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HAMPTON COURT MIXED USE DEVELOPMENT

VENICE

825 HAMPTON DRIVE

CALIFORNIA



PROJECT ARCHITECT:
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CONSULTANT:

SEAL

PROJECT:

CALIFORNIA

HAMPTON COURT
MIXED USE DEVELOPMENT
825 HAMPTON DRIVE

VENICE
825 HAMPTON, LLC
825 HAMPTON DRIVE
VENICE, CA 90291

REVISIONS	DATE	BY
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DRAWN BY: DEH
PROJECT ARCHITECT: DAVID HIDALGO
DATE: 9.28.23
SCALE: AS NOTED

PROJECT NO: 22022.04

☐ DESIGN DEVELOPMENT
☒ ENTITLEMENT PACKAGE
☐ PROGRESS CONST. DOCS
☐ CITY SUBMITTAL
☐ BID PACKAGE
☐ CONSTRUCTION ISSUE
☐ RECORD DRAWINGS

01.12.24

SEAL

SHEET TITLE

TITLE SHEET

SHEET:

A0.00

HAMPTON COURT MIXED USE DEVELOPMENT

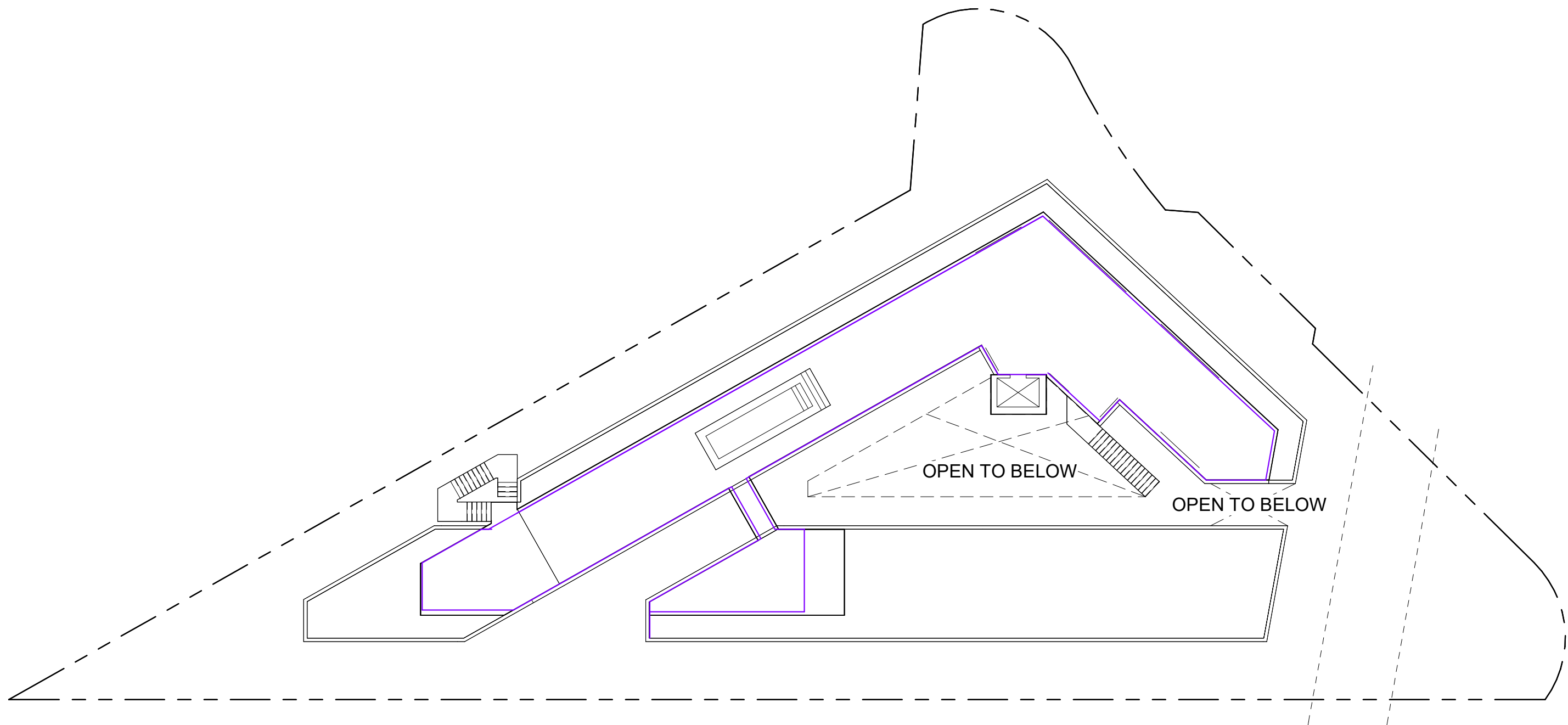
VENICE

825 HAMPTON DRIVE

CALIFORNIA

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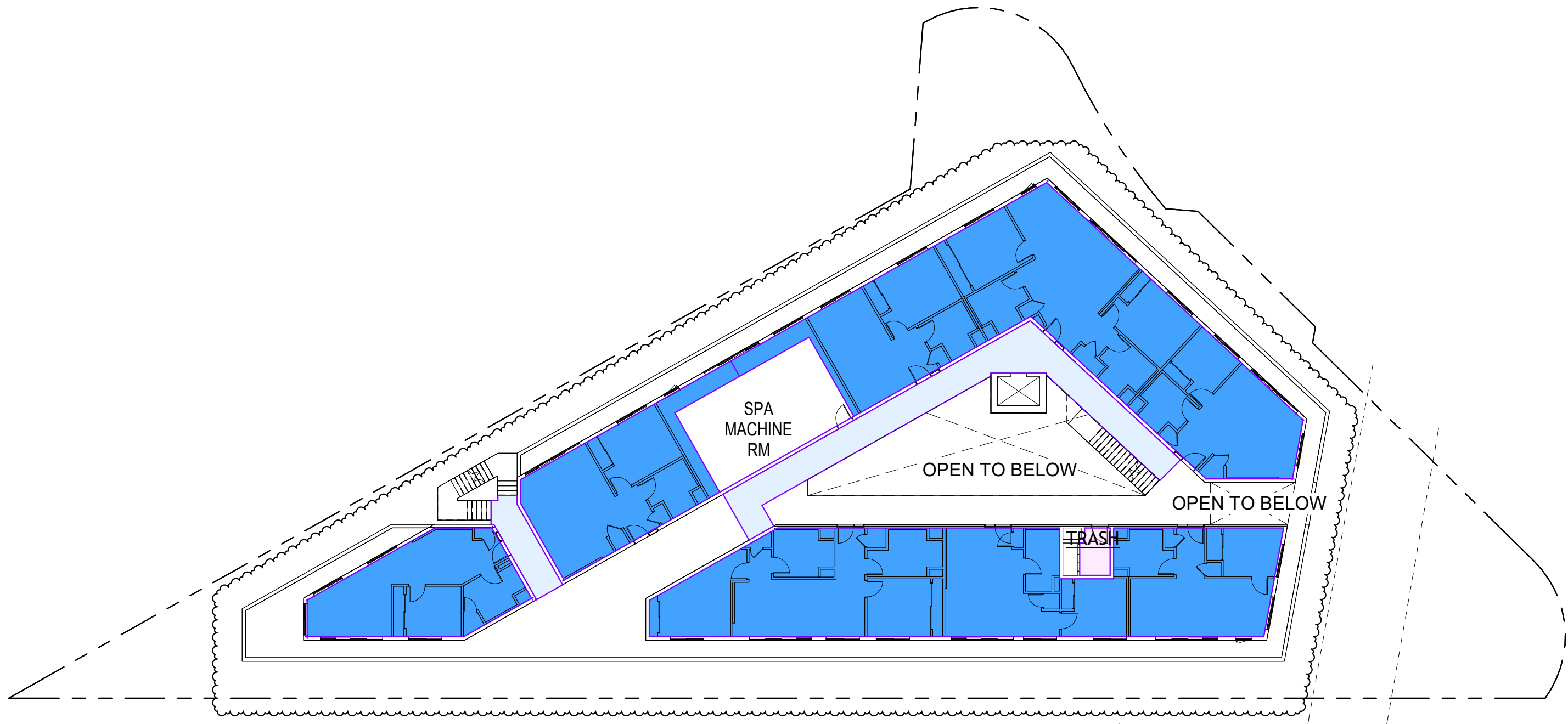
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ROOF - TERRACE

SCALE
1" = 20'-0"

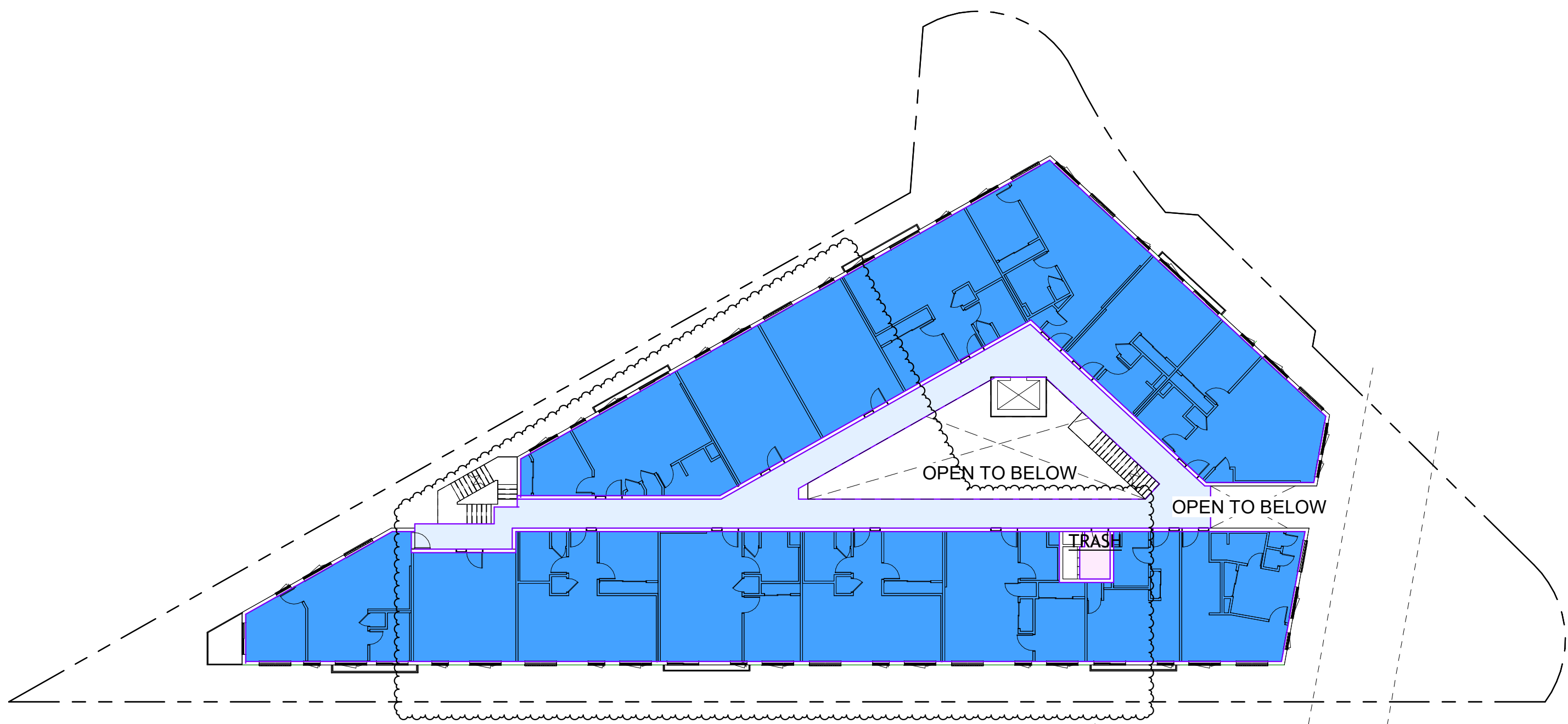
5



4TH FLOOR

SCALE
1" = 20'-0"

4



3RD FLOOR

SCALE
1" = 20'-0"

3

PROJECT FLOOR AREA		
LEVEL	FAR AREA TYPE	AREA
1ST FLOOR	COMMERCIAL	3,416 SF
1ST FLOOR	COVERED CIRCULATION	1,503 SF
1ST FLOOR	OPERATIONAL	1,571 SF
1ST FLOOR	RESIDENTIAL	3,568 SF
1ST FLOOR		10,058 SF
2ND FLOOR	COVERED CIRCULATION	1,293 SF
2ND FLOOR	OPERATIONAL	49 SF
2ND FLOOR	RESIDENTIAL	8,465 SF
2ND FLOOR		9,807 SF
3RD FLOOR	COVERED CIRCULATION	1,432 SF
3RD FLOOR	OPERATIONAL	49 SF
3RD FLOOR	RESIDENTIAL	8,465 SF
3RD FLOOR		9,946 SF
4TH FLOOR	COVERED CIRCULATION	713 SF
4TH FLOOR	OPERATIONAL	49 SF
4TH FLOOR	RESIDENTIAL	6,141 SF
4TH FLOOR		6,904 SF
TOTAL FLOOR AREA		36,716 SF

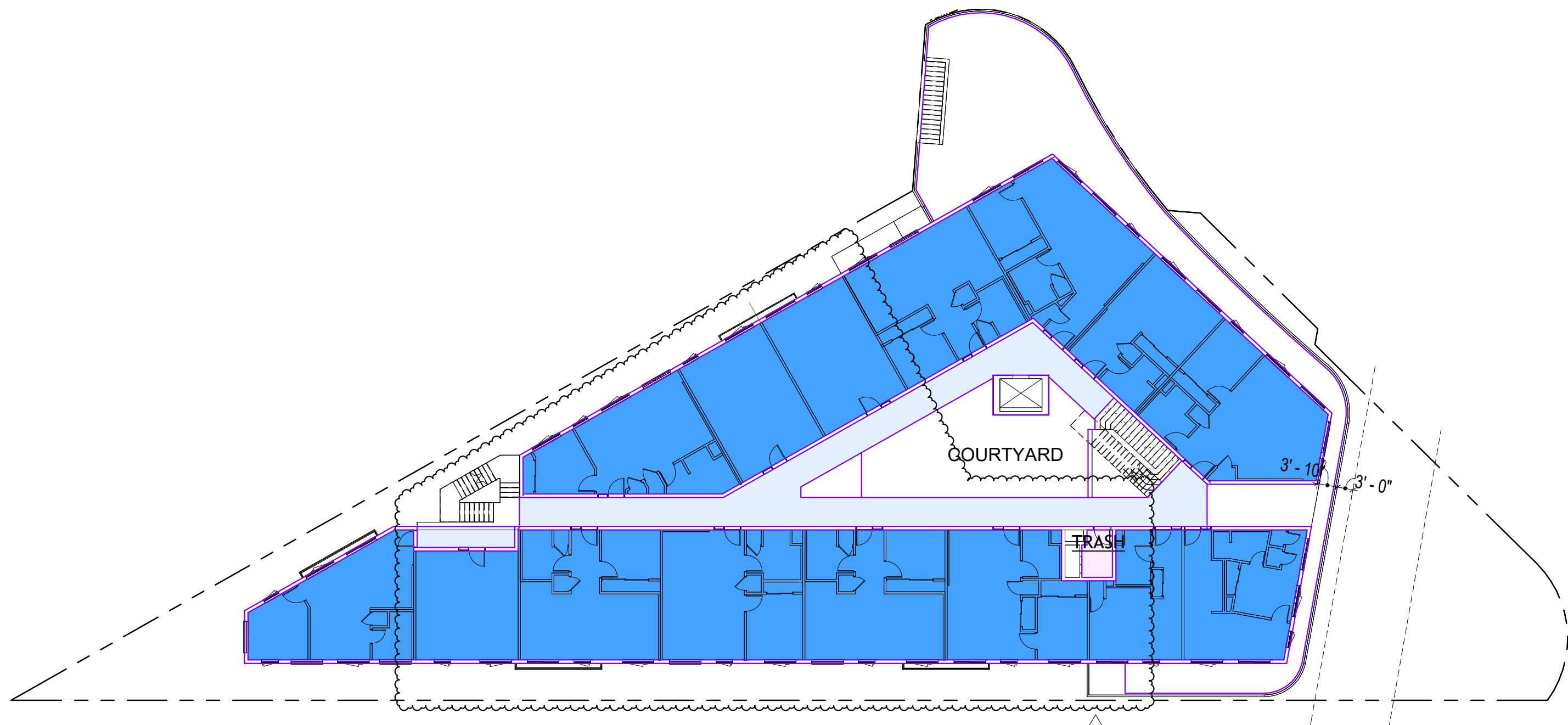
- FAR
- COMMERCIAL
 - COVERED CIRCULATION
 - OPERATIONAL
 - RESIDENTIAL

FLOOR AREA (AMENDED BY ORD. NO. 182,386, EFF. 3/13/13). THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING-OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

LABOR APPROVAL STAMP

FAR DEFINITION

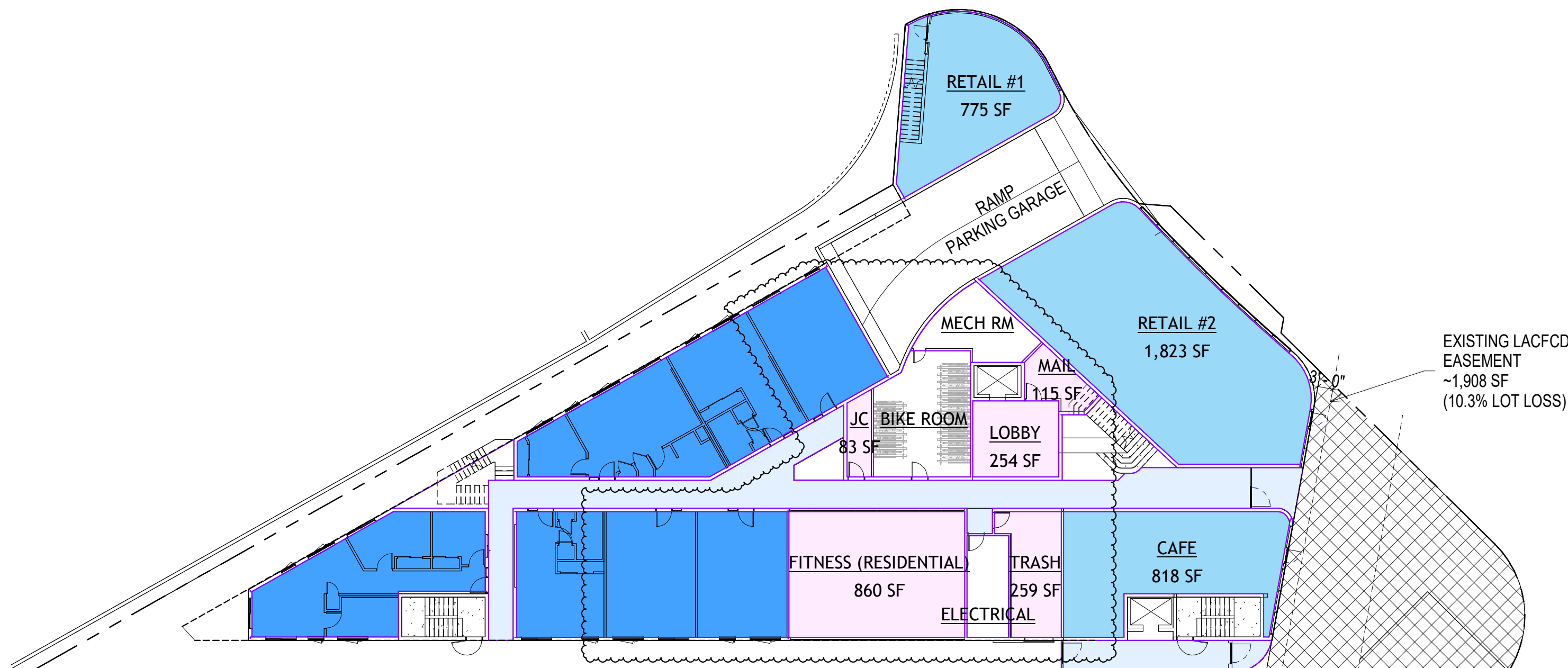
SCALE
NTS



2ND FLOOR

SCALE
1" = 20'-0"

2



1ST FLOOR (STREET LEVEL)

SCALE
1" = 20'-0"

1

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HAMPTON COURT
MIXED USE DEVELOPMENT
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REVISIONS
1 PFA Corrections

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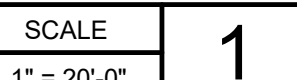
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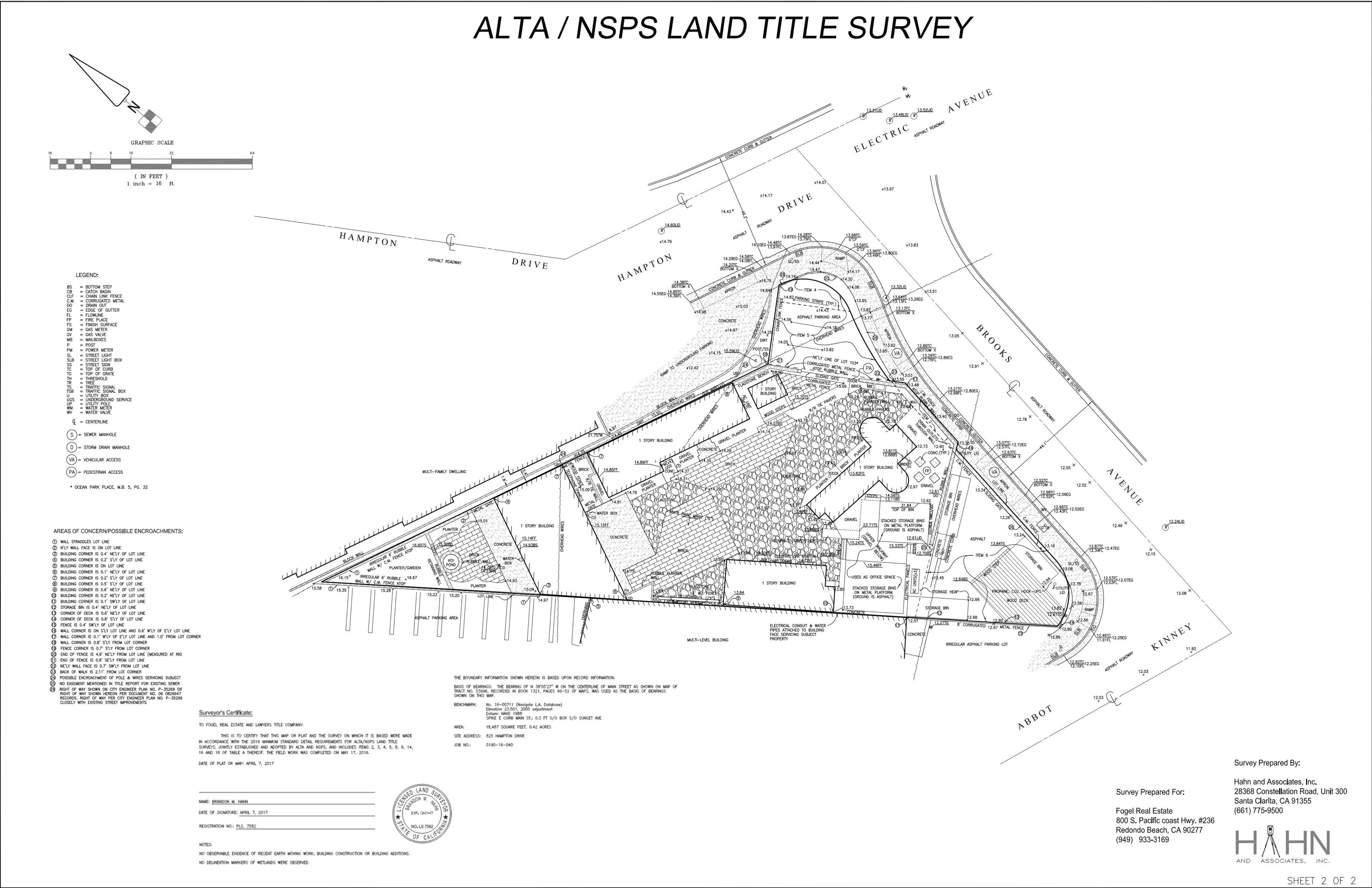
FLOOR AREA
PLANS

SHEET:

A0.2

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ZONING:

C2-1

LOT SIZE:

18,487 SF

ALLOWABLE BASE DENSITY:

46 UNITS ALLOWABLE (PER LAMC)
R4 MIN. AREA PER DWELLING UNIT = 400
(LOT SIZE / MINIMUM AREA PER DWELLING UNIT)
18,487 / 400

PER AB 2334, DENSITY BONUS PROJECTS ARE ALLOWED TO USE THE GREATER DENSITY THROUGH ONE OF THE CORRESPONDING ZONES IN THE PERMITTED RANGE TO CALCULATE MAXIMUM ALLOWABLE DENSITY.

PROPOSED UNITS:

36 TOTAL PROPOSED UNITS PROPOSED

ALLOWABLE FAR:

27,731 SF (BASE FAR)
= 1.5 X 18,487 SF (LOT SIZE)
1.5 : 1 (FLOOR AREA RATIO)

ALLOWED FAR INCREASE:

9,012 SF (32.5% CA DENSITY BONUS INCENTIVE)
= 27,731 SF (ALLOWABLE FAR) X 32.5% BONUS

MAX ALLOWABLE FLOOR AREA TOTAL:

36,743 SF MAX (1,988 FAR)
= 27,731 SF (FAR) + 9,012 SF (32.5% FAR INCREASE)

TOTAL FLOOR AREA PROVIDED:

36,716 SF (1,988 FAR)
= 36,716 SF (PROJECT AREA) / 18,487 SF (LOT SIZE)
INCLUDES A 32.4% FAR INCREASE (8,985 SF)

PROJECT FLOOR AREA

LEVEL	FAR AREA TYPE	AREA
1ST FLOOR	COMMERCIAL	3,416 SF
1ST FLOOR	COVERED CIRCULATION	1,503 SF
1ST FLOOR	OPERATIONAL	1,571 SF
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4TH FLOOR	OPERATIONAL	49 SF
4TH FLOOR	RESIDENTIAL	6,141 SF
4TH FLOOR		6,904 SF
TOTAL FLOOR AREA		36,716 SF

ALLOWABLE BUILDING HEIGHT:

44'-7" PROPOSED, (TO TOP OF GLASS RAILING)
(30'-0" VSP + 14'-7" CA DENSITY BONUS WAIVER)

A. 30'-0" PER VENICE SPECIFIC PLAN

B. 14'-7" VIA CA DENSITY BONUS WAIVER

C. BUILDING HEIGHT IS MEASURED FROM THE CENTERLINE OF BROOKS AVE. PER SECTION 9.B.3 OF THE VENICE SPECIFIC PLAN

SETBACKS:

	TYPE	REQUIRED	PROVIDED
COMMERCIAL (1ST FLOOR)	FRONT:	0' - 0" 1	0' - 0"
	SIDE:	NONE	NONE
	REAR:	N/A	N/A
RESIDENTIAL (1ST FLOOR)	FRONT:	N/A	N/A
	SIDE:	7' - 0" 2	7' - 0"
	REAR:	16' - 0" 2	22' - 9"
RESIDENTIAL (2ND & 3RD FLOOR)	FRONT:	5' - 0" 3	7' - 0"
	SIDE:	7' - 0" 4	7' - 0"
	REAR:	16' - 0" 2	22' - 9"
RESIDENTIAL (4TH FLOOR)	FRONT:	5' - 0" 3	11' - 0"
	SIDE:	7' - 0" 4	11' - 0"
	REAR:	16' - 0" 2	34' - 1"
TERRACE 5	FRONT:	10' - 0"	16' - 0"
	SIDE:	12' - 0"	16' - 0"
	REAR:	21' - 0"	43' - 1"

12345 REFER TO SHEET A0.1 PROJECT INFORMATION FOR ADDITIONAL INFORMATION

PROJECT SUMMARY

PROJECT NAME:

HAMPTON COURT

ADDRESS:

825 HAMPTON DRIVE

OWNER:

SJF VENICE, LLC

PROJECT DESCRIPTION:

CONSTRUCTION OF A NEW 4-STORY MIXED USE, 36,716 SQ FT BUILDING INCLUDING 36 APARTMENT UNITS, AND 3,416 SQ FT OF RETAIL, AND AN ATTACHED 3-LEVEL SUBTERRANEAN PARKING STRUCTURE WITH 60 PARKING SPACES

CONSTRUCTION TYPE:

TYPE V-A (4 STORIES RESIDENTIAL BUILDING)
TYPE 1-A (FIRST FLOOR COMMERCIAL)
TYPE 1-A (3 LEVELS SUBTERRANEAN PARKING)

FLOOD ZONE:

OUTSIDE FLOOD ZONE

SITE AREA:

18,487 SF (PER SURVEY)

PROJECT DENSITY:

36 UNITS

ALLOWABLE BLDG HEIGHT:

30 FT (VSP - SECTION 10. F. 3. A.)

PROPOSED BLDG HEIGHT:

44'-7" PROPOSED

OCCUPANCY TYPE:

COMMERCIAL (10%)
RESIDENTIAL (90%)

LOT AREA:

18,487 SF

BLDG FOOTPRINT:

13,070 SF

HARDSCAPE:

3,322 SF

LANDSCAPE:

2,095

GENERAL PLAN LAND USE DESIGNATION:

COMMUNITY COMMERCIAL

COUNCIL DISTRICT:

CD 11

COMMUNITY PLAN:

VENICE

SPECIFIC PLAN:

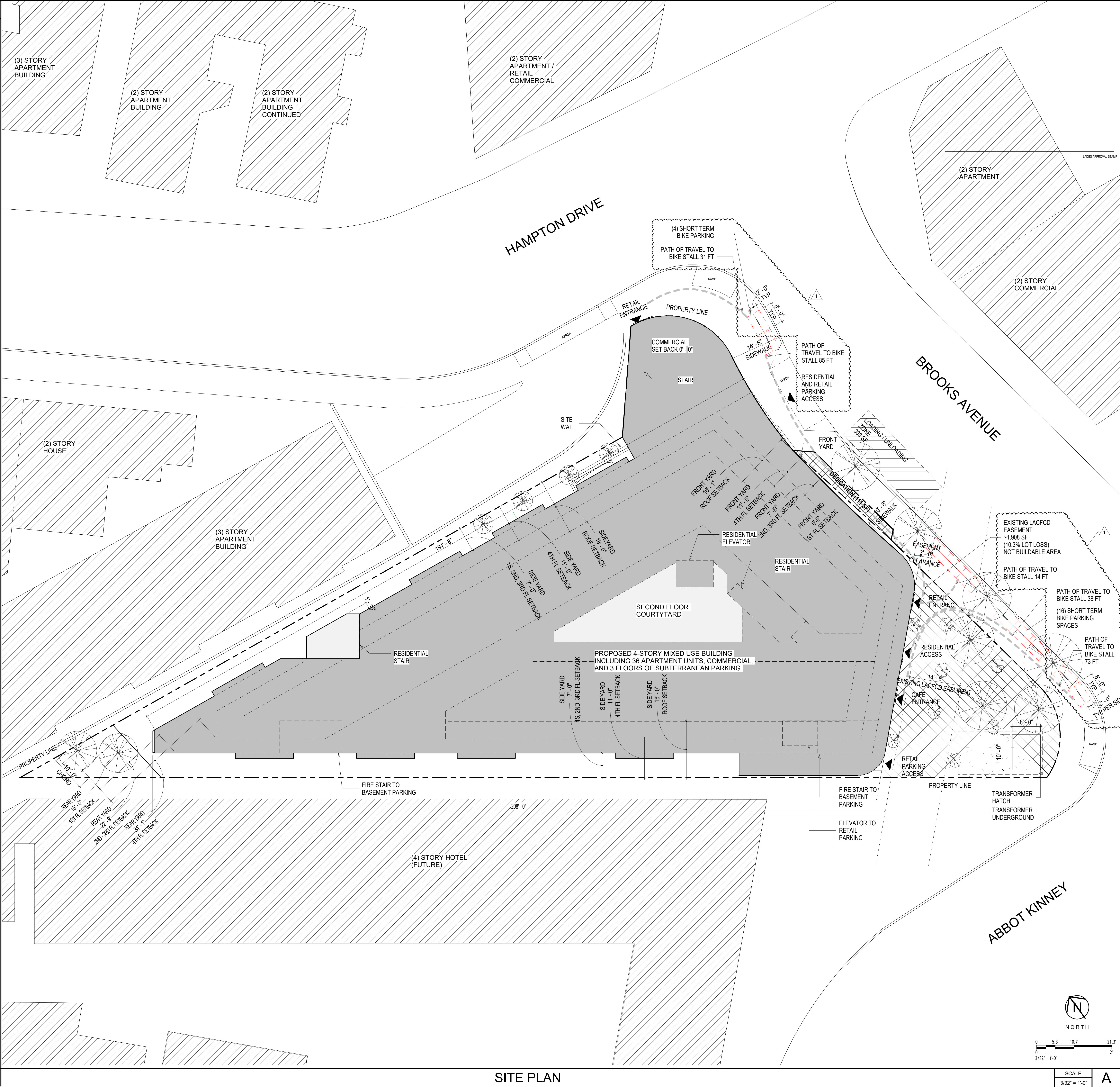
VENICE COASTAL ZONE LOS ANGELES COASTAL TRANSPORTATION CORRIDOR

SUBAREA:

NORTH VENICE

APN:

4286-012-039



PROJECT ARCHITECT:

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CONSULTANT:

PROJECT:

HAMPTON COURT

MIXED USE DEVELOPMENT

825 HAMPTON DRIVE

CALIFORNIA

REVISIONS

1 PJA Corrections

DATE

02/21/24

BY

DRAWN BY:

DEH

PROJECT ARCHITECT:

DAVID HIDALGO

DATE:

9.28.23

SCALE:

AS NOTED

PROJECT NO:

22022.04

☐ DESIGN DEVELOPMENT

☒ ENTITLEMENT PACKAGE

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01.12.24

9.28.23

AS NOTED

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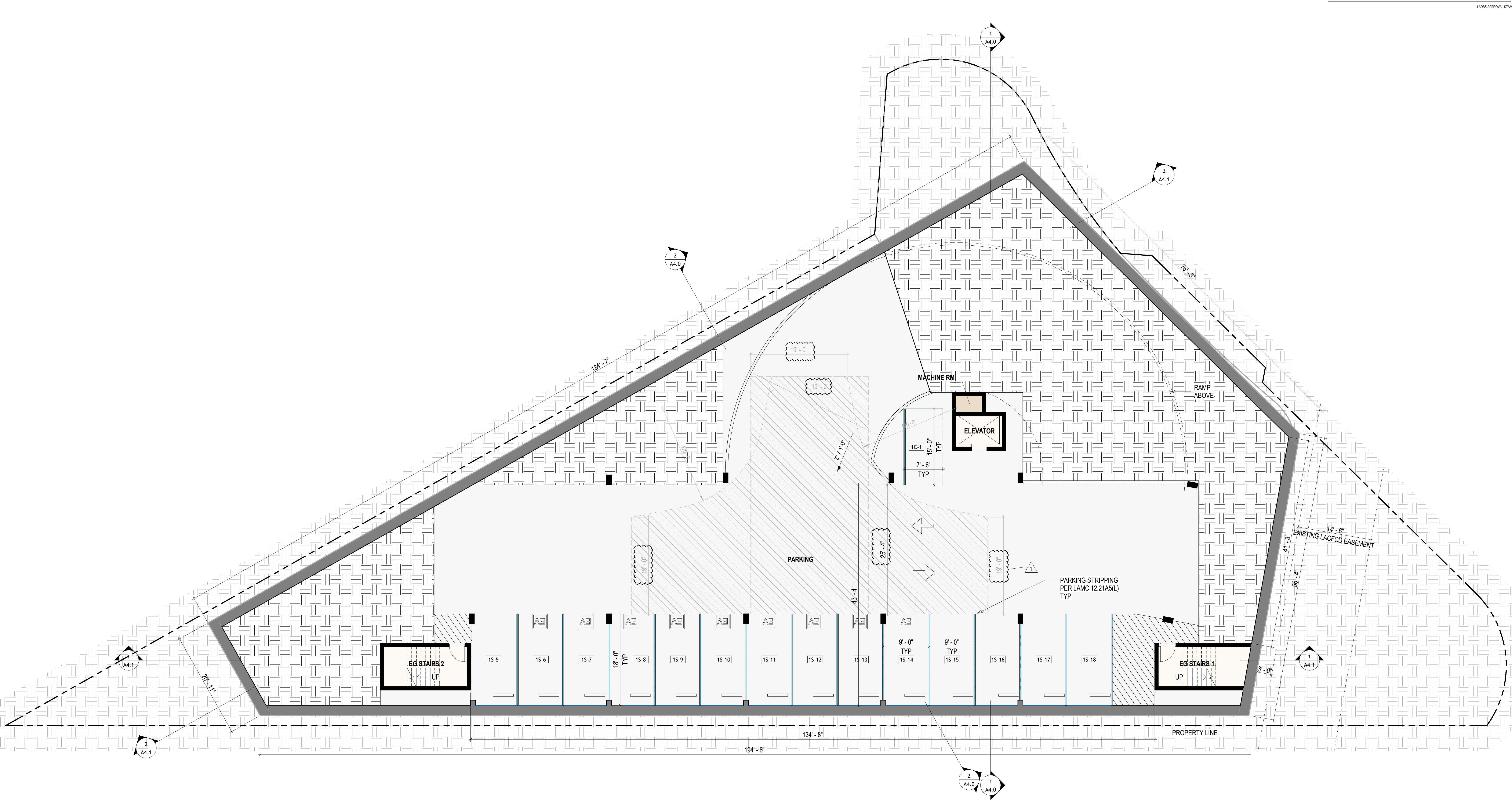
SITE PLAN

SHEET:

A1.1

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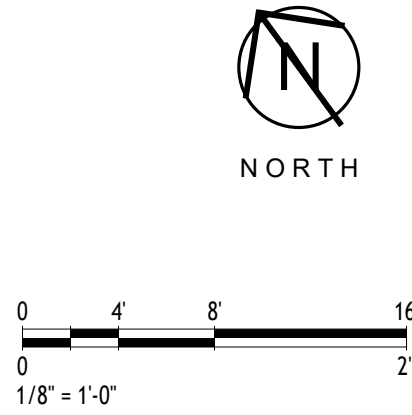
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TOTAL PARKING STALLS PROVIDED:	
STALL TYPE	STALL COUNT
COMPACT	11
EV STANDARD	18
STANDARD	27
STANDARD (ACCESSIBLE)	4
TOTAL	60

PROGRAM TYPE LEGEND

- CIRCULATION
- PARKING
- UTILITY / STORAGE



SUBTERRANEAN THIRD LEVEL FLOOR PLAN

SCALE	A
1/8" = 1'-0"	

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825 HAMPTON DRIVE
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REVISIONS
1 P/A Corrections

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02/21/24

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DRAWN BY:
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DATE:
SCALE:

DEH
DAVID HIDALGO
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AS NOTED

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22022.04

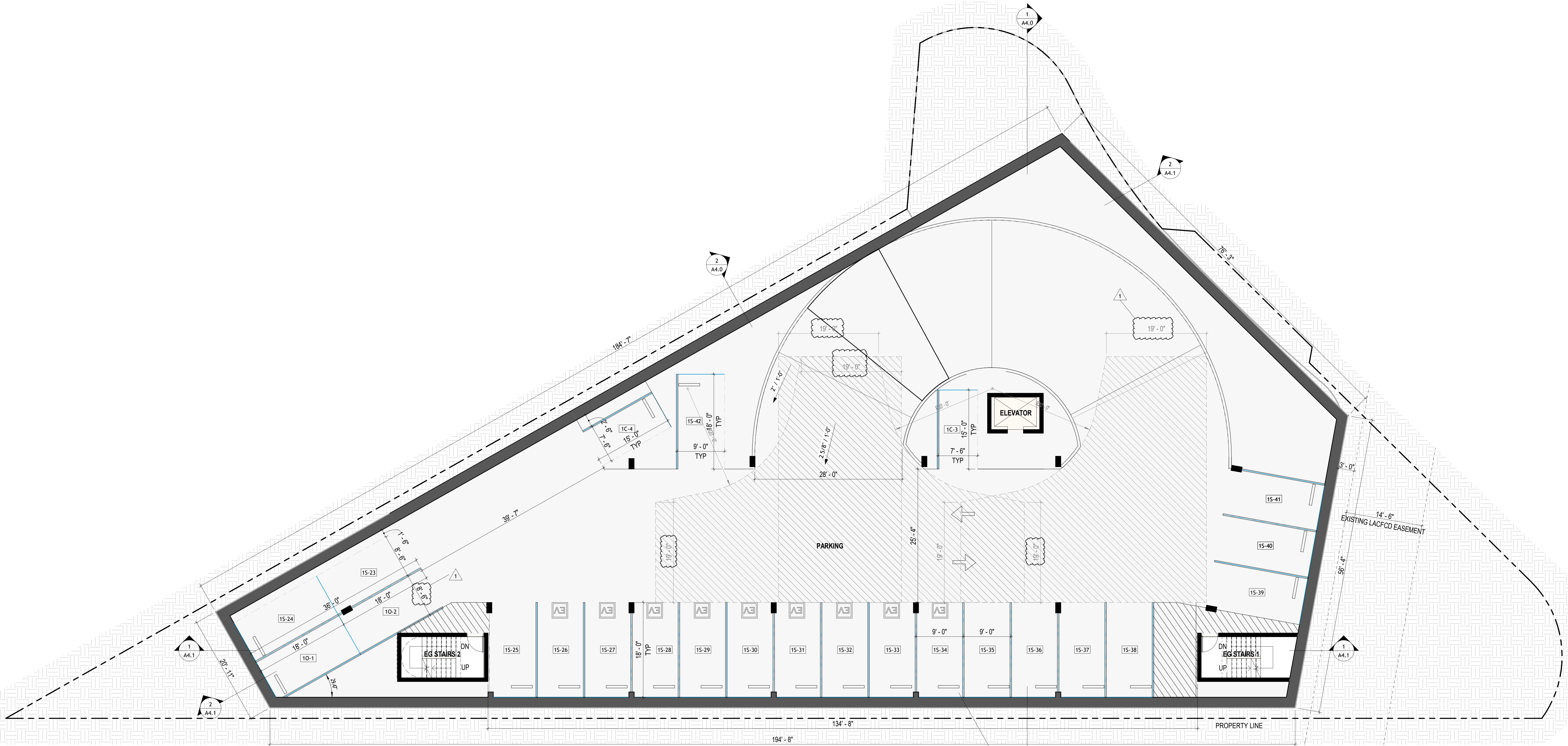
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SHEET TITLE
**SUBTERRANEAN
THIRD LEVEL
FLOOR PLAN**

SHEET:
A2.0

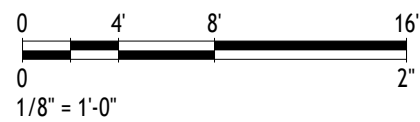
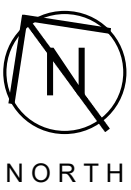
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COMPACT	11
EV STANDARD	18
STANDARD	27
STANDARD (ACCESSIBLE)	4
TOTAL	60

PROGRAM TYPE LEGEND

- CIRCULATION
- PARKING



SCALE	A
1/8" = 1'-0"	

SUBTERRANEAN SECOND LEVEL FLOOR PLAN

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REVISIONS
1 P/A Corrections

DATE
02/21/24

BY

DRAWN BY:
PROJECT ARCHITECT:
DATE:
SCALE:

DEH
DAVID HIDALGO
9.28.23
AS NOTED

PROJECT NO.
22002.04

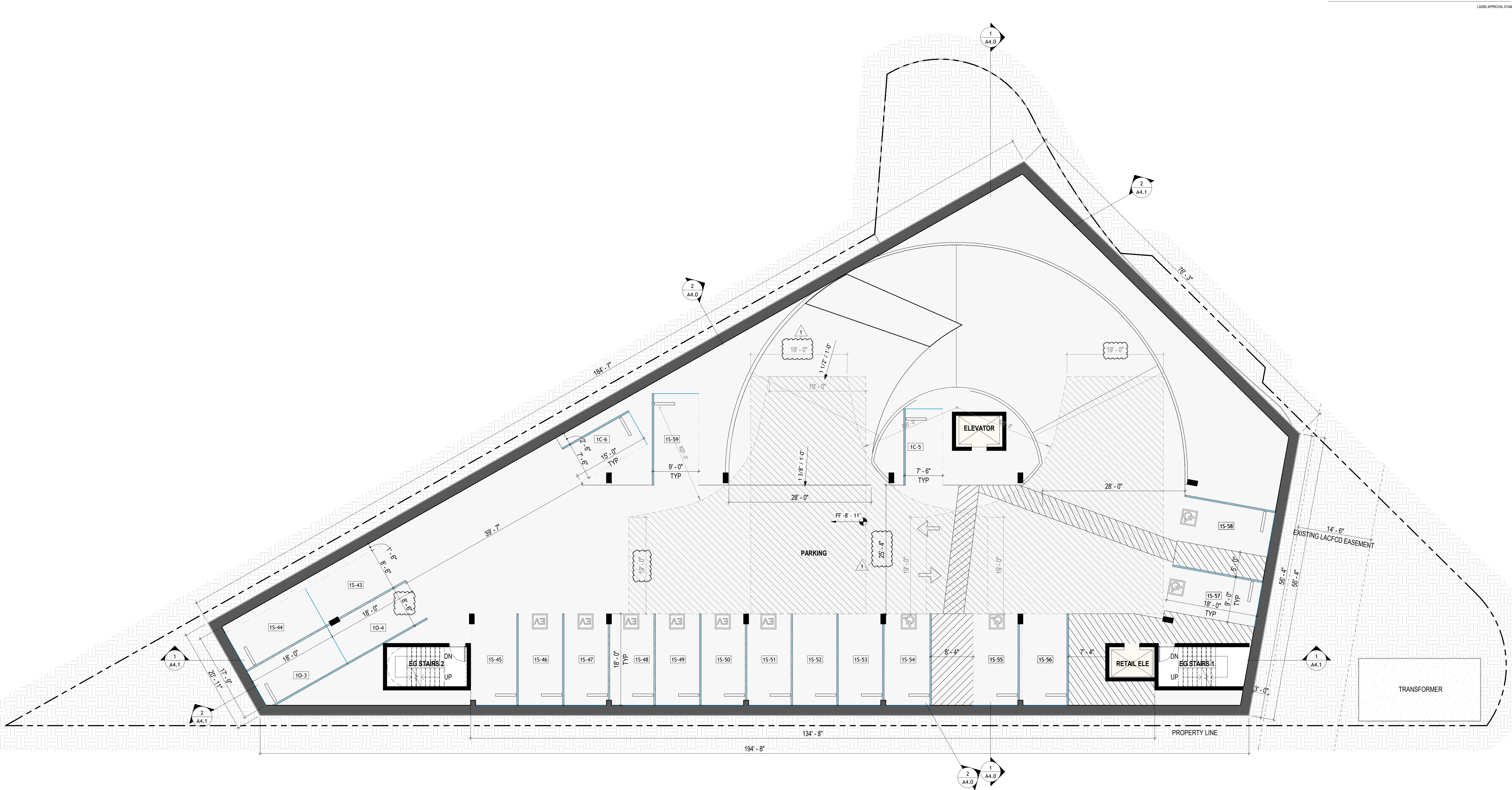
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SHEET TITLE
**SUBTERRANEAN
SECOND LEVEL
FLOOR PLAN**

A2.1

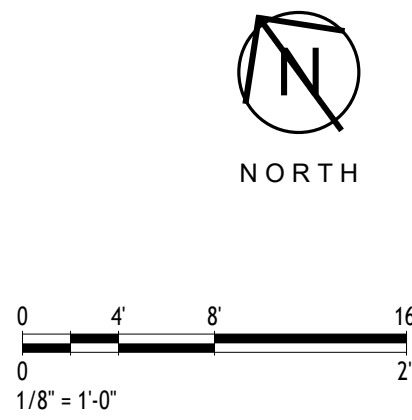
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STALL TYPE	STALL COUNT
COMPACT	11
EV STANDARD	18
STANDARD	27
STANDARD (ACCESSIBLE)	4
TOTAL	60

PROGRAM TYPE LEGEND

- CIRCULATION
- PARKING



SUBTERRANEAN FIRST LEVEL FLOOR PLAN

SCALE
1/8" = 1'-0" A

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**SUBTERRANEAN
FIRST LEVEL
FLOOR PLAN**

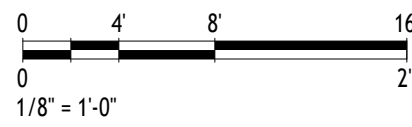
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PROGRAM TYPE LEGEND

- 1 BEDROOM
- STUDIO
- CIRCULATION
- COMM ROOM
- LANDSCAPE
- UTILITY / STORAGE



SECOND FLOOR PLAN

SCALE	A
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SHEET TITLE
SECOND FLOOR PLAN

SHEET:
A2.4

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THIRD FLOOR PLAN

SCALE
1/8" = 1'-0"

A

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☐ CONSTRUCTION ISSUE
☐ RECORD DRAWINGS

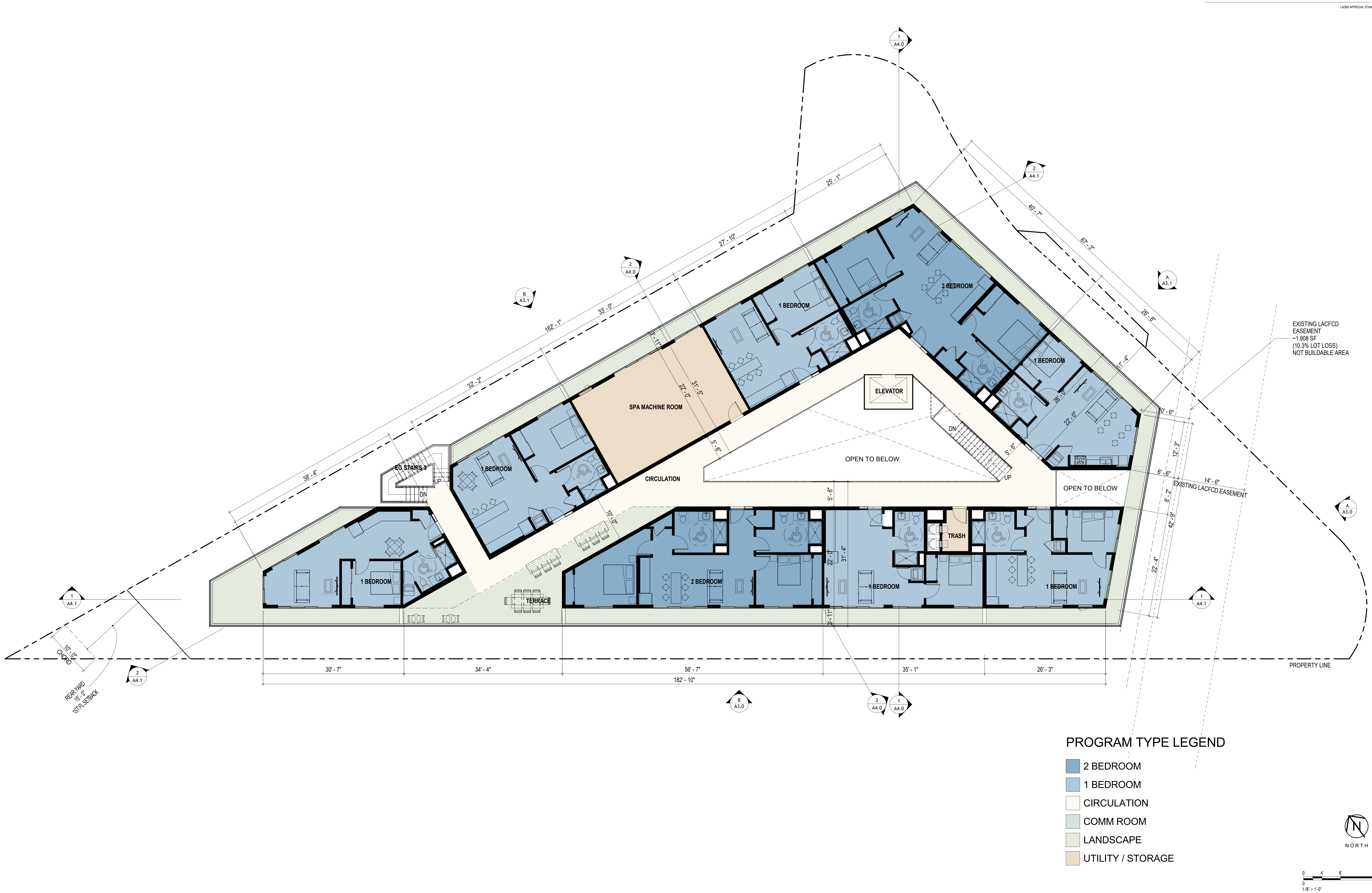
SEAL

SHEET TITLE
THIRD FLOOR PLAN

SHEET:
A2.5

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PROJECT:

CALIFORNIA

HAMPTON COURT
MIXED USE DEVELOPMENT
825 HAMPTON DRIVE

VENICE
825 HAMPTON, LLC
825 HAMPTON DRIVE
VENICE, CA 90291

REVISIONS	DATE	BY
-----------	------	----

DRAWN BY: DEH

PROJECT ARCHITECT: DAVID HIDALGO

DATE: 9.28.23

SCALE: AS NOTED

PROJECT NO: 22022.04

<input type="checkbox"/>	DESIGN DEVELOPMENT	
<input checked="" type="checkbox"/>	ENTITLEMENT PACKAGE	01.12.24
<input type="checkbox"/>	PROGRESS CONST. DOCS	
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<input type="checkbox"/>	CONSTRUCTION ISSUE	
<input type="checkbox"/>	RECORD DRAWINGS	

SEAL

SHEET TITLE

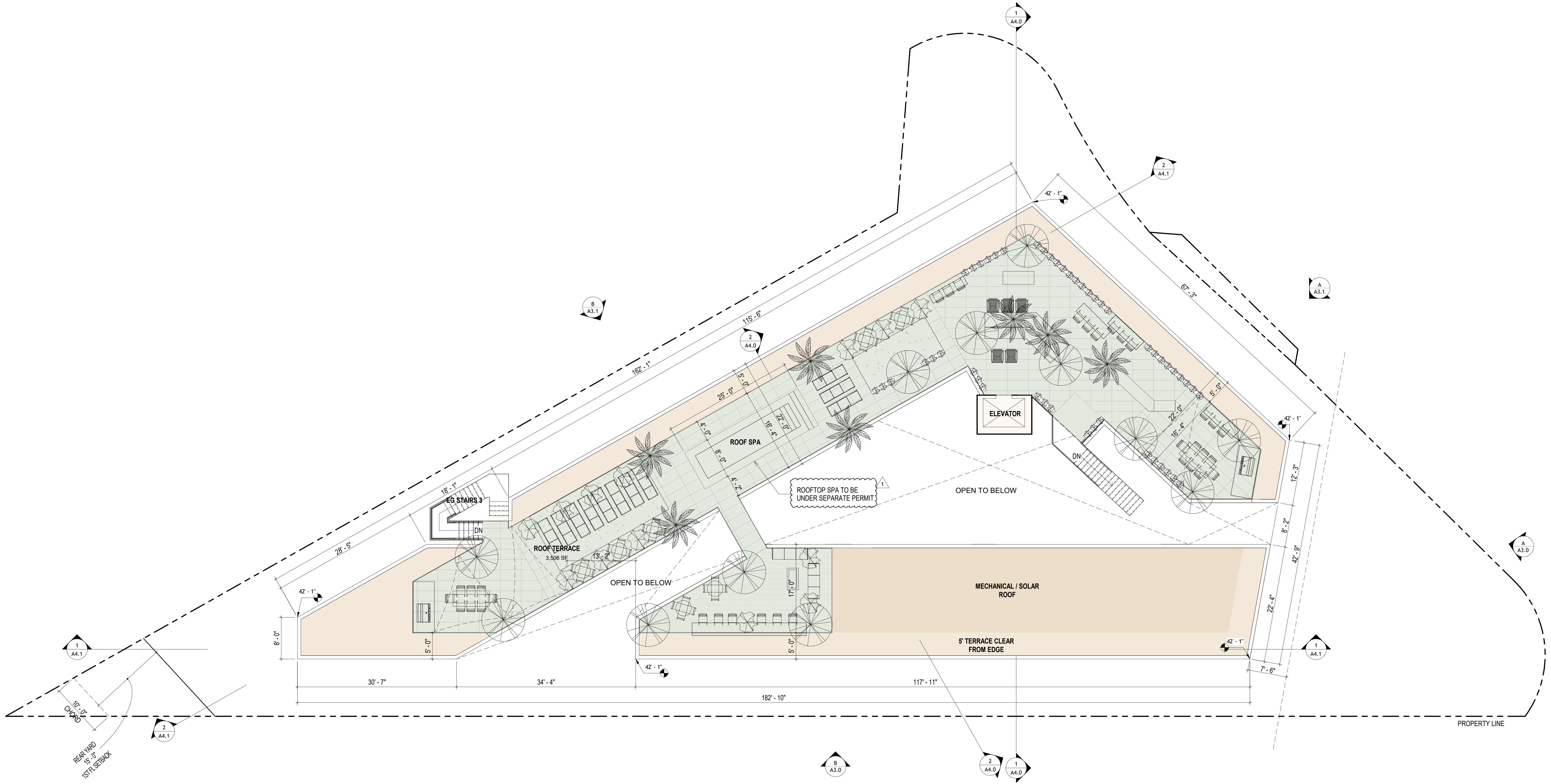
FOURTH FLOOR PLAN

SHEET:

A2.6

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PROGRAM TYPE LEGEND

- 5' TERRACE CLEAR FROM EDGE
- CIRCULATION
- MECHANICAL / SOLAR
- LANDSCAPE

0 4 8 16

1/8" = 1'-0"

SCALE

1/8" = 1'-0"

A

ROOF PLAN TERRACE

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SEAL

PROJECT:

CALIFORNIA

HAMPTON COURT

MIXED USE DEVELOPMENT

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VENICE

825 HAMPTON, LLC

825 HAMPTON DRIVE

VENICE, CA 90291

REVISIONS

REVISIONS	DATE	BY
1 PFA Corrections	02/21/24	

DRAWN BY:

DEH

PROJECT ARCHITECT:

DAVID HIDALGO

DATE:

9.28.23

SCALE:

AS NOTED

PROJECT NO:

22022.04

☐ DESIGN DEVELOPMENT

☒ ENTITLEMENT PACKAGE 01.12.24

☐ PROGRESS CONST. DOCS

☐ CITY SUBMITTAL

☐ BD PACKAGE

☐ CONSTRUCTION ISSUE

☐ RECORD DRAWINGS

SEAL

SHEET TITLE

ROOF FLOOR PLAN

SHEET:

A2.7

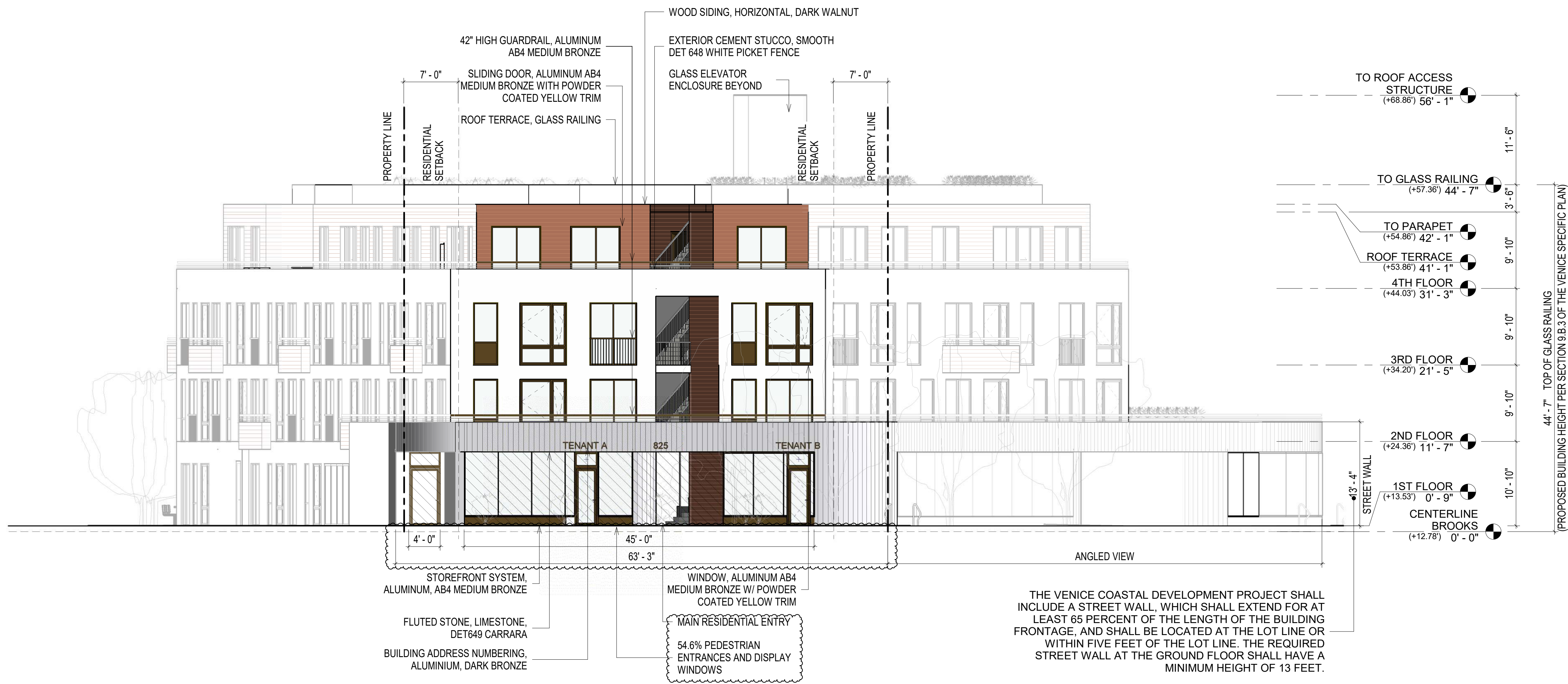
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SOUTH ELEVATION

SCALE
1/8" = 1'-0"

B



EAST ELEVATION

SCALE
1/8" = 1'-0"

A

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VENICE

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VENICE, CA 90291

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	P/A Corrections	02/21/24	

DRAWN BY: DEH

PROJECT ARCHITECT: DAVID HIDALGO

DATE: 9.28.23

SCALE: AS NOTED

PROJECT NO: 22022.04

☐ DESIGN DEVELOPMENT

☒ ENTITLEMENT PACKAGE 01.12.24

☐ PROGRESS CONST. DOCS

☐ CITY SUBMITTAL

☐ BID PACKAGE

☐ CONSTRUCTION ISSUE

☐ RECORD DRAWINGS

SEAL

SHEET TITLE

EXTERIOR BUILDING ELEVATIONS

SHEET:

A3.0

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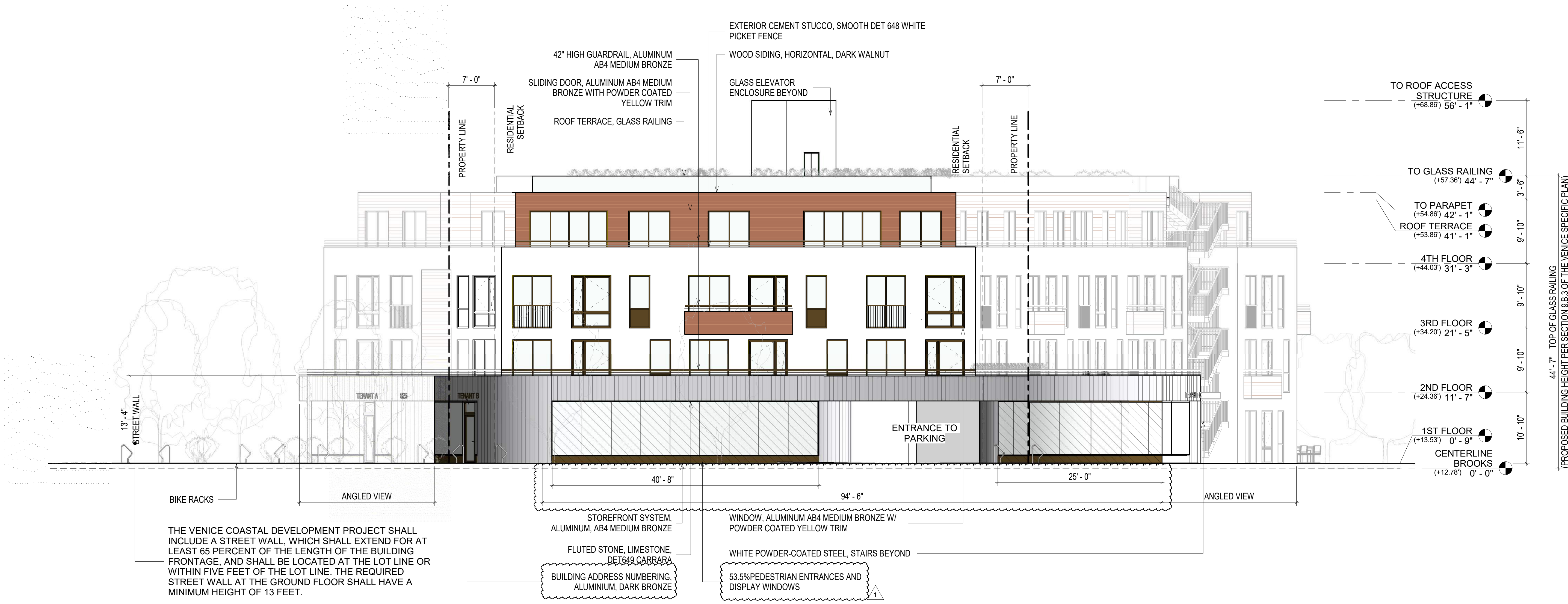
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NORTHWEST ELEVATION

SCALE
1/8" = 1'-0"

B



NORTHEAST ELEVATION

SCALE
1/8" = 1'-0"

A

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REVISIONS

REVISIONS	DATE	BY
1 P/A Corrections	02/21/24	

DRAWN BY: DEH

PROJECT ARCHITECT: DAVID HIDALGO

DATE: 9.28.23

SCALE: AS NOTED

PROJECT NO: 22002.04

- ☐ DESIGN DEVELOPMENT
- ☒ ENTITLEMENT PACKAGE 01.12.24
- ☐ PROGRESS CONST. DOCS
- ☐ CITY SUBMITTAL
- ☐ BD PACKAGE
- ☐ CONSTRUCTION ISSUE
- ☐ RECORD DRAWINGS

SEAL

SHEET TITLE

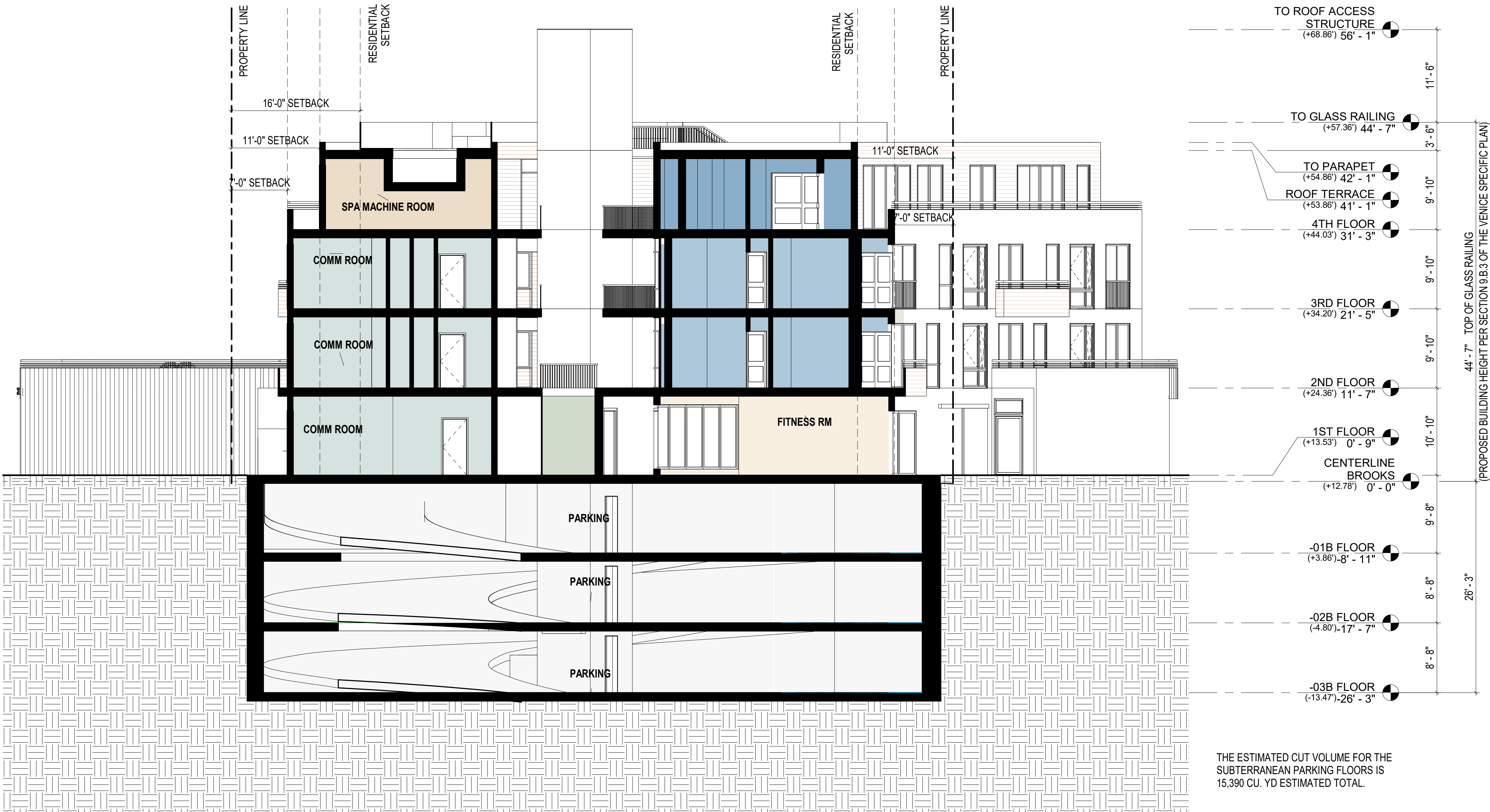
EXTERIOR BUILDING ELEVATIONS

SHEET:

A3.1

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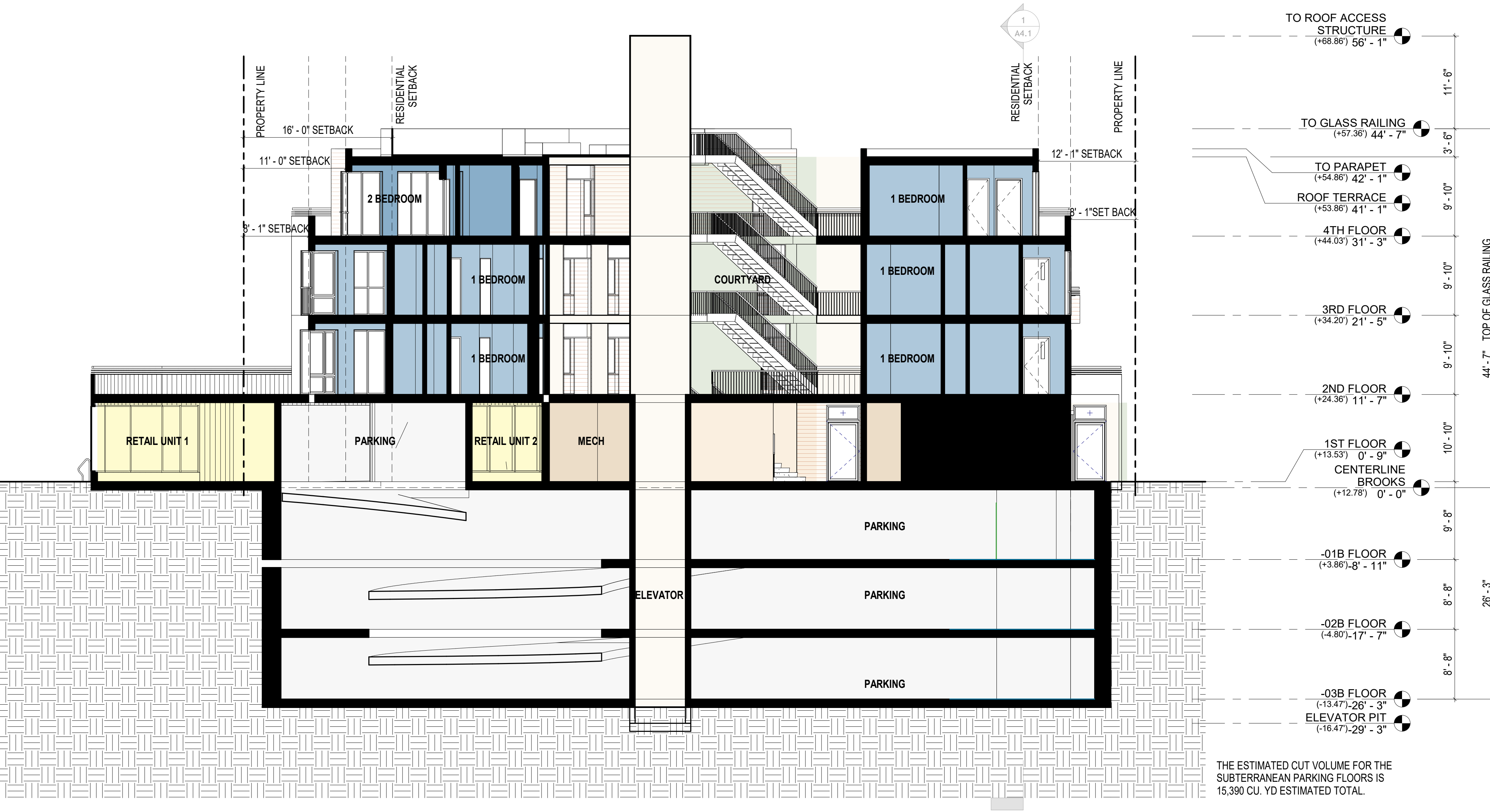
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EAST-FACING SECTION

SCALE
1/8" = 1'-0"

2



SOUTHEAST-FACING SECTION

SCALE
1/8" = 1'-0"

1

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REVISIONS
DATE
BY

DESIGN DEVELOPMENT
ENTITLEMENT PACKAGE
PROGRESS CONST. DOCS
CITY SUBMITTAL
BD PACKAGE
CONSTRUCTION ISSUE
RECORD DRAWINGS

SEAL

SHEET TITLE
BUILDING SECTIONS

SHEET:
A4.0

Architectural section drawing of a multi-story building with parking levels below ground. The drawing shows a cross-section of the building with various rooms labeled, including bedrooms, common rooms, a spa machine room, and a studio. It also shows three levels of parking below the ground line. Key dimensions and setbacks are indicated on the left and right sides. The right side includes a vertical scale with elevations and a note about the estimated cut volume for the subterranean parking floors.

Left Side Dimensions:

- REAR YARD CHORD: 15'-0"
- 48'-0" SETBACK
- 44'-0" SETBACK
- 40'-0" SETBACK
- RESIDENTIAL SETBACK

Right Side Dimensions and Elevations:

- TO ROOF ACCESS STRUCTURE (+68.86') 56' - 1"
- 11'-6"
- TO GLASS RAILING (+57.36') 44' - 7"
- 3'-6"
- TO PARAPET (+54.86') 42' - 1"
- 9'-10"
- ROOF TERRACE (+53.86') 41' - 1"
- 9'-10"
- 4TH FLOOR (+44.03') 31' - 3"
- 9'-10"
- 3RD FLOOR (+34.20') 21' - 5"
- 9'-10"
- 2ND FLOOR (+24.36') 11' - 7"
- 10' - 3"
- 1ST FLOOR (+13.63') 0' - 9"
- CENTERLINE BROOKS (+12.78') 0' - 0"
- 9'-8"
- 01B FLOOR (+3.86') -8' - 11"
- 8'-8"
- 02B FLOOR (-4.80') -17' - 7"
- 8'-8"
- 03B FLOOR (-13.47') -26' - 3"

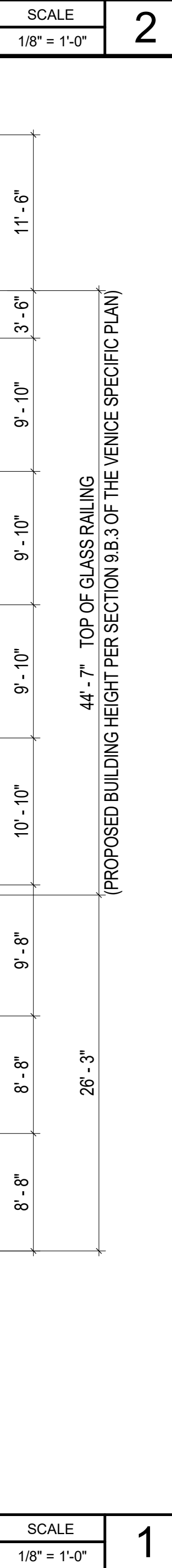
Room Labels:

- 1 BEDROOM
- 2 BEDROOM
- SPA MACHINE ROOM
- COMM ROOM
- STUDIO
- PARKING

Other Labels:

- REAR YARD CHORD
- 48'-0" SETBACK
- 44'-0" SETBACK
- 40'-0" SETBACK
- RESIDENTIAL SETBACK
- 16'-0" SETBACK
- PROPERTY LINE
- 7'-0" SETBACK
- 11'-0" SETBACK
- 44'-7" TOP OF GLASS RAILING
- (PROPOSED BUILDING HEIGHT PER SECTION 9.3.3 OF THE VENICE SPECIFIC PLAN)
- THE ESTIMATED CUT VOLUME FOR THE SUBTERRANEAN PARKING FLOORS IS 15,390 CU. YD ESTIMATED TOTAL.

SCALE	2
1/8" = 1'-0"	



SCALE	1
1/8" = 1'-0"	

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ABBOT KINNEY & BROOKES AVE RENDERING

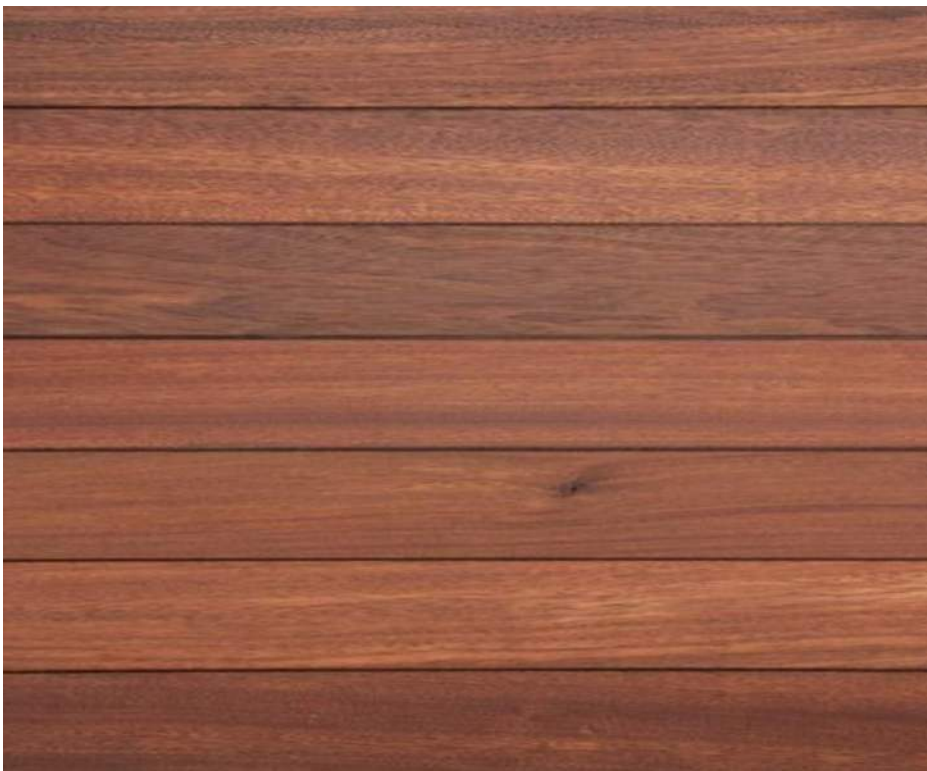
SCALE	2
12" = 1'-0"	



STUCCO - STEEL TROWEL FINISH



EXTERIOR FLUTED STONE FINISH



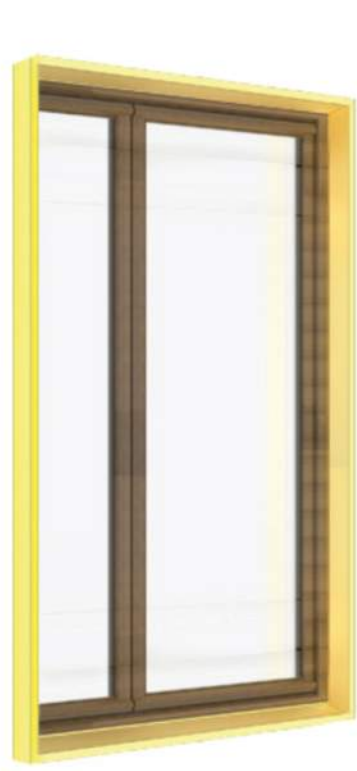
WOOD RAINSCREEN SIDING



BRONZE ANODIZED ALUMINUM FINISH



BRONZE ANODIZED ALUMINUM
MULLION FINISH



YELLOW POWDER-COATED TRIM



YELLOW ACCENT COLOR - SW 6913

PRODUCT / MATERIALS

SCALE	1
12" = 1'-0"	

PROJECT ARCHITECT:

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CONSULTANT:

PROJECT:

CALIFORNIA

HAMPTON COURT
MIXED USE DEVELOPMENT
825 HAMPTON DRIVE

VENICE
825 HAMPTON, LLC
825 HAMPTON DRIVE
VENICE, CA 90291

REVISIONS	DATE	BY

DRAWN BY:	DEH
PROJECT ARCHITECT:	DAVID HIDALGO
DATE:	9.28.23
SCALE:	AS NOTED
PROJECT NO.	22022.04
<input type="checkbox"/> DESIGN DEVELOPMENT	
<input checked="" type="checkbox"/> ENTITLEMENT PACKAGE	01.12.24
<input type="checkbox"/> PROGRESS CONST. DOCS	
<input type="checkbox"/> CITY SUBMITTAL	
<input type="checkbox"/> BD PACKAGE	
<input type="checkbox"/> CONSTRUCTION ISSUE	
<input type="checkbox"/> RECORD DRAWINGS	

SEAL

SHEET TITLE

RENDERING
(STREET VIEW
PERSPECTIVE)

SHEET:

A9.0

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BUILDING MASSING DIAGRAM OF ADJACENT BUILDING
UNDER CONSTRUCTION

BIRD'S EYE VIEW LOOKING NORTH

SCALE
1/2" = 1'-0"

1

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VENICE, CA 90291

REVISIONS
DATE
BY

DRAWN BY: DEH
PROJECT ARCHITECT: DAVID HIDALGO
DATE: 9.28.23
SCALE: AS NOTED

PROJECT NO: 22022.04

☐ DESIGN DEVELOPMENT
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☐ CITY SUBMITTAL
☐ BD PACKAGE
☐ CONSTRUCTION ISSUE
☐ RECORD DRAWINGS

01.12.24

SEAL

SHEET TITLE
**RENDERING
(BIRD'S EYE
VIEW)**

SHEET:
A9.1

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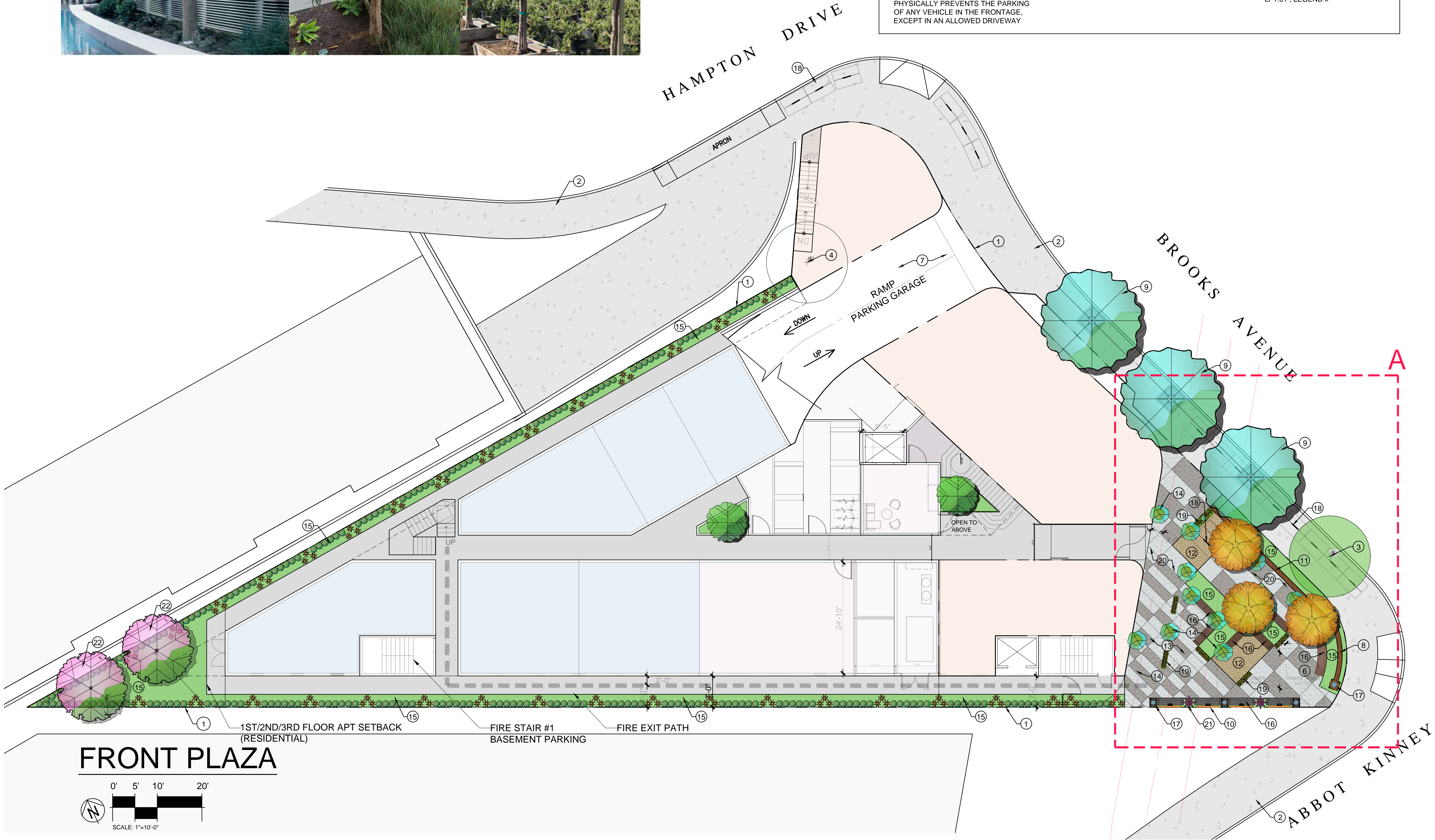
TREES



LANDSCAPE ORDINANCE NO. 170,978 LANDSCAPE POINT SYSTEM

SQUARE FOOTAGE OF PROJECT	POINTS REQUIRED
<7,500	10
7,501-15,000	15
15,001-40,000	20
40,001-86,000	30
86,001-120,000	50
120,001-150,000	60
>150,000 SQUARE FEET OR FRACTION THEREOF	60 PER EACH 150,000 SQUARE FEET OR FRACTION THEREOF POINTS REQUIRED=22 (10% MORE)
PROJECT LOT AREA= 18,847 SF	POINTS REQUIRED=21 (10% MORE)

FEATURES/TECHNIQUES	POINTS AWARDED	CLAIMED POINTS	REFERENCE SHEET OR DETAIL
1. STREET TREES TO SHADE THE STREET * LARGE TREE, PER TREE(NO POINTS ARE AWARDED FOR PALMS, EXCEPT WHEN THAT PLANT CONTINUES AN EXISTING PLANTING PATTERN) * STREET TREES PLANTED LARGER THAN 15 GALLON, 36" BOX TREE/ 3 POINT PER TREE * STREET TREE PATTERN CONTINUED IN THE MEDIAN, IN ADDITION TO POINTS EARNED ABOVE FOR EACH TREE	2	4	LP1.01 , LEGEND #
9. SITE DESIGN * USE OF CLASS I OR CLASS II COMPOSTPRODUCED USING CITY ORGANIC MATERIALS (TOPGRO®IN A MAJORITY OF LANDSCAPE AREAS)	3	9	LP1.01 , LEGEND #
12. BONUS POINTS * N A N R OR A ZONE, ANY DESIGN THAT PHYSICALLY PREVENTS THE PARKING OF ANY VEHICLE IN THE FRONTAGE, EXCEPT IN AN ALLOWED DRIVEWAY	2	2	LP1.01 , LEGEND #
	5	5	LP1.01 , LEGEND #
	5	5	LP1.01 , LEGEND #



CONSTRUCTION LEGEND

- PROPERTY LINE
- EXISTING SIDEWALK
- EXISTING STREET TREE TO BE PROTECTED IN PLACE
- EXISTING TREE TO BE REMOVED
- EXISTING UTILITIES
- TRANSFORMER
- DRIVEWAY INTO UNDERGROUND GARAGE
- CORNER MONUMENT
- PROPOSED STREET TREES IN TREE GRATES
- 5' (W) X 6' (H) DECORATIVE PANELS W/ VINES
- 2' HIGH LOW WALL
- D.G. AREA
- CAFE PATIO
- POTS W/ ALOE HERCULES
- PROPOSED PLANTING
- 6' LONG WOOD BENCH
- 3' HIGH PILASTER W/ DECORATIVE POT
- SHORT-TERM BIKE PARKING (T.B.D.)
- RECTANGULAR POTS (SIZES VARY)
- COLOR CONCRETE W/ SCORE LINES. COLOR & FINISH T.B.D.
- POT W/ PLANTS
- PROPOSED TREES

PROJECT ARCHITECT:

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SEAL



PROJECT:

HAMPTON COURT
MIXED USE DEVELOPMENT
825 HAMPTON DRIVE
VENICE
FOGEL SYSTEMS
VENICE, CA 90291

REVISIONS	DATE	BY

DRAWN BY: DEH
PROJECT ARCHITECT: DAVID J. HIDALGO
DATE: 01.11.2024
SCALE: AS NOTED
PROJECT NO: 22022.20

- | | | |
|-------------------------------------|-----------------------|----------|
| <input type="checkbox"/> | DESIGN DEVELOPMENT | |
| <input checked="" type="checkbox"/> | ENTITLEMENT PACKAGE | 08.30.23 |
| <input type="checkbox"/> | PROGRESS CONST. DOC'S | |
| <input type="checkbox"/> | CITY SUBMITTAL | |
| <input type="checkbox"/> | BID PACKAGE | |
| <input type="checkbox"/> | CONSTRUCTION ISSUE | |
| <input type="checkbox"/> | RECORD DRAWINGS | |

SEAL

SHEET TITLE

**1ST FLOOR
LANDSCAPE
PLAN**

SHEET:

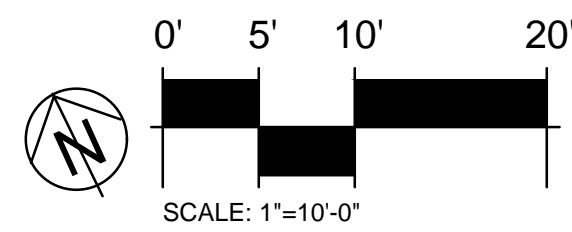
LP1.01

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TREES



FRONT PLAZA



LANDSCAPE ARCHITECT'S SEAL

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SEAL



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REVISIONS	DATE	BY

DRAWN BY: DEH
PROJECT ARCHITECT: DAVID J. HIDALGO
DATE: 01.11.2024
SCALE: AS NOTED
PROJECT NO: 22022-20

- ☐ DESIGN DEVELOPMENT
- ☒ ENTITLEMENT PACKAGE 08.30.23
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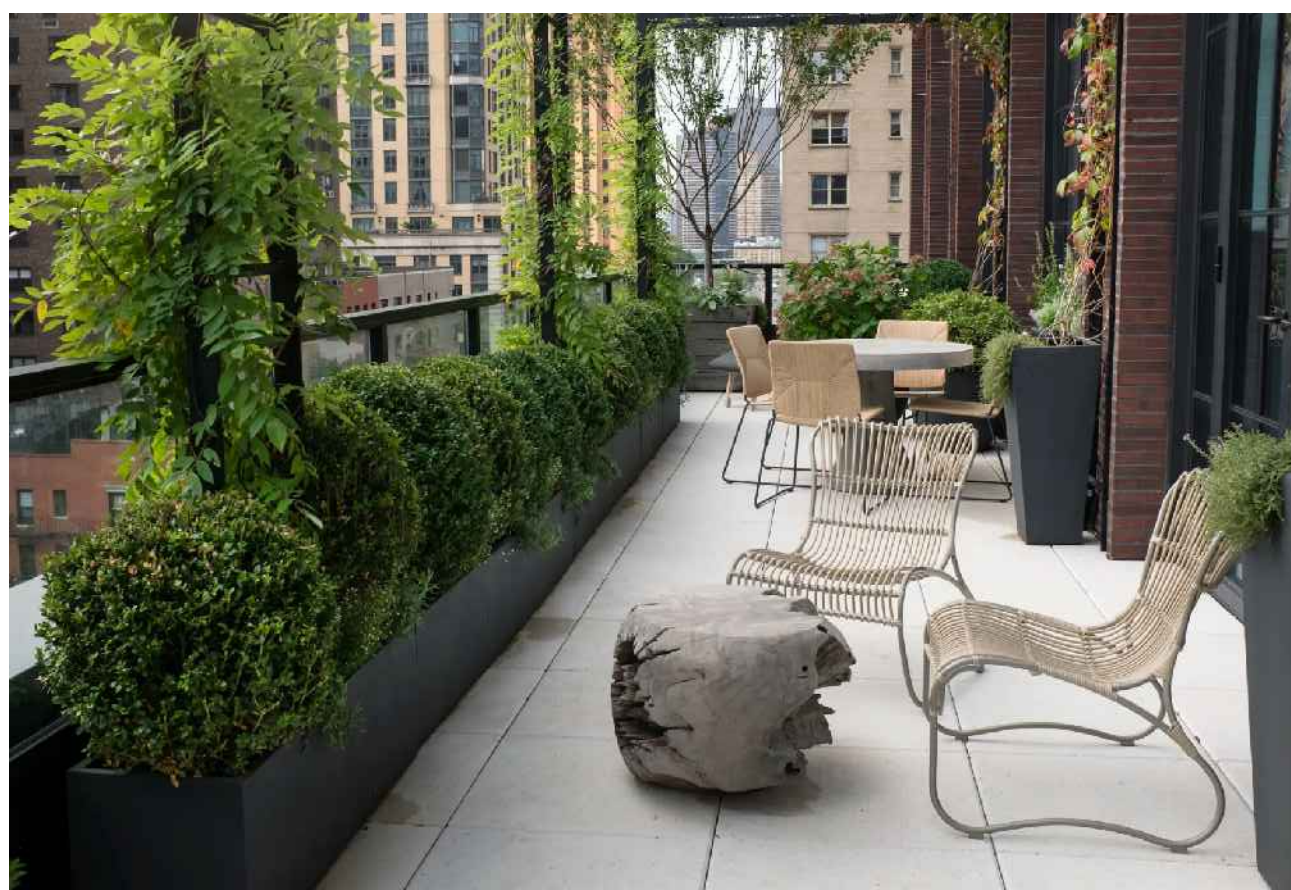
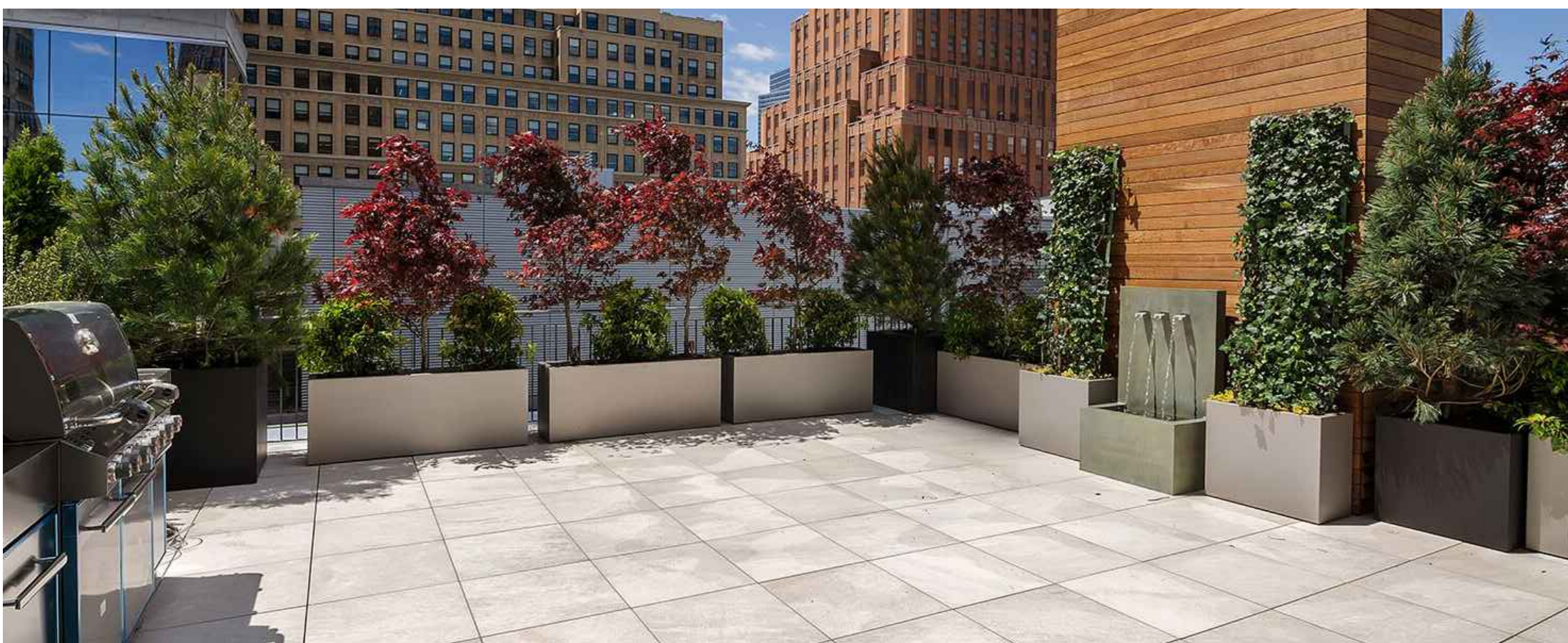
SHEET TITLE

**1ST FLOOR
LANDSCAPE
PLAN**

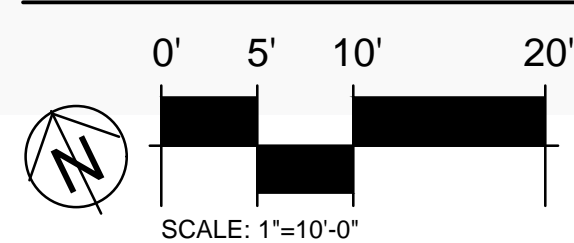
SHEET:

LP1.01.1

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2ND FLOOR



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SEAL

REGISTERED LANDSCAPE ARCHITECT
DAVID HIDALGO
SIGNATURE
RENEWAL DATE
EXPIRATION DATE
STATE OF CALIFORNIA

PROJECT:

HAMPTON COURT
MIXED USE DEVELOPMENT
825 HAMPTON DRIVE
VENICE
FOGEL
825 HAMPTON DRIVE
VENICE, CA 90291

REVISIONS	DATE	BY

DRAWN BY: DEH

PROJECT ARCHITECT: DAVID J. HIDALGO

DATE: 01.11.2024

SCALE: AS NOTED

PROJECT NO: 22022.20

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<input type="checkbox"/>	RECORD DRAWINGS	

SEAL

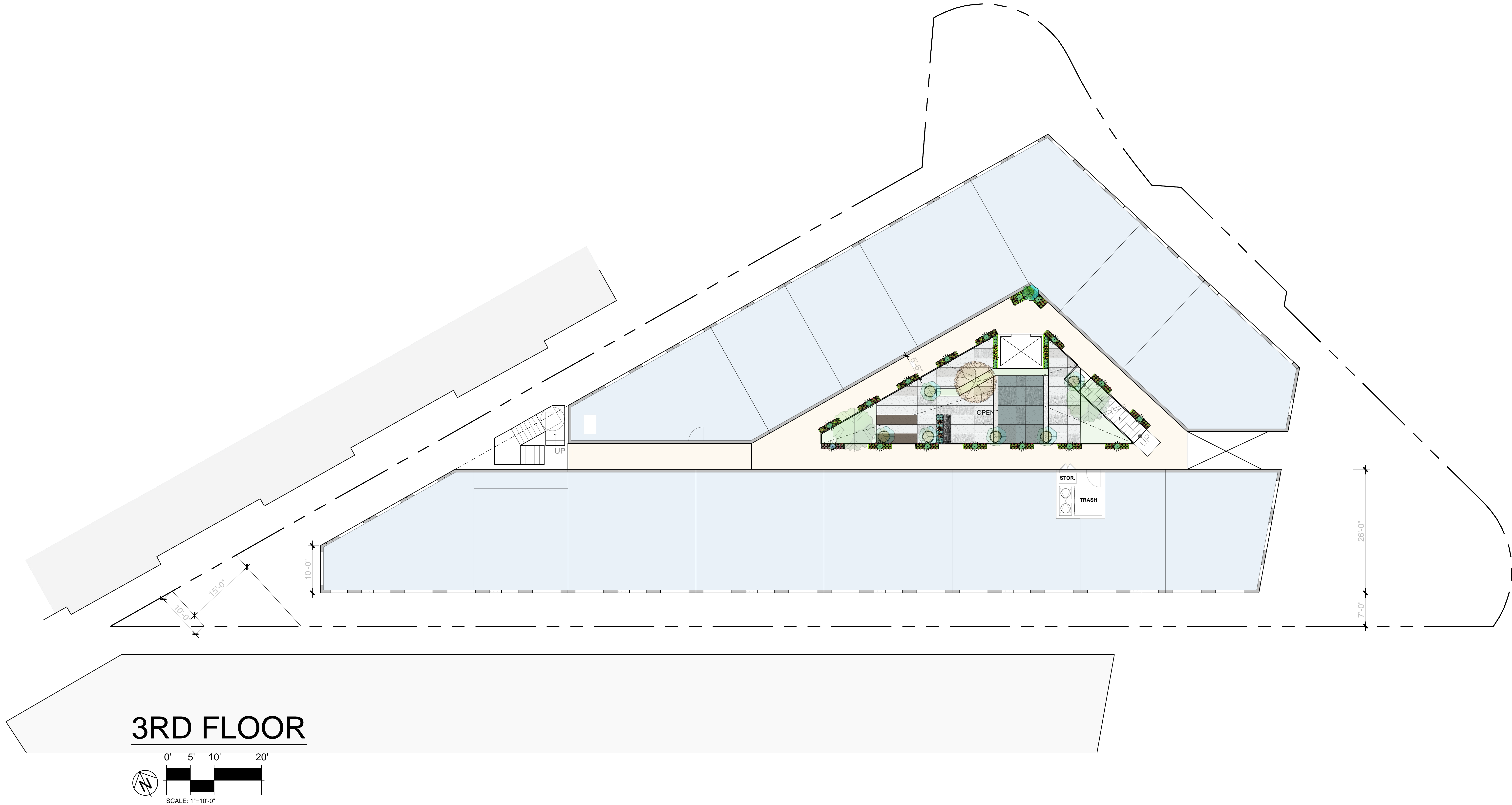
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**2ND FLOOR
LANDSCAPE
PLAN**

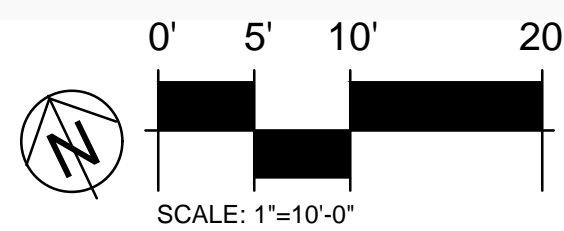
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3RD FLOOR



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SEAL

PROJECT:
CALIFORNIA
VENICE
FOGEL
825 HAMPTON DRIVE
VENICE, CA 90291

PROJECT:
HAMPTON COURT
MIXED USE DEVELOPMENT
825 HAMPTON DRIVE

REVISIONS

REVISIONS	DATE	BY

DRAWN BY: DEH
PROJECT ARCHITECT: DAVID J. HIDALGO
DATE: 01.11.2024
SCALE: AS NOTED
PROJECT NO: 22022.20

☐ DESIGN DEVELOPMENT
☒ ENTITLEMENT PACKAGE 08.30.23
☐ PROGRESS CONST. DOC'S.
☐ CITY SUBMITTAL
☐ BID PACKAGE
☐ CONSTRUCTION ISSUE
☐ RECORD DRAWINGS

SEAL

SHEET TITLE
3RD FLOOR
LANDSCAPE
PLAN

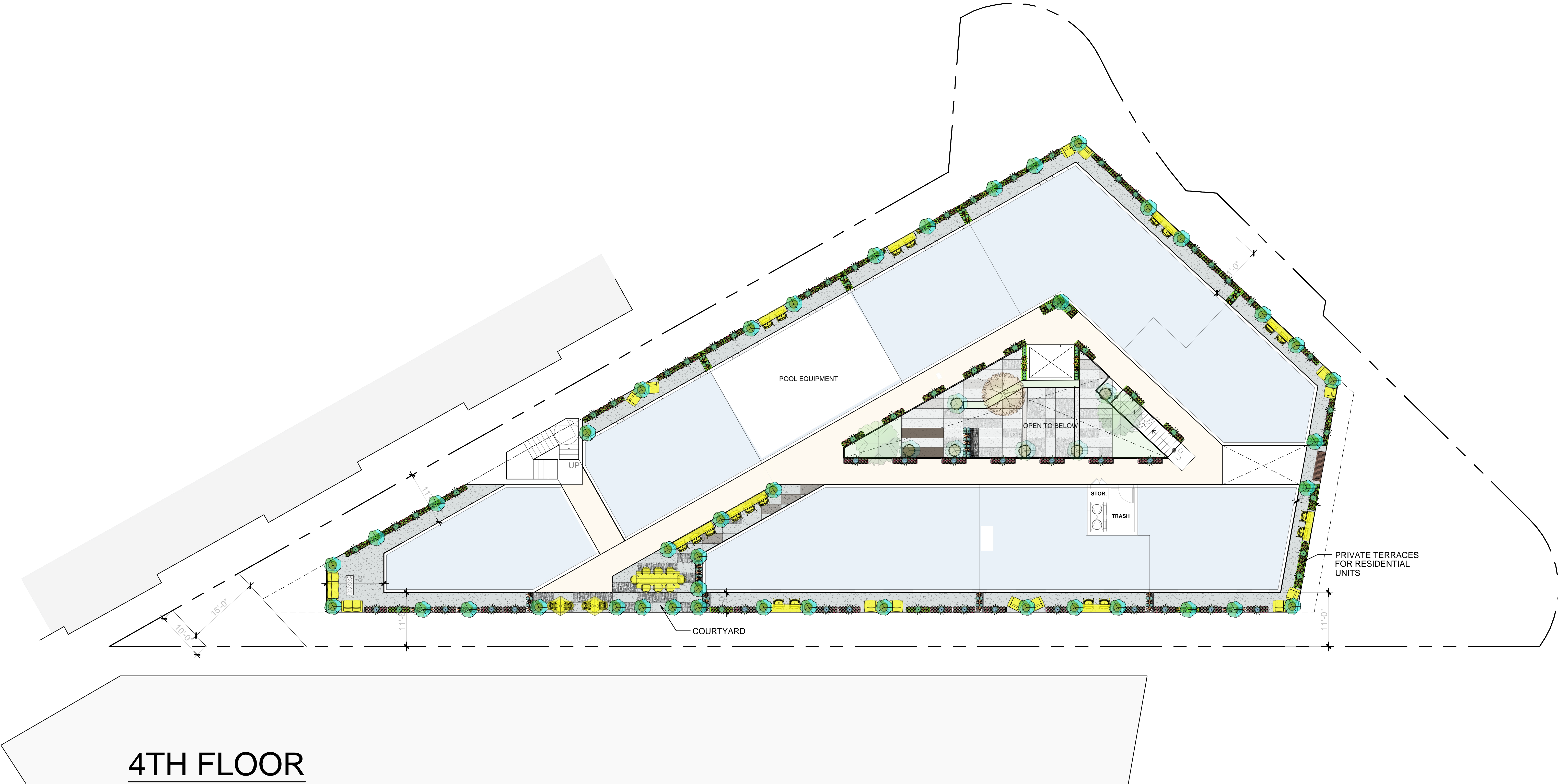
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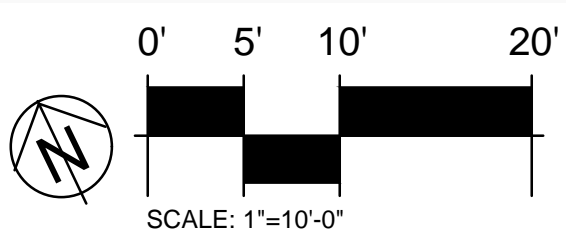
SHADE PLANTS



SUCCULENT PLANTS



4TH FLOOR



PROJECT ARCHITECT:

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planning+art+design

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SEAL

REGISTERED LANDSCAPE ARCHITECT
DAVID HIDALGO
RENEWAL DATE 01/11/2024
DATE 08/30/23
STATE OF CALIFORNIA

PROJECT:

HAMPTON COURT
MIXED USE DEVELOPMENT
825 HAMPTON DRIVE
VENICE
FOGEL
825 HAMPTON DRIVE
VENICE, CA 90291

REVISIONS	DATE	BY:

DRAWN BY: DEH

PROJECT ARCHITECT: DAVID J. HIDALGO

DATE: 01.11.2024

SCALE: AS NOTED

PROJECT NO: 22022.20

☐ DESIGN DEVELOPMENT

☒ ENTITLEMENT PACKAGE 08.30.23

☐ PROGRESS CONST. DOC'S.

☐ CITY SUBMITTAL

☐ BID PACKAGE

☐ CONSTRUCTION ISSUE

☐ RECORD DRAWINGS

SEAL

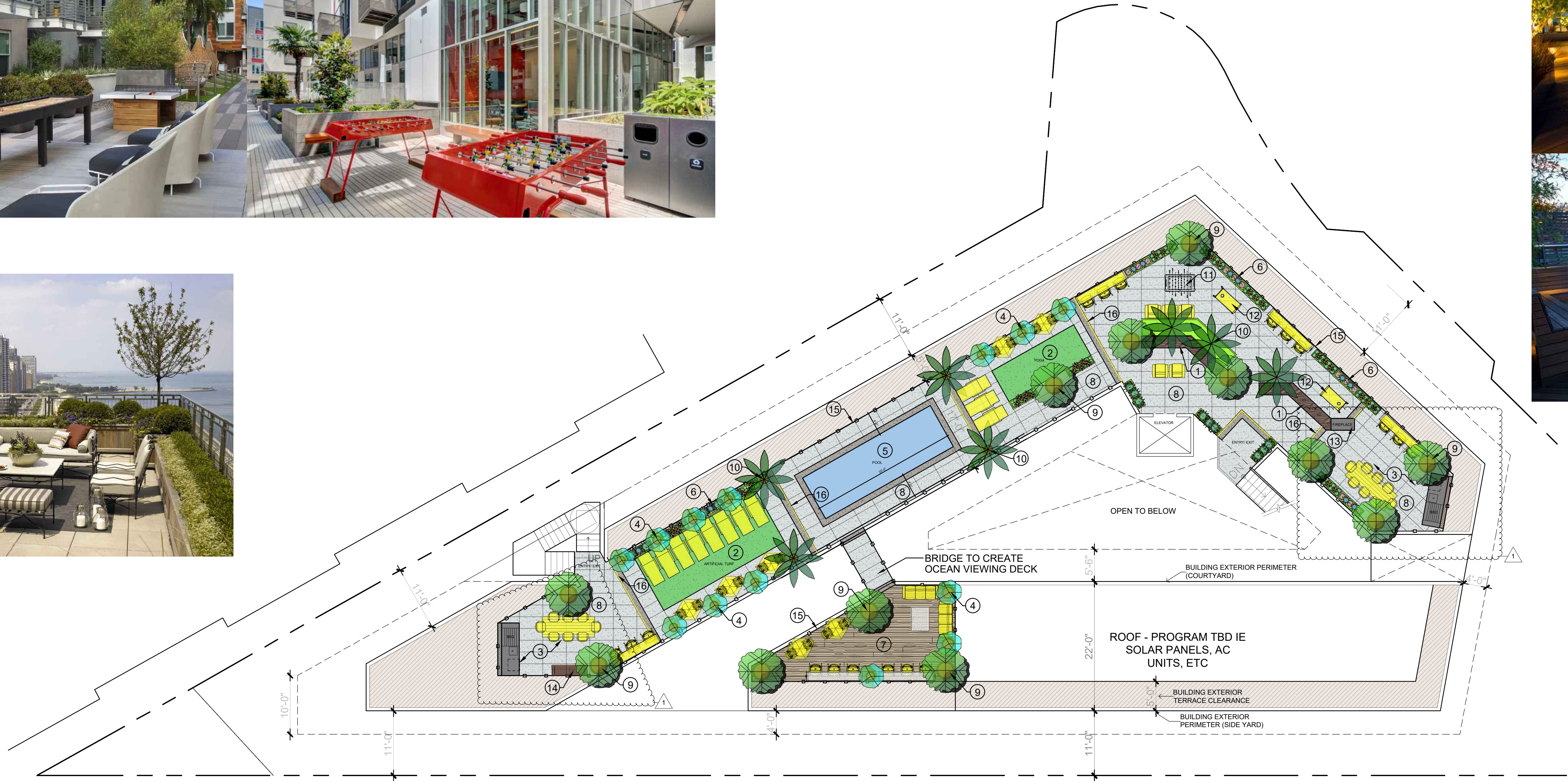
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**4TH FLOOR
LANDSCAPE
PLAN**

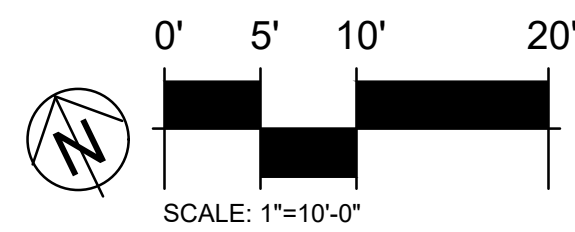
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ROOF TERRACE



ROOF TERRACE CONSTRUCTION LEGEND

- 2' HIGH LOW WALL
- ARTIFICIAL TURF YOGA / LOUNGE AREA
- BBO AREAS W/ DINING TABLES
- POTS W/ ALOE HERCULES
- POOL
- RECTANGULAR POTS (SIZES VARY)
- WOOD PATTERN PAVERS @ OCEAN VIEWING DECK
- COLORLED CONCRETE W/ SCORE LINES. COLOR & FINISH T.B.D.
- CIRCULAR POT W/ PLANTS (SIZES VARY)
- PROPOSED PALM TREES
- FOOSBALL COURT
- CORNHOLE AREA
- FIREPLACE
- 6' LONG WOOD BENCH
- GLASS RAIL FENCE
- LINEAR LIGHTING

PROJECT ARCHITECT:

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DAVID HIDALGO
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DATE
STATE OF CALIFORNIA

PROJECT:

CALIFORNIA

HAMPTON COURT
MIXED USE DEVELOPMENT
825 HAMPTON DRIVE
VENICE
FOSEL
825 HAMPTON DRIVE
VENICE, CA 90231

REVISIONS	DATE	BY
PZA CORRECTIONS #1	02.20.24	SP

DRAWN BY: DEH
PROJECT ARCHITECT: DAVID J. HIDALGO
DATE: 01.11.2024
SCALE: AS NOTED
PROJECT NO: 22022.20

<input type="checkbox"/>	DESIGN DEVELOPMENT
<input checked="" type="checkbox"/>	ENTITLEMENT PACKAGE 08.30.23
<input type="checkbox"/>	PROGRESS CONST. DOC'S.
<input type="checkbox"/>	CITY SUBMITTAL
<input type="checkbox"/>	BID PACKAGE
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SEAL

SHEET TITLE

ROOF TERRACE
LANDSCAPE
PLAN

SHEET:

LP1.04