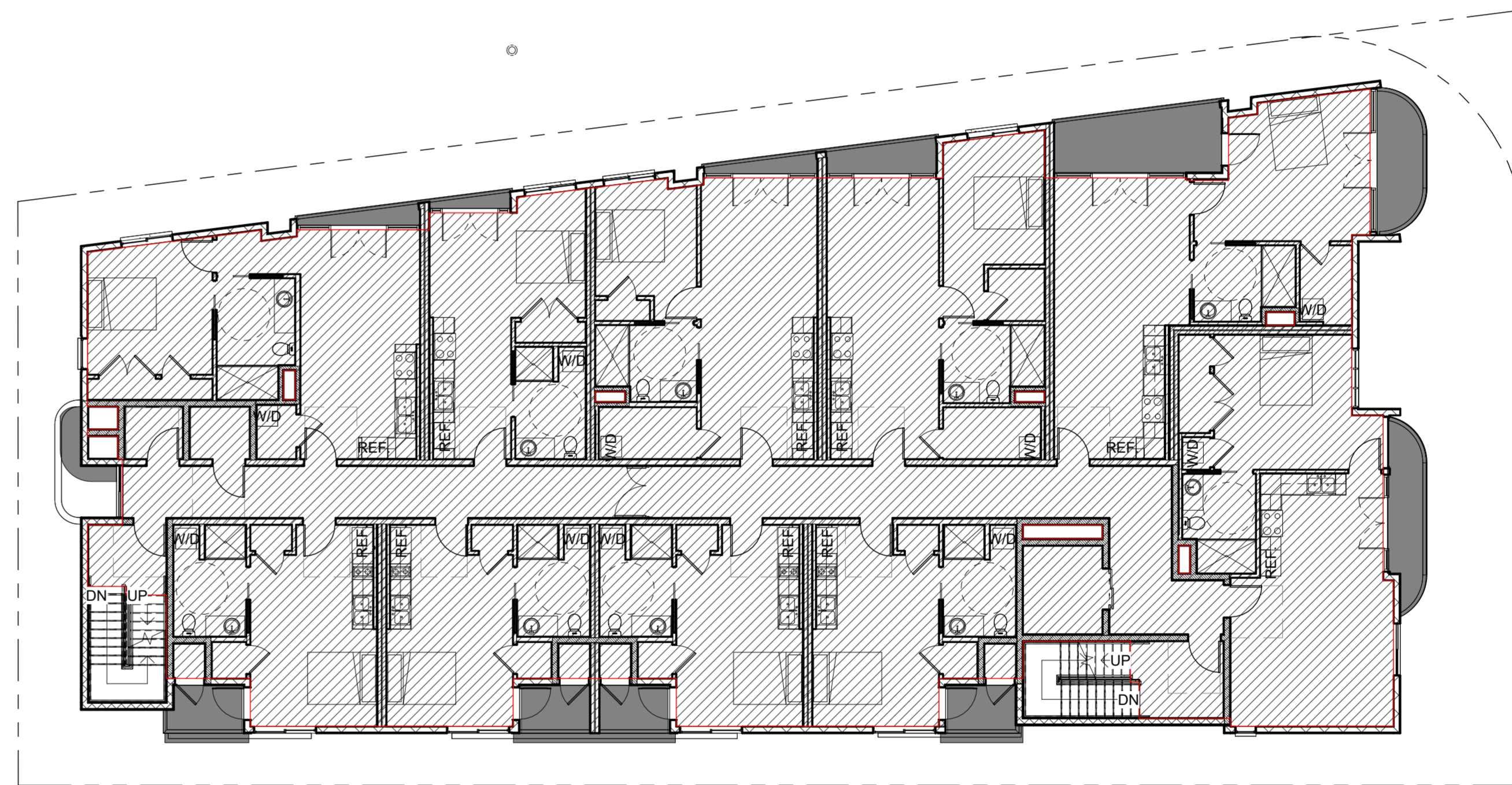
PROVIDED	
- LOT AREA:	9,414.5 S.F.
- BUILDABLE AREA:	6,950 S.F.
- (F.A.R.) x 6,950 SF =	18,773 S.F.
- F.A.R. PROVIDED:	2.7:1

F.A.R. CALCULATIONS		
- GROUND FLOOR	712 SF	
- COVERED	N/A	
SECOND FLOOR	6,017 SF	
- COVERED	470 SF	
THIRD FLOOR	6,017 SF	
- COVERED	369 SF	
FOURTH FLOOR	4,593 SF	
- COVERED	595 SF	
TOTAL PROVIDED	18,773 SF	



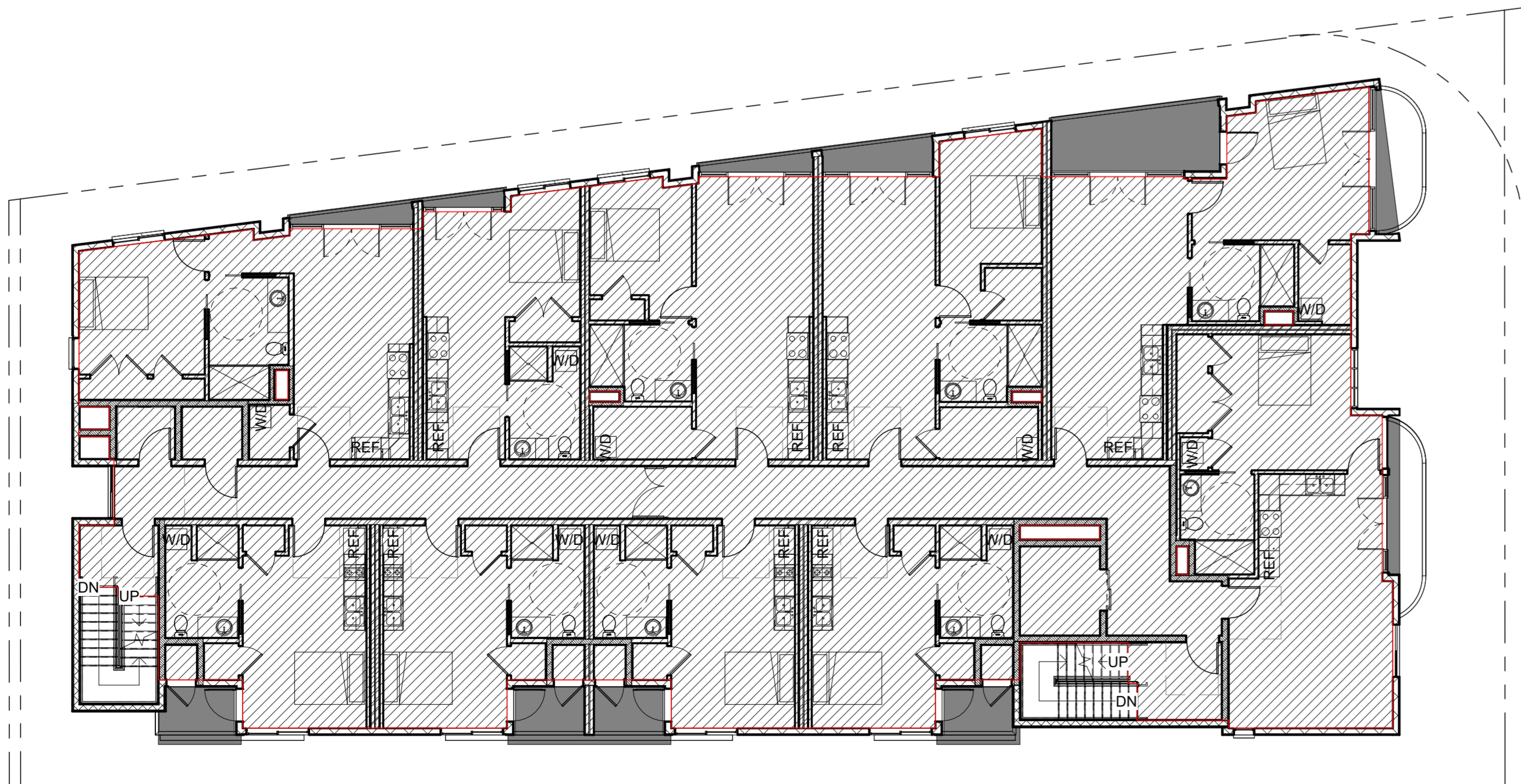
F.A.R. - FOURTH FLOOR - FINISH FLOOR PLAN
3/32" = 1'-0"

4



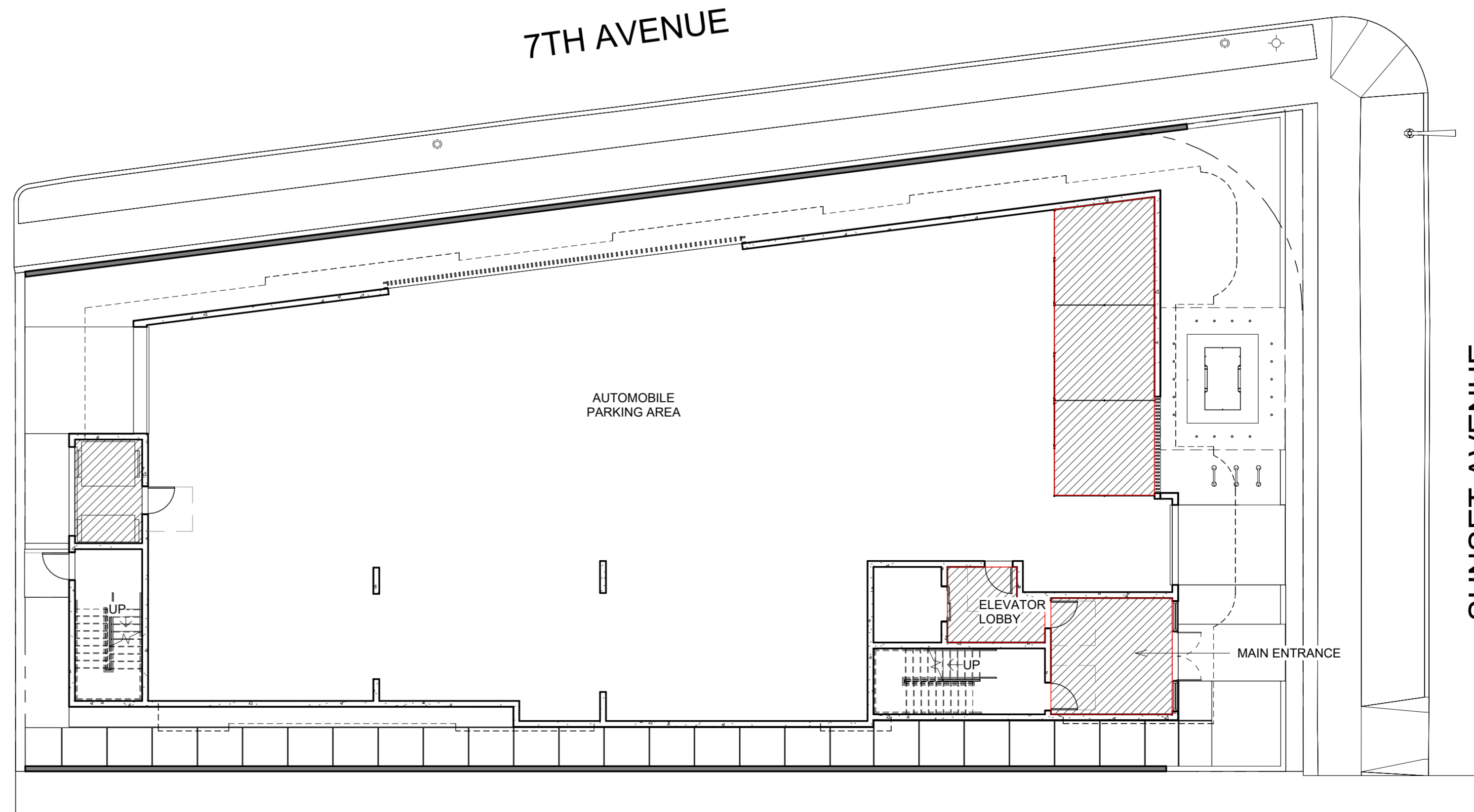
F.A.R. - SECOND FLOOR - FINISH FLOOR
3/32" = 1'-0"

2



F.A.R. - THIRD FLOOR
3/32" = 1'-0"

3



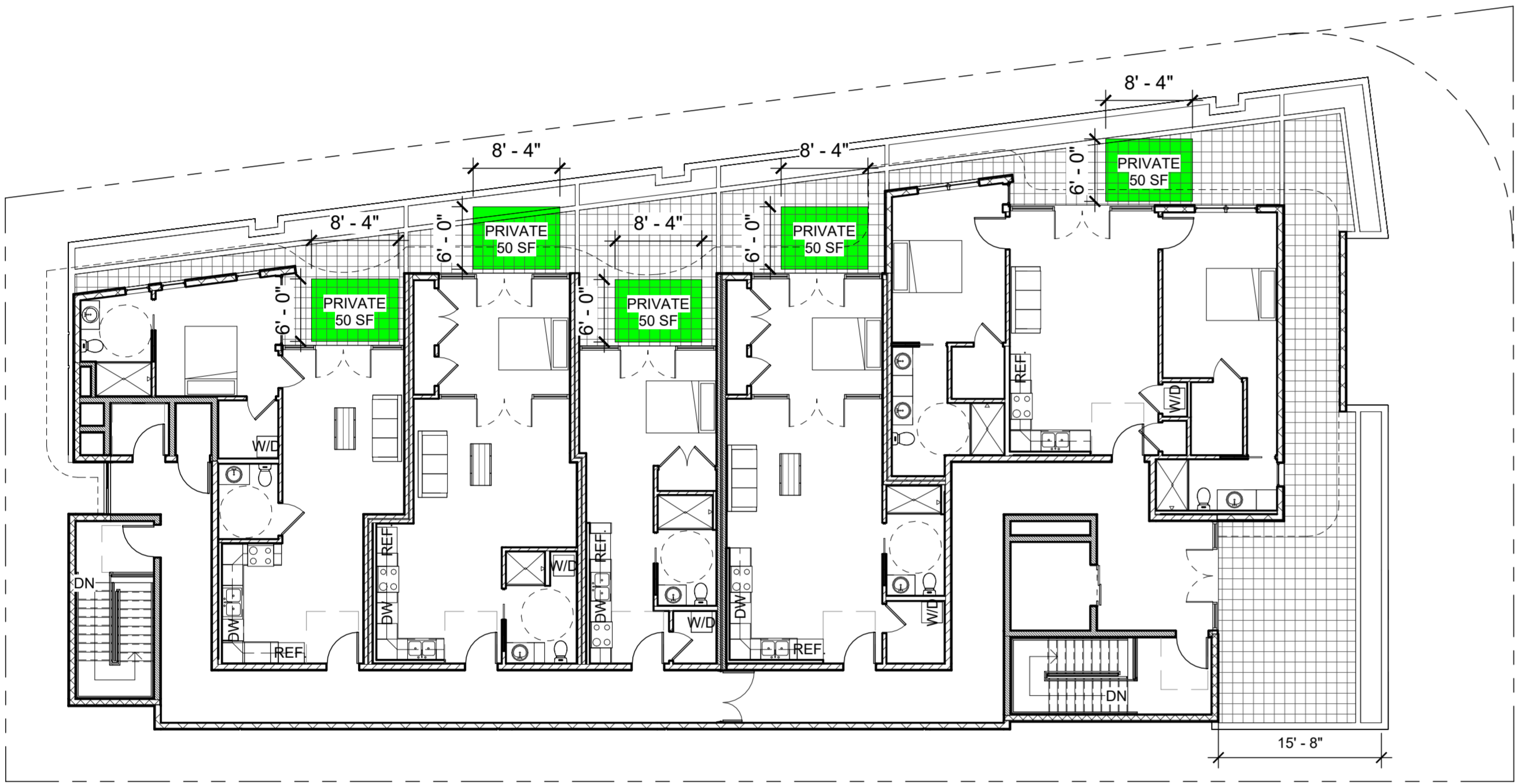
F.A.R. - GROUND FLOOR - FINISH FLOOR PLAN
3/32" = 1'-0"

1

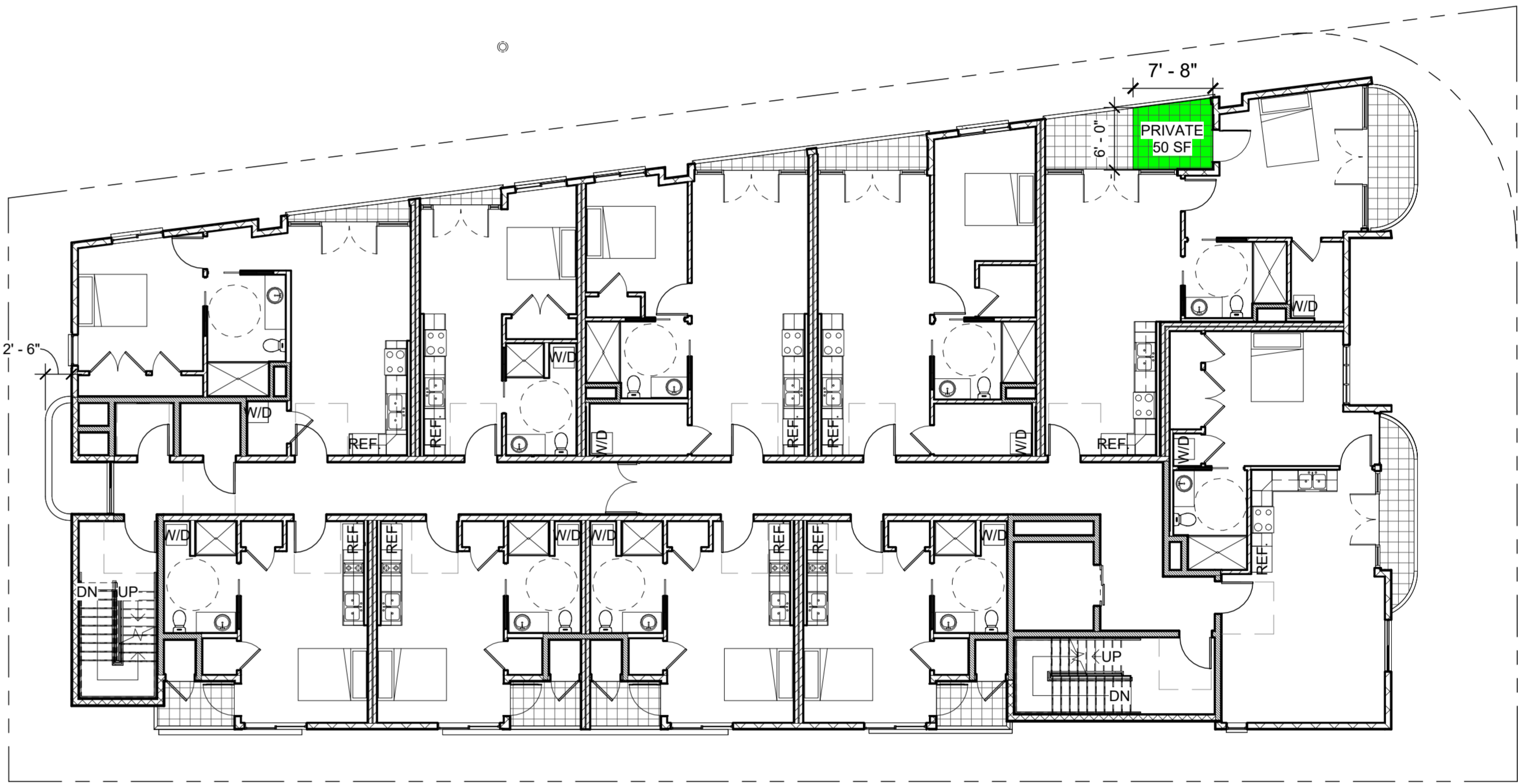
OPEN SPACE PROVIDED VS. REQUIRED

PROVIDED		REQUIRED	
COMMON OPEN SPACE:	0 SF	24 UNITS @ < 3 HABITABLE ROOMS (100 S.F.) (24 UNITS)(100 S.F.) =	2,400 SF
PRIVATE OPEN SPACE TOWARDS CALCULATION BASED ON ZONING CODE 12.21 G:	350 SF	1 UNITS @ 3 HABITABLE ROOMS (125 S.F.) (1 UNITS)(125 S.F.) =	125 SF
REQUIRED 50% OF USABLE OPEN SPACE AS COMMON:	- 350 SF	0 UNITS @ > 3 HABITABLE ROOMS (175 S.F.) (0 UNITS)(175 S.F.) =	0 SF
		100% REDUCTION REQUEST (SEE ACTION REQUEST A0.00)	- 2,525 SF
TOTAL PROVIDED USABLE OPEN SPACE:		TOTAL REQUIRED OPEN SPACE:	0 SF

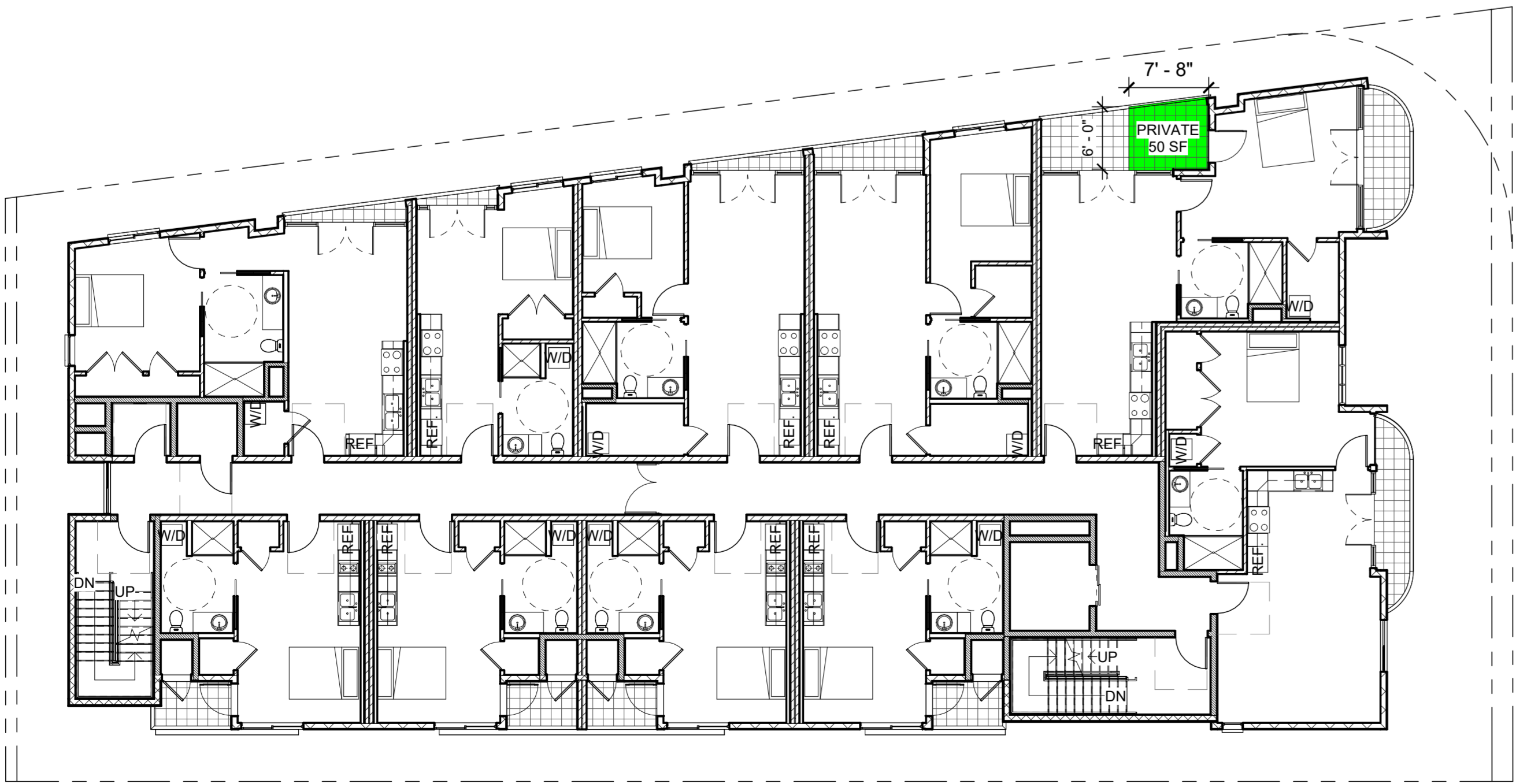
COMMON OPEN SPACE TREE COUNT			
PROVIDED		REQUIRED	
ON SITE	1	1 TREE PER EVERY 4 UNITS (24" BOX TREES REQUIRED PER LAMC 12.21 G.A(3))	
ON SIDEWALK	5	25 UNITS / 4 =	6.25 TREES
TOTAL	6 TREES	TOTAL	7 TREES
PLANTED COMMON OPEN SPACE PER LAMC 12.21 G.A(3)			
COMMON OPEN SPACE PROVIDED	0 SF	25 % REQUIRED	PROVIDED
		0 SF	SF



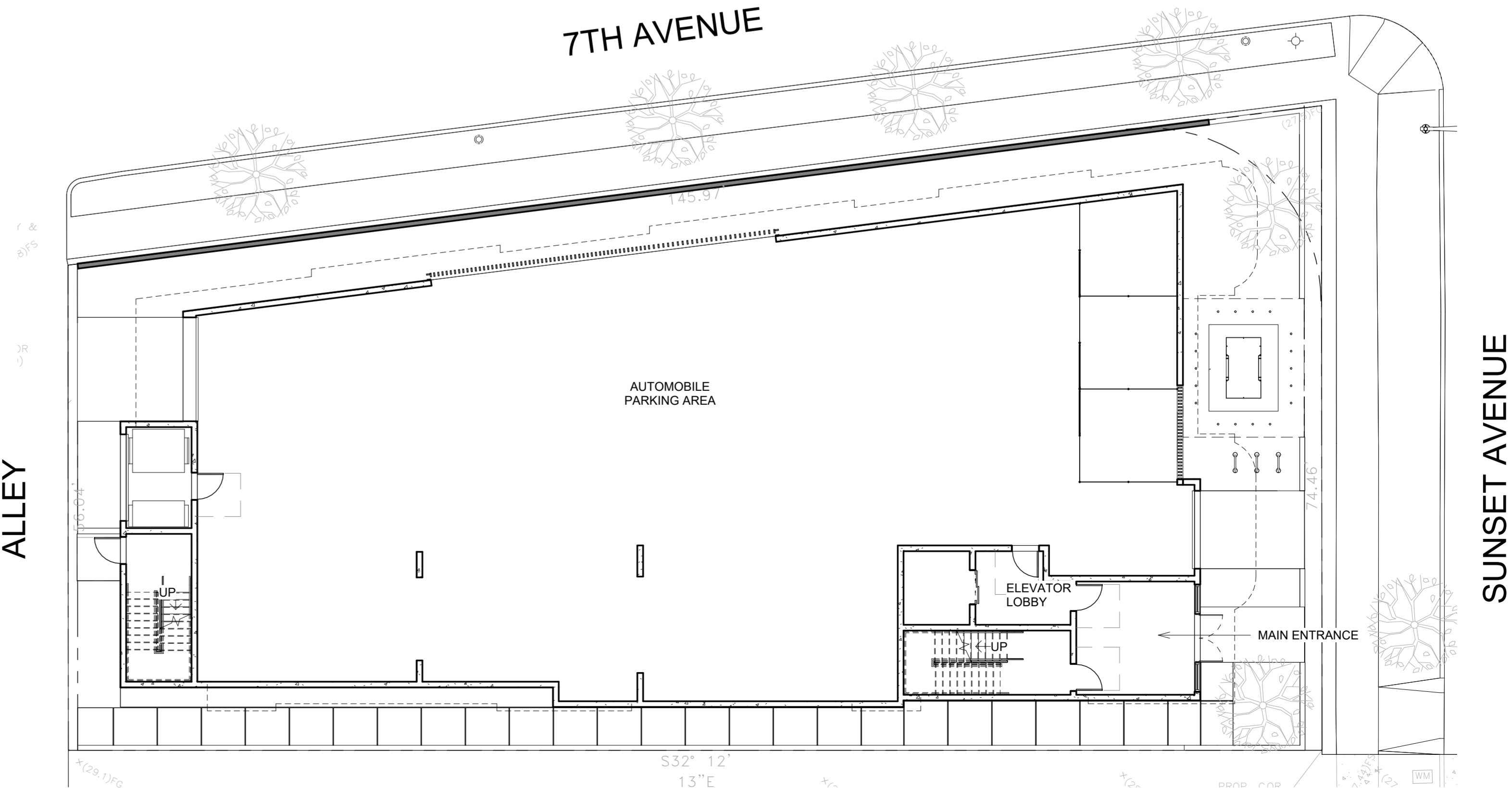
OPEN SPACE - FOURTH FLOOR PLAN
3/32" = 1'-0" 4



OPEN SPACE - SECOND FLOOR PLAN
3/32" = 1'-0" 2



OPEN SPACE - THIRD FLOOR PLAN
3/32" = 1'-0" 3



OPEN SPACE - GROUND FLOOR PLAN
3/32" = 1'-0" 1

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127 arena street, el segundo, ca 90245
[o] 310.322.3700

LICENSED ARCHITECT
RAMSEY DAWHAN
No. C-34257
10/31/23
RENEWAL DATE
STATE OF CALIFORNIA

657 SUNSET AVE.
VENICE, CA 90291

Revision Schedule

Revision Number	Revision Date

OPEN SPACE
AREA
CALCULATIONS

DRAWN

JV

CHECKED

BD

DATE

10/2/2024 2:01:14 PM

SCALE

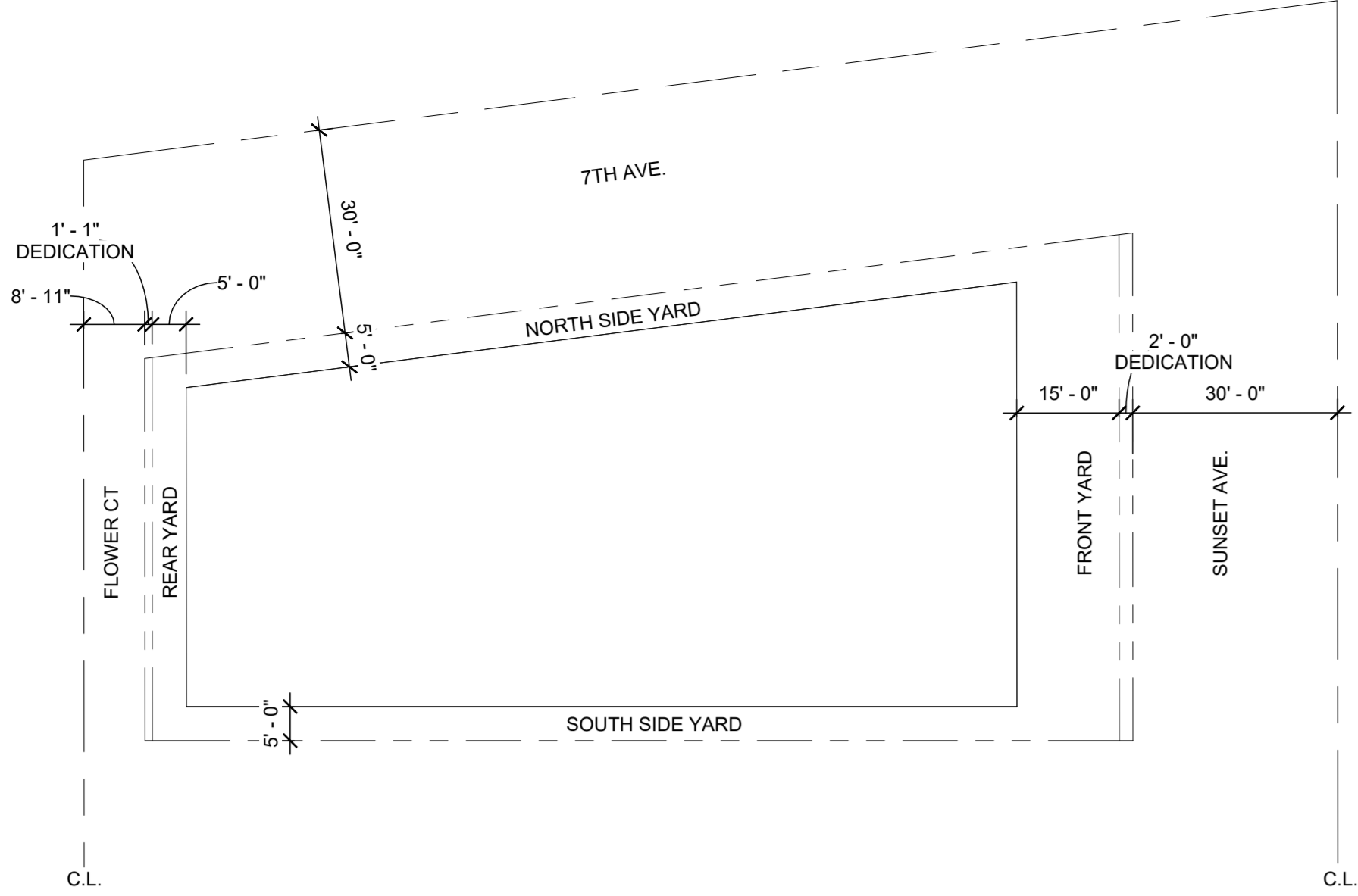
As indicated

JOB #

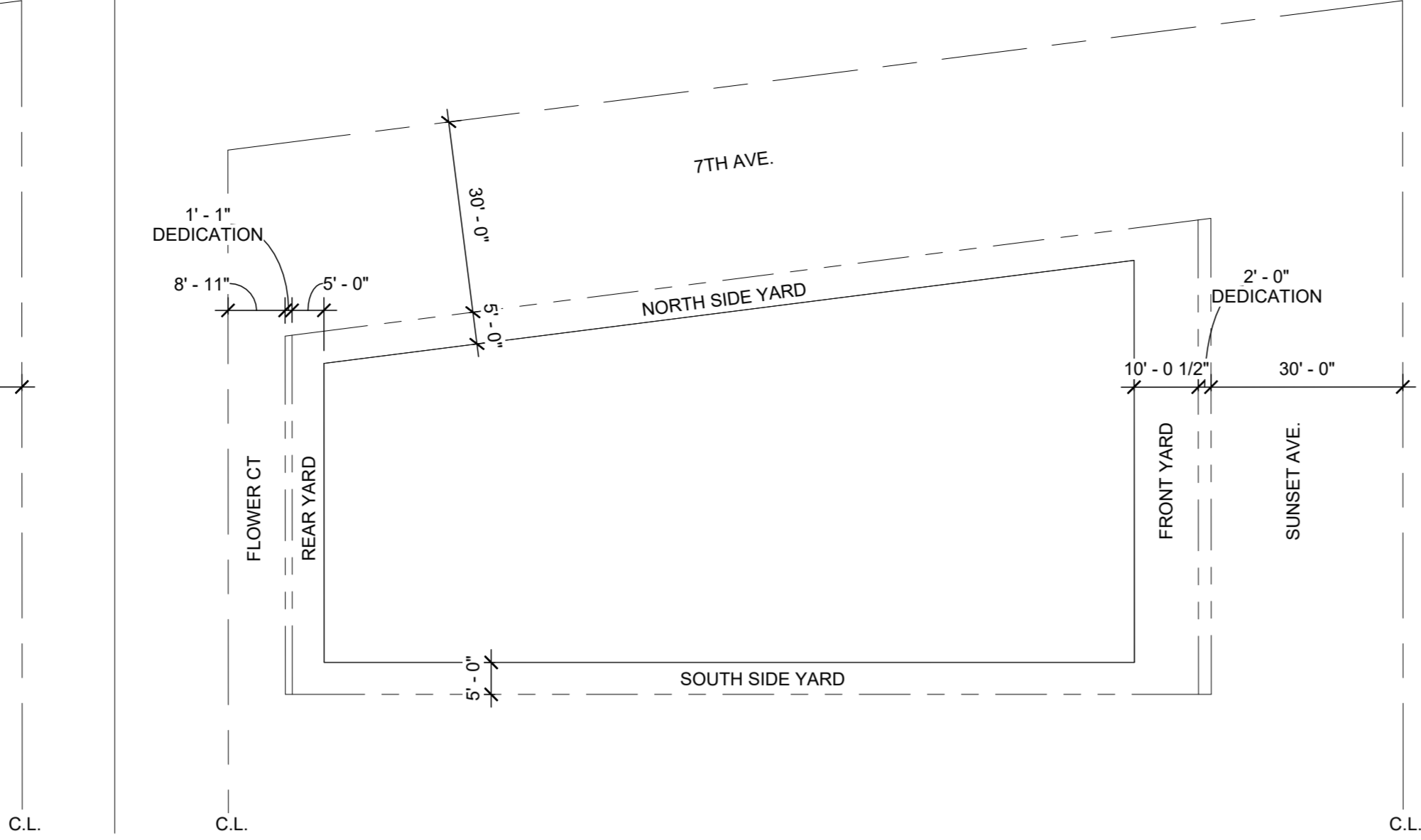
23 - A023

A0.14 E

F.A.R. DIAGRAM



ALLOWED	
- LOT AREA:	9,414.5 S.F.
- BUILDABLE AREA:	6,950 S.F.
- (3) x 6,950 S.F. =	20,850 S.F.
- F.A.R. PROVIDED:	3:1



PROVIDED	
- LOT AREA:	9,414.5 S.F.
- BUILDABLE AREA:	6,950 S.F.
- (F.A.R.) x 6,950 SF =	18,773 S.F.
- F.A.R. PROVIDED:	2.7:1

1. CODE SECTION FROM WHICH RELIEF IS REQUESTED: CODE SECTION WHICH AUTHORIZES RELIEF: 12.24 U 26

A CONDITIONAL USE PERMIT PURSUANT TO LAMC 12.24 U 26 TO PERMIT A DENSITY BONUS IN EXCESS OF 35 PERCENT FOR A TOTAL OF UP TO 25 DWELLING UNITS, WITH SIX OF THOSE UNITS SET ASIDE FOR VERY LOW INCOME HOUSEHOLDS, IN LIEU OF THE 9 UNITS PERMITTED BY AB 2334 AND THE LAMC 12.09.05 C. 4

• ON MENU INCENTIVES:

- PERMIT A 20% DECREASE IN THE REQUIRED SOUTHERLY FRONT YARD TO ALLOW FOR A 12-FOOT SETBACK IN LIEU OF THE 15-FOOT SETBACK REQUIRED FOR BUILDINGS IN RD 1.5-1 ZONES, PURSUANT TO LAMC 12.09.1.B.1.

• OFF MENU INCENTIVES:

- PERMIT A 29% DECREASE IN THE REQUIRED WESTERLY SIDE YARD SETBACK TO ALLOW A 5-FOOT SETBACK IN LIEU OF THE 7-FOOT SETBACK REQUIRED FOR FOUR-STORY BUILDINGS IN THE RD 1.5 ZONE PURSUANT TO LAMC 12.09.1.B.2.A
- PERMIT A 29% DECREASE IN THE REQUIRED EASTERLY SIDE YARD SETBACK TO ALLOW A 5-FOOT SETBACK IN LIEU OF THE 7-FOOT SETBACK REQUIRED FOR FOUR-STORY BUILDINGS IN THE RD 1.5 ZONE PURSUANT TO LAMC 12.09.1.B.2.A

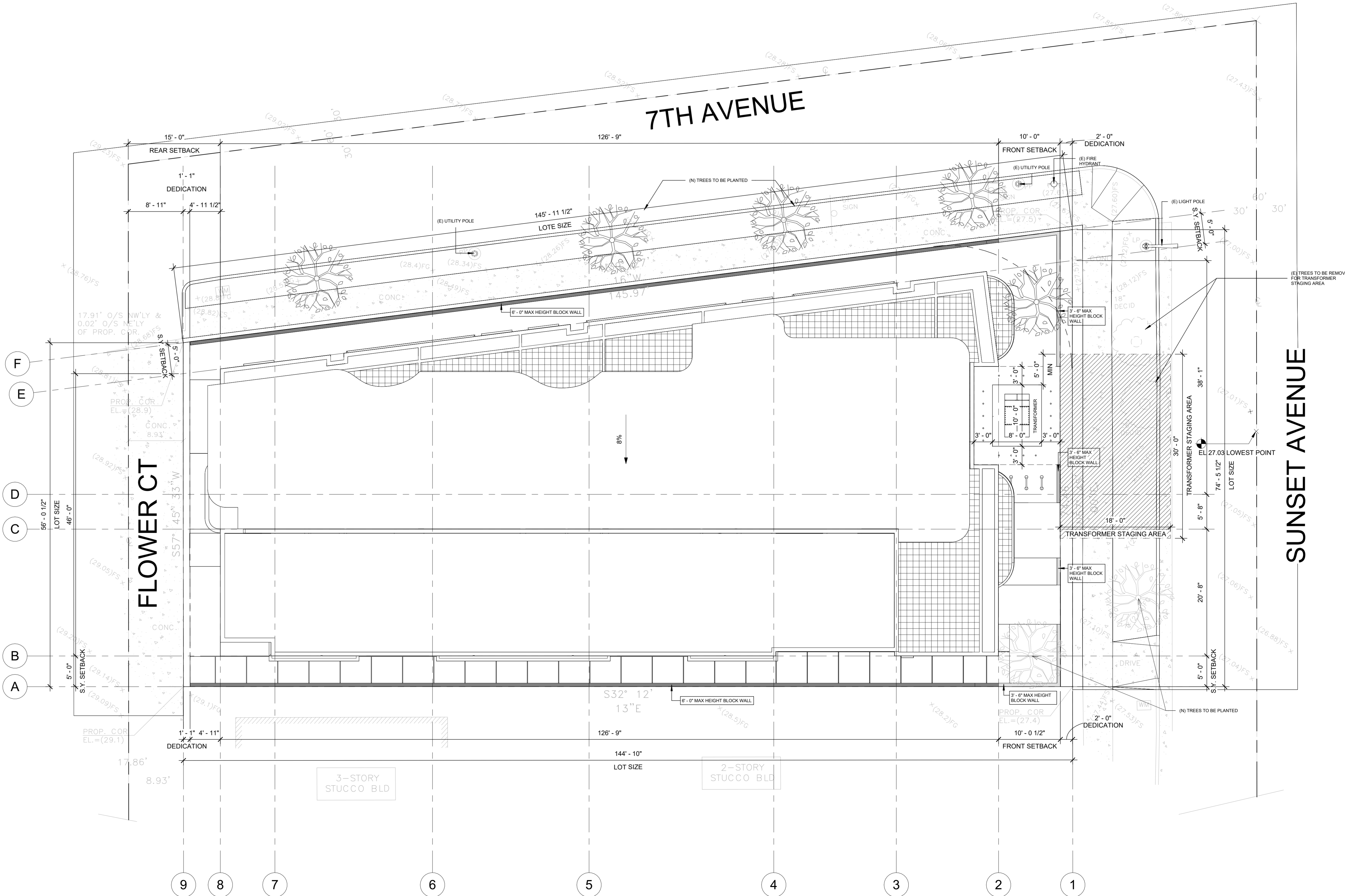
• WAIVERS OF DEVELOPMENT STANDARDS:

- PERMIT AN 18' 1.5" INCREASE IN ALLOWABLE HEIGHT TO PERMIT A HEIGHT OF 48' 1.5" IN LIEU OF THE ALLOWABLE 25 FEET FOR A PROJECT WITH A FLAT ROOF, PURSUANT TO THE VENICE COASTAL ZONE SPECIFIC PLAN - OAKWOOD MILWOOD SOUTHEAST VENICE SUBAREA
- PERMIT THE PROVISION OF 11 AUTOMOBILE PARKING SPACES IN LIEU OF THE REQUIRED 24 SPACES PURSUANT TO LAMC 12.22 A.25(D)
- PERMIT THE PROVISION OF ZERO SQUARE FEET OF REQUIRED, USABLE OPEN SPACE IN LIEU OF THE 2,325 SQUARE FEET REQUIRED PURSUANT TO LAMC 12.21 G.2

COMMON OPEN SPACE TREE COUNT			
PROVIDED		REQUIRED	
ON SITE	1	1 TREE PER EVERY 4 UNITS	
ON SIDEWALK	5	(24" BOX TREES REQUIRED PER LAMC 12.21 G.A(3))	
		25 UNITS / 4 = 6.25 TREES	
TOTAL		6 TREES	7 TREES
PLANTED COMMON OPEN SPACE PER LAMC 12.21 G.A(3)			
COMMON OPEN SPACE PROVIDED		25 % REQUIRED	PROVIDED
0 SF		0 SF	SF

FLOOR PLAN LEGEND		ELEVATION MARKER		MB	
	FLOOR TYPE		ELEVATION MARKER	MB	MASTER BEDROOM
	SMOKE DETECTOR		PROPERTY LINE	BD	BEDROOM
	CARBON MONOXIDE		ACCESSIBLE ROUTE	MBA	MASTER BATHROOM
	EXHAUST FAN (50 CFM INTERMITTENT OR 35 CFM CONTINUOUS)		HOSE BIB	BA	BATHROOM
	STANDPIPE		EXTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)	LR	LIVING ROOM
	ILLUMINATED EXIT SIGN		EXTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)	KI	KITCHEN
	WINDOW TAG (SEE PAGE A0.08 A FOR SCHEDULE)		INTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)	LD	LAUNDRY ROOM
	DOOR TAG (SEE PAGE A0.08 A FOR SCHEDULE)		INTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)	BC	BALCONY
	WALL TYPE		6\"/>	EN	ENTRY
			3\"/>	PWR	POWDER ROOM
			BLOCK WALL	CL	CLOSET
				WIC	WALK IN CLOSET

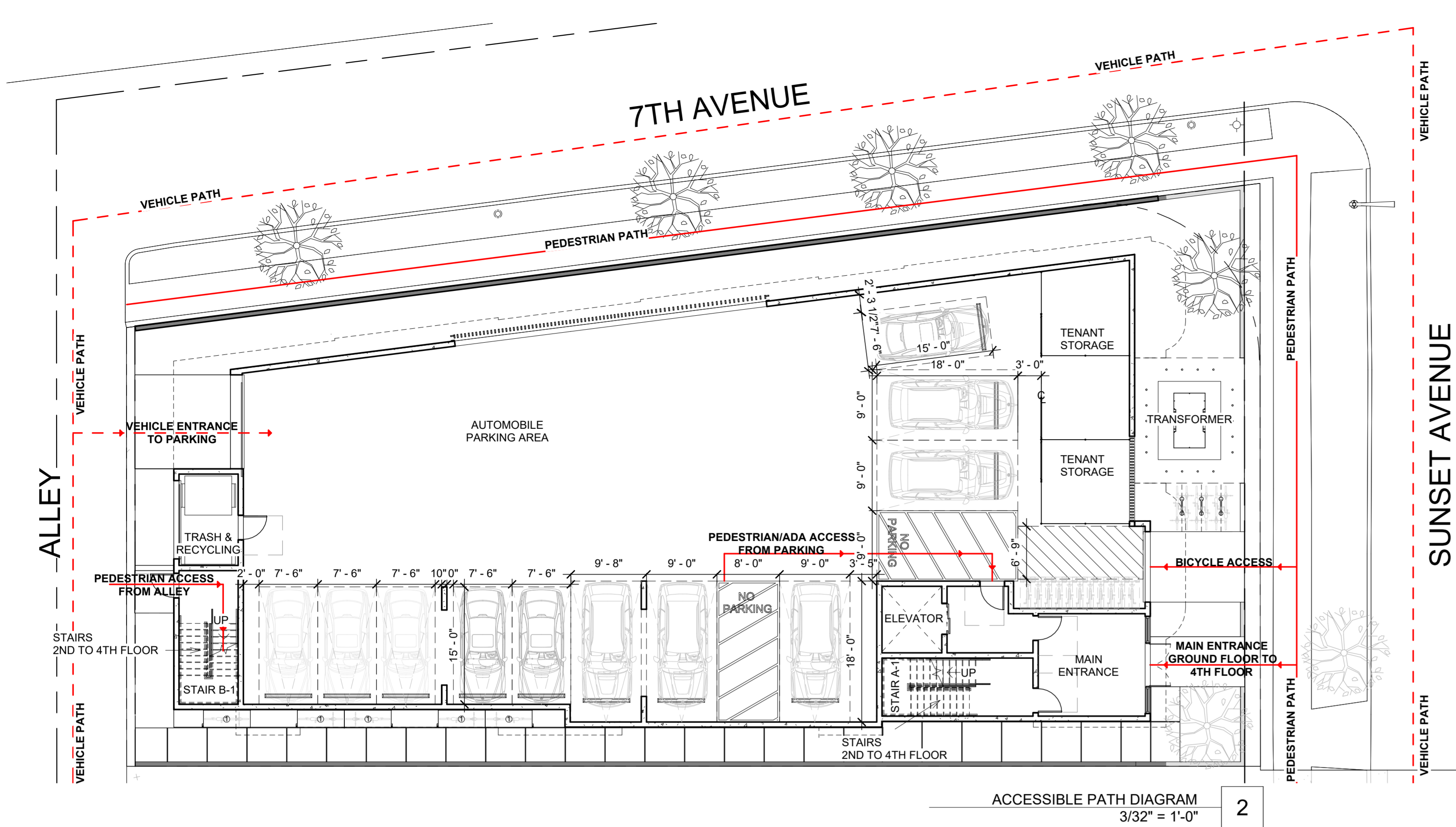
- NOTES:
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5
 - FENCES, PLANTERS, AND RETAINING WALLS SHALL NOT EXCEED A HEIGHT OF 6 FT ABOVE THE NATURAL GROUND LEVEL IN THE REQUIRED SIDE YARD.
 - DOWNSPOUT(S) DISCHARGING INTO BMP(S)
 - ALL DOWNSPOUTS TO DRAIN TO PROPOSED BMP



Revision Schedule	
Revision Number	Revision Date

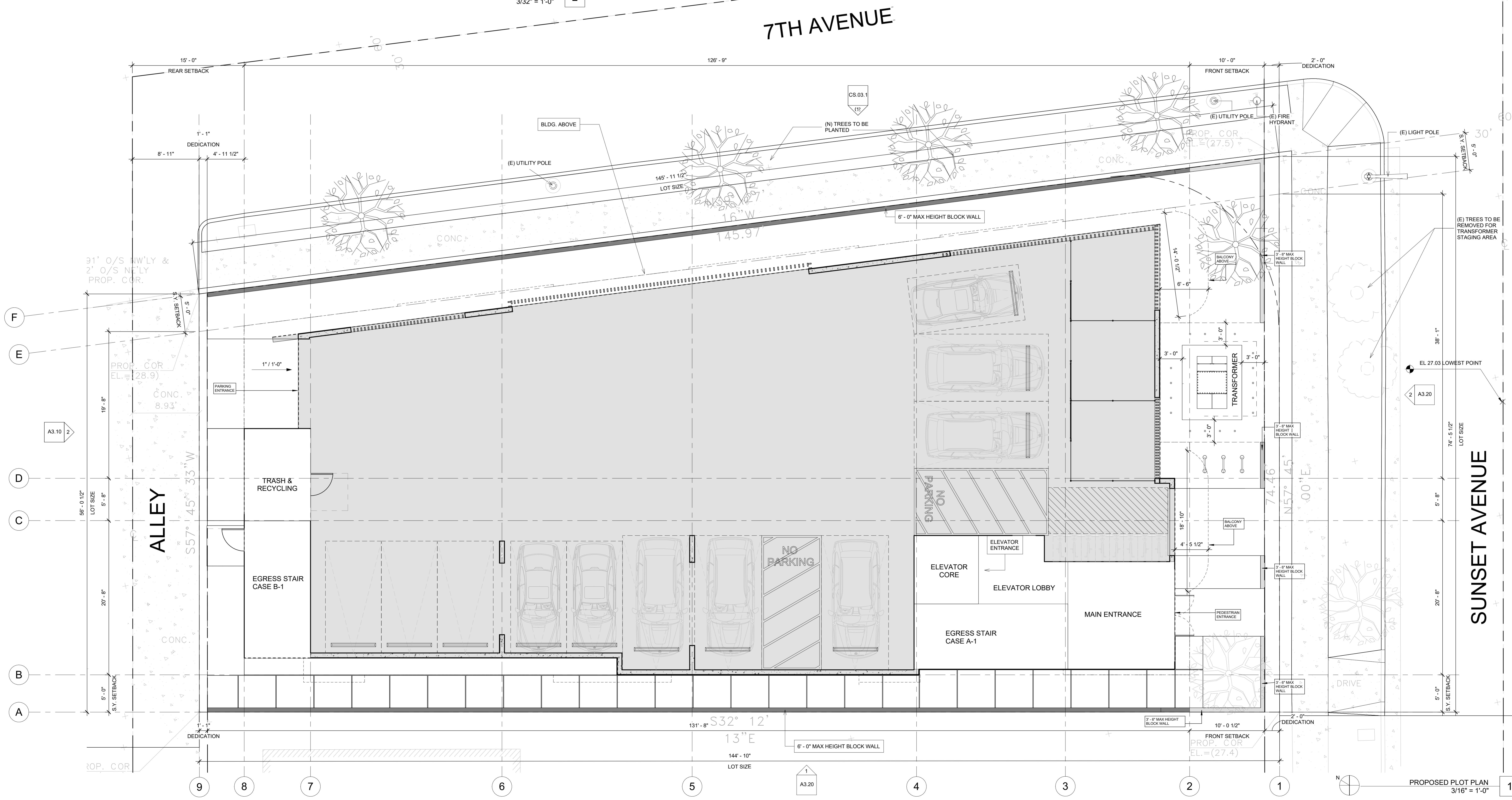
SITE PLAN

DRAWN	JV
CHECKED	BD
DATE	10/2/2024 2:01:16 PM
SCALE	As indicated
JOB #	23 - A023



- FLOOR PLAN LEGEND**
- | | | | |
|--|--|--|--|
| | FLOOR TYPE | | ELEVATION MARKER |
| | SMOKE DETECTOR | | PROPERTY LINE |
| | CARBON MONOXIDE | | ACCESSIBLE ROUTE |
| | EXHAUST FAN
(50 CFM INTERMITTENT
OR 35 CFM CONTINUOUS) | | HOSE BIB |
| | STANDPIPE | | EXTERIOR WALL - 1HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS) |
| | ILLUMINATED EXIT SIGN | | EXTERIOR WALL - 2HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS) |
| | WINDOW TAG
(SEE PAGE A0.08 A FOR SCHEDULE) | | INTERIOR WALL - 1HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS) |
| | DOOR TAG
(SEE PAGE A0.06 A FOR SCHEDULE) | | INTERIOR WALL - 2HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS) |
| | WALL TYPE | | 6' - 0" BLOCK WALL |
| | | | 3' - 6" BLOCK WALL |
| | | | BLOCK WALL |
- NOTES:**
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5
 - FENCES, PLANTERS, AND RETAINING WALLS SHALL NOT EXCEED A HEIGHT OF 6 FT ABOVE THE NATURAL GROUND LEVEL IN THE REQUIRED SIDE YARD.
 - DOWNSPOUT(S) DISCHARGING INTO BMP(S)
 - ALL DOWNSPOUTS TO DRAIN TO PROPOSED BMP

- | | |
|-----|-----------------|
| MB | MASTER BEDROOM |
| BD | BEDROOM |
| MBA | MASTER BATHROOM |
| BA | BATHROOM |
| LR | LIVING ROOM |
| KI | KITCHEN |
| DR | DINING ROOM |
| LD | LAUNDRY ROOM |
| BC | BALCONY |
| EN | ENTRY |
| PWR | POWDER ROOM |
| CL | CLOSET |
| WIC | WALK IN CLOSET |



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VENICE, CA 90291

Revision Schedule

Revision Number	Revision Date

PLOT PLAN

DRAWN JV

CHECKED BD

DATE 10/2/2024 2:01:20 PM

SCALE As indicated

JOB # 23 - A023

A1.01

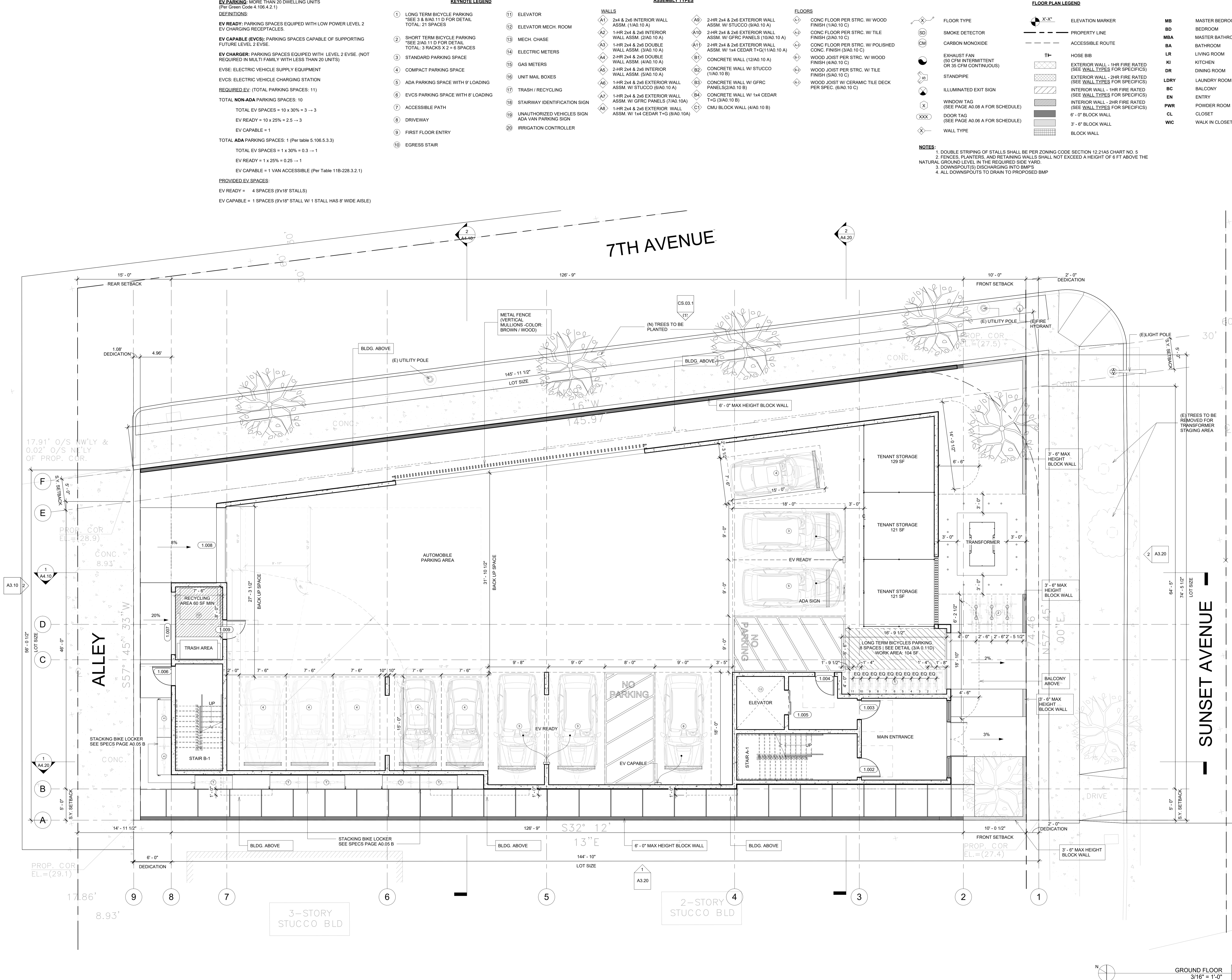
EV PARKING: MORE THAN 20 DWELLING UNITS
(Per Green Code 4.106.4.2.1)
DEFINITIONS:
EV READY: PARKING SPACES EQUIPED WITH LOW POWER LEVEL 2 EV CHARGING RECEPTACLES.
EV CAPABLE (EVCS): PARKING SPACES CAPABLE OF SUPPORTING FUTURE LEVEL 2 EVSE.
EV CHARGER: PARKING SPACES EQUIPED WITH LEVEL 2 EVSE. (NOT REQUIRED IN MULTI FAMILY WITH LESS THAN 20 UNITS)
EVSE: ELECTRIC VEHICLE SUPPLY EQUIPMENT
EVCS: ELECTRIC VEHICLE CHARGING STATION
REQUIRED EV: (TOTAL PARKING SPACES: 11)
TOTAL **NON-ADA** PARKING SPACES: 10
TOTAL EV SPACES = 10 x 30% = 3 → 3
EV READY = 10 x 25% = 2.5 → 3
EV CAPABLE = 1
TOTAL **ADA** PARKING SPACES: 1 (Per table 5.106.5.3.3)
TOTAL EV SPACES = 1 x 30% = 0.3 → 1
EV READY = 1 x 25% = 0.25 → 1
EV CAPABLE = 1 VAN ACCESSIBLE (Per Table 11B-228.3.2.1)
PROVIDED EV SPACES:
EV READY = 4 SPACES (9'x18' STALLS)
EV CAPABLE = 1 SPACES (9'x18' STALL W/ 1 STALL HAS 8' WIDE AISLE)

- KEYNOTE LEGEND**
- | | | | |
|----|--|----|--|
| 1 | LONG TERM BICYCLE PARKING
*SEE 9 & 8/A0.11 D FOR DETAIL
TOTAL: 21 SPACES | 11 | ELEVATOR |
| 2 | SHORT TERM BICYCLE PARKING
*SEE 2/A0.11 D FOR DETAIL
TOTAL: 3 RACKS X 2 = 6 SPACES | 12 | ELEVATOR MECH. ROOM |
| 3 | STANDARD PARKING SPACE | 13 | MECH. CHASE |
| 4 | COMPACT PARKING SPACE | 14 | ELECTRIC METERS |
| 5 | ADA PARKING SPACE WITH 9' LOADING | 15 | GAS METERS |
| 6 | EVCS PARKING SPACE WITH 8' LOADING | 16 | UNIT MAIL BOXES |
| 7 | ACCESSIBLE PATH | 17 | TRASH / RECYCLING |
| 8 | DRIVEWAY | 18 | STAIRWAY IDENTIFICATION SIGN |
| 9 | FIRST FLOOR ENTRY | 19 | UNAUTHORIZED VEHICLES SIGN
ADA VAN PARKING SIGN |
| 10 | EGRESS STAIR | 20 | IRRIGATION CONTROLLER |

- ASSEMBLY TYPES**
- | | |
|--|---|
| WALLS | FLOORS |
| A1 2x4 & 2x6 INTERIOR WALL
ASSM. (1/A0.10 A) | A9 2-HR 2x4 & 2x6 EXTERIOR WALL
ASSM. W/ STUCCO (9/A0.10 A) |
| A2 1-HR 2x4 & 2x6 INTERIOR
WALL ASSM. (2/A0.10 A) | A10 2-HR 2x4 & 2x6 EXTERIOR WALL
ASSM. W/ GFRG PANELS (10/A0.10 A) |
| A3 1-HR 2x4 & 2x6 DOUBLE
WALL ASSM. (3/A0.10 A) | A11 2-HR 2x4 & 2x6 EXTERIOR WALL
ASSM. W/ 1x4 CEDAR T+G (11/A0.10 A) |
| A4 2-HR 2x4 & 2x6 DOUBLE
WALL ASSM. (4/A0.10 A) | B1 CONCRETE WALL (12/A0.10 A) |
| A5 2-HR 2x4 & 2x6 INTERIOR
WALL ASSM. (5/A0.10 A) | B2 CONCRETE WALL W/ STUCCO
PANELS (2/A0.10 B) |
| A6 1-HR 2x4 & 2x6 EXTERIOR WALL
ASSM. W/ STUCCO (6/A0.10 A) | B3 CONCRETE WALL W/ GFRG
PANELS (3/A0.10 B) |
| A7 1-HR 2x4 & 2x6 EXTERIOR WALL
ASSM. W/ GFRG PANELS (7/A0.10A) | B4 CONCRETE WALL W/ 1x4 CEDAR
T+G (3/A0.10 B) |
| A8 1-HR 2x4 & 2x6 EXTERIOR WALL
ASSM. W/ 1x4 CEDAR T+G (8/A0.10A) | C1 CMU BLOCK WALL (4/A0.10 B) |

- FLOOR PLAN LEGEND**
- | | |
|--|---|
| FLOOR TYPE | NOTES: |
| SD SMOKE DETECTOR | 1. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5 |
| CM CARBON MONOXIDE | 2. FENCES, PLANTERS, AND RETAINING WALLS SHALL NOT EXCEED A HEIGHT OF 6 FT ABOVE THE
NATURAL GROUND LEVEL IN THE REQUIRED SIDE YARD. |
| EXHAUST FAN
(50 CFM INTERMITTENT
OR 35 CFM CONTINUOUS) | 3. DOWNSPOUT(S) DISCHARGING INTO BMP'S |
| STANDPIPE | 4. ALL DOWNSPOUTS TO DRAIN TO PROPOSED BMP |
| ILLUMINATED EXIT SIGN | |
| WINDOW TAG
(SEE PAGE A0.06 A FOR SCHEDULE) | |
| DOOR TAG
(SEE PAGE A0.06 A FOR SCHEDULE) | |
| WALL TYPE | |
- ELEVATION MARKER**
X-X"
PROPERTY LINE
ACCESSIBLE ROUTE
HOSE BIB
EXTERIOR WALL - 1HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS)
EXTERIOR WALL - 2HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS)
INTERIOR WALL - 1HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS)
INTERIOR WALL - 2HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS)
6" - 0" BLOCK WALL
3" - 6" BLOCK WALL
BLOCK WALL

- | | |
|------|-----------------|
| MB | MASTER BEDROOM |
| BD | BEDROOM |
| MBA | MASTER BATHROOM |
| BA | BATHROOM |
| LR | LIVING ROOM |
| KI | KITCHEN |
| DR | DINING ROOM |
| LDYR | LAUNDRY ROOM |
| BC | BALCONY |
| EN | ENTRY |
| PWR | POWDER ROOM |
| CL | CLOSET |
| WIC | WALK IN CLOSET |



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Revision Schedule	
Revision Number	Revision Date

PROPOSED PLANS

DRAWN	JV
CHECKED	BD
DATE	10/2/2024 2:01:23 PM
SCALE	As indicated
JOB #	23 - A023

A2.00

1

EV PARKING: MORE THAN 20 DWELLING UNITS
(Per Green Code 4.106.4.2.1)
DEFINITIONS:
EV READY: PARKING SPACES EQUIPED WITH LOW POWER LEVEL 2 EV CHARGING RECEPTACLES.
EV CAPABLE (EVCS): PARKING SPACES CAPABLE OF SUPPORTING FUTURE LEVEL 2 EVSE.
EV CHARGER: PARKING SPACES EQUIPED WITH LEVEL 2 EVSE. (NOT REQUIRED IN MULTI FAMILY WITH LESS THAN 20 UNITS)
EVSE: ELECTRIC VEHICLE SUPPLY EQUIPMENT
EVCS: ELECTRIC VEHICLE CHARGING STATION
REQUIRED EV: (TOTAL PARKING SPACES: 11)
TOTAL **NON-ADA** PARKING SPACES: 10
TOTAL EV SPACES = 10 x 30% = 3 → 3
EV READY = 10 x 25% = 2.5 → 3
EV CAPABLE = 1
TOTAL **ADA** PARKING SPACES: 1 (Per table 5.106.5.3.3)
TOTAL EV SPACES = 1 x 30% = 0.3 → 1
EV READY = 1 x 25% = 0.25 → 1
EV CAPABLE = 1 VAN ACCESSIBLE (Per Table 11B-228.3.2.1)
PROVIDED EV SPACES:
EV READY = 4 SPACES (9'x18' STALLS)
EV CAPABLE = 1 SPACES (9'x18' STALL W/ 1 STALL HAS 8' WIDE AISLE)

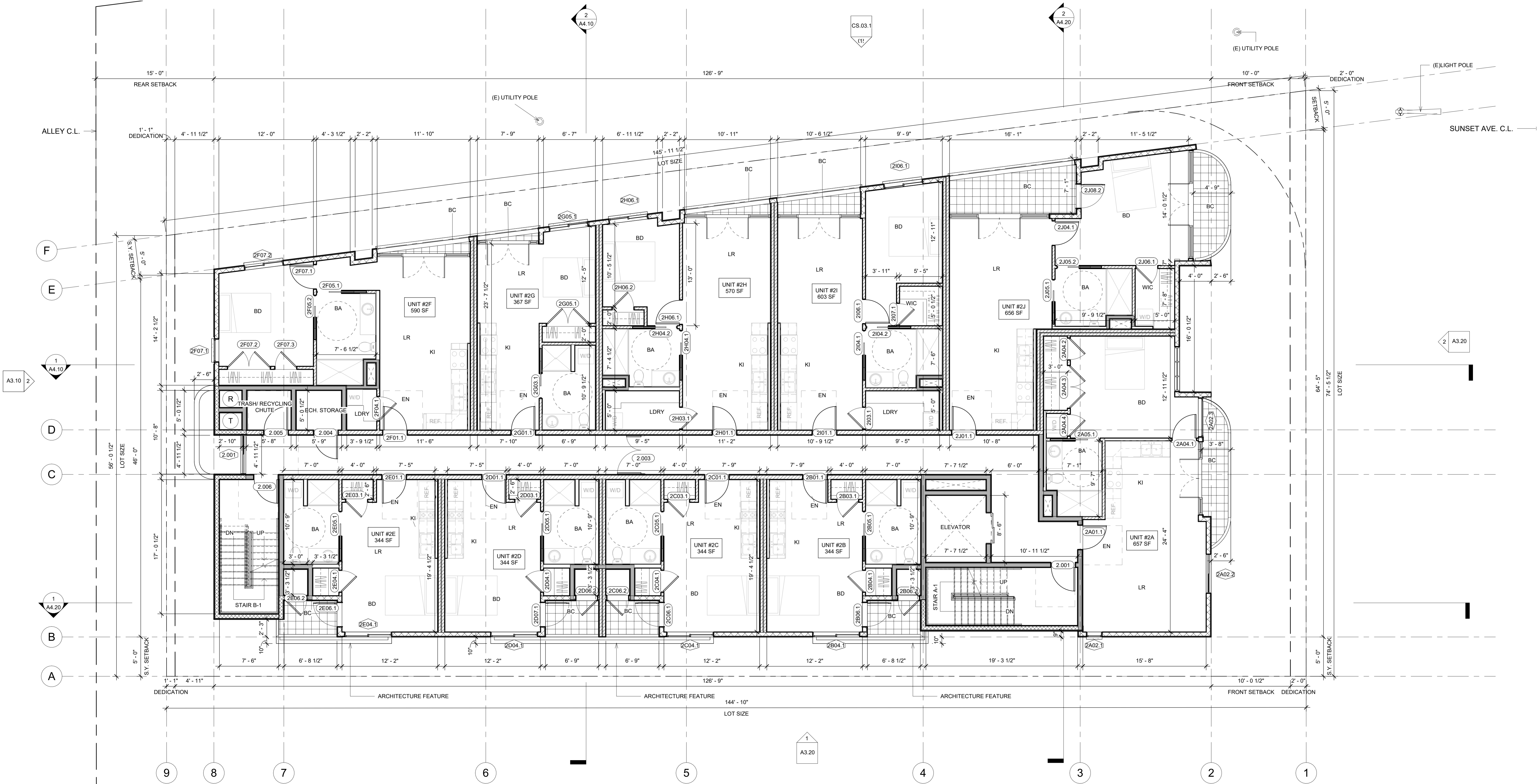
- KEYNOTE LEGEND**
- 1 LONG TERM BICYCLE PARKING *SEE 9 & 8/A0.11 D FOR DETAIL. TOTAL: 21 SPACES
 - 2 SHORT TERM BICYCLE PARKING *SEE 2/A0.11 D FOR DETAIL. TOTAL: 3 RACKS X 2 = 6 SPACES
 - 3 STANDARD PARKING SPACE
 - 4 COMPACT PARKING SPACE
 - 5 ADA PARKING SPACE WITH 9' LOADING
 - 6 EVCS PARKING SPACE WITH 8' LOADING
 - 7 ACCESSIBLE PATH
 - 8 DRIVEWAY
 - 9 FIRST FLOOR ENTRY
 - 10 EGRESS STAIR
 - 11 ELEVATOR
 - 12 ELEVATOR MECH. ROOM
 - 13 MECH. CHASE
 - 14 ELECTRIC METERS
 - 15 GAS METERS
 - 16 UNIT MAIL BOXES
 - 17 TRASH / RECYCLING
 - 18 STAIRWAY IDENTIFICATION SIGN
 - 19 UNAUTHORIZED VEHICLES SIGN ADA VAN PARKING SIGN
 - 20 IRRIGATION CONTROLLER

- ASSEMBLY TYPES**
- | | | | |
|----|--|-----|--|
| A1 | 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10 A) | A9 | 2-HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ STUCCO (9/A0.10 A) |
| A2 | 1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.10 A) | A10 | 2-HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ GFRG PANELS (10/A0.10 A) |
| A3 | 1-HR 2x4 & 2x6 DOUBLE WALL ASSM. (3/A0.10 A) | A11 | 2-HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ 1x4 CEDAR T+G (11/A0.10 A) |
| A4 | 2-HR 2x4 & 2x6 DOUBLE WALL ASSM. (4/A0.10 A) | B1 | CONCRETE WALL (12/A0.10 A) |
| A5 | 2-HR 2x4 & 2x6 INTERIOR WALL ASSM. (5/A0.10 A) | B2 | CONCRETE WALL W/ STUCCO (1/A0.10 B) |
| A6 | 1-HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ STUCCO (6/A0.10 A) | B3 | CONCRETE WALL W/ GFRG PANELS (2/A0.10 B) |
| A7 | 1-HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ GFRG PANELS (7/A0.10A) | B4 | CONCRETE WALL W/ 1x4 CEDAR T+G (3/A0.10 B) |
| A8 | 1-HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ 1x4 CEDAR T+G (8/A0.10A) | C1 | CMU BLOCK WALL (4/A0.10 B) |

- FLOORS**
- | | | | |
|---|---|---|---|
| A | CONC FLOOR PER STRC. W/ WOOD FINISH (1/A0.10 C) | B | WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.10 C) |
| A | CONC FLOOR PER STRC. W/ TILE FINISH (2/A0.10 C) | B | WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.10 C) |
| A | CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (3/A0.10 C) | B | WOOD JOIST W/ CERAMIC TILE DECK PER SPEC. (6/A0.10 C) |

- FLOOR PLAN LEGEND**
- | | | | |
|-----|--|------|---|
| SD | SMOKE DETECTOR | X-X" | ELEVATION MARKER |
| CM | CARBON MONOXIDE | --- | PROPERTY LINE |
| | EXHAUST FAN (50 CFM INTERMITTENT OR 35 CFM CONTINUOUS) | --- | ACCESSIBLE ROUTE |
| S | STANDPIPE | H | HOSE BIB |
| | ILLUMINATED EXIT SIGN | | EXTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS) |
| X | WINDOW TAG (SEE PAGE A0.08 A FOR SCHEDULE) | | EXTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS) |
| XXX | DOOR TAG (SEE PAGE A0.08 A FOR SCHEDULE) | | INTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS) |
| X | WALL TYPE | | INTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS) |
- NOTES:**
1. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5
2. FENCES, PLANTERS, AND RETAINING WALLS SHALL NOT EXCEED A HEIGHT OF 6 FT ABOVE THE NATURAL GROUND LEVEL IN THE REQUIRED SIDE YARD.
3. DOWNSPOUT(S) DISCHARGING INTO BMP'S
4. ALL DOWNSPOUTS TO DRAIN TO PROPOSED BMP

- | | |
|------|-----------------|
| MB | MASTER BEDROOM |
| BD | BEDROOM |
| MBA | MASTER BATHROOM |
| BA | BATHROOM |
| LR | LIVING ROOM |
| KI | KITCHEN |
| DR | DINING ROOM |
| LDRY | LAUNDRY ROOM |
| BC | BALCONY |
| EN | ENTRY |
| PWR | POWDER ROOM |
| CL | CLOSET |
| WIC | WALK IN CLOSET |



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Revision Schedule	
Revision Number	Revision Date

PROPOSED PLANS

DRAWN	JV
CHECKED	BD
DATE	10/2/2024 2:01:26 PM
SCALE	As indicated
JOB #	23 - A023

A2.01










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KEYNOTE LEGEND	
① LONG TERM BICYCLE PARKING *SEE 3 & 8/A0.11 D FOR DETAIL TOTAL: 21 SPACES	⑪ ELEVATOR
② SHORT TERM BICYCLE PARKING *SEE 2/A0.11 D FOR DETAIL TOTAL: 3 RACKS X 2 = 6 SPACES	⑫ ELEVATOR MECH. ROOM
③ STANDARD PARKING SPACE	⑬ MECH. CHASE
④ COMPACT PARKING SPACE	⑭ ELECTRIC METERS
⑤ ADA PARKING SPACE WITH 9' LOADING	⑮ GAS METERS
⑥ EVCS PARKING SPACE WITH 8' LOADING	⑯ UNIT MAIL BOXES
⑦ ACCESSIBLE PATH	⑰ TRASH / RECYCLING
⑧ DRIVEWAY	⑱ STAIRWAY IDENTIFICATION
⑨ FIRST FLOOR ENTRY	⑲ UNAUTHORIZED VEHICLES ADA VAN PARKING SIGN
⑩ EGRESS STAIR	⑳ IRRIGATION CONTROLLER

WALLS			
A1	2x4 & 2x6 INTERIOR WALL ASSM. (1/4Q, 10 A)	A9	2HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ STUCCO (3/4Q, 10 A)
A2	1-1HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/4Q, 10 A)	A10	2-1HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ GFCF PANELS (10A)
A3	1-1HR 2x4 & 2x6 DOUBLE WALL ASSM. (3/4Q, 10 A)	B1	2HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ 1x4 CEDAR T+G (11A)
A4	2-1HR 2x4 & 2x6 DOUBLE WALL ASSM. (4/4Q, 10 A)	B11	CONCRETE WALL (12/4Q, 10 A)
A5	2HR 2x4 & 2x6 INTERIOR WALL ASSM. (5/4Q, 10 A)	B2	CONCRETE WALL W/ STUCCO (1/4Q, 10 B)
A6	1-1HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ STUCCO (6/4Q, 10 A)	B3	CONCRETE WALL W/ GFCF PANELS (2/4Q, 10 B)
A7	1-1HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ GFCF PANELS (3/4Q, 10A)	B4	CONCRETE WALL W/ 1x4 CEDAR T+G (3/4Q, 10 B)
A8	1-1HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ 1x4 CEDAR T+G (8/4Q, 10A)	C1	CMU BLOCK WALL (4/4Q, 10 B)

FLOORS

A-1	CONC FLOOR PER STRC. W/ WOOD FINISH (1/A0.10 C)
A-2	CONC FLOOR PER STRC. W/ TILE FINISH (2/A0.10 C)
A-3	CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (3/A0.10 C)
B-1	WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.10 C)
B-2	WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.10 C)
C-1	WOOD JOIST W/ CERAMIC TILE DECK PER SPEC. (6/A0.10 C)

	FLOOR TYPE
	SMOKE DETECTOR
	CARBON MONOXIDE
	EXHAUST FAN (50 CFM INTERMITTENT OR 35 CFM CONTINUOUS)
	STANDPIPE
	ILLUMINATED EXIT SIGN
	WINDOW TAG (SEE PAGE A0.08 A FOR SCHEDULE)
	DOOR TAG (SEE PAGE A0.06 A FOR SCHEDULE)
	WALL TYPE

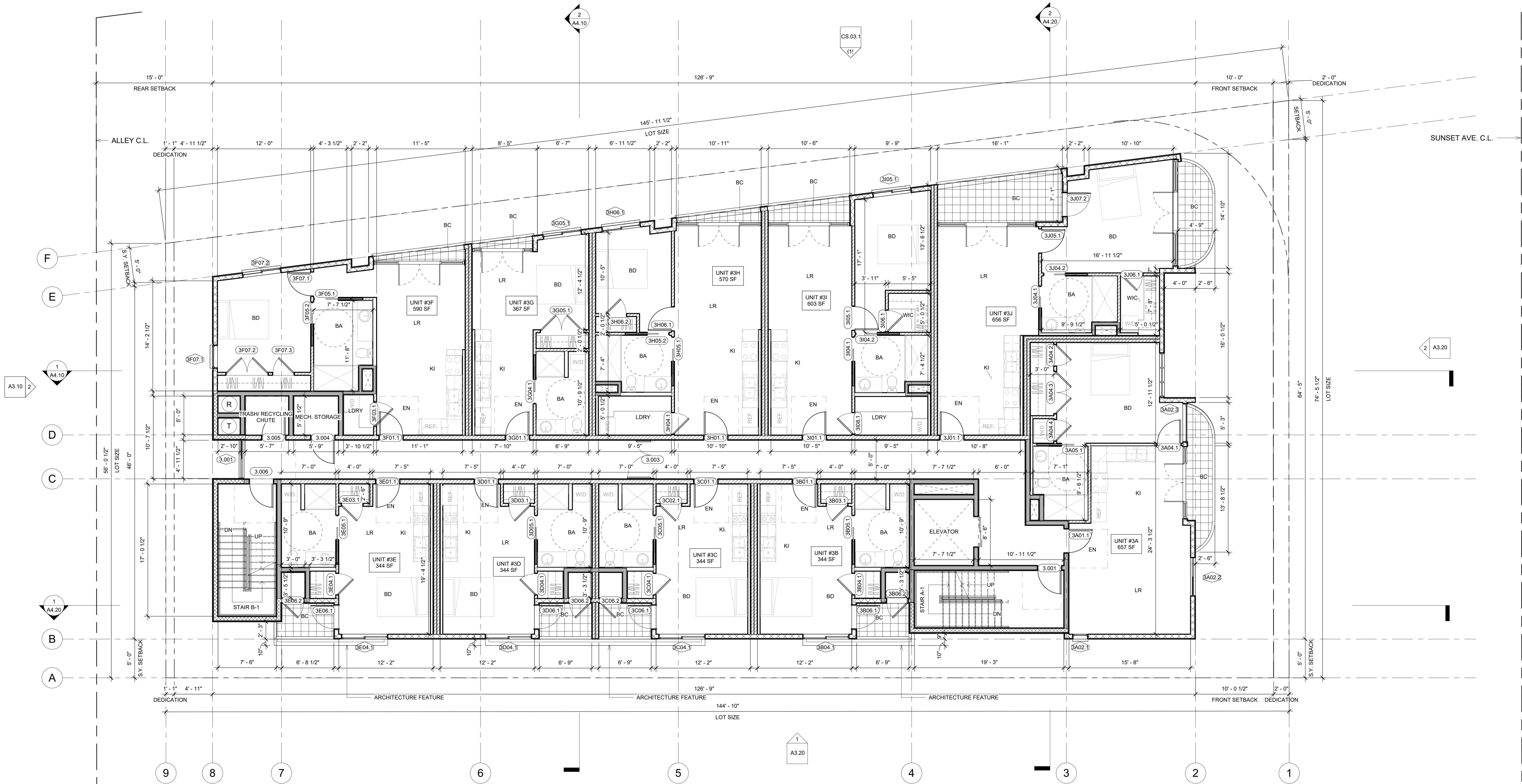
FLOOR PLAN LEGEND

	ELEVATION MARKER
	PROPERTY LINE
	ACCESSIBLE ROUTE
	HOSE BIB
	EXTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
	EXTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
	INTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
	INTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
	6'-0" BLOCK WALL
	3'-6" BLOCK WALL
	BLOCK WALL

MB	MASTER BEDROOM
BD	BEDROOM
MBA	MASTER BATHROOM
BA	BATHROOM
LR	LIVING ROOM
KI	KITCHEN
DR	DINING ROOM
LDRY	LAUNDRY ROOM
BC	BALCONY
EN	ENTRY
PWR	POWDER ROOM
CL	CLOSET
WIC	WALK IN CLOSET

NOTES:

1. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5
2. FENCES, PLANTERS, AND RETAINING WALLS SHALL NOT EXCEED A HEIGHT OF 6 FT ABOVE THE NATURAL GROUND LEVEL IN THE REQUIRED SIDE YARD.
3. DOWNSPOUT(S) DISCHARGING INTO BMP'S
4. ALL DOWNSPOUTS TO DRAIN TO PROPOSED BMP

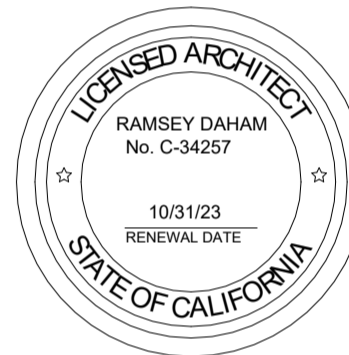


THIRD FLOOR
3/16" = 1'-0"

1

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[illegible]

PROPOSED PLANS

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DATE 10/2/2024 2:01:29 PM _____

SCALE _____ As indicated _____

JOB # 23 - A023 _____

A2.02

EV PARKING: MORE THAN 20 DWELLING UNITS
(Per Green Code 4.106.4.2.1)

DEFINITIONS:

EV READY: PARKING SPACES EQUIPPED WITH LOW POWER LEVEL 2 EV CHARGING RECEPTACLES.

EV CAPABLE (EVCS): PARKING SPACES CAPABLE OF SUPPORTING FUTURE LEVEL 2 EVSE.

EV CHARGER: PARKING SPACES EQUIPPED WITH LEVEL 2 EVSE. (NOT REQUIRED IN MULTI FAMILY WITH LESS THAN 20 UNITS)

EVSE: ELECTRIC VEHICLE SUPPLY EQUIPMENT

EVCS: ELECTRIC VEHICLE CHARGING STATION

REQUIRED EV: (TOTAL PARKING SPACES: 11)

TOTAL **NON-ADA** PARKING SPACES: 10

TOTAL EV SPACES = $10 \times 30\% = 3 \rightarrow 3$

EV READY = $10 \times 25\% = 2.5 \rightarrow 3$

EV CAPABLE = 1

TOTAL **ADA** PARKING SPACES: 1 (Per Table 5.106.5.3.3)

TOTAL EV SPACES = $1 \times 30\% + 0.3 \rightarrow 1$

EV READY = $1 \times 25\% = 0.25 \rightarrow 1$

EV CAPABLE = 1 VAN ACCESSIBLE (Per Table 11B-228.3.2.1)

PROVIDED EV SPACES:










EV READY = 4 SPACES (9'x18' STALLS)












EV CAPABLE = 1 SPACES (9'x18' STALL W/ 1 STALL HAS 8' WIDE AISLE

- ### **KEYNOTE LEGEND**
- | | | | |
|----|--|----|--|
| 1 | LONG TERM BICYCLE PARKING
SEE 3 & 8/40/11 FOR DETAIL
TOTAL: 21 SPACES | 11 | ELEVATOR |
| 2 | SHORT TERM BICYCLE PARKING
SEE 2/40/11 FOR DETAIL
TOTAL 3 RACKS X 2 = 6 SPACES | 12 | ELEVATOR MECH. ROOM |
| 3 | STANDARD PARKING SPACE | 14 | ELECTRIC METERS |
| 4 | COMPACT PARKING SPACE | 15 | GAS METERS |
| 5 | ADA PARKING SPACE WITH 8' LOADING | 16 | UNIT MAIL BOXES |
| 6 | EVCS PARKING SPACE WITH 8' LOADING | 17 | TRASH / RECYCLING |
| 7 | ACCESSIBLE PATH | 18 | STAIRWAY IDENTIFICATION SIGN |
| 8 | DRIVEWAY | 19 | UNAUTHORIZED VEHICLES SIGN
ADA VAN PARKING SIGN |
| 9 | FIRST FLOOR ENTRY | 20 | IRRIGATION CONTROLLER |
| 10 | EGRESS STAIR | | |

- | ASSEMBLY TYPES | | | |
|----------------|---|-----|--|
| WALLS | | | |
| A1 | 2x4 & 2x6 INTERIOR WALL
ASSM. (1/40.10 A) | A9 | 2x4 & 2x6 EXTERIOR WALL
ASSM. W/ STUCCO (9/40.10 A) |
| A2 | 1HR 2x4 & 2x6 INTERIOR
WALL ASSM. (2/40.10 A) | A10 | 2HR 2x4 & 2x6 EXTERIOR
WALL W/ GFCR PANELS (10/40.10 A) |
| A3 | 1HR 2x4 & 2x6 DOUBLE
WALL ASSM. (3/40.10 A) | A11 | 2HR 2x4 & 2x6 EXTERIOR WALL
ASSM. W/ 1x4 CEDAR T+G (11/40.10 A) |
| A4 | 2HR 2x4 & 2x6 DOUBLE
WALL ASSM. (4/40.10 A) | B1 | CONCRETE WALL (12/40.10 A) |
| A5 | 2HR 2x4 & 2x6 INTERIOR
WALL ASSM. (5/40.10 A) | B2 | CONCRETE WALL W/ STUCCO
(11/40.10 B) |
| A6 | 1HR 2x4 & 2x6 EXTERIOR WALL
ASSM. W/ STUCCO (6/40.10 A) | B3 | CONCRETE WALL W/ GFCR
PANELS (2/40.10 B) |
| A7 | 1HR 2x4 & 2x6 EXTERIOR WALL
ASSM. W/ GFCR PANELS (7/40.10 A) | B4 | CONCRETE WALL W/ 1x4 CEDAR
T+G (3/40.10 B) |
| A8 | 1HR 2x4 & 2x6 EXTERIOR WALL
ASSM. W/ 1x4 CEDAR T+G (8/40.10 A) | C1 | CMU BLOCK WALL (4/40.10 B) |

- ## FLOORS
- | | |
|-----|--|
| A-1 | CONC FLOOR PER STRC. W/ WOOD FINISH (1/A/0.10 C) |
| A-2 | CONC FLOOR PER STRC. W/ TILE FINISH (2/A/0.10 C) |
| A-3 | CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (3/A/0.10 C) |
| B-1 | WOOD JOIST PER STRC. W/ WOOD FINISH (4/A/0.10 C) |
| B-2 | WOOD JOIST PER STRC. W/ TILE FINISH (5/A/0.10 C) |
| B-3 | WOOD JOIST W/ CERAMIC TILE DECK PER SPEC. (6/A/0.10 C) |

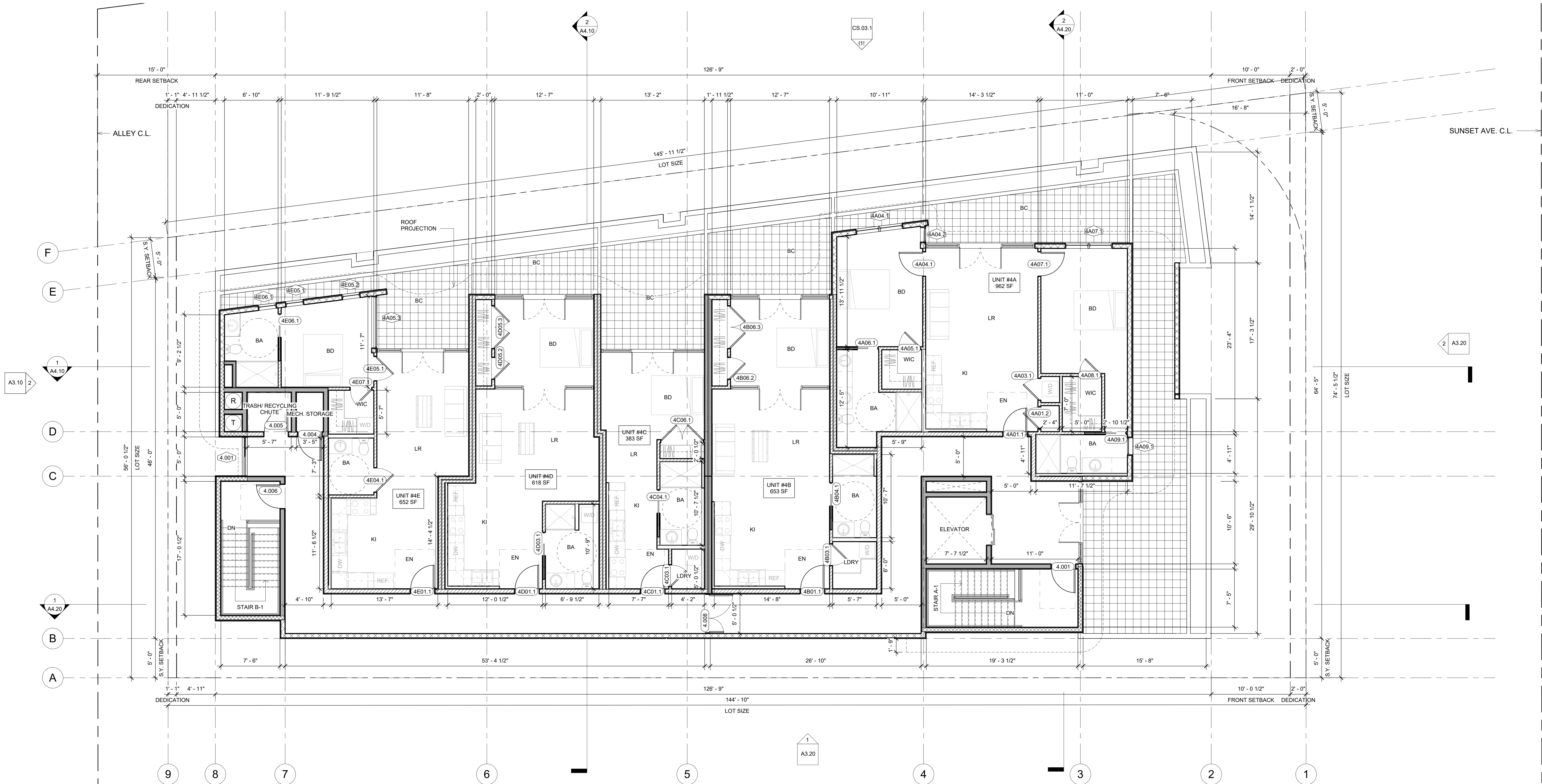
- | | |
|---|---|
|  | FLOOR TYPE |
|  | SMOKE DETECTOR |
|  | CARBON MONOXIDE |
|  | EXHAUST FAN
(OR 35 CFM INTERMITTENT
OR 35 CFM CONTINUOUS) |
|  | STANDPIPE |
|  | ILLUMINATED EXIT SIGN |
|  | WINDOW TAG
(SEE PAGE A0.08 A FOR SCHEDULE) |
|  | DOOR TAG
(SEE PAGE A0.06 A FOR SCHEDULE) |
|  | WALL TYPE |

- ### FLOOR PLAN LEGEND
- | | |
|---|--|
|  | ELEVATION MARKER |
|  | PROPERTY LINE |
|  | ACCESSIBLE ROUTE |
|  | HOSE BIB |
|  | EXTERIOR WALL - 1HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS) |
|  | INTERIOR WALL - 2HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS) |
|  | EXTERIOR WALL - 1HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS) |
|  | INTERIOR WALL - 2HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS) |
|  | 6" - 0" BLOCK WALL |
|  | 3" - 6" BLOCK WALL |
|  | BLOCK WALL |

- | | |
|-------------|-----------------|
| MB | MASTER BEDROOM |
| BD | BEDROOM |
| MBA | MASTER BATHROOM |
| BA | BATHROOM |
| LR | LIVING ROOM |
| KI | KITCHEN |
| DR | DINING ROOM |
| LDRY | LAUNDRY ROOM |
| BC | BALCONY |
| EN | ENTRY |
| PWR | POWDER ROOM |
| CL | CLOSET |
| WIC | WALK IN CLOSET |

NOTES:

1. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5
2. FENCES, PLANTERS, AND RETAINING WALLS SHALL NOT EXCEED A HEIGHT OF 6 FT ABOVE THE NATURAL GROUND LEVEL IN THE REQUIRED SIDE YARD.
3. DOWNSPOUT(S) DISCHARGING INTO BMP'S
4. ALL DOWNSPOUTS TO DRAIN TO PROPOSED BMP

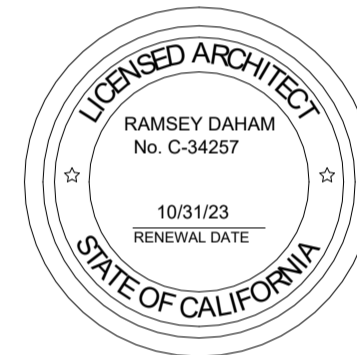


FOURTH FLOOR
3/16" = 1'-0"

1

brea

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PROPOSED PLANS

DRAWN	JV
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SCALE	As indicated
JOB #	23 - A023

A2.03

EV PARKING: MORE THAN 20 DWELLING UNITS
(Per Green Code 4.106.4.2.1)

DEFINITIONS:

EV READY: PARKING SPACES EQUIPED WITH LOW POWER LEVEL 2 EV CHARGING RECEPTACLES.

EV CAPABLE (EVCS): PARKING SPACES CAPABLE OF SUPPORTING FUTURE LEVEL 2 EVSE.

EV CHARGER: PARKING SPACES EQUIPED WITH LEVEL 2 EVSE. (NOT REQUIRED IN MULTI FAMILY WITH LESS THAN 20 UNITS)

EVSE: ELECTRIC VEHICLE SUPPLY EQUIPMENT

EVCS: ELECTRIC VEHICLE CHARGING STATION

REQUIRED EV: (TOTAL PARKING SPACES: 11)

TOTAL **NON-ADA** PARKING SPACES: 10

TOTAL EV SPACES = 10 x 30% = 3 → 3

EV READY = 10 x 25% = 2.5 → 3

EV CAPABLE = 1

TOTAL **ADA** PARKING SPACES: 1 (Per table 5.106.5.3.3)

TOTAL EV SPACES = 1 x 30% = 0.3 → 1

EV READY = 1 x 25% = 0.25 → 1

EV CAPABLE = 1 VAN ACCESSIBLE (Per Table 11B-228.3.2.1)

PROVIDED EV SPACES:

EV READY = 4 SPACES (9'x18' STALLS)

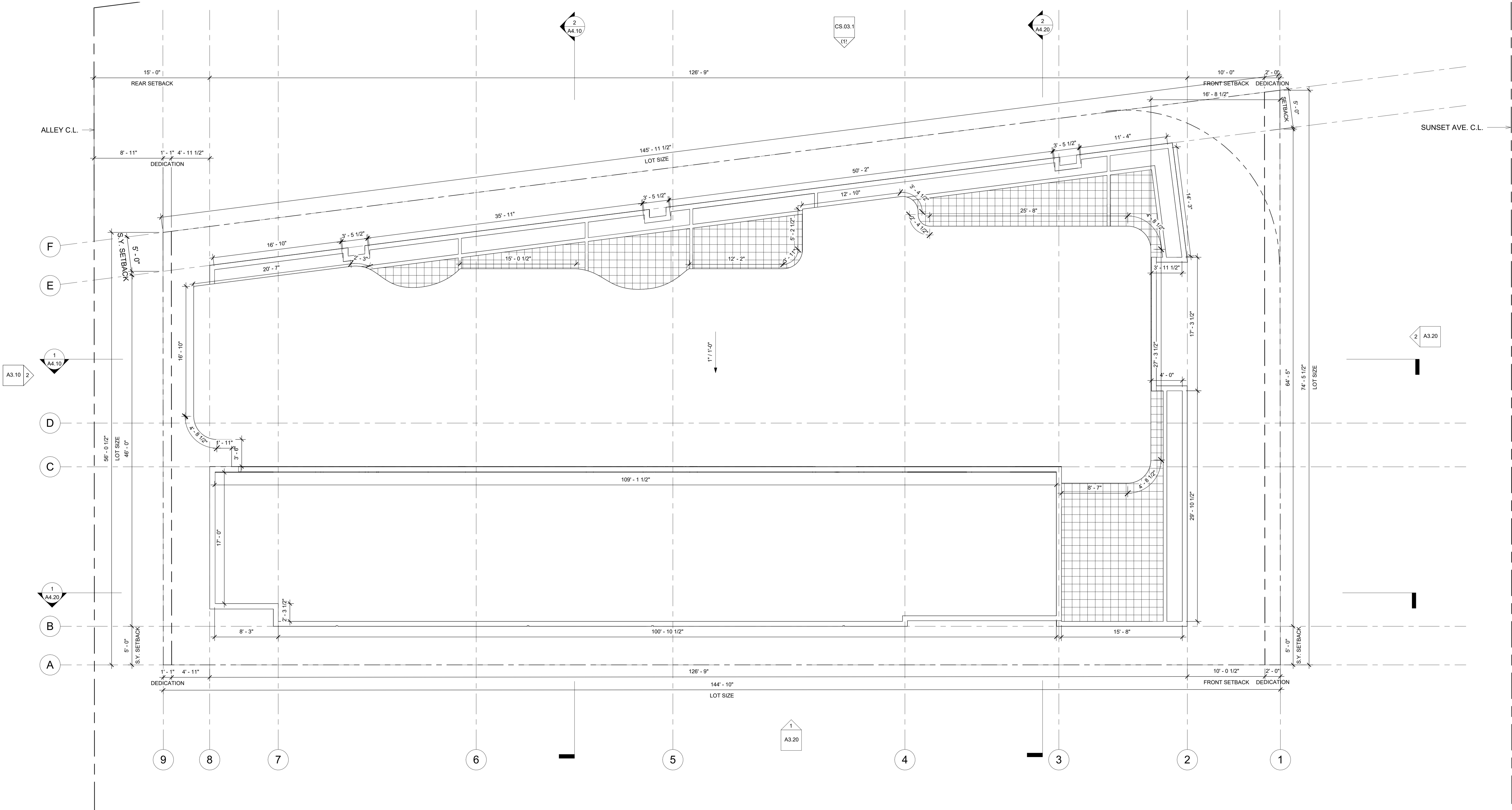
EV CAPABLE = 1 SPACES (9'x18' STALL W/ 1 STALL HAS 8' WIDE AISLE)

- KEYNOTE LEGEND**
- 1 LONG TERM BICYCLE PARKING *SEE 9 & 8/A0.11 D FOR DETAIL TOTAL: 21 SPACES
 - 2 SHORT TERM BICYCLE PARKING *SEE 2/A0.11 D FOR DETAIL TOTAL: 3 RACKS X 2 = 6 SPACES
 - 3 STANDARD PARKING SPACE
 - 4 COMPACT PARKING SPACE
 - 5 ADA PARKING SPACE WITH 9' LOADING
 - 6 EVCS PARKING SPACE WITH 8' LOADING
 - 7 ACCESSIBLE PATH
 - 8 DRIVEWAY
 - 9 FIRST FLOOR ENTRY
 - 10 EGRESS STAIR
 - 11 ELEVATOR
 - 12 ELEVATOR MECH. ROOM
 - 13 MECH. CHASE
 - 14 ELECTRIC METERS
 - 15 GAS METERS
 - 16 UNIT MAIL BOXES
 - 17 TRASH / RECYCLING
 - 18 STAIRWAY IDENTIFICATION SIGN
 - 19 UNAUTHORIZED VEHICLES SIGN ADA VAN PARKING SIGN
 - 20 IRRIGATION CONTROLLER

- ASSEMBLY TYPES**
- | WALLS | FLOORS |
|---|---|
| A1 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10 A) | A9 2-HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ STUCCO (9/A0.10 A) |
| A2 1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.10 A) | A10 CONC FLOOR PER STRC. W/ TILE FINISH (2/A0.10 C) |
| A3 1-HR 2x4 & 2x6 DOUBLE WALL ASSM. (3/A0.10 A) | A11 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (3/A0.10 C) |
| A4 2-HR 2x4 & 2x6 DOUBLE WALL ASSM. (4/A0.10 A) | B1 WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.10 C) |
| A5 2-HR 2x4 & 2x6 INTERIOR WALL ASSM. (5/A0.10 A) | B2 WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.10 C) |
| A6 1-HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ STUCCO (6/A0.10 A) | B3 WOOD JOIST W/ CERAMIC TILE DECK PER SPEC. (6/A0.10 C) |
| A7 1-HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ GFRG PANELS (7/A0.10A) | B4 CONC FLOOR PER STRC. W/ 1x4 CEDAR T+G (3/A0.10 B) |
| A8 1-HR 2x4 & 2x6 EXTERIOR WALL ASSM. W/ 1x4 CEDAR T+G (8/A0.10A) | C1 CMU BLOCK WALL (4/A0.10 B) |

- FLOOR PLAN LEGEND**
- | FLOOR TYPE | PROPERTY LINE |
|--|---|
| SD SMOKE DETECTOR | ACCESSIBLE ROUTE |
| CM CARBON MONOXIDE | HOSE BIB |
| EXHAUST FAN (50 CFM INTERMITTENT OR 35 CFM CONTINUOUS) | EXTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS) |
| STANDPIPE | EXTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS) |
| ILLUMINATED EXIT SIGN | INTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS) |
| WINDOW TAG (SEE PAGE A0.08 A FOR SCHEDULE) | INTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS) |
| DOOR TAG (SEE PAGE A0.08 A FOR SCHEDULE) | 6' - 0" BLOCK WALL |
| WALL TYPE | 3' - 6" BLOCK WALL |
- NOTES:**
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5
 - FENCES, PLANTERS, AND RETAINING WALLS SHALL NOT EXCEED A HEIGHT OF 6 FT ABOVE THE NATURAL GROUND LEVEL IN THE REQUIRED SIDE YARD
 - DOWNSPOUT(S) DISCHARGING INTO BMP'S
 - ALL DOWNSPOUTS TO DRAIN TO PROPOSED BMP

- | | |
|------|-----------------|
| MB | MASTER BEDROOM |
| BD | BEDROOM |
| MBA | MASTER BATHROOM |
| BA | BATHROOM |
| LR | LIVING ROOM |
| KI | KITCHEN |
| DR | DINING ROOM |
| LDRY | LAUNDRY ROOM |
| BC | BALCONY |
| EN | ENTRY |
| PWR | POWDER ROOM |
| CL | CLOSET |
| WIC | WALK IN CLOSET |



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Revision Schedule

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PROPOSED PLANS

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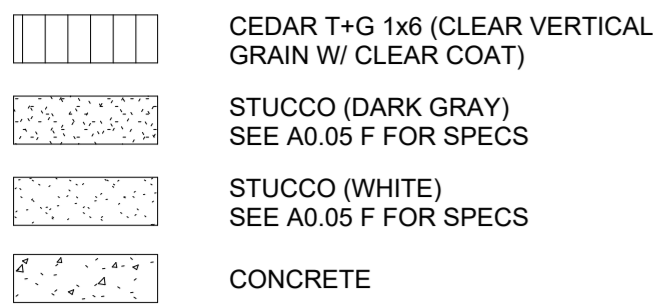
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SCALE As indicated

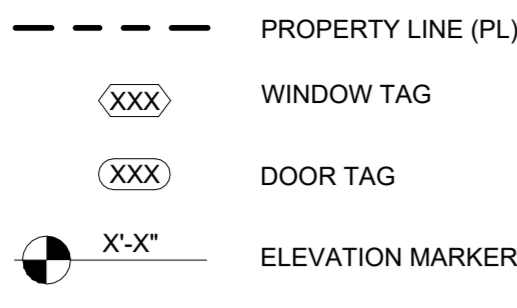
JOB # 23 - A023

A2.04

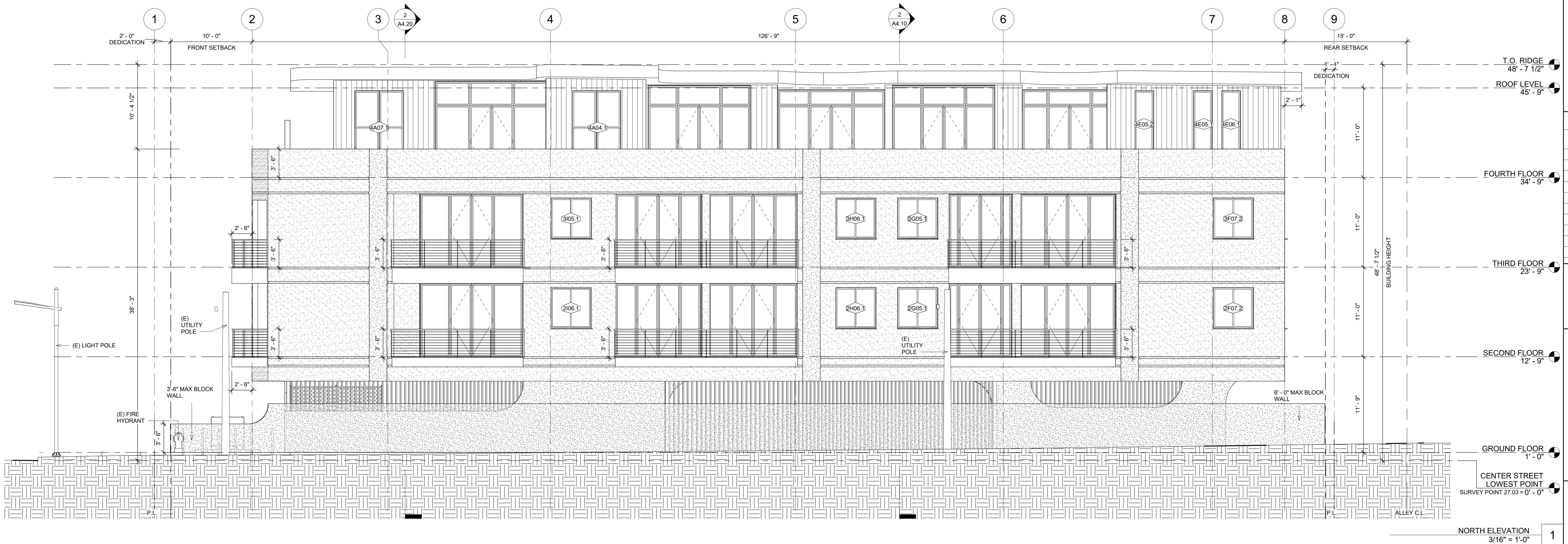
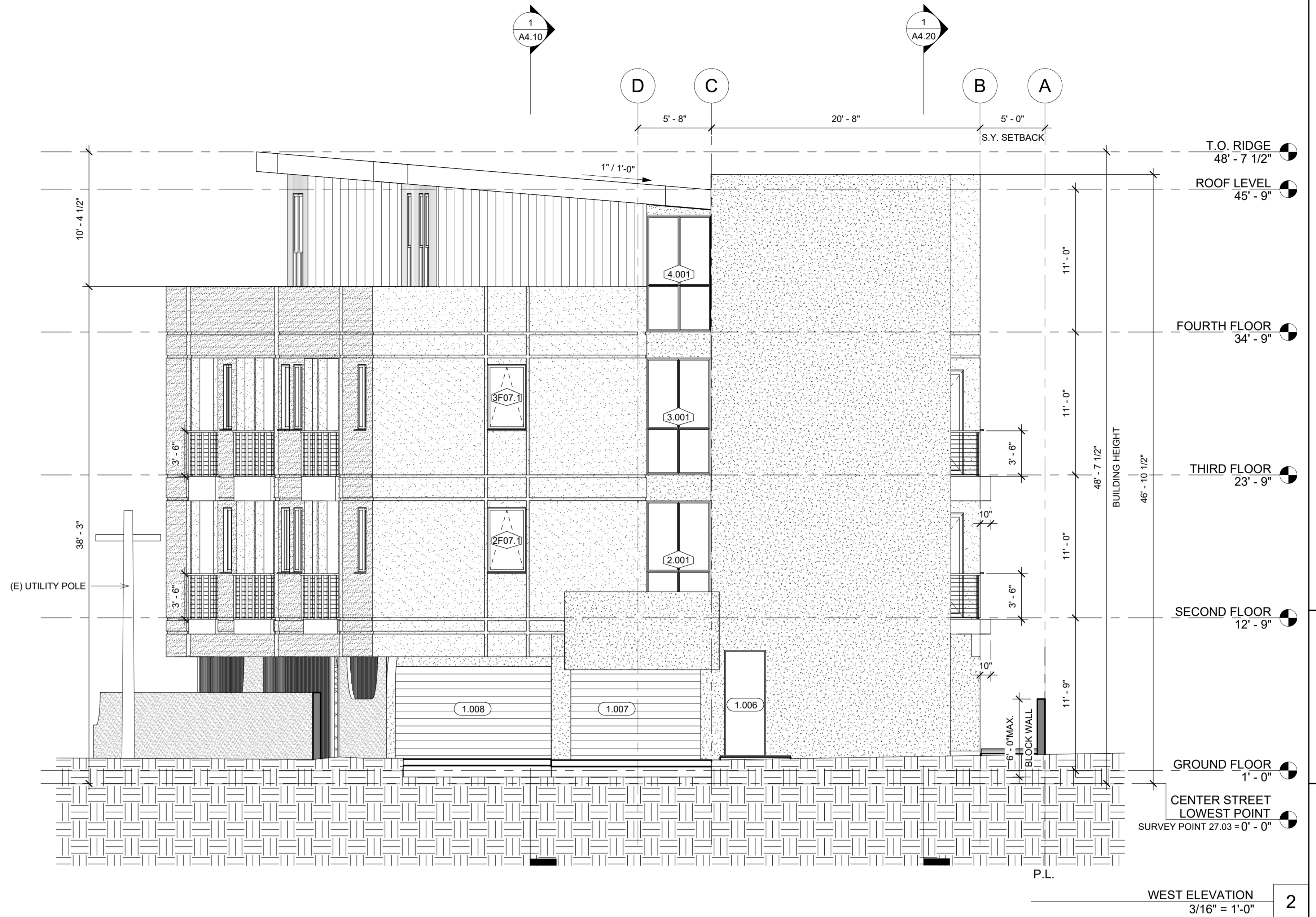
MATERIAL



ELEVATION LEGEND

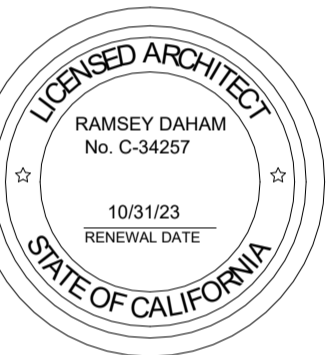


NOTE:
1. PROVIDE ANTI-GRAFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. 6306



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ELEVATIONS

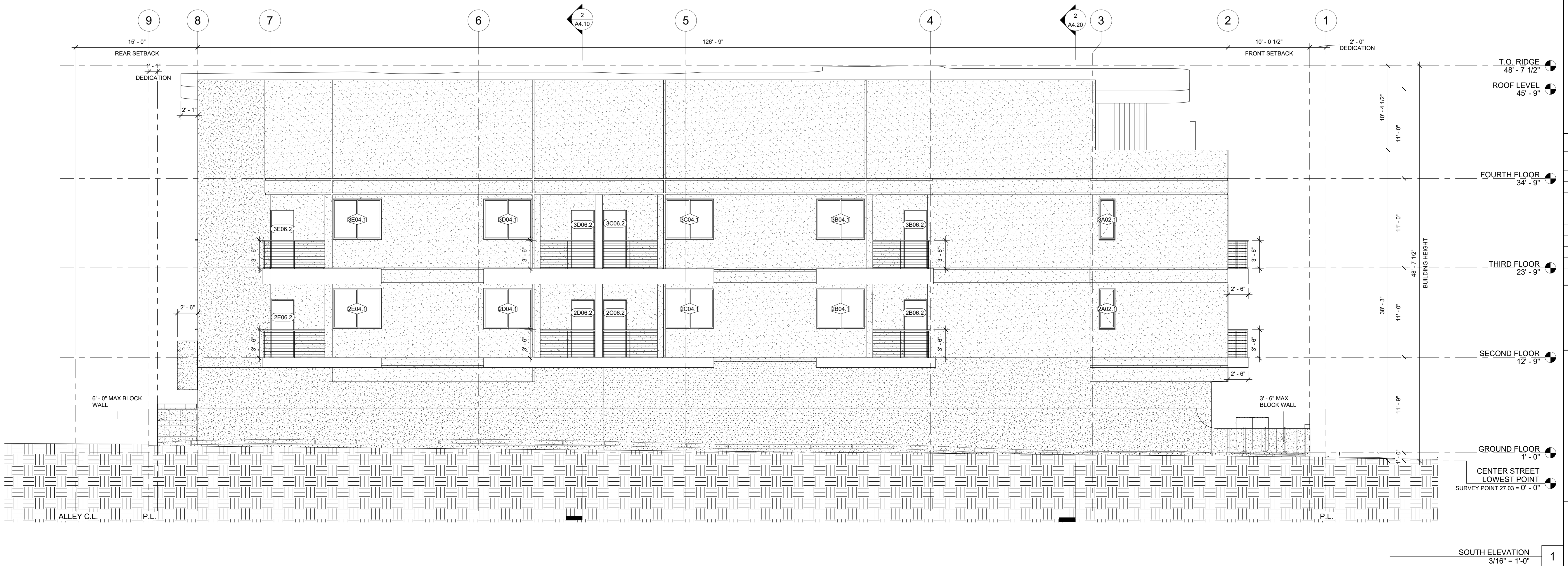
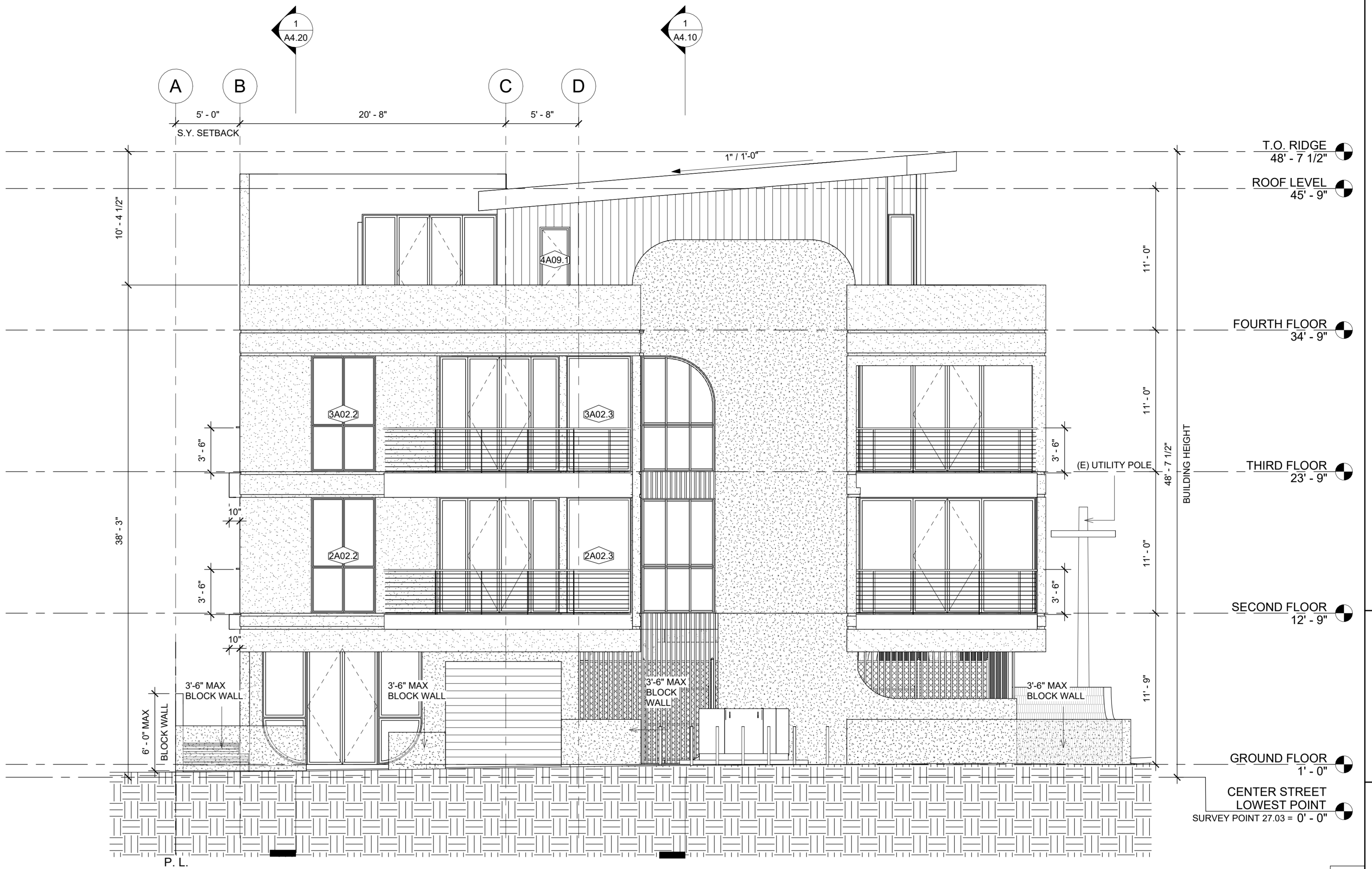
DRAWN	JV
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A3.10

	CEDAR T+G 1x6 (CLEAR VERTICAL GRAIN W/ CLEAR COAT)
	STUCCO (DARK GRAY) SEE A0.05 F FOR SPECS
	STUCCO (WHITE) SEE A0.05 F FOR SPECS
	CONCRETE

	PROPERTY LINE (PL)
	WINDOW TAG
	DOOR TAG
	ELEVATION MARKER

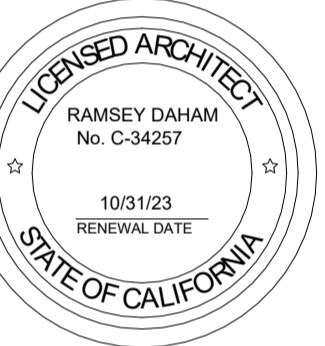
1. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. 6306



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ELEVATIONS

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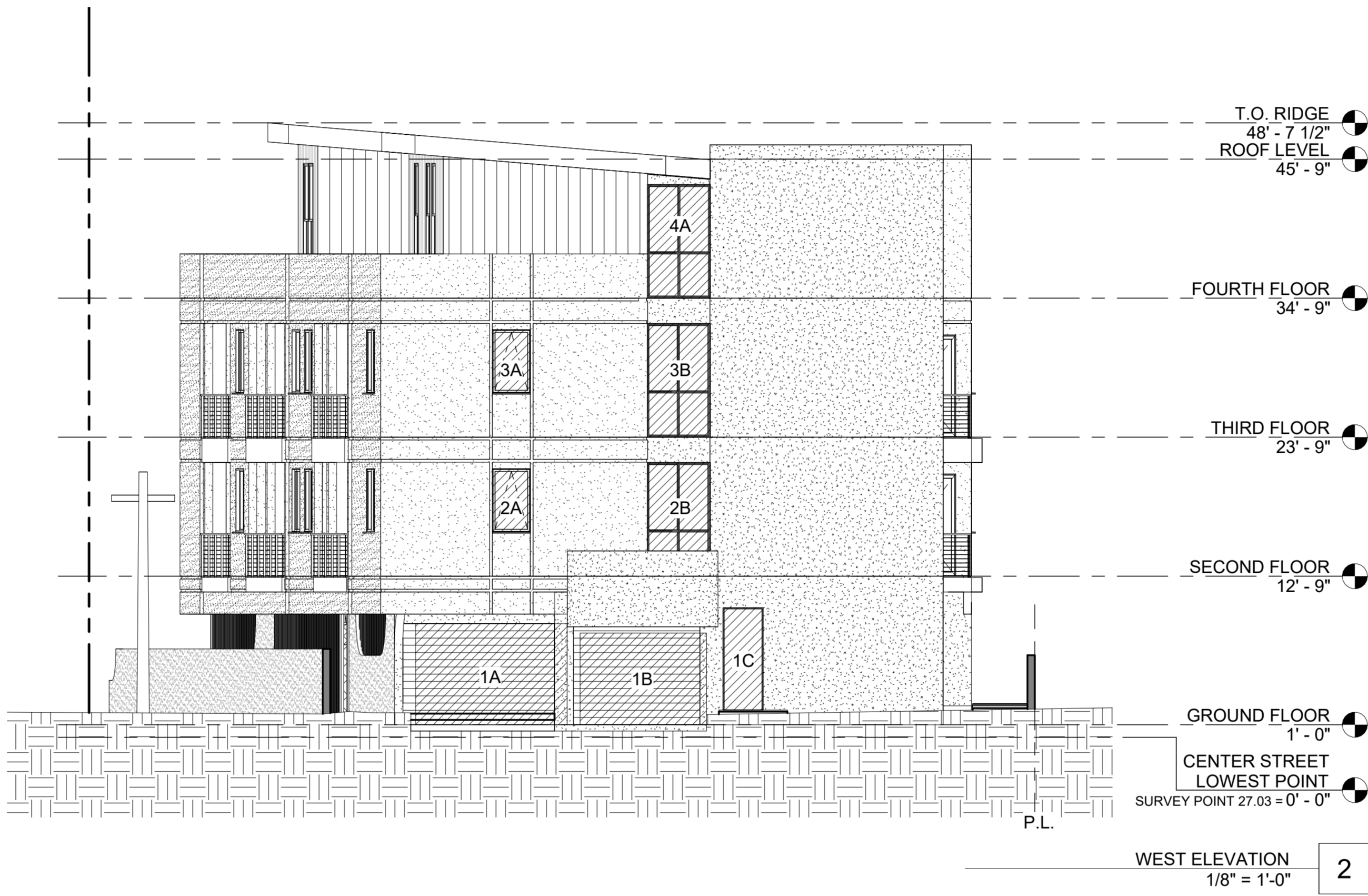
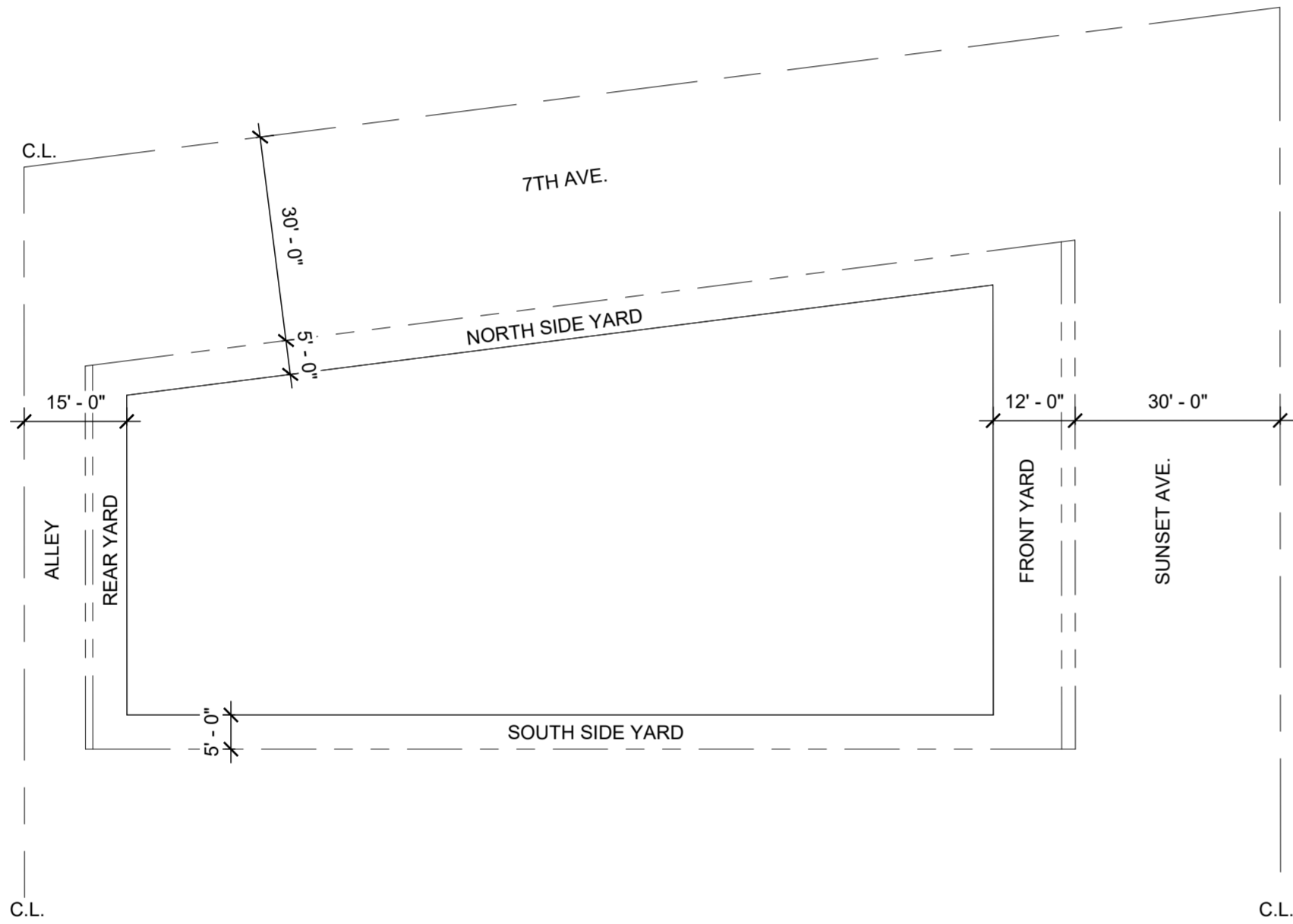
SCALE _____ As indicated

JOB # 23 - A023

A3.20

1

FIRE SEPARATION DISTANCE DIAGRAM



MAXIMUM UNPROTECTED / PROTECTED OPENINGS ALLOWED = 75% OPEN

4TH FLOOR OPENING AREA = 45 SF / WALL AREA = 438 SF = 10.27% OPEN

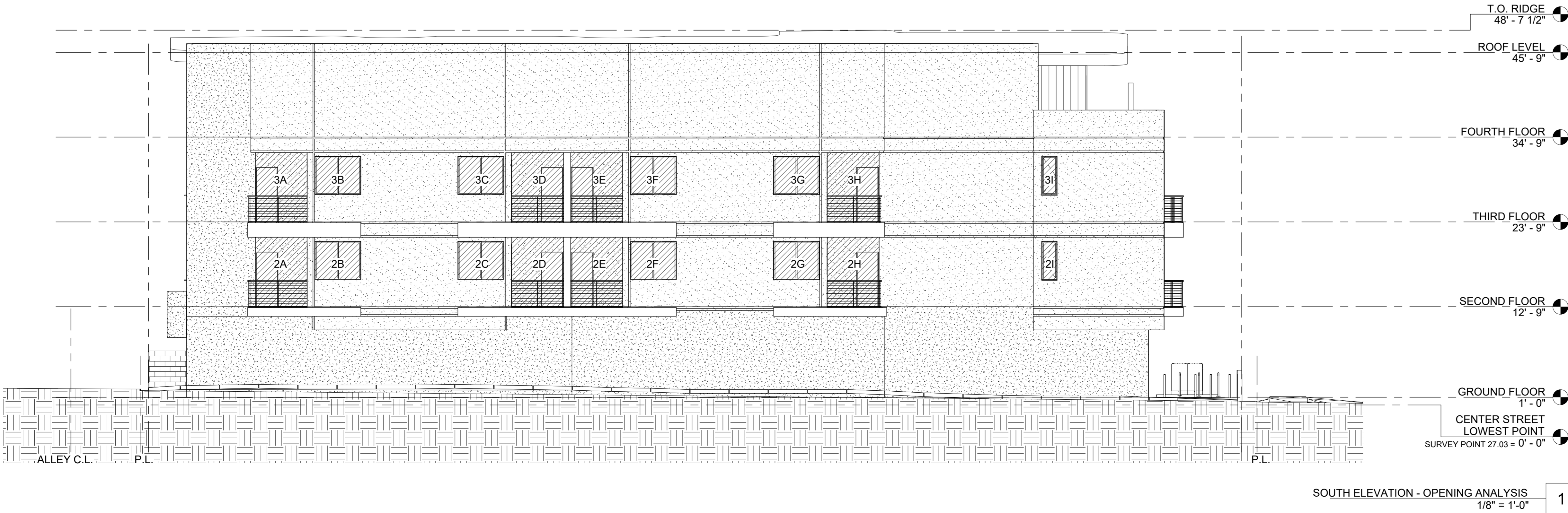
3RD FLOOR OPENING AREA = 60 SF / WALL AREA = 489.63 SF = 12.25% OPEN

2ND FLOOR OPENING AREA = 50 SF / WALL AREA = 489.63 SF = 10.21% OPEN

1ST FLOOR OPENING AREA = 194.1 SF / WALL AREA = 492 SF = 39.45% OPEN

OPENINGS:

4A:	45 SF
3A:	15 SF
3B:	45 SF
2A:	15 SF
2B:	35 SF
1A:	96 SF
1B:	72.50 SF
1C:	25.60 SF



MAXIMUM UNPROTECTED / PROTECTED OPENINGS ALLOWED = 25% OPEN

4TH FLOOR OPENING AREA = 0 SF / WALL AREA = 1,308 SF = 0% OPEN

3RD FLOOR OPENING AREA = 374.14 SF / WALL AREA = 1,395 SF = 26.82% OPEN

2ND FLOOR OPENING AREA = 374.14 SF / WALL AREA = 1,395 SF = 26.82% OPEN

1ST FLOOR OPENING AREA = 0 SF / WALL AREA = 1,409 SF = 0% OPEN

(BALCONIES OPENING PROTECTED BY WATER CURTAIN PER MODIFICATION REQUEST)
WCP: WATER CURTAIN PROTECTED

OPENINGS:

3A:	61.21 SF	2A:	61.21 SF
3B:	30 SF	2B:	30 SF
3C:	30 SF	2C:	30 SF
3D:	61.21 SF	2D:	61.21 SF
3E:	61.13 SF	2E:	61.13 SF
3F:	30 SF	2F:	30 SF
3G:	30 SF	2G:	30 SF
3H:	60.59 SF	2H:	60.59 SF
3I:	10 SF	2I:	10 SF

Revision Schedule

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OPENING ANALYSIS

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ELEVATION LEGEND

CEDAR T+G 1x6 (CLEAR VERTICAL GRAIN W/ CLEAR COAT)
STUCCO (DARK GRAY)
SEE A0.05 F FOR SPECS
STUCCO (WHITE)
SEE A0.05 F FOR SPECS
CONCRETE

PROPERTY LINE (PL)

1 HR

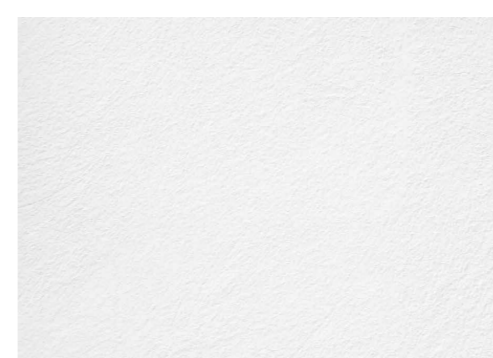
2 HR

WINDOW TAG

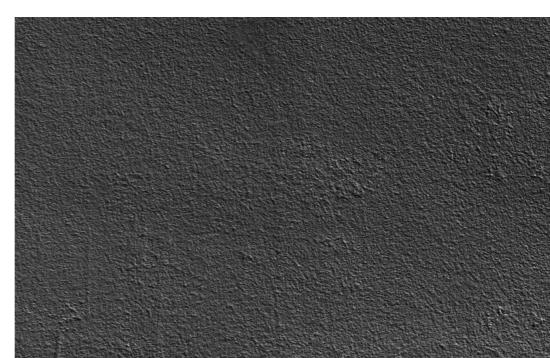
DOOR TAG

ELEVATION MARKER

MATERIAL LEGEND



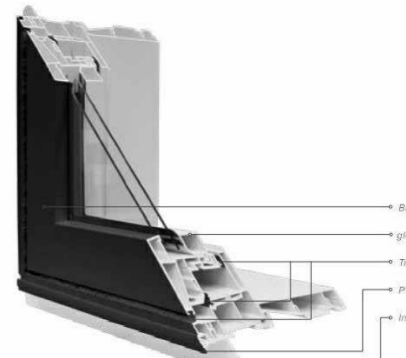
- MANUFACTURER: OMEGA OR SIMILAR
- COLOR: WHITE
- TEXTURE: SMOOTH



- MANUFACTURER: OMEGA OR SIMILAR
- COLOR: 240 JET GREY
- TEXTURE: ROUGH



- COLOR: CLEAR COAT
- ORIENTATION: VERTICAL

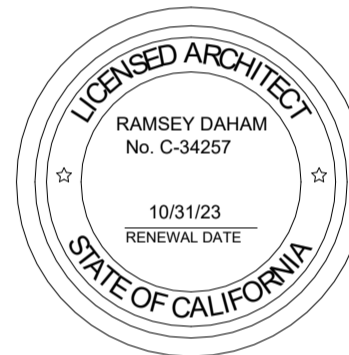


- MANUFACTURER: ALL WEATHER WINDOWS & DOORS
- COLOR: BLACK
- TYPE: ARCHITECTURAL ALUMINUM (SERIES 6000)



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ELEVATIONS
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A3.50

ELEVATION LEGEND

CEDAR T+G 1x6 (CLEAR VERTICAL GRAIN W/ CLEAR COAT)

STUCCO (DARK GRAY)
SEE A0.05 F FOR SPECS

STUCCO (WHITE)
SEE A0.05 F FOR SPECS

CONCRETE

PROPERTY LINE (PL)

1 HR

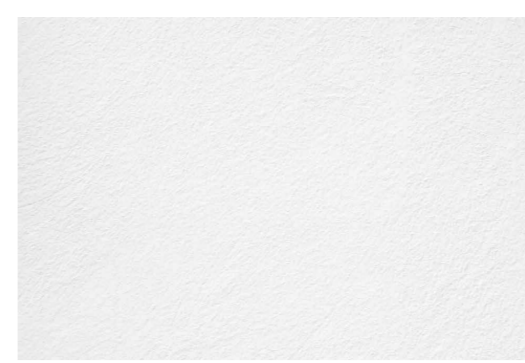
2 HR

WINDOW TAG

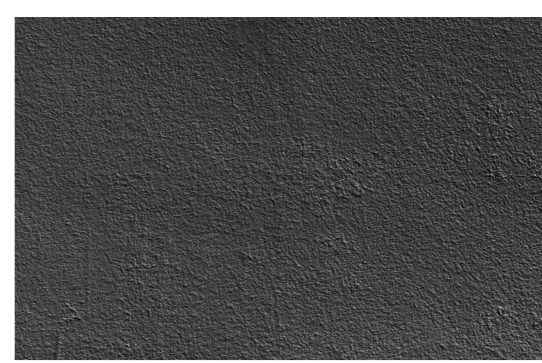
DOOR TAG

ELEVATION MARKER

MATERIAL LEGEND



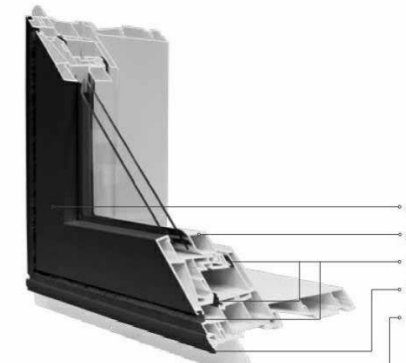
- MANUFACTURER: OMEGA OR SIMILAR
- COLOR: WHITE
- TEXTURE: SMOOTH



- MANUFACTURER: OMEGA OR SIMILAR
- COLOR: 240 JET GREY
- TEXTURE: ROUGH



- COLOR: CLEAR COAT
- ORIENTATION: VERTICAL

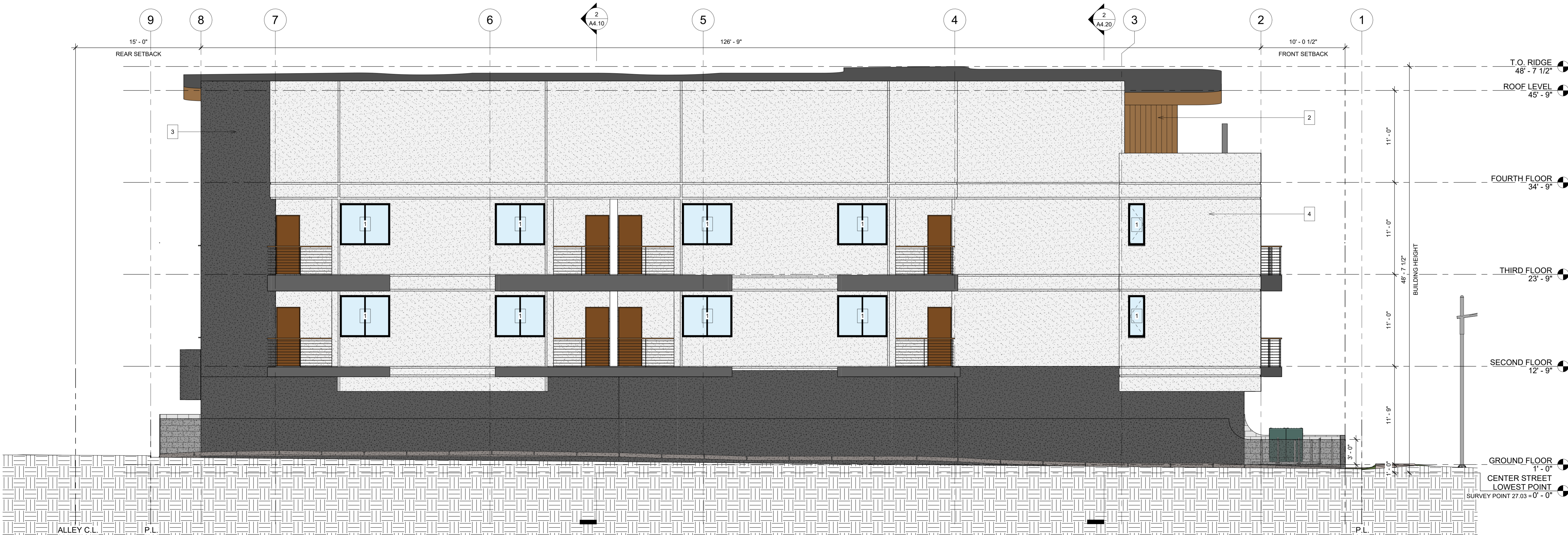


- MANUFACTURER: ALL WEATHER WINDOWS & DOORS
- COLOR: BLACK
- TYPE: ARCHITECTURAL ALUMINUM (SERIES 6000)



EAST ELEVATION
3/16" = 1'-0"

2

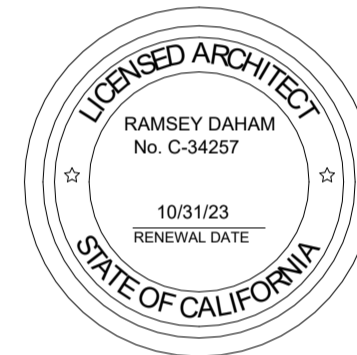


SOUTH ELEVATION
3/16" = 1'-0"

1

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Revision Schedule

Revision Number	Revision Date

ELEVATIONS
COLOR

DRAWN JV

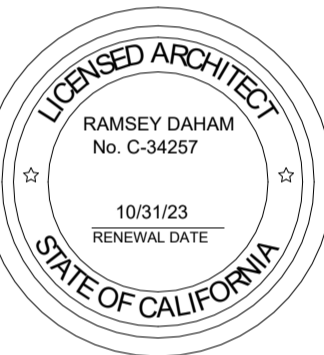
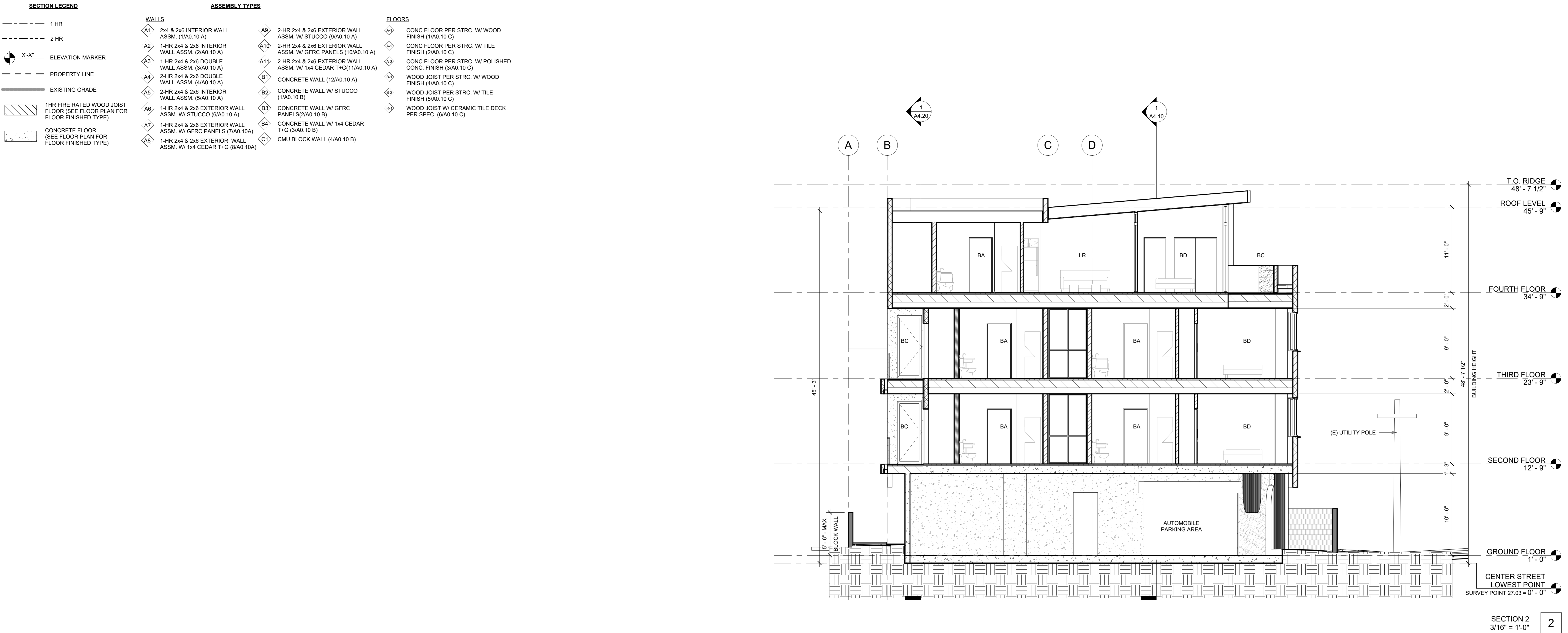
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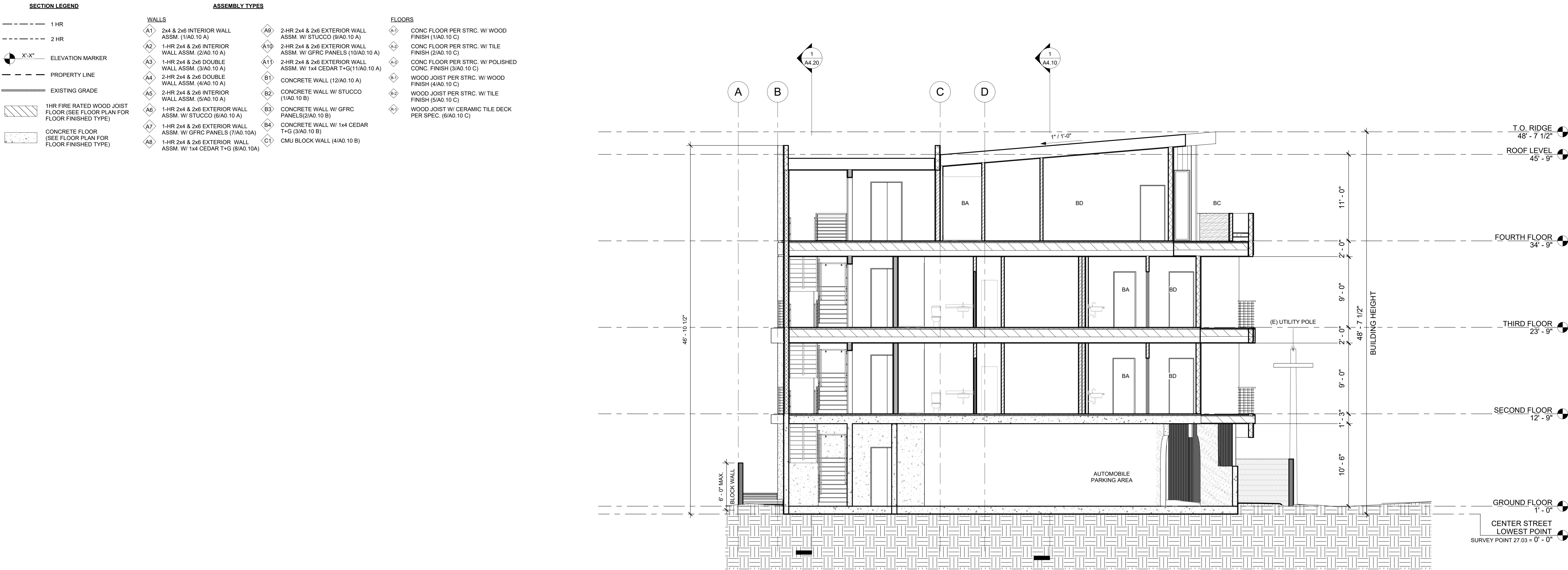
A3.60



Revision Schedule	
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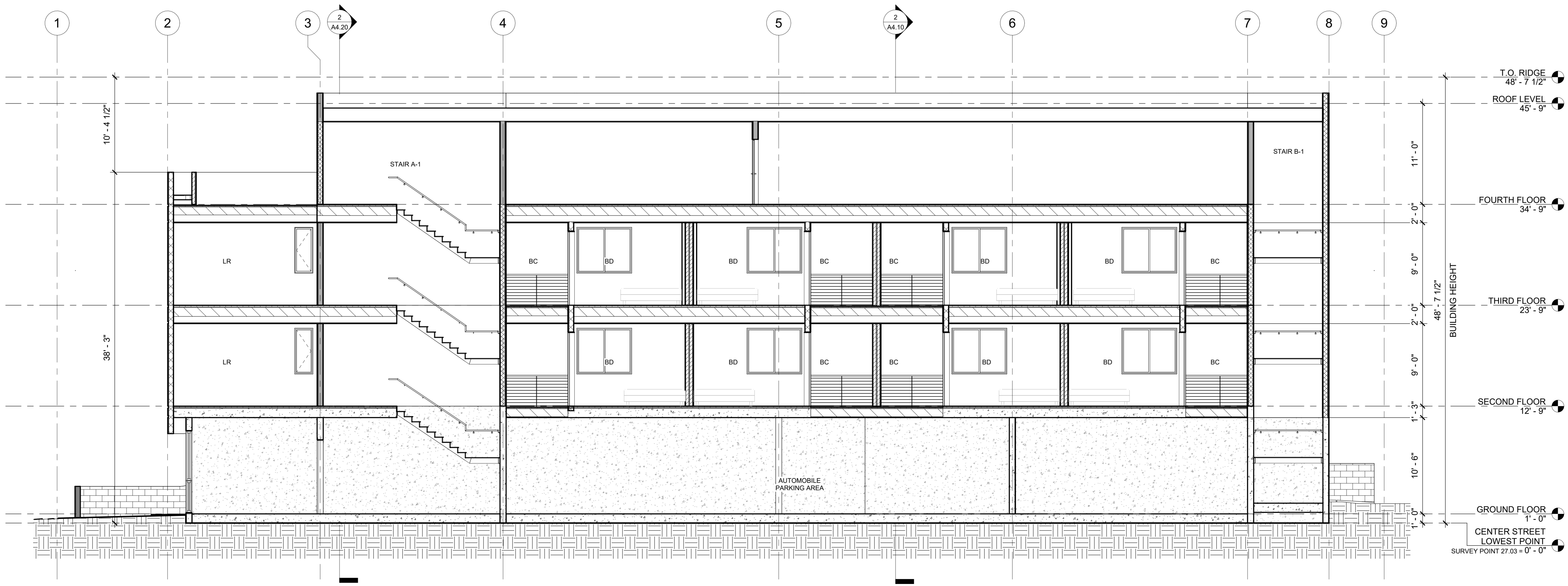
PROPOSED SECTIONS

DRAWN	JV
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SECTION 4
3/16" = 1'-0"

2



SECTION 3
3/16" = 1'-0"

1

Revision Number	Revision Date