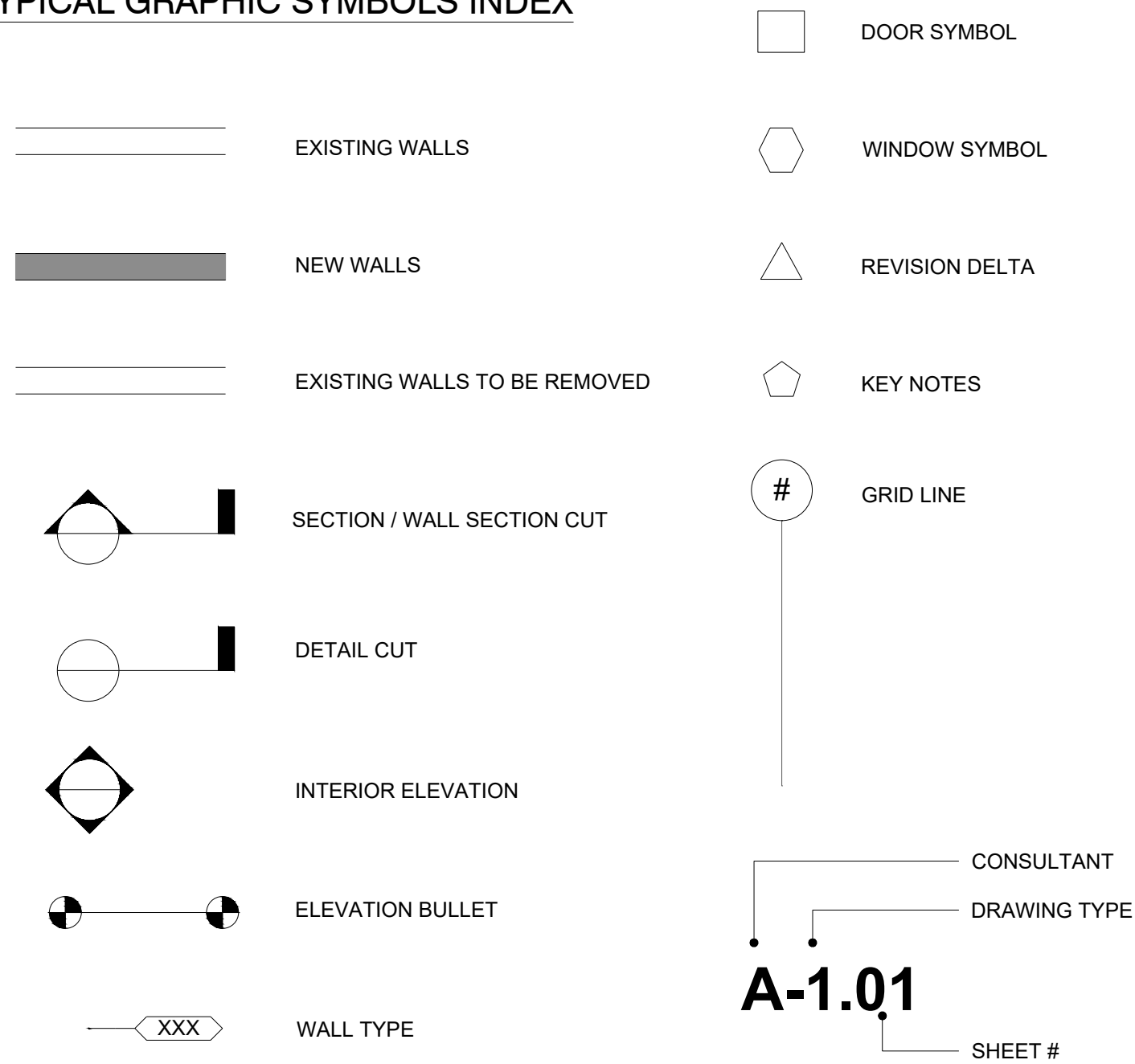


TYPICAL GRAPHIC SYMBOLS INDEX



TYPICAL NOTES INDEX

| | | | | | |
|-------|-----------------------|--------|---------------------------|----------|------------------|
| ADJ | ADJACENT | F.F. | FINISH FACE | PL | PLATE |
| AFF | ABOVE FINISH FLOOR | FFL | FINISHED FLOOR LEVEL | P.L. | PROPERTY LINE |
| ALUM | ALUMINUM | FLR | FLOOR | PLAS | PLASTER |
| ANOD | ANODISED | FLUR | FLUORESCENT | P.LAM | PLASTIC LAMINATE |
| ATT | ATTENUATION | FIN | FINISH | PLY | PLYWOOD |
| @ | AT | FOC | FACE OF CONCRETE | PT | PRESSURE TREATED |
| BETW | BETWEEN | FOS | FACE OF STUD | PTD | PAINTED |
| BLKG | BLOCKING | FOW | FACE OF WALL | RAD | RADIUS |
| BM | BEAM | FURR | FURRING | RE | REFER TO |
| BSMT | BASEMENT | GA | GAUGE | RES | RESISTANT |
| C | CHANNEL | GALV | GALVANIZED | RESIL | RESILIENT |
| CEM | CEMENT | GLAZ | GLAZING | REQ'D | REQUIRED |
| C.J. | CONTROL JOINT | GI | GALVANIZED IRON | RM | ROOM |
| CL | CENTER LINE | GYP BD | GYPSUM BOARD | R.O. | ROUGH OPENING |
| CLNG | CEILING | HC | HOLLOW CORE | S.C. | SOLID CORE |
| CLR | CLEAR | HM | HOLLOW METAL | SCHED | SCHEDULE |
| CMU | CONCRETE MASONRY UNIT | HT | HEIGHT | SECT | SECTION |
| COL | COLUMN | INS | INSULATION | SHT | SHEET |
| CONCL | CONCEALED | INT | INTERIOR | SIM | SIMILAR |
| CONC | CONCRETE | JT | JOINT | S.S. STL | STAINLESS STEEL |
| CONST | CONSTRUCTION | LEV | LEVEL | STRUCT | STRUCTURE |
| CONT | CONTINUOUS | LOC | LOCATION | SUSP | SUSPENDED |
| DBL | DOUBLE | T.B.C. | TO BE CONFIRMED | | |
| DIM | DIMENSION | T.B.D. | TO BE DETERMINED | | |
| DN | DOWN | THK | THICK | | |
| DR | DOOR | THRU | THROUGH | | |
| DTL | DETAIL | T.O. | TOP OF | | |
| DWG | DRAWING | TYP | TYPICAL | | |
| EA | EACH | U.O.N. | UNLESS OTHERWISE NOTIFIED | | |
| E.J. | EXPANSION JOINT | VEN | VENEER | | |
| EL | ELEVATION | VER | VERIFY | | |
| ELEC | ELECTRICAL | W/ | WITH | | |
| ELEV | ELEVATOR | WD | WOOD | | |
| EQ | EQUAL, EQUAL TO | WP | WATERPROOF | | |
| EQUIP | EQUIPMENT | W.R. | WATER RESISTANT | | |
| EXP | EXPANSION | X | DRAWING # TO FOLLOW | | |
| EXT | EXTERIOR | A-XX | SHEET # TO FOLLOW | | |



VICINITY MAP | SCALE: NTS

DRAWING INDEX:

- ARCHITECTURAL DRAWINGS:**
- A-0.00 TITLE SHEET / GENERAL INFO / SITE PLAN
 - A-0.80 SURVEY (BY OTHERS)
 - A-0.90 FLOOR AREA & PARKING CALCS
 - A-1.00 EXISTING / DEMO FLOOR PLAN
 - A-1.10 GROUND FLOOR PLAN PROPOSED
 - A-1.20 SECOND FLOOR PLAN PROPOSED
 - A-1.30 ROOF PLAN PROPOSED
 - A-2.00 BUILDING ELEVATIONS
 - A-3.00 BUILDING SECTIONS
- STRUCTURAL DRAWINGS:**
- S-0.1 GENERAL NOTES
 - S-0.2 GENERAL NOTES
 - S-1.0 FOUNDATION PLAN
 - S-1.1 SECOND FL FRAMING PLAN
 - S-1.2 ROOF FRAMING PLAN
 - S-3.0 DETAILS
 - S-4.0 DETAILS
 - S-4.1 DETAILS
 - S-5.0 DETAILS
 - S-5.1 DETAILS
 - S-5.2 DETAILS
 - S-5.3 DETAILS
 - S-6.0 DETAILS
 - S-6.1 DETAILS
 - S-7.0 DETAILS
 - S-8.0 DETAILS
 - S-8.1 DETAILS
 - S-7.0 DETAILS

PROJECT PARTICIPANTS

OWNER / CLIENT:
 NAME: 40-46 WINDWARD AVE LLC
 C/O: ANN EVEREST
 ADDRESS: 2454 WILSHIRE BLVD. SANTA MONICA, CA 90403
 PHONE: 310.828.5700

ARCHITECT:
 HUUM ARCHITECTS
 58 WINDWARD AVE. VENICE, CA 90291
 CONTACT: JOHN UMBANHOWAR | john@huum.com | (310) 399 - 5757
 DAVID JOHNSON | david@huum.com | (516) 317 - 8257

PROJECT DATA

ADDRESS: 40 - 46 WINDWARD AVE
 VENICE, CA 90291

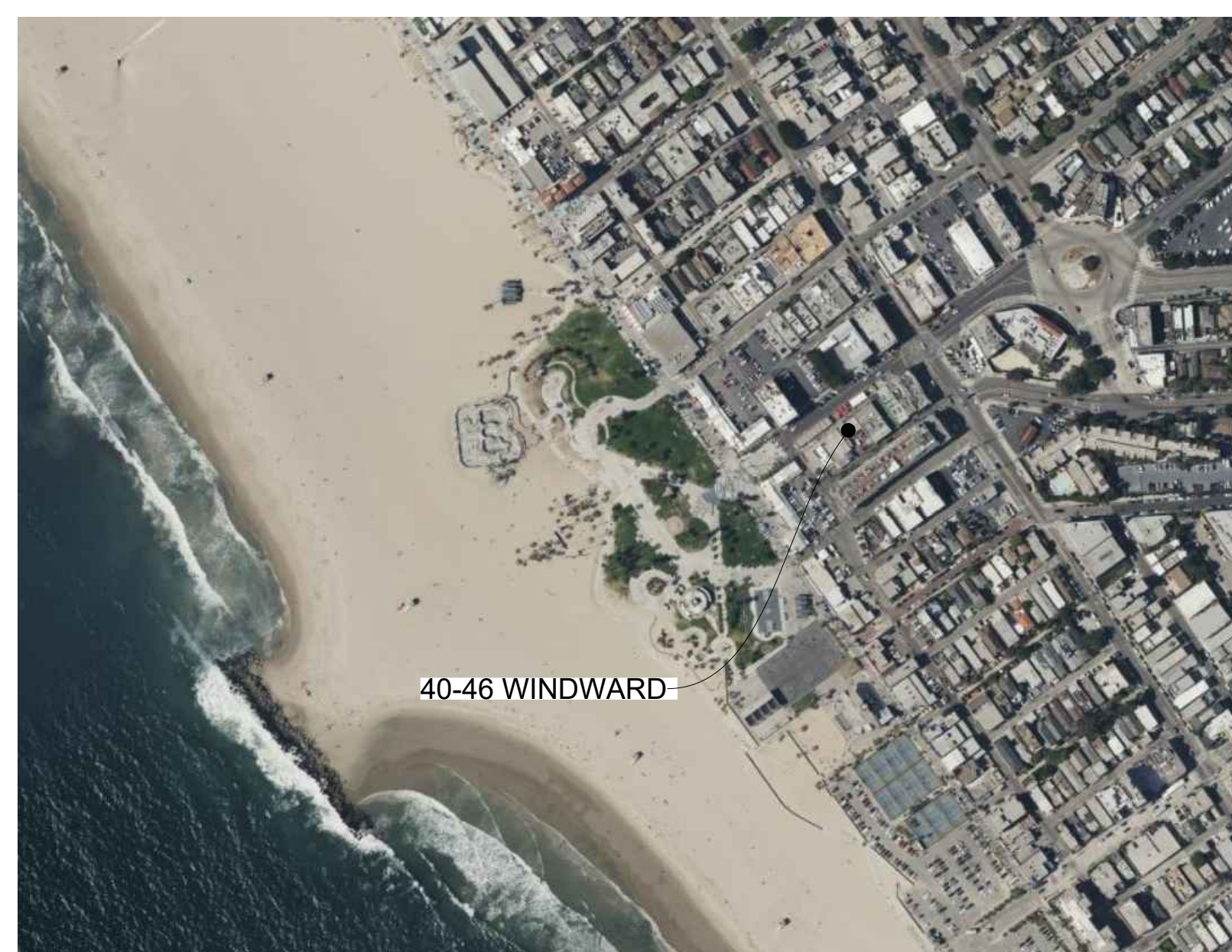
APN: 4226009015
 ZONE: C2-1-CA
 TRACK: VENICE OF AMERICA
 BLOCK: 2
 LOT: 21 & 22
 LOT AREA: 4,071.4 SQ.FT.
 TYPE: TYPE V-B
 OCCUPANCY: A2
 PARKING: 8 STALLS + 16 BICYCLE (REFER TO A0.90 FOR CALCS)
 (4 BICYCLE CREDITS - CITY FUNDED BICYCLE CORRAL WITHIN 500')
 PROVIDED (UNDER SEPARATE PERMIT)

BUILDING INFORMATION:

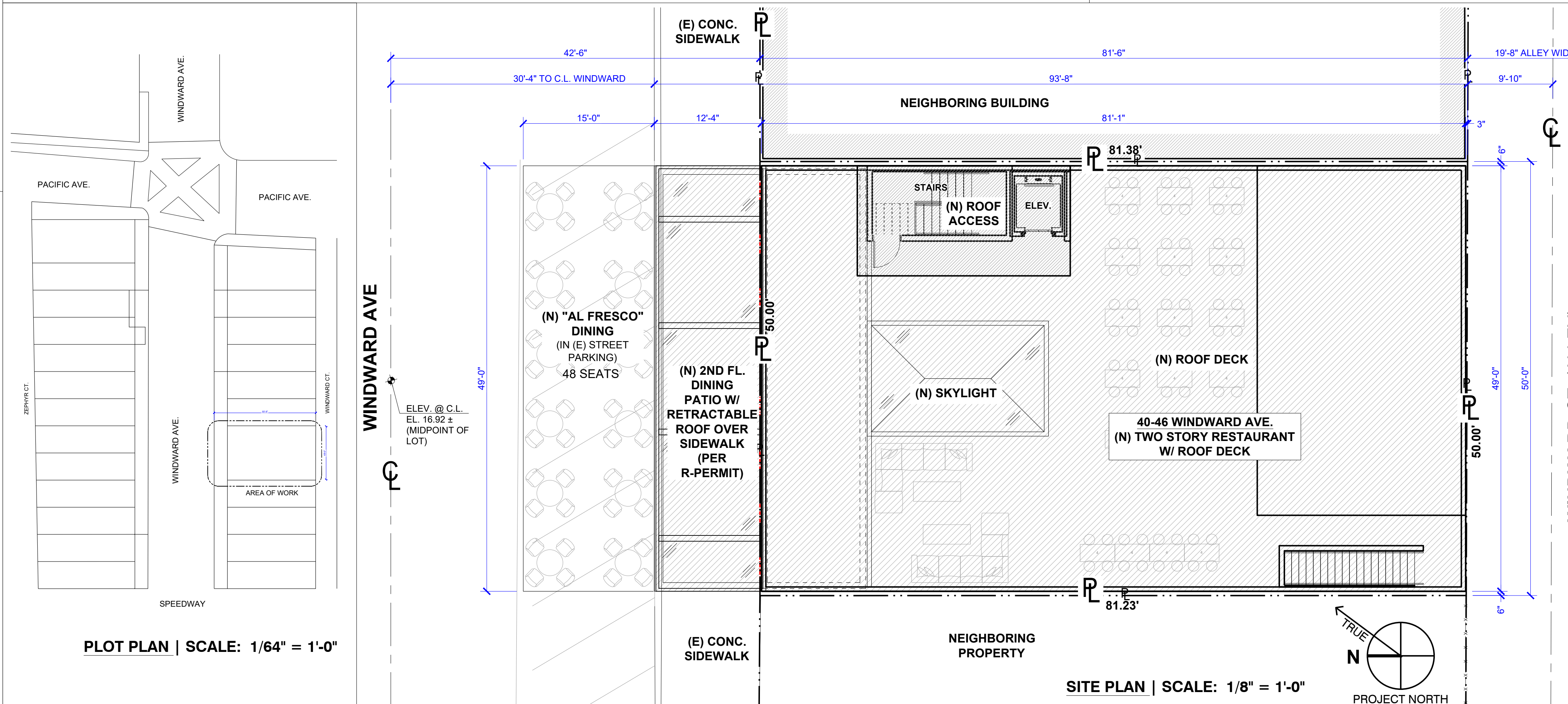
CONSTRUCTION TYPE: V-A
 PROJECT VALUATION: \$650,000
 BLDG SQ FT: 5,435 SQ.FT. (REFER TO A0.90 FOR CALCS)
 PROPOSED FAR: 1.33 TO 1 FAR (5,435 / 4,071.4)
 MAX. RESTAURANT FAR: 0.5 TO 1 FAR (PER VSP) = 2,035.7 SQ.FT.
 BLDG HEIGHT: EXISTING = ± 16'-0" (PER SURVEY)
 PROPOSED = 30'-0" TOP OF ROOF PARAPET
 + 10'-0" TALL ROOF ACCESS STAIR & ELEV. TOWER
 (PER VSP - MAX 30' FLAT ROOF, 35' SLOPED)
 EXISTING = ONE STORY
 PROPOSED = TWO STORY W/ ROOF DECK
 NUMBER OF STORIES: 0'-0" W/ BUILDING IN PUBLIC RIGHT OF WAY
 (OVER SIDEWALK PER BOE R PERMIT)
 FRONT SETBACK: 0'-0"
 SIDE YARD SETBACK: 0'-0"
 REAR YARD SETBACK: 0'-0"
 BUILDING CODE: BASED ON 2022 LABC / LARC & 2022 CBC / CRC
 HILLSIDE: NO
 COASTAL: YES, DUAL
 SPECIFIC PLAN: VENICE SPECIFIC PLAN - NORTH VENICE
 METHANE ZONE: YES
 AB2097: YES

PROJECT DESCRIPTION:

- DEMO (E) RESTAURANT & RETAIL BUILDINGS
- BOE R-PERMIT FOR ARCADE & DINING PATIO OVER SIDEWALK IN PUBLIC RIGHT OF WAY
- PERMIT FOR SHELL & CORE FOR NEW TWO STORY RESTAURANT / BAR & ROOF DECK
 - GROUND FLOOR DINING & KITCHEN, ARCADE OVER SIDEWALK
 - SECOND FLOOR KITCHEN / BACK OF HOUSE, DINING, BAR, OUTDOOR DINING PATIO OVER SIDEWALK ARCADE.
 - THIRD FLOOR ROOF DECK
 - PARKING @ GROUND LEVEL REAR OF BUILDING, ACCESS FROM ALLEY
- *AL FRESCO* DINING IN STREET
- LID EXEMPT PER REVISED ORDINANCE DATED 4/2/24 FOR (N) RESTAURANT UNDER 5,000 SF OF IMPERMEABLE AREA.



VICINITY MAP



PLOT PLAN | SCALE: 1/64" = 1'-0"

SITE PLAN | SCALE: 1/8" = 1'-0"

PLANNING SUBMISSION
NOT FOR CONSTRUCTION
WINDWARD RESTAURANT
 40-46 Windward Ave. Venice, CA 90291

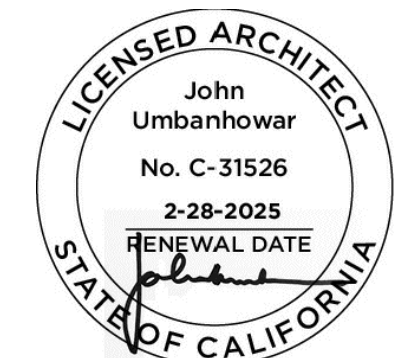
ARCHITECT:

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 hughesumbanhowar

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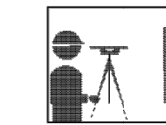
scale: PER DWG print date: 07/22/24
 project: 23_298

drawing:

TITLE SHEET / GENERAL INFO

sheet:

A-0.00



LAWRENCE J. SCHMAHL LICENSED SURVEYOR PLS 5748
 11209 HOWARD ST. WHITTIER, CALIFORNIA 90606 (562) 908-0570 / (323) 773-1675

TOPOGRAPHIC SURVEY

SCALE: 1" = 8'

OCTOBER, 2015

LEGAL DESCRIPTION:

LOTS 21 AND 22, BLOCK 2, OF VENICE OF AMERICA, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGES 126 AND 127 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK:

SPIKE IN WEST CURB OF PACIFIC AVE, 6FT SOUTH OF BCR SOUTH OF WINDWARD AVE.

LABMH 16-00618 EL= 17.717FT(2000) NAVD 1988

FOR:

GENERAL REAL ESTATE MANAGEMENT
 2452 WILSHIRE BLVD.
 SANTA MONICA, CA 90403

BY:

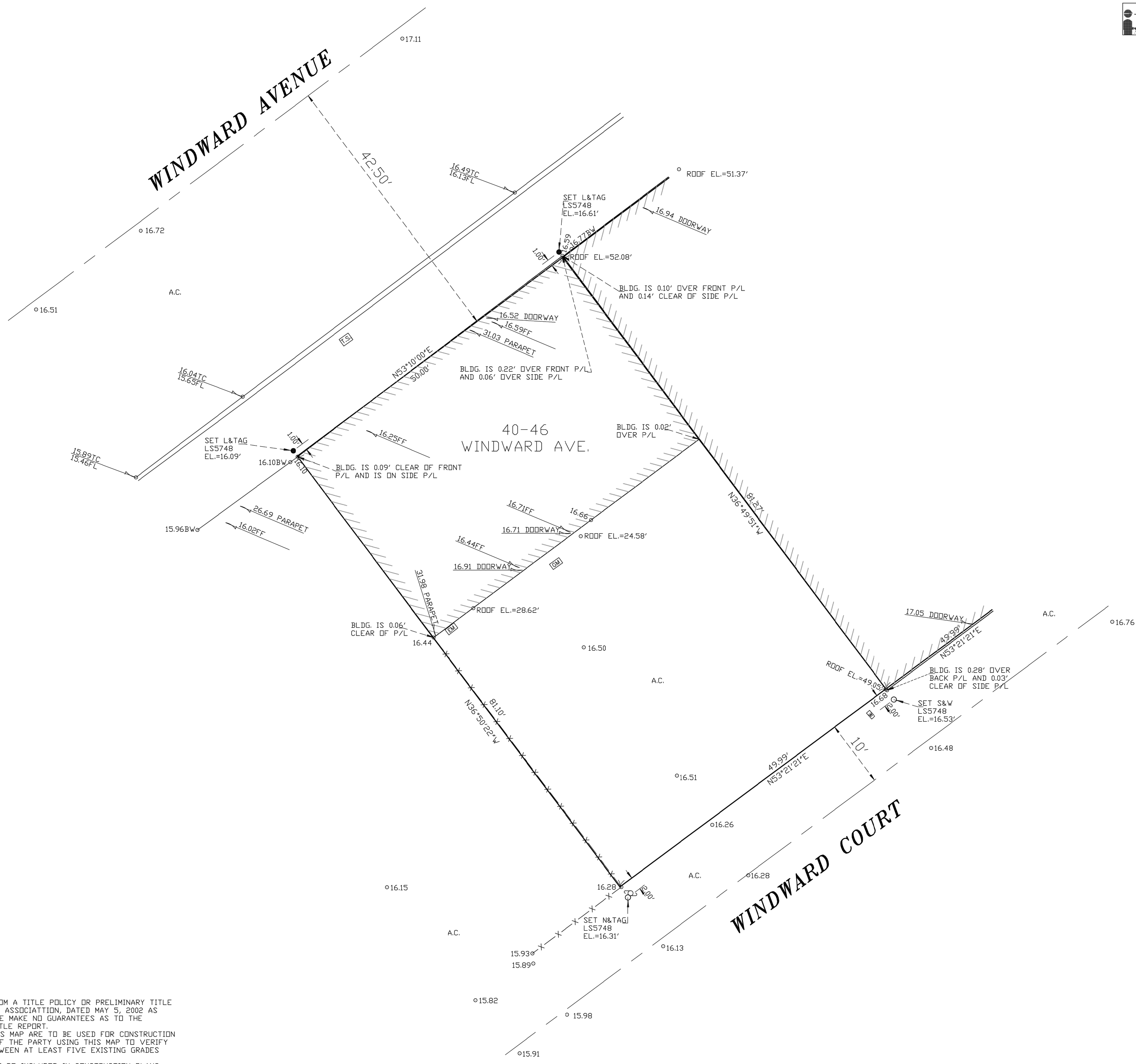
LAWRENCE J. SCHMAHL L.S. 5748

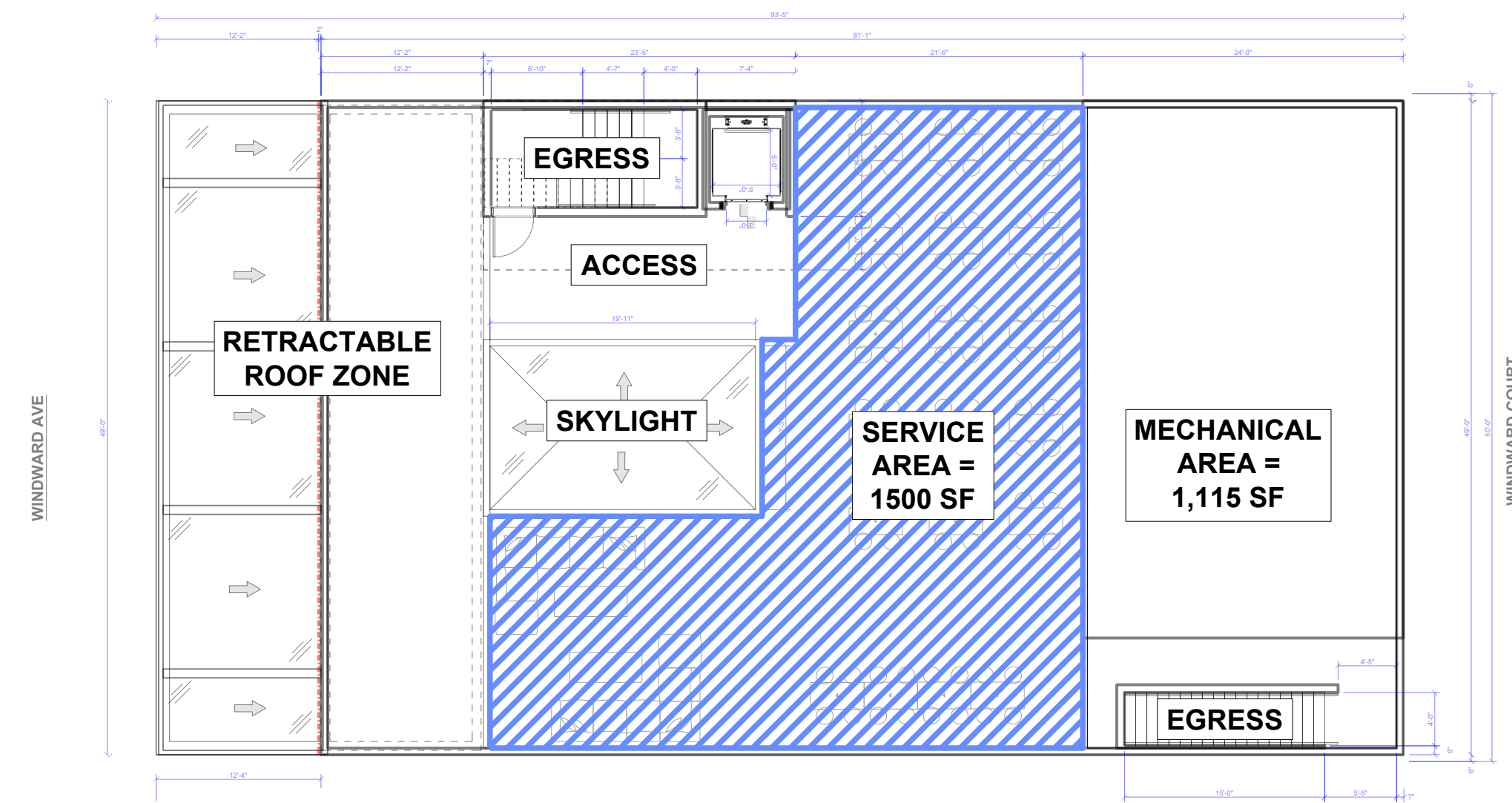
LEGEND:

- A.C. ASPHALT CONCRETE
- BW BACK OF WALK
- CONC. CONCRETE
- E EAST
- FF FINISHED FLOOR
- FL FLOWLINE
- N NORTH
- S SOUTH
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP OF WALL
- W WEST
- ⊙ BOLLARD
- ▬ BUILDING LINE
- CENTERLINE
- ▬▬▬ EDGE OF PAVEMENT
- ⊠ ELECTRIC METER
- x-x-x- FENCE, CHAIN-LINK
- FENCE, WOOD
- |-|-|- FENCE, WIRE
- ⊠ GAS METER
- ⊙ LIGHT POLE
- ⊙ POWER POLE
- ▬ PROPERTY LINE
- ⊙ SEWER MANHOLE
- SPOT ELEVATIONS
- ⊠ TRAFFIC SIGNAL BOX
- ▬ WALL
- ⊠ WATER METER
- ⊙ WATER VALVE

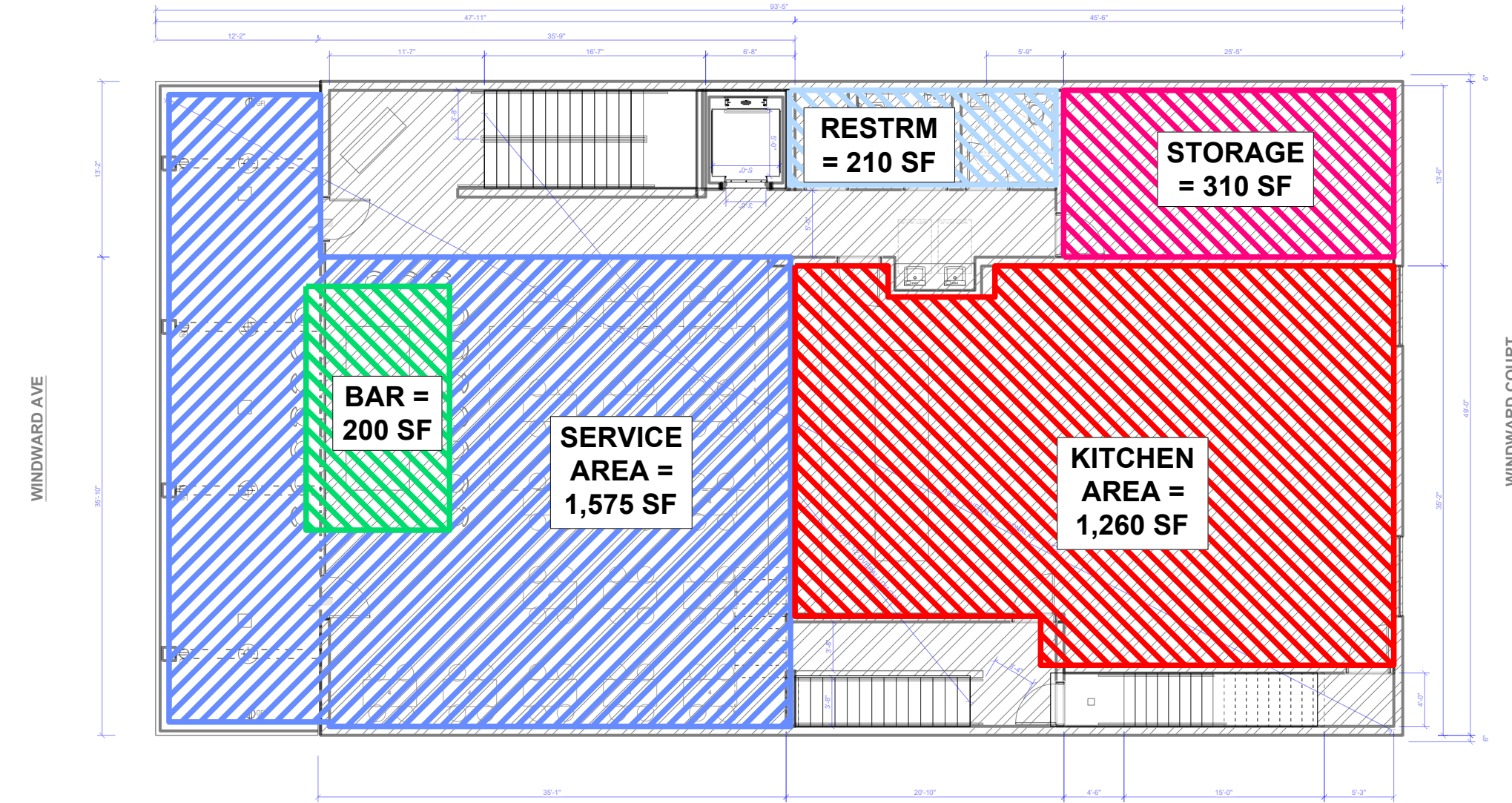
NOTE:

THE EASEMENTS SHOWN WERE TAKEN FROM A TITLE POLICY OR PRELIMINARY TITLE REPORT PREPARED BY CALIFORNIA TITLE ASSOCIATION, DATED MAY 5, 2002 AS DOCUMENT NUMBER 2002-1156538, AND WE MAKE NO GUARANTEES AS TO THE ACCURACY OR COMPLETENESS OF THE TITLE REPORT.
 IF THE EXISTING GRADES SHOWN ON THIS MAP ARE TO BE USED FOR CONSTRUCTION PURPOSES, IT IS THE RESPONSIBILITY OF THE PARTY USING THIS MAP TO VERIFY THE VERTICAL DATUM BY CHECKING BETWEEN AT LEAST FIVE EXISTING GRADES SHOWN HEREON.
 IF THE INFORMATION ON THIS MAP IS TO BE INCLUDED IN CONSTRUCTION PLANS, THIS MAP IN ITS ENTIRETY MUST BE MADE A PART OF THOSE CONSTRUCTION PLANS.

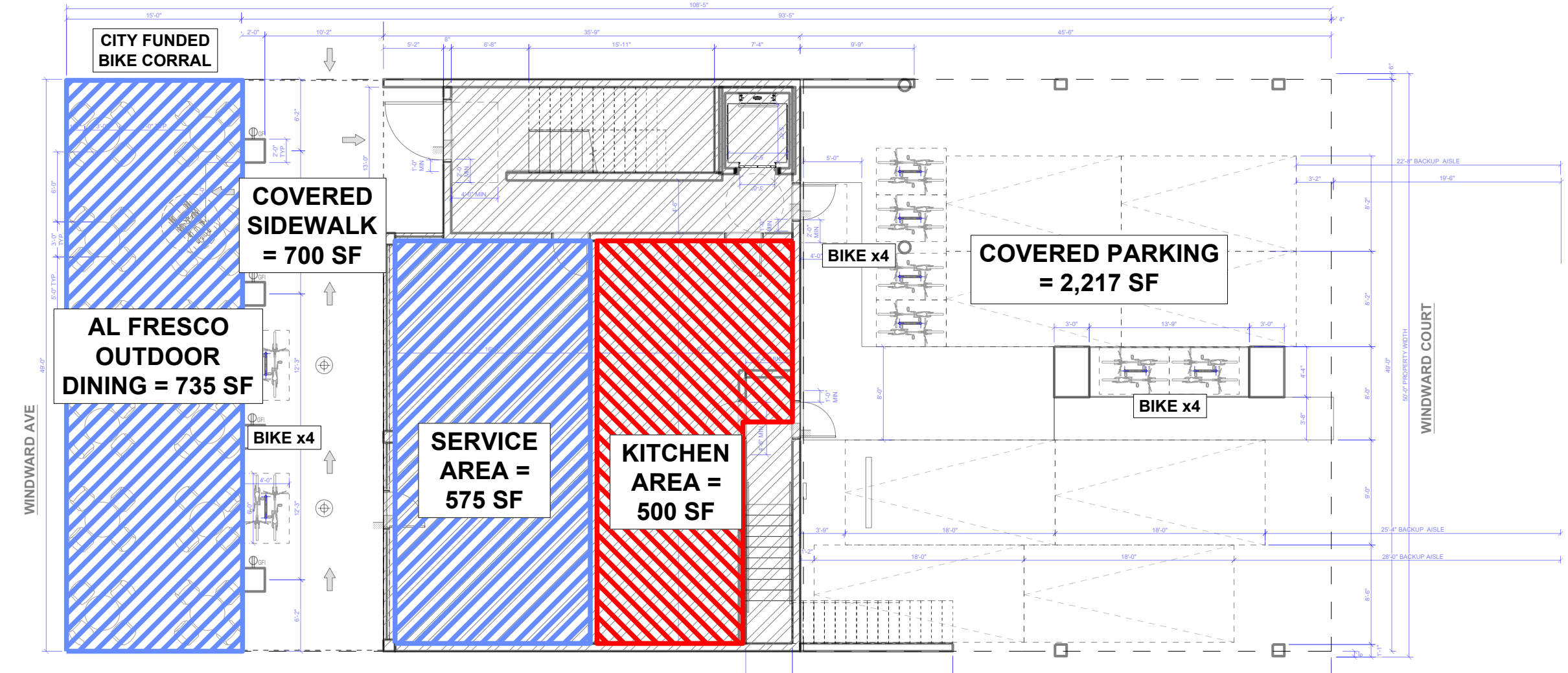




PROPOSED ROOF AREA CALCS
PLANNING SQ.FT. (TO EXT.OF WALL) = 0 SQ.FT.
 (EXCLUDES STAIRS & ELEVATOR CORE)



PROPOSED SECOND AREA CALCS
PLANNING SQ.FT. (TO EXT.OF WALL) = 3,750 SQ.FT.
 (EXCLUDES STAIRS & ELEVATOR CORE)



PROPOSED FIRST AREA CALCS
PLANNING SQ.FT. (TO EXT.OF WALL) = 1,685 SQ.FT.

| TOTAL BUILDING SQ. FT. (TO EXT. OF WALL) | |
|---|--------------------|
| FLOOR | AREA |
| EXISTING BUILDING | 1,717 SQ FT |
| FIRST FLOOR (EXCLUDES COVERED SIDEWALK & PARKING) | 1,685 SQ FT |
| SECOND FLOOR (EXCLUDES STAIRS & ELEVATOR CORE) | 3,750 SQ FT |
| TOTAL PROPOSED SQ.FT. | 5,435 SQ FT |

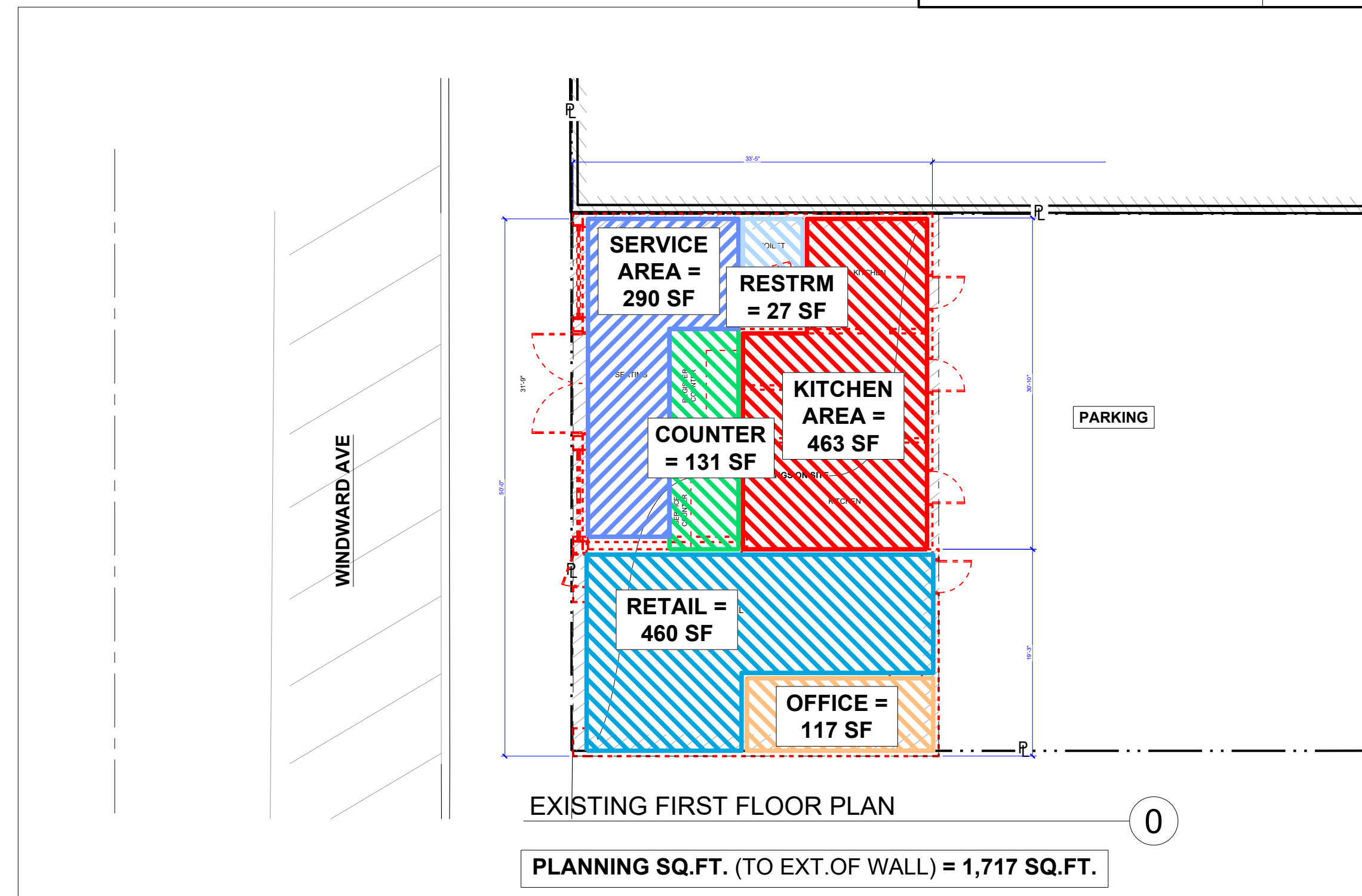
| FLOOR AREA RATIO (FAR) | |
|--------------------------------|---------------|
| LOT AREA | 4,071.4 SQ FT |
| PROPOSED SQ.FT. | 5,435 SQ FT |
| PROPOSED FAR (5,400 / 4,071.4) | 1.33 TO 1 FAR |
| MAX ALLOWABLE FAR (PER VSP) | 0.5 TO 1 FAR |

| RESTROOM CALCULATIONS | |
|---|--------------------|
| OCCUPANCY | REQUIRED W.C |
| *REQUIRED FIXTURES FOR "SHELL & CORE" per "PLUMBING FIXTURES" BULLETIN | 1 MALE 1 FEMALE |
| TOTAL PROVIDED | 1 MALE 1 FEMALE |
| *REFER TO PG. 6 "PLUMBING FIXTURES" BULLETIN- DOCUMENT NO. P/BC 2020-095 (DATED 1.1.2020) <small>"A minimum of one men's and one women's toilet room shall be provided during the 'shell and core'. Additional required fixtures based on the proposed use of the building shall be provided during tenant improvement."</small> | |

| PARKING CALCULATION | | |
|---|-----------------------------------|------------|
| PROGRAM | AREA | CAR SPACES |
| SERVICE 1/50 SQFT | 3,650 SQ FT (INCL. UPPER ROOF) | 73 |
| BEACH IMPACT ZN PER VSP: 1 SPACE / 640 SQFT @ 1ST FL = 1,685 / 640 = 2.63 | | 3 |
| SUB TOTAL | | 76 |
| 18,000 PARKING FUND MAX 50% OF BEACH IMPACT PARKING | | -1 |
| BIKE SWAP CREDIT PER ORDINANCE 185480: MAX. 30% OF AUTOS | | -3 |
| TOTAL AUTO REQUIRED | | 72 |
| STANDARD SPOTS PROVIDED | | 3 |
| ADA VAN SPOT PROVIDED | | 1 |
| COMPACT SPOTS PROVIDED | | 4 |
| TOTAL AUTO PROVIDED | | 8 |
| AB 2097 REDUCTION | | -64 |

| AL FRESCO PARKING CALCULATION | | |
|-------------------------------|-----------|------------|
| PROGRAM | AREA | CAR SPACES |
| SERVICE 1/50 SQFT | 735 SQ FT | 15 |
| TOTAL AUTO REQUIRED | | 15 |
| TOTAL AUTO PROVIDED | | 0 |
| AB 2097 REDUCTION | | -15 |

| BIKE PARKING CALCULATIONS (PER ORDINANCE 185480) | |
|---|-------------|
| | BIKE SPACES |
| REQ'D SHORT TERM | 2 |
| REQ'D LONG TERM | 2 |
| BIKE SWAP (3 AUTO X 4/1 BIKE) | 12 |
| CITY CREDIT (WITHIN 500' OF CITY FUNDED BIKE CORRAL) | - 4 |
| TOTAL REQ'D | 12 |
| TOTAL PROVIDED | 16 |



EXISTING FIRST FLOOR PLAN
PLANNING SQ.FT. (TO EXT.OF WALL) = 1,717 SQ.FT.

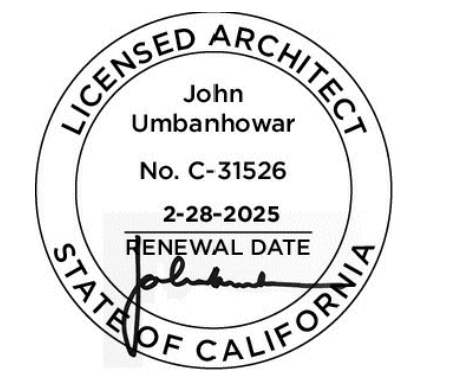
**PLANNING SUBMISSION
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WINDWARD RESTAURANT
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scale: 3/32"=1'-0" print date: 07/22/24
 project: 23_298

drawing:

AREA CALCULATIONS

sheet:

A-0.90b

ARCHITECT:



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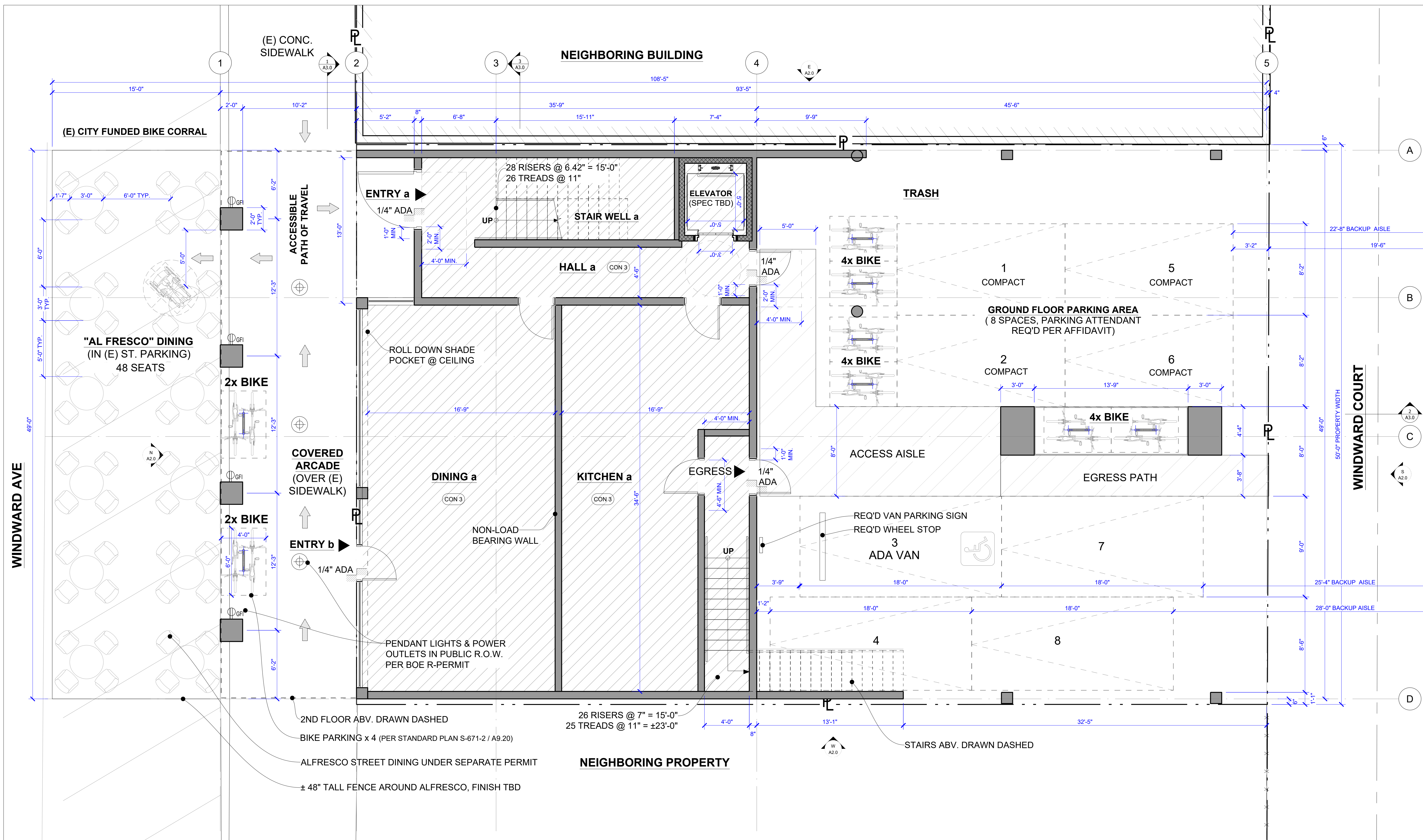
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project: 23_298

drawing:

GROUND FLOOR PLAN
PROPOSED

sheet:

A-1.10b

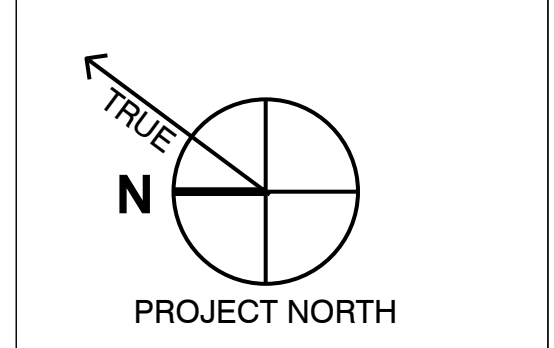


P/ZC 2023-001
TABLE 6: ACCESS AISLE WIDTH FOR 90 DEGREE COMPACT AND STANDARD STALLS

| STANDARD STALLS-RESIDENTIAL | | STANDARD STALLS-ALL OTHERS | | COMPACT STALLS | |
|-----------------------------|-------------|----------------------------|-------------|----------------|-------------|
| STALL WIDTH | AISLE WIDTH | STALL WIDTH | AISLE WIDTH | STALL WIDTH | AISLE WIDTH |
| 8'-6" | 27'-4" | 8'-4" | 26'-0" | 7'-6" | 25'-4" |
| 8'-8" | 26'-8" | 8'-8" | 26'-8" | 7'-10" | 24'-0" |
| 9'-0" | 25'-4" | 9'-0" | 25'-4" | 8'-2" | 22'-8" |
| 9'-4" | 24'-0" | 9'-4" | 24'-0" | 8'-4" | 22'-0" |
| 9'-6" | 23'-4" | 9'-6" | 23'-4" | 8'-6" | 21'-4" |
| 9'-8" | 22'-8" | 9'-8" | 22'-8" | 8'-8" | 20'-8" |
| 9'-10" | 22'-0" | 9'-10" | 22'-0" | 8'-10" | 20'-0" |

WALL LEGEND:

- EXISTING WALL
- DEMO WALL
- NEW WALL
- NEW SQ. FT.



2ND FLOOR ABV. DRAWN DASHED
BIKE PARKING x 4 (PER STANDARD PLAN S-671-2 / A9.20)
ALFRESCO STREET DINING UNDER SEPARATE PERMIT
± 48" TALL FENCE AROUND ALFRESCO, FINISH TBD

26 RISERS @ 7" = 15'-0"
25 TREADS @ 11" = ±23'-0"
STAIRS ABV. DRAWN DASHED

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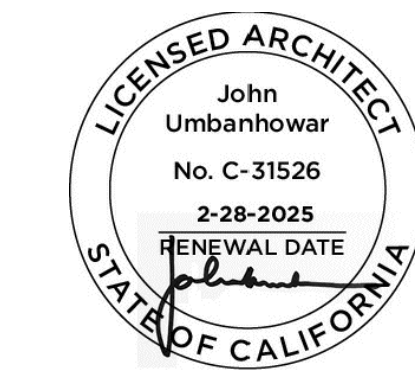
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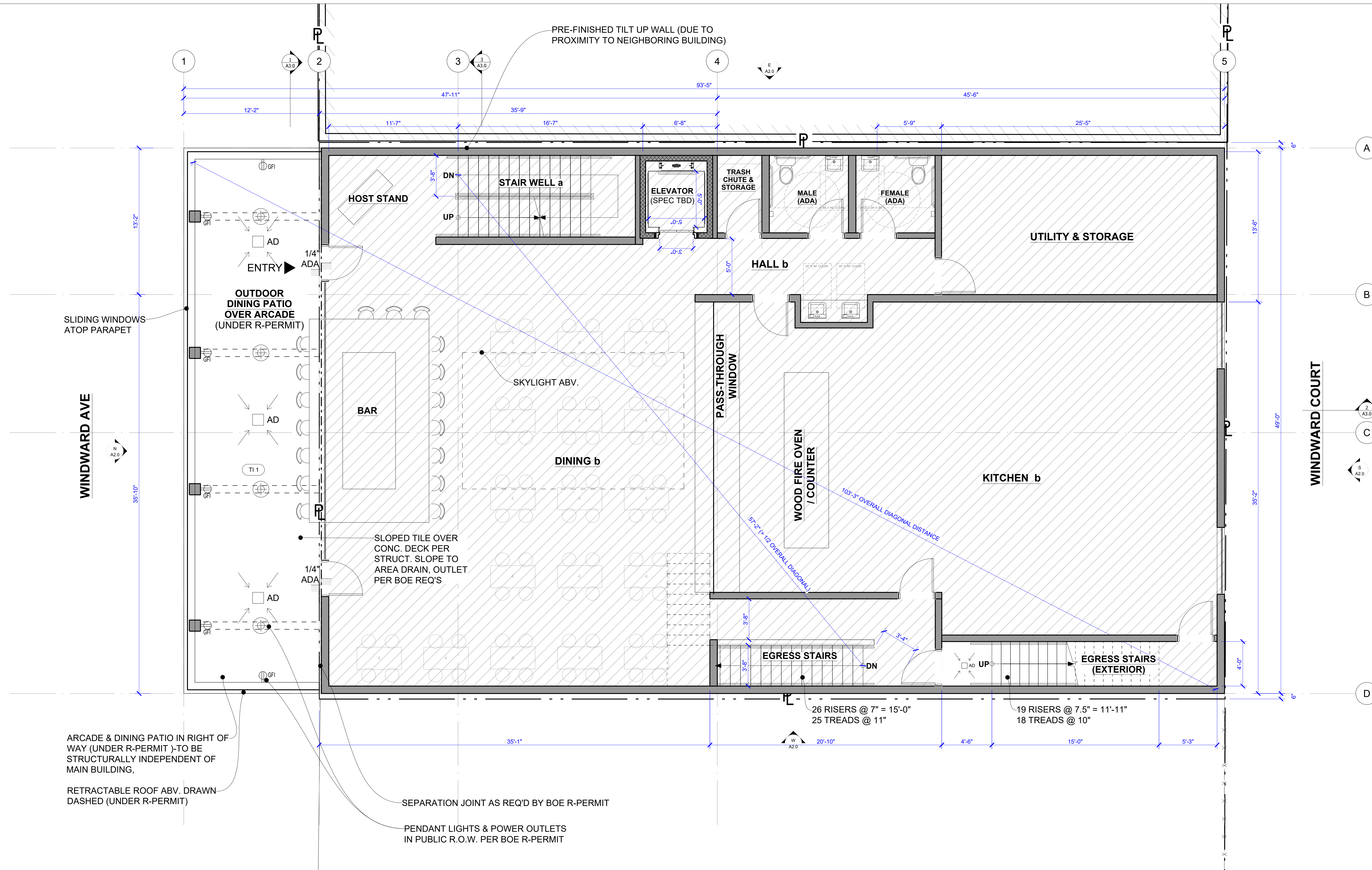
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scale: 1/4"=1'-0" print date: 07/22/24
project: 23_298
drawing:

SECOND FLOOR PLAN
PROPOSED

sheet:

A-1.20b



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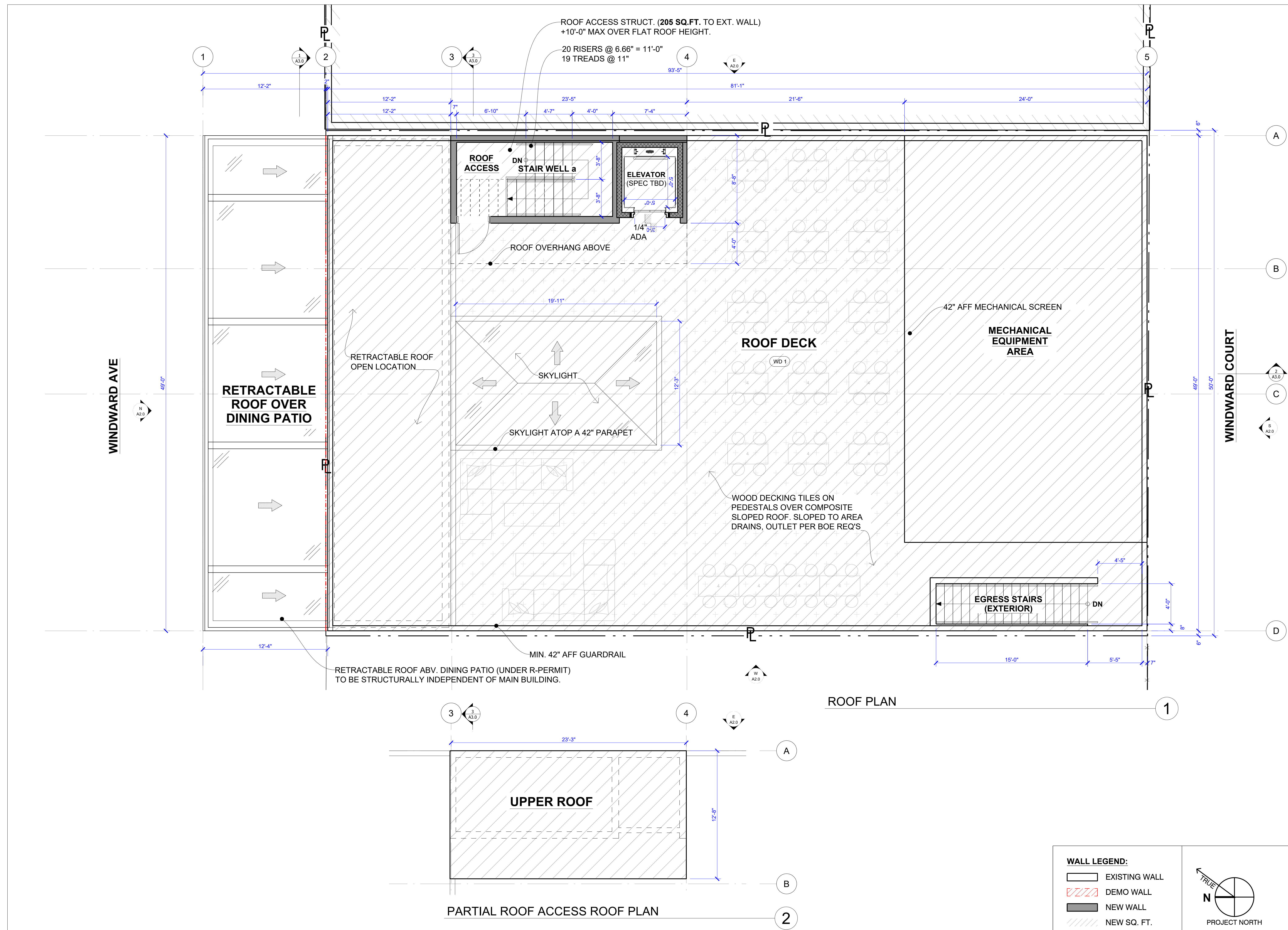
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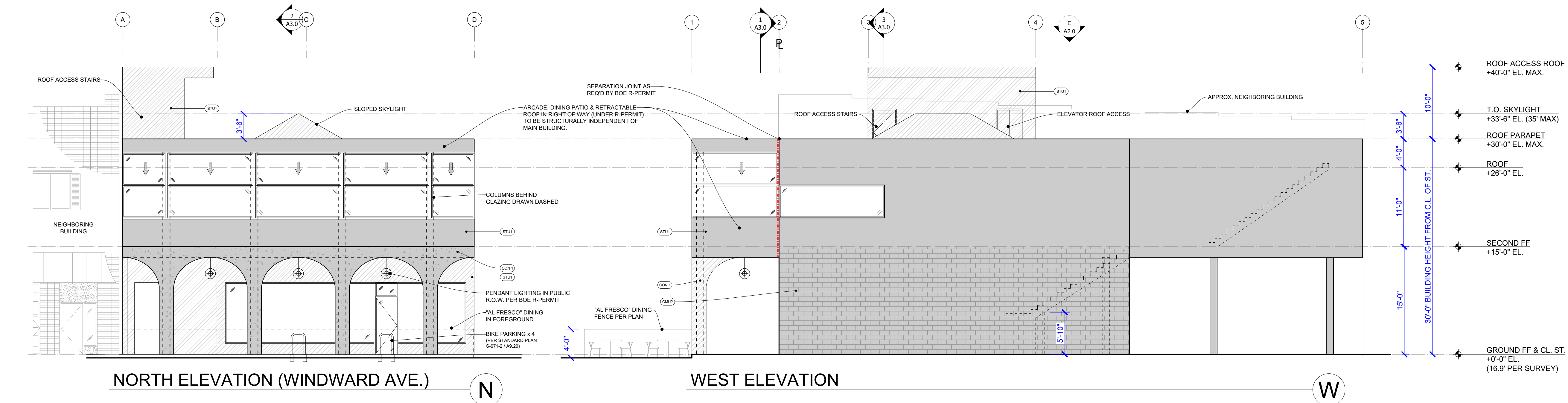
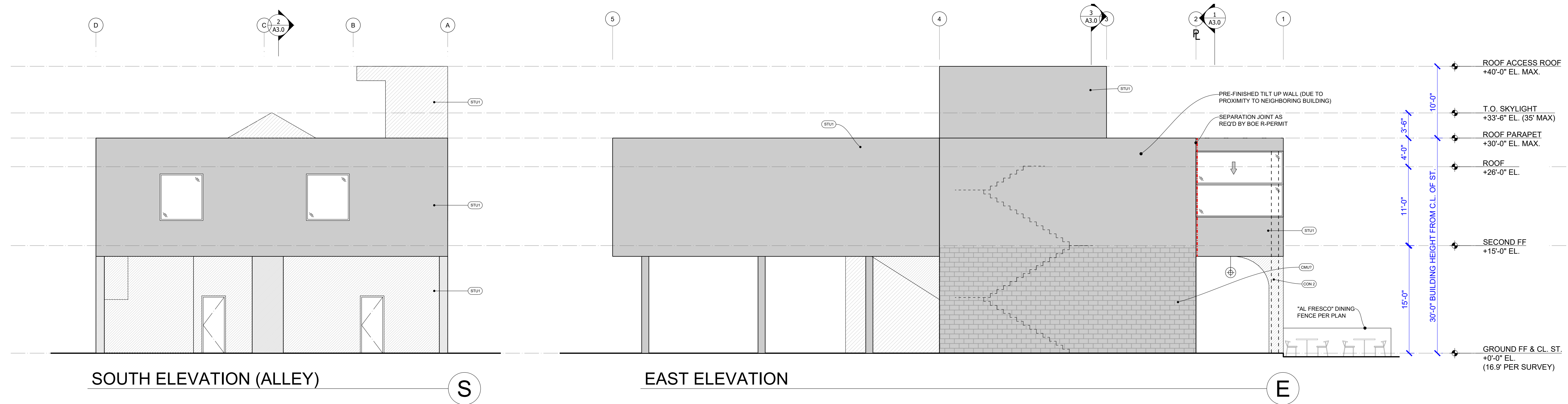
drawing:

ROOF PLAN
PROPOSED

sheet:

A-1.30b





MATERIAL LEGEND: aaa

| SYMBOL | MATERIAL | FINISH | NOTES |
|--------|------------------------|--------------------|-------|
| STU | SMOOTH STUCCO | FINISH / COLOR TBD | |
| CON 1 | CONC. TOPPING | | |
| CON 2 | ARCH. EXPOSED CONCRETE | TBD | |
| CON 3 | POLISHED CONCRETE | | |
| CMU | EXPOSED CMU BLOCK | TBD\ | |
| T11 | TILE ON MORTAR BED | | |
| WD1 | WOOD DECK TILE | | |

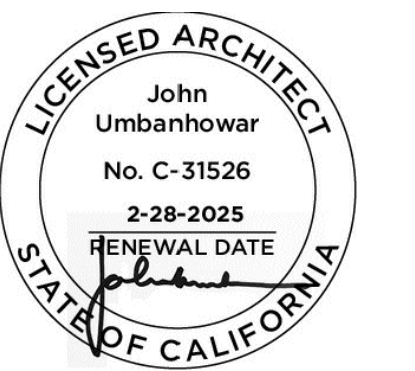
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01.18.24 VSP MTG.
02.01.24 VSP SUB progress
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04.16.24 VSP rev 02
04.30.24 BOE SUB
07.22.24 PLANNING SUB 01

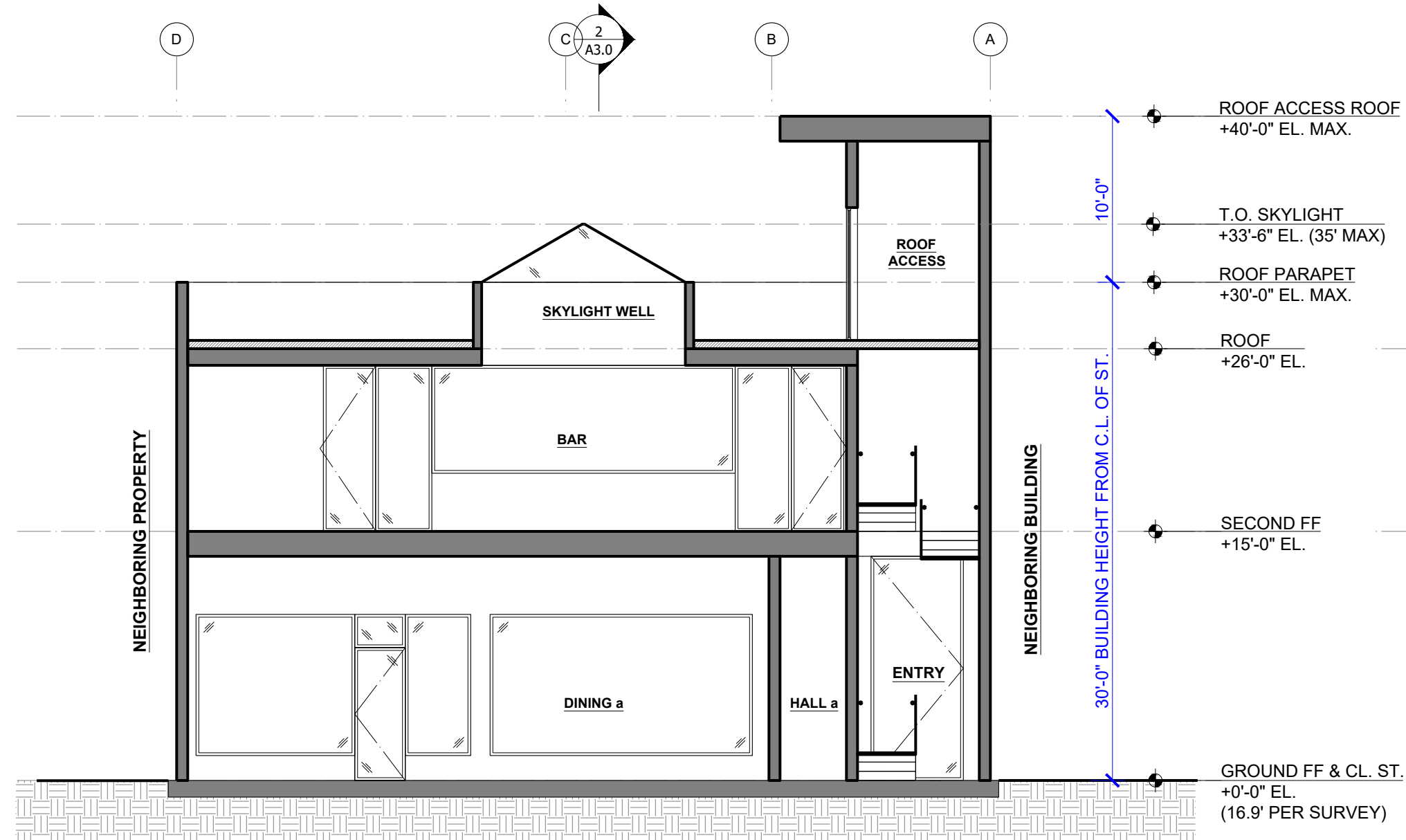
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project: 23_298

drawing:

BUILDING
ELEVATIONS

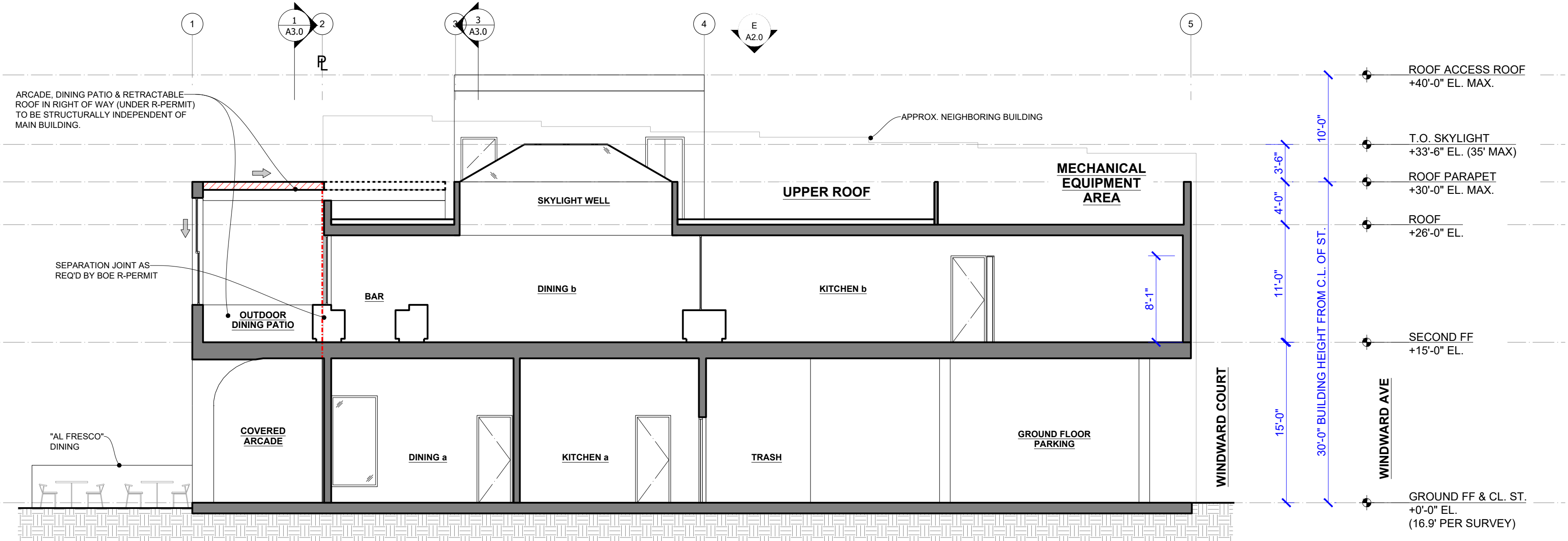
sheet:

A-2.00



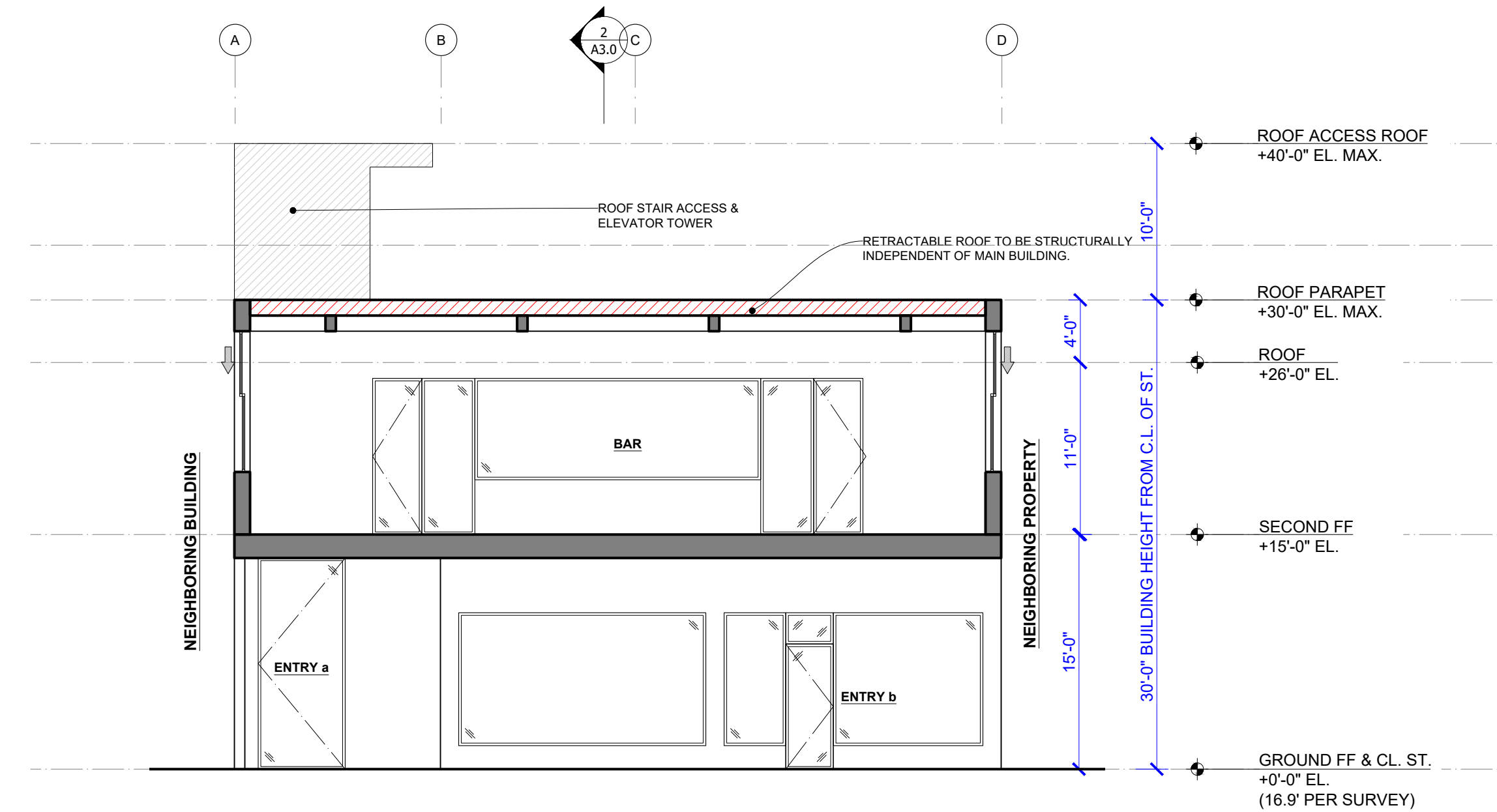
CROSS SECTION (LOOKING NORTH)

3



LONG SECTION (LOOKING WEST)

2



CROSS SECTION @ ARCADE LOOKING SOUTH

1

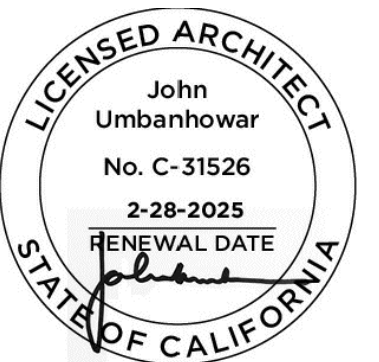
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scale: 1/4"=1'-0" print date: 07/22/24
 project: 23_298

drawing:

BUILDING
 SECTIONS

sheet:

A-3.00