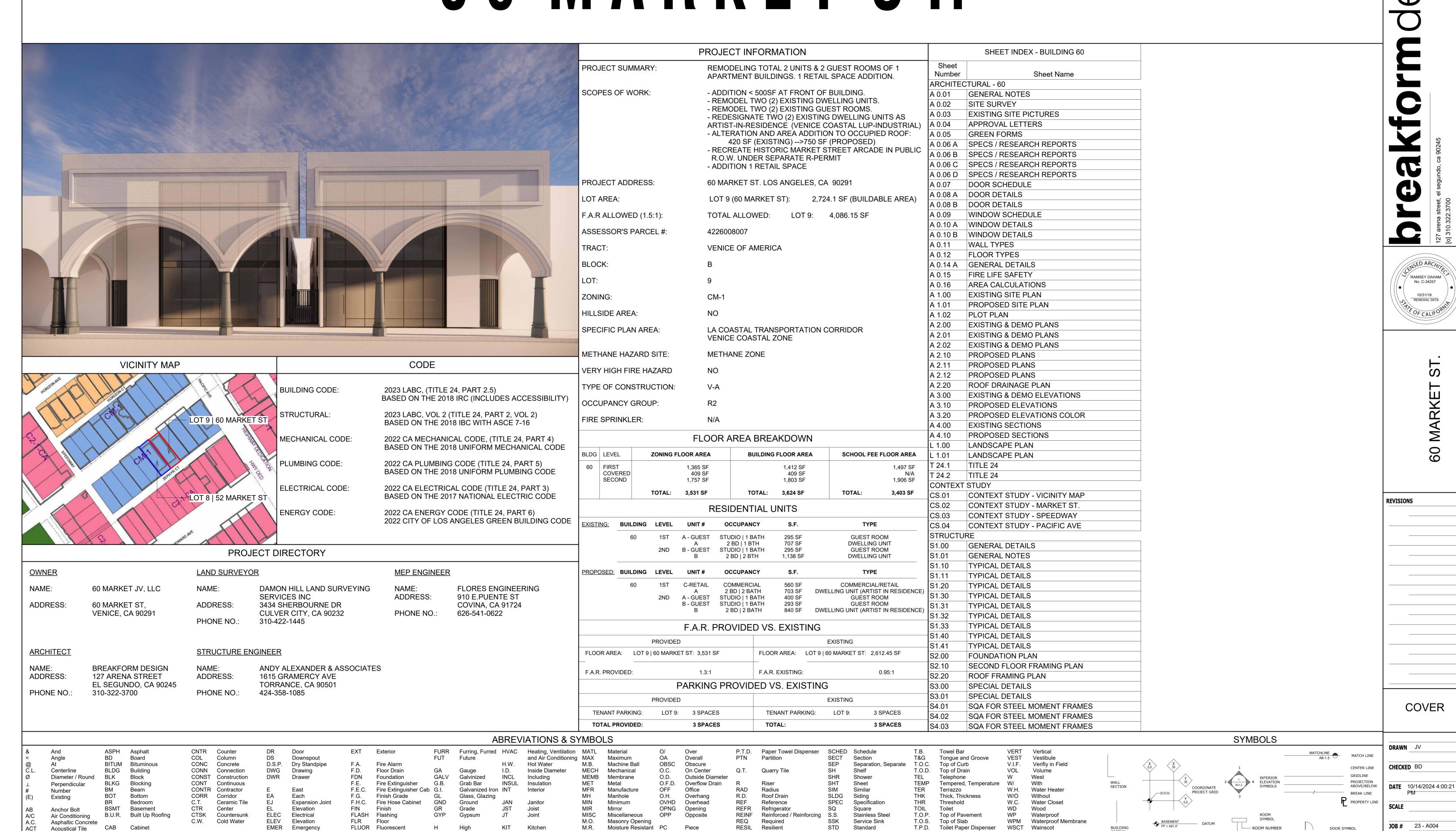
# 60 MARKET ST.



Planter Drain

Property Line

Plastic Laminate

Plumbing

Plaster

Pair

PLYWD Plywood

PLMG

PLAM

PLAS

PR

PT

REV

R.O.

RWD

Revised

Right Hand

Rough Opening

Roofing

Room

Redwood

S.C. Solid Core

STL

SW

SYM

SYS

T Tread

STOR

Steel

STRUCT Structrual

SUSP Suspended

Storage

Switch

System

Symmetrical

T.S.

TV

UR

Top of Steel

Television

Typical

Unfinished

Urinal

U.O.N. Unless Otherwise Noted

T.O.W. Top of Wall

W.S.P. Wet Standpipe

WT

FLOOR LEVEL

REVISION SYMBOL (NUMBER INDICATES ISSUE) WINDOW SYMBO

A2-2.3

DETAIL

AREA REFERENCE A 0.00

WORK POINT

IN THE BUILDING SECTION

MTD

MUL

NO

NOM

N.S.

Mounted

Mullion

Number

Nominal

No Scale

N.T.S. Not to Scale

Not in Contract

Deep, Depth

Double

Dimension

Dispenser

Door Opening

Down

Detail

DET

DIA

DIM

DN

DISP

**ENCL** 

E.O.S.

E.W.

**EXIST** 

EXP

EQ

Drinking Fountain EQUIP Equipment

Enclosure

Each Way

Existing

Expansion

EXPO Exposed

E.W.C. Electric Water Cooler FR

Egual

Edge of Slab

F.O.C. Face of Concrete

F.O.M. Face of Masonry

Fireproof

Full Size

Foot, Feet

Frame

F.O.F. Face of Finish

F.O.S. Face of Stud

FTG Footing

**FPRF** 

FS

FT

H.B.

HCP

H.M.

HR

Hose Bib

HDWR Hardware

HDWD Hardwood

HORIZ Horizontal

Hour

Height

Hollow Core

Handicapped

Hollow Metal

LAM

Lavatory

Locker

Light

Louver

Lineal Foot

Left Hand

Living Room

LAV

L.F.

L.H.

LKR

L.R.

LT

LVR

Carpet

Cement

Ceramic

Cast Iron

CMU Concrete Masonry Unit D.O.

Ceiling

Closet

Clear

Catch Basin

C.B.

CLR

ACOUS Acoustical

ALUM Aluminum

ANOD Anodized

A.P. Access Panel

APPROX Approximate

ARCH Architectural

Adjustable

Alter or Alternate

Above Finish Floor CEM

PROGRESS AND UNTIL THE JOB IS COMPLETED.

2. OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE.

3. FURNISH ALL LABOR AND MATERIALS/EQUIPMENT TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED. GC TO ESTABLISH PROCEDURES W/ BLDG.

4. CONTRACTOR SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.

5. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL. CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.

**6.** AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.

7. DEBRIS REMOVAL MUST BE PERFORMED USING THE FREIGHT ELEVATOR WHEN APPLICABLE. CONTACT THE BUILDING MGMT. OFFICE TO OBTAIN SCHEDULE FOR THE USE OF THE FREIGHT ELEVATOR(S) PRIOR TO SUBMITTING BID. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE. WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.

8. IF DIRECTED BY BUILDING MANAGEMENT, ALL DOORS. FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES, (INCLUDING DOWNLIGHTS & FLUORESCENTS), & SPECIAL EQUIPMENT SHOWN TO BE REMOVED, SHALL BE CLEAN AND FREE OF DEFECTS. PROTECTED, SAVED AND REUSED AS DIRECTED HEREIN RETURNED TO BUILDING STOCK OR DISPOSED OF.

9. IN PARTITIONS TO BE REMOVED, REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO THEIR SOURCE.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION IN ELEVATOR LOBBY, PUBLIC CORRIDORS, RESTROOMS OR TENANT SPACES. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.

11. NO EXISTING SMOKE DETECTOR, PUBLIC ADDRESS SPEAKER, FIRE ALARM BOX OR SIMILAR DEVICE, INCLUDING THE ASSOCIATED WIRING SHALL BE DAMAGED DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS, NO ACTIVE SMOKE DETECTOR SHALL BE COVERED OR OTHERWISE REMOVED OR USED FOR OTHER THAN IT'S INTENDED PURPOSE.

12. ALL EXISTING FLOOR MOUNTED OUTLETS, WHERE NOTED TO BE REMOVED OR RELOCATED, SHALL BE CAPPED OFF TO THE NEAREST JUNCTION BOX. FILL AND LEVEL FLOOR TO ACCEPT NEW FLOOR COVERING.

13. ALL EXISTING CEILING TILES TO REMAIN U.O.N. ALL BROKEN, PARTIAL, STAINED, OR DAMAGED TILES SHALL BE REPLACED.

14. ALL EXISTING LIGHT FIXTURES SHALL BE CLEANED OF DUST, WRAPPED FOR PROTECTION & STORED FOR RE-USE.

**15.** REMOVE TO SOURCE ALL PIPES, VENTS, APPLIANCES OR DRAINS NOT BEING RE-USED.

16. RE-USE OR RELOCATE ALL ABOVE CEILING DUCTWORK, DIFFUSERS, GRILLES, SPRINKLER PIPES OR OTHER EQUIPMENT, AS REQUIRED FOR PROPER DISTRIBUTION WITH NEW LAYOUT

17. REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/ COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES, SERVICE OWNER OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED TO PREVENT NEW CONSTRUCTION DELAYS.

18. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.

19. CAREFULLY REMOVE ALL EXISTING WALL COVERING AT EXISTING PARTITIONS AND/OR COLUMNS, AS NOTED.

20. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.

21. STAIRWAYS MUST REMAIN ACCESSIBLE AT ALL TIMES DURING DEMOLITION.

22. RATED WALLS SHALL NOT BE PENETRATED UNLESS THE RATING IS MAINTAINED.

## **SAFETY NOTES:**

1. THE CONTRACTOR SHALL SAFEGUARD THE OWNER'S PROPERTYDURING CONSTRUCTION AND SHALL REPLACE ANY DAMAGED PROPERTY OF THE OWNER TO ORIGINAL CONDITION OR BETTER.

2. THE CONTRACTOR SHALL PROVIDE GUEST PROTECTION FROM ALL AREAS OF WORK.

3. THE CONTRACTOR SHALL PROTECT ADJOINING AREAS FROM NOISE, DUST, DIRT FIRE HAZARDS, ETC.

## **CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF MATCHING BUILDING LINES AND LEVELS BETWEEN NEW AND EXISTING CONSTRUCTION. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR THE LOCATION AND CONSTRUCTION OF THE WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.

2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.

3. CONTRACTOR SHALL RELOCATE OR CAP OFF EXISTING UTILITY LINES AS REQUIRED. COORDINATE WTH ELECTRICAL AND PLUMBING DRAWINGS FOR FURTHER INFORMATION.

4. EXISTING CONSTRUCTION WHICH IS TO REMAIN BUT IS DAMAGED DURING, CONSTRUCTION SHALL BE REPLACED OR REPAIRED TO ORIGINAL CONDITION OR BETTER.

5. MATERIALS USED FOR NEW CONSTRUCTION, UNLESS SPECIFIED OR INDICATED OTHERWISE, SHALL MATCH EXISTING ADJACENT MATERIALS, CONSTRUCTION AND

6. NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE CITY 7. THE GENERAL CONTRACTOR SHALL PROVIDE A

DUMPSTER IN AN AREA DESIGNATED BY THE OWNER FOR THE PURPOSE OF COLLECTING TRASH AND SHALL PROVIDE FOR ITS REMOVAL FROM THE SITE TO A LEGAL DISPOSAL 8. ALL HOLES IN CONCRETE SLABS LEFT AFTER REMOVAL

OF PIPES, CONDUITS, ETC., ARE TO BE FILLED WITH POR-ROCK OR SOLID CONCRETE. REFER TO ANY DETAILS WITHIN DRAWING SET FOR FURTHER INFORMATION.

9. THE GENERAL CONTRACTOR SHALL VERIFY SALVAGE REQUIREMENTS OF ALL FURNITURE, FIXTURES AND EQUIPMENT WITH THE OWNER TO DEMOLITION.

10. SURFACE CRACKS AND VOIDS SHALL BE TUCK POINTED OR PATCHED.

11. ALL SURFACES TO BE FINISHED SHALL BE PREPARED IN ACCORDANCE WITH FINISH MANUFACTURERS RECOMMENDATIONS.

12. PROVIDE ALL NECESSARY BLOCKING, BACKING. SLEEVES, AND FRAMES FOR LIGHT FIXTURES, ELECTRICAL UNITS, A/C EQUIPMENT AND OTHER ITEMS REQUIRING SAME.

13. PLEASE RECYCLE DEMOLITION & CONSTRUCTION WASTE, ASK ABOUT POSSIBLE DUMP SITES.

14. THE CONTRACTOR SHALL COMPLY W/ ALL 0.S.H.A.

& VISIBLE WHEN THE UNIT IS GLAZED.

REQUIREMENTS. 15. TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED

16. PENETRATIONS OF FIRE-RATED FLOORS OR FLOOR-CEILING ASSEMBLIES SHALL BE PROTECTED BY THROUGH-PENETRATION FIRE STOPS HAVING AN "F" OR "T" RATING. A "T" RATING IS REQUIRED WHERE PENETRATIONS ARE NOT CONTAINED IN THE WALL AT THE POINT THEY PENETRATE THE FLOOR OR WHERE THEY ARE LARGER THAN A 4" (IOOmm) PIPE OR 16 SQ IN (IO320mm SQ) IN AREA. UBC SEC 710.3 EX 5

## CODE NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY TO THE CURRENT ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, NATIONAL ELECTRIC CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA FIRE CODE AND ALL LOCAL CODES, REGULATIONS, LAWS & ORDINANCES GOVERNING CONSTRUCTION . SECURITY IN THIS JURISDICTION.

2. METAL FABRICATION SHALL CONFORM TO C.B.C. AND STANDARDS OF A.S.T.M., A.I.S.C., A.W.S. AND S.S.P.C. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE CODE REGULATIONS.

3. DEPARTMENT OF INDUSTRIAL RELATIONS DIVISION OF INDUSTRIAL SAFETY (O.S.H.A.) REQUIREMENTS. CONTRACTOR SHALL PROVIDE OCCUPANCY SIGNAGE PER LOCAL BUILDING REQUIREMENTS AND/OR FIRE DEPARTMENT REQUIREMENTS.

4. OCCUPANCY SIGNAGE SHALL BE PLACED PER LOCAL CODE & FIRE DEPARTMENT REQUIREMENTS AS APPLICABLE.

5. ALL REQUIRED PERMITS MUST BE OBTAINED AND KEPT ON THE PREMISES AT ALL TIMES IN A LOCATION SPECIFIED

## **GENERAL NOTES:**

SPECIFIED BY THE CITY.

1. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY INCONSISTENCY, ERROR OR OMISSION HE MAY DISCOVER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE MEANS OF CORRECTING ANY ERROR, BEFORE OR AFTER THE START OF CONSTRUCTION, SHALL FIRST BE APPROVED BY THE ARCHITECT.

2. STAMPED SETS OF APPROVED PLANS SHALL BE PROVIDED FOR ALL WORK. THE CONTRACTOR SHALL MAINTAIN IN, GOOD CONDITION, COMPLETE SETS OF STAMPED AND APPROVED PLANS WITH ALL REVISIONS. ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THEY ARE TO BE UNDER THE CARE OF THE GENERAL CONTRACTOR OR HIS SUPERINTENDENT IN A LOCATION

3. THE ARCHITECT WILL REVIEW ALL SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.

4. THE ARCHITECT MAKES NO GUARANTEE FOR PRODUCTS

NAMED BY TRADE NAME OR MANUFACTURER.

5. REFERENCES OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWIING OR

6. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.

7. THE CONTRACTOR SHALL NOT BREAK SETS FOR TRADE BIDDING, ERRORS IN BIDDING AS A RESULT OF THIS PRACTICE ARE NOT THE RESPONSIBILITY OF THE OWNER OR THE ARCHITECT.

8. THE CONTRACTOR SHALL REFER TO AND CROSS-CHECK DETAILS, DIMENSIONS, NOTES, AND ALL REQUIREMENTS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH THE EXISTING SITE CONDITIONS AND SPECIFICATIONS.

9. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE FOLLOWING IS REQUIRED FROM THE AGENT OF THE OWNER, a) AN AUTHORIZATION LETTER FROM THE OWNER TO PULL PERMITS. THE FOLLOWING IS REQUIRED FROM THE CONTRACTOR AGENT:- b) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND FOLLOWING LANDLORD'S RULES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO PROVIDING INSURANCE CERTIFICATES PER LANDLORD'S CRITERIA. c) CERTIFICATE OF WORKERS COMPENSATION INSURANCE MADE OUT TO THE CONTRACTORS STATE LICENSE BOARD. d) COPY OF THE CITY BUSINESS TAX REGISTRATION CERTIFICATE OR NEWLY PAID RECEIPT FOR ONE. e) NOTARIZED LETTER OF AUTHORIZATION FOR AGENTS OF CONTRACTOR.

10. THE CONTRACTOR SHALL PROVIDE A LIST OF SUBCONTRACTORS TO THE OWNER FOR REVIEW PRIOR TO SIGNING THE OWNER / CONTRACTOR AGREEMENT.

11. ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC., TO MAKE THE SEVERAL PIECES COME TOGETHER PROPERLY AND FIT OR BE RECEIVED BY WORK OF OTHER TRADES.

12. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY BRACING OR SHORING AS REQUIRED OR PORTION THEREOF DURING CONSTRUCTION.

13. THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER, AND TOILET FACILITIES AS REQUIRED AND SHALL INSTALL THEM IN ACCORDANCE TO LOCAL CODES. CONTRACTOR MAY USE OWNERS FACILITIES UPON WRITTEN AUTHORIZATION FROM OWNER'S REPRESENTATIVE.

14. THE GENERAL CONTRACTOR AND HIS ASSOCIATES, SUBCONTRACTORS, ETC., MUST MAINTAIN THE SPACE, ACCESS AREAS, ETC., CLEAN AT ALL TIMES AND SWEEP. DUST, CLEAN, ETC., EVERY DAY AT THE END OF WORKING

15. IT S THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DELIVER THE JOB COMPLETELY CLEAN.

16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR, ND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT

#### FIRE SAFETY NOTES:

1. THE GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A WITHIN A 75-FOOT TRAVEL DISTANCE.

2. THE GENERAL CONTRACTOR SHALL PROVIDE ANY ADDITIONAL FIRE EXTINGUISHERS AS REQUIRED BY THE LOCAL FIRE DEPARTMENT FIELD INSPECTOR.

3. THE GENERAL CONTRACTOR SHALL PROVIDE PLANS FOR REVISION OF THE FIXED FIRE PROTECTION EQUIPMENT AND SHALL SUBMIT THEM TO THE LOCAL JURISDICTION AS REQUIRED AND TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

4. THE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWNGS AND SPECIFICATIONS FOR REVISION TO FIXED FIRE PROTECTION EQUIPMENT AND SUBMITTAL OF PLANS TO THE FIRE MARSHALL AS REQUIRED FOR APPROVAL PRIOR TO INSTALLATION.

#### LADBS GENERAL REQUIREMENTS:

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL

2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

4. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

5. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS 2. GLAZING IN THE FOLLOWING SECTIONS SHALL BE SAFETY WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

6. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

7. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY, SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

8. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)

9. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

**10.** AUTOMATIC GARAGE DOOR OPENERS. IF PROVIDED. SHALL BE LISTED IN ACCORDANCE WITH UL 325.

11. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)

12. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS. REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)

13. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

14. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

15. FOR EXISTING POOL ON SITE, PROVIDE ANTIENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL. 9AB0 NO. 2977. (3162B)

## **LADBS ADDITIONAL NOTES:**

GARAGE/CARPORTS

1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1).

2. DUCT PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENING INTO THE GARAGE (R302.5.2)

3. OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALL SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3)

4. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)

#### FIRE PROTECTION

1. AND APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STOREY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STOREY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)

2. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

#### MEANS OF EGRESS

1. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE EXTERIOR OF THE DWELLING AT THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. (R311.1)

2. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (R302.7)

3. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE

ILLUMINATED. (R303.7)

4. PROVIDE 42" HIGH GUARDS WITH MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS. (R312)

5. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4 INCH. (2407)

## INTERIOR ENVIRONMENT

1. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68 DEGREE FAHRENHEIT AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)

#### **BUILDING ENVELOPE**

1. PROVIDE A CLASS A. B OR C FIRE-RETARDANT ROOF COVERING PER SECTION R902..1

GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

> A. FIXED AND OPERABLE PANELS OF SWINGING. SLIDING AND BI-FOLD DOOR ASSEMBLIES.

B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING

CONDITIONS: 1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.

2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE 3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE

4) ONE OR MORE WALKING SURFACES WITHIN 36

NCHES HORIZONTALLY OF THE GLAZING

FLOOR.

D. GLAZING IN RAILINGS. E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALING SURFACE.

F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AN IN A STRAIGHT LINE, OF THE WATER'S EDGE.

G. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AN RAMPS.

H. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.

3. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6

4. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3). 5. PROTECTION OF WOOD AND WOOD BASED PRODUCTS

FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USED OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA

6. PROVIDE ANTI GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED.

7. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS. BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)

#### SECURITY REQUIREMENTS

1. SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF. BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES. (6707)

2. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR. (6708)

3. SLIDING GLASS DOORS PANELS SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN

4. METAL OR WOODEN OVERHEAD OR SLIDING DOORS

6. IN GROUP B, F, M, AND S OCCUPANCIES, PANES OF

IN. BUT LESS THAN 48 IN, SHALL BE CONSTRUCTED OF

A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS

CONFORM TO THE PROVISIONS OF SECTION 6710 OR TO

VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN

THER GREATEST DIMENSIONS. (6715.3)

SECTION SHALL NOT APPLY TO SLIDE GLASS DOORS WHICH

GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5

SHALL BE SECURED WITH A CYLINDER LOCK. PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED. HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. (6711) 5. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL

ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. (6712)

TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES (6714) 7. GLAZED OPENINGS WITHIN 40" OF THE REQUIRED LOCKING DEVICE OF THE DOOR, WHEN THE DOOR IS IN THE CLOSED AND LOCKED POSITION AND WHEN THE DOOR IS OPENABLE FROM THE INSIDE WITHOUT USE OF KEY, SHALL BE FULLY TEMPERED GLASS PER SECTION 2406, OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING

8. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY.

9. OTHER OPENABLE WINBDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN GROUP B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS. BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. (6715.2)

10. SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING

CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND

DEVICES. A DEVICE SHALL BE INSTALLED IN THE UPPER

LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN

REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 6715.1 11. SLIDING GLASS WINDOWS SASH SHALL BE CLOSED AND

SEC. 6717.2 12. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRCLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS

TWO INCHES IN ANY DIMENSION. 13. ALL OTHER OPENINGSMUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6

INCHES IN ONE DIMENSION.

14. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW

PORTS IN THE DOOR OR ADJOINING WALL. (6706) **15**. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. (6709.1) DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB, OR JOINED BY RABBET TO

THE JAMB. (6709.4) **16.** ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. (6709.5, 6709.7)

17. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, M AND S OCCUPANCIES). (6709.2)

18. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8". AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". (6709.2)

19. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 INCH THICK WITH SHAPED PORTIONS OF THE PANELS NOT LESS THAN 1/4 INCH THICK, AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH. (6709.1 ITEM 2)

20. SLIDING GLASS DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVAL OF THE MOVING PANEL FROM THE TRACK WHILE IN THE CLOSED POSITION. (6710)

**GENERAL NOTES:** 

OUTSIDE OF THE BUILDING.

CONTROLLERS ARE SOIL BASED.

1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.

2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE

3. NEWLY INSTALLED BATHROOM EXHAUST FANS. NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A

HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM

5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.

6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.

7. ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.12.

8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

**10**. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS.

11. ALL DOORS 4" FROM WALL U.O.N.

HEALTH'S SPECIFICATION.

PROGRAM

12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

> A. VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE B. PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE

13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004. ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.

**D.** MEET THE CALIFORNIA DEPARTMENT OF PUBLIC

14. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)

15. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COMVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.

16. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.

17. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR

ELECTRIC'. 18. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY

ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4) 19. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER

IRRIGATION SYSTEM. (4.305.1) 20. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY

21. WHERE GROUNDWATER IS BEING EXTRACTED AND

LINE. (4.305.2)

REQUIRED.

DISCHARGED. A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND CONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4) 22. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE

WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3. 23. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR

THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY

FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY

24. MECHANICALLY VENTILATED BUILDINGS SHALL PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH A MERV 13 FILTER FOR OUTSIDE AND RETURN AIR. FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.

## **FIRE-RESISTANCE RATED CONSTRUCTION:**

BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)

1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL

2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)

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REVISIONS

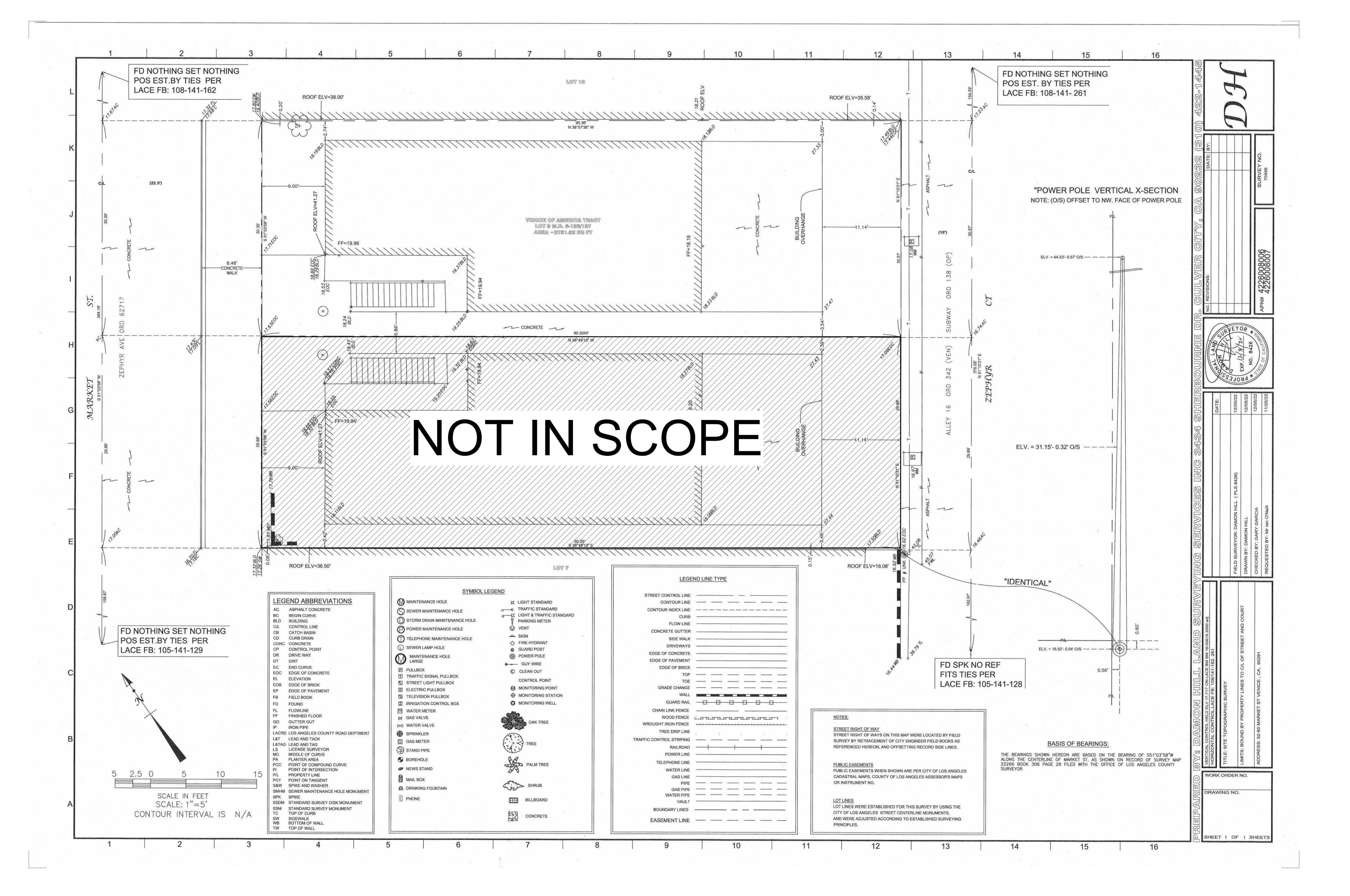
**GENERAL** NOTES

**DRAWN** JV

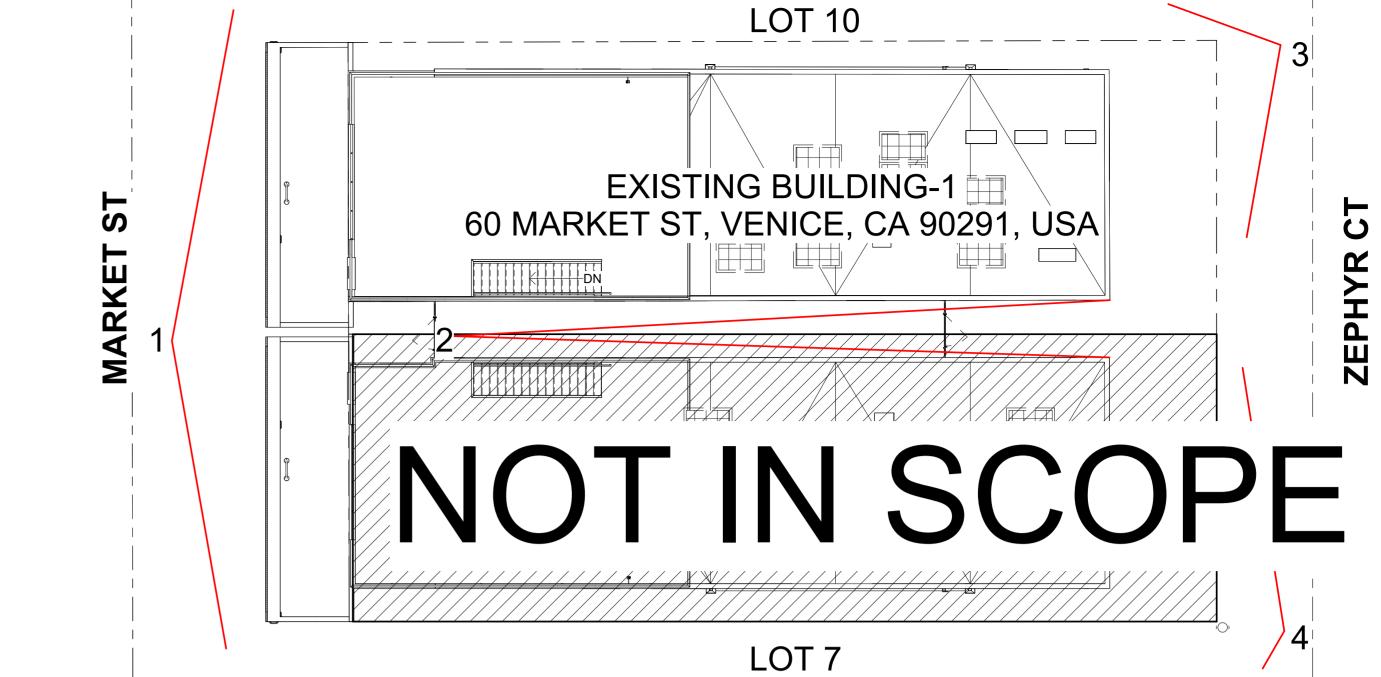
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**JOB** # 23 - A004













64 MARKET ST. LOS ANGELES, CA 90025



46 MARKET ST. LOS ANGELES, CA 90025







EXISTING SITE **PICTURES** 

**DRAWN** JV

CHECKED BD DATE 10/14/2024 4:00:25

**SCALE** 1" = 10'-0"

**JOB #** 23 - A004

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# **LAFD DOOR NOTES:**

1. MIN CLEAR WIDTH OF 32". MAX WIDTH OF A SWINGING DOOR LEAF SHALL BE 48". HEIGHT OF DOOR OPENINGS SHALL BE >= 80". (CBC 1010.1.1)

2. PIVOTED OR SIDE-HINGED SWINGING TYPE. (CBC 1010.1.2)

3. DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR SPACE >49 OCCUPANTS. (CBC 1010.1.2.1)

4. PROVIDE A FLOOR OR LANDING ON EACH SIDE OF A DOOR AT THE SAME ELEVATION. LANDINGS SHALL BE LEVEL EXCEPT EXTERIOR LANDINGS WHICH ARE PERMITED TO HAVE A SLOPE <=2%. WIDTH OF LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF THE STAIR OR DOOR, WHICHEVER IS GREATER. MIN 44" LENGTH (CBC 1010.1.5-6)

5. SPACES BETWEEN DOORS IN A SERIES SHALL BE 48" PLUS THE WIDTH A DOOR SWINGING INTO THE SPACE. DOORS SHALL SWING EITHER IN THE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN DOORS. (CBC 1010.1.8)

6. DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

7. DOOR HANDLES, PULLS LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34" MIN AND 48" MAX ABOVE THE FINISHED FLOOR.

8. INTERIOR STARWAY MEANS OF EGRESS DOORS SHALL BE OPENABLE FROM BOTH SIDES WITHOUT THE USE OF A KEY OR SPECIAL KNWLEDGE OR EFFORT. (CBC 1010.1.9.11)

9. DOORS SERVING ROOMS OR SPACES WITH AN OCCUPANT LOAD >49 IN A GROUP A, E, I-2, OR I-2.1 SHALL PROVIDE PANIC OR FIRE EXIT HARDWARE. (CBC 1010.1.10)

10. LOCKS AND/OR LATCHES ARE NOT PERMITTED ON ANY DOOR PROVIDING ACCESS FROM A PENTHOUSE OR STAIRWAY TO THE ROOF EXCEPT A LOCK OR LATCH OPENABLE FROM THE INSIDE WITHOUT A KEY, TOOL, OR SPECIAL KNOWLEDGE OR EFFORT. (LAFC 1008.1.9.11.1)

#### **GENERAL DOOR NOTES:**

EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.

2. ALL GLASS LITES IN DOORS AND SIDE LITES TO BE TEMPERED.

3. SAFETY GLAZING IS REQUIRED AT THE FOLLOWING LOCATIONS:

WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS.

GLAZING IN INGRESS AND EGRESS DOOR (EXCEPT JALOUSIES). GLAZING LOCATED WITHIN 40 INCHES OF A DOOR WHEN THE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.

C) GLAZING IN PANELS HAVING AN AREA IN EXCESS OF 9 SQUARE FEET AND THE LOWER EDGE LESS THAN 18 INCHES ABOVE A WALKING SURFACE WITHIN 36 INCHES. D) GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR

4. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. 91.6706

WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION, 91, 6709.1. DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO THE JAMB. 91.6709.1, 91.6709.4

6. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIAMETER STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. 91.67.09.5, 91.6709.7

7. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPERABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT. 91.6709.2

STRAIGHT DEAD BOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEAD BOLT SHALL HAVE A MINIMUM THROW OF 3/4". 91.6709.2

THE USE OF A LOCKING SYSTEM WHICH CONSIST OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEAD BOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED. SHALL NOT BE CONSIDERED A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEAD BOLT SHALL NOT BE SEPARATED BY MORE THAN 8"

10. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16" THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4" THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQUARE INCHES IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18" LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2". STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8" AND 3" IN WIDTH. 91.6709.1 ITEM 2

11. SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 91.6710

12. VERIFY DOOR FRAME AND SASH DIMENSIONS WITH WOOD SIDING LAYOUT AND WINDOW DETAILS. SEE EXTERIOR ELEVATIONS.

13. GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. 91.2406.4

HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK (R302.5.1).

INGRESS AND EGRESS DOORS

SURFACÉ

PANELS IN SLIDING OR SWINGING DOORS DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE) IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING

IN WALL ENCLOSING STAIRWAY LANDING DOORS AND ENCLOSURES FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5'-0" OF STANDING SURFACE). 91.1115B.9.8

14. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR

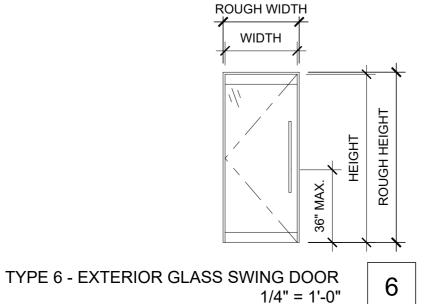
					60 - GROUNE	FLOC	R DOOR SCHEDUL	.E - PROPO	SED			
NUMBER	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	THICKNESS	TYPE	MANUFACTURER	FRAME MATERIAL	DOOR PANEL	HARDWARE	OPERATION	COMMENTS
0B2.102	3' - 0"	7' - 0"	3' - 0"	7' - 0"		3					OPENING	TO REMAIN
B2.101	3' - 0"	7' - 0"	3' - 2"	7' - 1"	0' - 2"	1					SWING	NEW
B2.103	2' - 8"	7' - 0"	2' - 10"	7' - 1"	0' - 2"	1					SWING	NEW
B2.104	6' - 0"	7' - 0"	6' - 2"	7' - 1"	0' - 2"	2					SLIDING	NEW
B2.105	2' - 8"	7' - 0"	2' - 10"	7' - 1"	0' - 2"	1					SWING	NEW
B2.106	2' - 8"	7' - 0"	2' - 10"	7' - 1"	0' - 2"	1					SWING	NEW
B2.107	6' - 0"	7' - 0"	6' - 2"	7' - 1"	0' - 2"	2					SLIDING	NEW
C1.209	3' - 0"	8' - 0"	3' - 2"	8' - 1"	0' - 2"	6					SWING	NEW
C1.224	3' - 0"	7' - 0"	3' - 2"	7' - 1"	0' - 1 1/2"	1					SWING	NEW
C1.225	3' - 0"	8' - 0"	3' - 2"	8' - 1"	0' - 2"	6					SWING	NEW
C1.230	5' - 4"	6' - 8"	5' - 6"	6' - 9"	0' - 2"	5					SWING	TO BE REPLACED
C1.231	5' - 4"	6' - 8"	5' - 6"	6' - 9"	0' - 2"	5					SWING	TO BE REPLACED
C1.233	12' - 0"	10' - 6"	12' - 6"	9' - 0"	0' - 1 1/2"							
C1.236	2' - 8"	7' - 0"	2' - 10"	7' - 1"	0' - 2"	1					SWING	NEW
C1.242	3' - 0"	7' - 0"	3' - 2"	7' - 1"	0' - 1 1/2"	1					SWING	NEW
C1.244	12' - 0"	10' - 6"	12' - 6"	9' - 0"	0' - 1 1/2"							
					60 SECOND				SED			

				6	0 - SECOND	FLOOR	R DOOR SCHEDULE	E - PROPOS	ED			
NUMBER	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	THICKNESS	TYPE	MANUFACTURER	FRAME MATERIAL	DOOR PANEL	HARDWARE	OPERATION	COMMENTS
0D2.202	2' - 6"	6' - 8"				3					OPENING	TO REMAIN
0D2.210	4' - 0"	6' - 8"	4' - 0"	6' - 8"		3					OPENING	TO REMAIN
2.200	2' - 10"	7' - 0"	3' - 0"	7' - 1"	0' - 2"	1					SWING	NEW
C2.201	3' - 0"	7' - 0"	3' - 2"	7' - 1"	0' - 2"	1					SWING	NEW
C2.202	4' - 10"	7' - 0"	5' - 0"	7' - 1"	0' - 2"	2					SLIDING	NEW
C2.203	2' - 10"	7' - 0"	3' - 0"	7' - 1"	0' - 2"	1					SWING	NEW
D2.201	3' - 0"	7' - 0"	3' - 2"	7' - 1"	0' - 2"	1					SWING	NEW
D2.202	3' - 0"	7' - 0"	3' - 2"	7' - 1"	0' - 2"	1					SWING	NEW
D2.203	6' - 0"	7' - 0"	6' - 2"	7' - 1"	0' - 2"	2					SLIDING	NEW
D2.204	2' - 6"	7' - 0"	2' - 8"	7' - 1"	0' - 1 1/2"	1					SWING	NEW
D2.205	2' - 8"	7' - 0"	2' - 10"	7' - 1"	0' - 2"	1					SWING	NEW
D2.206	6' - 0"	7' - 0"	6' - 2"	7' - 1"	0' - 2"	2					SLIDING	NEW
D2.208	2' - 10"	7' - 0"	3' - 0"	7' - 1"	0' - 2"	1					SWING	NEW
D2.209	2' - 10"	7' - 0"	3' - 0"	7' - 1"	0' - 2"	1					SWING	NEW

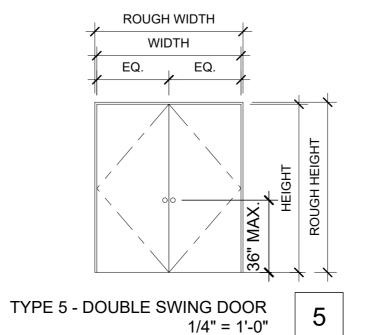
NUMBER	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	THICKNESS	TYPE	MANUFACTURER	FRAME MATERIAL	DOOR PANEL	HARDWARE	OPERATION	COMMENTS
0A2.101	2' - 10"	6' - 8"	3' - 0"	6' - 9"	0' - 2"	4					SWING	TO BE REPLACE
0A2.102	3' - 0"	7' - 0"	3' - 0"	7' - 0"		3					OPENING	TO BE REMOVED
0A2.103	1' - 10"	6' - 8"	2' - 0"	6' - 9"	0' - 1 1/2"	1					SWING	TO BE REPLACE
0B2.101	2' - 10"	6' - 8"	3' - 0"	6' - 9"	0' - 2"	4					SWING	TO BE REPLACE
0B2.102	3' - 0"	7' - 0"	3' - 0"	7' - 0"		3					OPENING	TO REMAIN
0B2.103	2' - 4"	6' - 8"	2' - 6"	6' - 9"	0' - 1 1/2"	1					SWING	TO BE REPLACE
0B2.104	4' - 10"	6' - 8"	5' - 0"	6' - 9"	0' - 2"	2					SLIDING	TO BE REPLACE
0B2.105	2' - 0"	6' - 8"	2' - 2"	6' - 9"	0' - 1 1/2"	1					SWING	TO BE REPLACE
0B2.106	2' - 4"	6' - 8"	2' - 6"	6' - 9"	0' - 1 1/2"	1					SWING	TO BE REPLACE
0B2.107	4' - 10"	6' - 8"	5' - 0"	6' - 9"	0' - 2"	2					SLIDING	TO BE REPLACE
0B2.108	3' - 0"	7' - 0"	3' - 0"	7' - 0"		3					OPENING	TO BE REMOVE
02.101	5' - 4"	6' - 8"	5' - 6"	6' - 9"	0' - 2"	5					SWING	TO BE REPLACE
02.102	5' - 4"	6' - 8"	5' - 6"	6' - 9"	0' - 2"	5					SWING	TO BE REPLACE

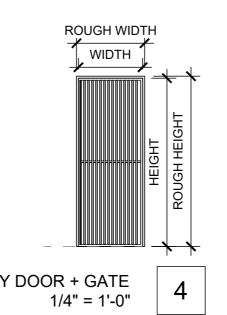
					60 - SEC	OND FL	OOR DOOR SCHE	DULE - EXIS	STING		
NUMBER	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	THICKNESS	TYPE	MANUFACTURER	FRAME MATERIAL	DOOR PANEL	HARDWARE OPERATION	COMMENTS
0C2.201	2' - 10"	6' - 8"	3' - 0"	6' - 9"	0' - 2"	4				SWING	TO BE REPLACED
0C2.202	3' - 0"	6' - 8"	3' - 0"	6' - 8"		3				OPENING	TO BE REMOVED
0C2.203	1' - 10"	6' - 9"	2' - 0"	6' - 10"	0' - 1 1/2"	1				SWING	TO BE REMOVED
0D2.201	2' - 10"	6' - 8"	3' - 0"	6' - 9"	0' - 2"	4				SWING	TO BE REPLACED
0D2.202	2' - 6"	6' - 8"				3				OPENING	TO REMAIN
0D2.203	2' - 4"	6' - 8"	2' - 6"	6' - 9"	0' - 1 1/2"	1				SWING	TO BE REPLACED
0D2.204	4' - 10"	6' - 8"	5' - 0"	6' - 9"	0' - 2"	2				SLIDING	TO BE REPLACED
0D2.205	2' - 0"	6' - 8"	2' - 2"	6' - 9"	0' - 1 1/2"	1				SWING	TO BE REPLACED
0D2.206	2' - 4"	6' - 8"	2' - 6"	6' - 9"	0' - 1 1/2"	1				SWING	TO BE REPLACED
0D2.207	4' - 10"	6' - 8"	5' - 0"	6' - 9"	0' - 2"	2				SLIDING	TO BE REPLACED
0D2.208	3' - 0"	6' - 8"	3' - 0"	6' - 8"		3				OPENING	TO BE REMOVED
0D2.209	2' - 4"	6' - 8"	2' - 6"	6' - 9"	0' - 1 1/2"	1				SWING	TO BE REPLACED
0D2.210	4' - 0"	6' - 8"	4' - 0"	6' - 8"		3				OPENING	TO REMAIN
0D2.211	2' - 0"	6' - 8"	2' - 2"	6' - 9"	0' - 1 1/2"	1				SWING	TO BE REPLACED
0D2.212	5' - 10"	6' - 8"	6' - 0"	6' - 9"	0' - 2"	2				SLIDING	TO BE REPLACED

							CK - DOOR SCHED					
NUMBER	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	THICKNESS	TYPE	MANUFACTURER	FRAME MATERIAL	DOOR PANEL	HARDWARE	OPERATION	COMMENTS
02.301		5' - 11"		6' - 0"	0' - 2"	5					SWING	TO BE REMOVED



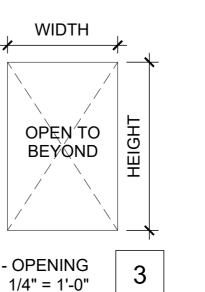
D2.210 | 6' - 0" | 7' - 0" | 6' - 2" | 7' - 1" | 0' - 2" | 2

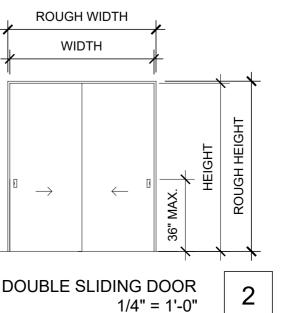


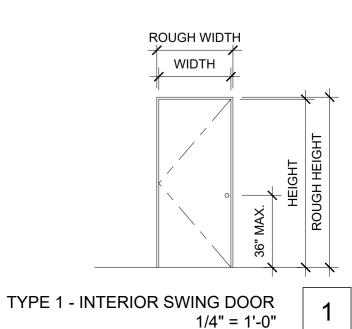


SLIDING

NEW







DOOR SCHEDULE DRAWN JV CHECKED BD **DATE** 10/14/2024 4:00:26 **SCALE** 1/4" = 1'-0"

NSED ARCHIZ

RAMSEY DAHAM

RENEWAL DATE

FOF CALIFOR

0

**REVISIONS** 

**JOB** # 23 - A004

TYPE 4 - ENTRY DOOR + GATE TYPE 3 - OPENING TYPE 2 -INTERIOR DOUBLE SLIDING DOOR

## **GENERAL WINDOW NOTES:**

- ALL DIMENSIONS ARE NET FRAME SIZE.
- 2. DIRECTION OF OPERATION SHOWN FROM THE EXTERIOR.
- 3. EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- 4. ALL GLASS LITES IN SIDE LITES TO BE TEMPERED.
- 5. ALL WINDOWS TO BE PROVIDED WITH NEW SCREENS UNLESS NOTED OTHERWISE.
- 6. SAFETY GLAZING IS REQUIRED AT THE FOLLOWING LOCATIONS:
  - WINDOWS LOCATED IN TUB AND SHOWER AREAS WHEN THE SILL HEIGHT IS LESS THAN 70 INCHES ABOVE THE SHOWER OR TUB DRAIN INLET.
  - GLAZING IN PANELS HAVING AN AREA IN EXCESS OF 9 SQUARE FEET AND THE LOWER EDGE LESS THAN 18 INCHES ABOVE A WALKING SURFACE WITHIN 36
  - GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS.
- 7. SKYLIGHT SIZES INDICATE DIMENSION OF INTERIOR FRAMED OPENING.
- 8. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. WINDOWS REQUIRED FOR EGRESS SHALL HAVE A MINIMUM 24" CLEAR HEIGHT, MINIMUM 20" CLEAR WIDTH, 5.7 SQUARE FEET MINIMUM AREA AND 44" MAXIMUM TO SILL. 91.310.4
- 9. GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. 91.2406.4
  - INGRESS AND EGRESS DOORS
  - PANELS IN SLIDING OR SWINGING DOORS
  - DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE)
  - IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING
  - IN WALL ENCLOSING STAIRWAY LANDING
- 10. GLASS SKYLIGHT SHALL COMPLY WITH 91.2409. PLASTIC SKYLIGHT SHALL COMPLY WITH 91.2603.7.1.
- 11. PROVIDE NATURAL VENTILATION IN BATHROOMS BY MEANS OF OPERABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 5% OF FLOOR AREA WITH A MINIMUM OF 5 SQ FT. MECHANICAL VENTILATING SYSTEMS MAY BE PERMITTED. 1203.3

			ROUGH	ROUGH	SILL							
MARK	WIDTH	HEIGHT	WIDTH	HEIGHT	HEIGHT	TYPE	MANUFACTURER	FRAME	GLAZING	U-VALUE	SHGC	COMMENTS
A2.102	8' - 0"	4' - 0"	8' - 0"	4' - 0"	2' - 10"	2						NEW
B2.102	5' - 0"	4' - 0"	5' - 2"	4' - 2"	2' - 10"	1						NEW
B2.103	4' - 0"	2' - 10"	4' - 2"	3' - 0"	4' - 0"	1						NEW
B2.104	6' - 0"	3' - 0"	6' - 2"	3' - 2"	3' - 10"	1						NEW
B2.105	3' - 10"	1' - 5"	4' - 0"	1' - 7"	5' - 5"	1						NEW
B2.106	6' - 0"	3' - 0"	6' - 2"	3' - 2"	3' - 10"	1						NEW
B2.107	4' - 0"	1' - 5"	4' - 2"	1' - 7"	5' - 5"	1						NEW
C2.211	4' - 0"	5' - 0"	4' - 2"	5' - 2"	3' - 6"	4						NEW

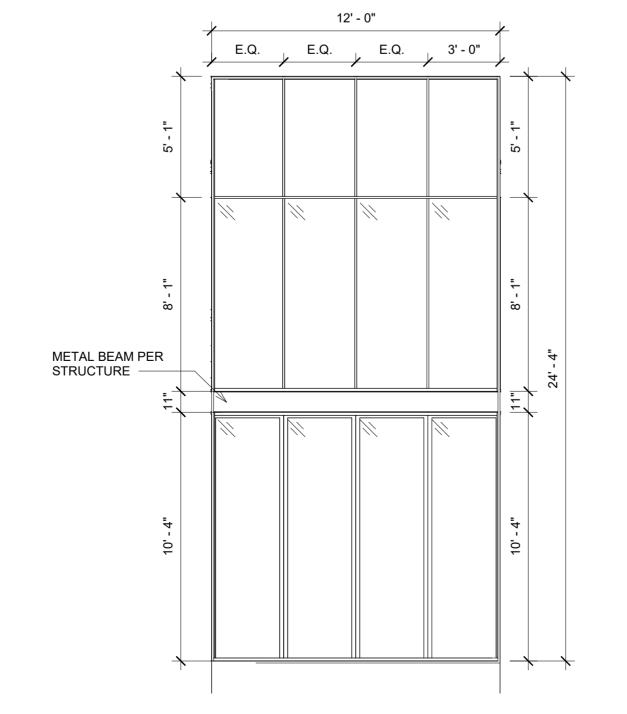
				60 - SEC	OND FLOO	OR WIN	NDOW SCHEDULE	- PROPO	SED			
			ROUGH	ROUGH	SILL							
MARK	WIDTH	HEIGHT	WIDTH	HEIGHT	HEIGHT	TYPE	MANUFACTURER	FRAME	GLAZING	U-VALUE	SHGC	COMMENTS
4D03	3' - 0"	2' - 0"	3' - 2"	2' - 2"	6' - 0"	4						
C2.201	5' - 0"	1' - 6"	5' - 2"	1' - 8"	5' - 2"	4						NEW
C2.202	8' - 0"	4' - 0"	8' - 0"	4' - 0"	2' - 10"	2						NEW
C2.205	4' - 0"	1' - 5"	4' - 2"	1' - 7"	5' - 5"	1						NEW
C2.210	3' - 0"	2' - 0"	3' - 2"	2' - 2"	6' - 0"	4						NEW
D2.201	5' - 0"	4' - 0"	5' - 2"	4' - 2"	2' - 10"	1						NEW
D2.202	5' - 0"	4' - 0"	5' - 2"	4' - 2"	2' - 10"	1						NEW
D2.203	4' - 0"	2' - 10"	4' - 2"	3' - 0"	4' - 0"	1						NEW
D2.204	5' - 10"	1' - 5"	6' - 0"	1' - 7"	5' - 5"	1						NEW
D2.205	4' - 0"	1' - 5"	4' - 2"	1' - 7"	5' - 5"	1						NEW
D2.206	8' - 0"	4' - 0"	8' - 2"	4' - 2"	2' - 10"	1						NEW
D2.207	6' - 0"	3' - 0"	6' - 2"	3' - 2"	3' - 10"	1						NEW
D2.208	3' - 10"	1' - 5"	4' - 0"	1' - 7"	5' - 5"	1						NEW
D2.209	6' - 0"	3' - 0"	6' - 2"	3' - 2"	3' - 10"	1						NEW

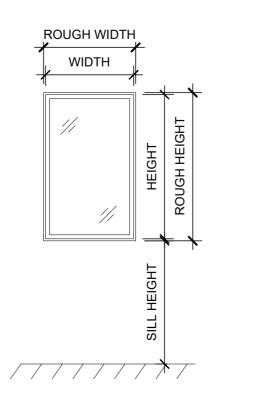
				60 - BC	OE DECK	WIND	OW SCHEDULE - P	POPOSI				
				00 - 100	OF DECK	VVIIND	OW SCHEDULE - P	NOFOSI				
		 		ROUGH	SILL							
MARK	WIDTH	HEIGHT	WIDTH	HEIGHT	HEIGHT	TYPE	MANUFACTURER	FRAME	GLAZING	U-VALUE	SHGC	COMMENTS
2.301	1' - 10"	1' - 10"	2' - 0"	2' - 0"		3						NEW
2.302	3' - 0"	1' - 2"	3' - 2"	1' - 4"		3						NEW
2.303	3' - 0"	1' - 2"	3' - 2"	1' - 4"		3						NEW
2.304	3' - 0"	1' - 2"	3' - 2"	1' - 4"		3						NEW
2.305	3' - 8"	1' - 2"	3' - 10"	1' - 4"		3						NEW

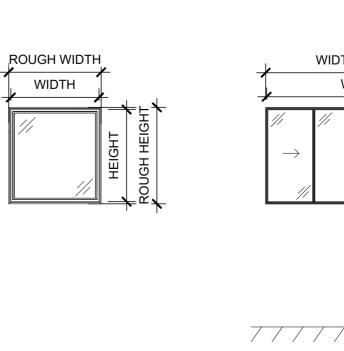
				60 - 0	GROUND	FLOOF	R WINDOW SCHED	ULE - EX	ISTING			
MARK	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	SILL HEIGHT	TYPE	MANUFACTURER	FRAME	GLAZING	U-VALUE	SHGC	COMMENTS
0A2.101	5' - 0"	4' - 0"	5' - 2"	4' - 2"	2' - 1"	1						TO BE REPLACED
0A2.102	8' - 0"	4' - 0"	8' - 0"	4' - 0"	2' - 10"	2						TO BE REPLACED
0A2.103	4' - 0"	1' - 5"	4' - 2"	1' - 7"	5' - 5"	1						TO BE REPLACED
0B2.101	5' - 0"	4' - 0"	5' - 2"	4' - 2"	2' - 10"	1						TO BE REPLACED
0B2.102	5' - 0"	4' - 0"	5' - 2"	4' - 2"	2' - 10"	1						TO BE REPLACED
0B2.103	4' - 0"	2' - 10"	4' - 2"	3' - 0"	4' - 0"	1						TO BE REPLACED
0B2.104	6' - 0"	3' - 0"	6' - 2"	3' - 2"	3' - 10"	1						TO BE REPLACED
0B2.105	3' - 10"	1' - 5"	4' - 0"	1' - 7"	5' - 5"	1						TO BE REPLACED
0B2.106	6' - 0"	3' - 0"	6' - 2"	3' - 2"	3' - 10"	1						TO BE REPLACED

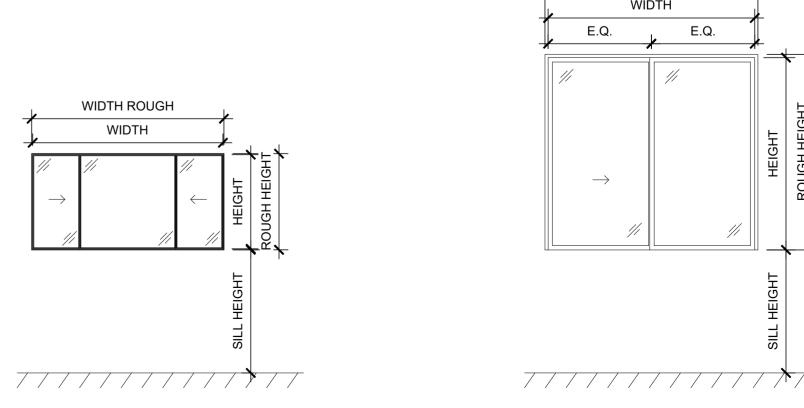
				60 - 9	SECOND	FLOOF	R WINDOW SCHED	ULE - EX	ISTING			
MARK	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	SILL HEIGHT	TYPE	MANUFACTURER	FRAME	GLAZING	U-VALUE	SHGC	COMMENTS
0C2.201	5' - 0"	4' - 0"	5' - 2"	4' - 2"	2' - 10"	1						TO BE REPLACED
0C2.202	8' - 0"	4' - 0"	8' - 0"	4' - 0"	2' - 10"	2						TO BE REPLACED
0C2.203	4' - 0"	1' - 5"	4' - 2"	1' - 7"	5' - 5"	1						TO BE REPLACED
0D2.201	5' - 0"	4' - 0"	5' - 2"	4' - 2"	2' - 10"	1						TO BE REPLACED
0D2.202	5' - 0"	4' - 0"	5' - 2"	4' - 2"	2' - 10"	1						TO BE REPLACED
0D2.203	4' - 0"	2' - 10"	4' - 2"	3' - 0"	4' - 0"	1						TO BE REPLACED
0D2.204	5' - 10"	1' - 5"	6' - 0"	1' - 7"	5' - 5"	1						TO BE REPLACED
0D2.205	4' - 0"	1' - 5"	4' - 2"	1' - 7"	5' - 5"	1						TO BE REPLACED
0D2.206	8' - 0"	4' - 0"	8' - 2"	4' - 2"	2' - 10"	1						TO BE REPLACED
0D2.207	6' - 0"	3' - 0"	6' - 2"	3' - 2"	3' - 10"	1						TO BE REPLACED
0D2.208	3' - 10"	1' - 5"	4' - 0"	1' - 7"	5' - 5"	1						TO BE REPLACED
0D2.209	6' - 0"	3' - 0"	6' - 2"	3' - 2"	3' - 10"	1						TO BE REPLACED

				60	- ROOF D	DECK W	/INDOW SCHEDUL	E - EXIST	ΓING			
MADIC	MIDTH	LIEIOLIE		ROUGH		TVDE	MANUEACTURER		01.471110		01100	COMMENTO
MARK	WIDTH	HEIGHT	WIDTH	HEIGHT	HEIGHT	TYPE	MANUFACTURER	FRAME	GLAZING	U-VALUE	SHGC	COMMENTS
02.301	1' - 10"	1' - 10"	2' - 0"	2' - 0"		3						TO BE REPLACED
02.302	3' - 0"	1' - 2"	3' - 2"	1' - 4"		3						TO BE REPLACED
02.303	3' - 0"	1' - 2"	3' - 2"	1' - 4"		3						TO BE REPLACED
02.304	3' - 0"	1' - 2"	3' - 2"	1' - 4"		3						TO BE REPLACED
02.305	3' - 8"	1' - 2"	3' - 10"	1' - 4"		3						TO BE REPLACED









**ROUGH WIDTH** 

A 0.09

WINDOW

SCHEDULE

DATE 10/14/2024 4:00:29 PM

**SCALE** 1/4" = 1'-0"

**JOB #** 23 - A004

DRAWN JV

CHECKED BD

RAMSEY DAHAM

RENEWAL DATE

PROF CALIFORN

**REVISIONS** 

TYPE 4 - FIXED WINDOW Copy 1 1/4" = 1'-0" CURTAIN WALL - BLDG 60 1/4" = 1'-0"

TYPE 3 - FIXED SKYLIGHT 1/4" = 1'-0"

TYPE 2 - 3 PANEL WINDOW 1/4" = 1'-0"

2

TYPE 1 - TWO PANEL GLASS SLIDING WINDOW 1/4" = 1'-0"

CT

ZEPHYR

1.3:1

60 - GROUND FLOOR - F.A.R. 1/16" = 1'-0"

1,365 SF /// 409 SF \_\_\_\_

1,757 SF ///

3,531 SF

60 - SECOND FLOOR - ZONING 1/16" = 1'-0"

60 - GROUND FLOOR - ZONING 1/16" = 1'-0"

**ZONING CODE FLOOR AREA - BUILDING 60** 

CT

ZEPHYR

2

ZEPHYR CT

AREA CALCULATIONS

**DRAWN** JV CHECKED BD DATE 10/14/2024 4:00:33 PM

**SCALE** As indicated **JOB #** 23 - A004

A 0.16

F.A.R. - BUILDING 60 ADDITION FIRST FLOOR COVERED 1,365 SF /// 409 SF 1ST FLOOR: 285 SF 2ND FLOOR: 206 SF 1,757 SF /// SECOND FLOOR TOTAL PROVIDED 3,531 SF

**FAR PROVIDED** 

**BUILDING 60** 

FIRST FLOOR COVERED

SECOND FLOOR

TOTAL PROVIDED

BUILDING 60

**BUILDING 60** 

ST

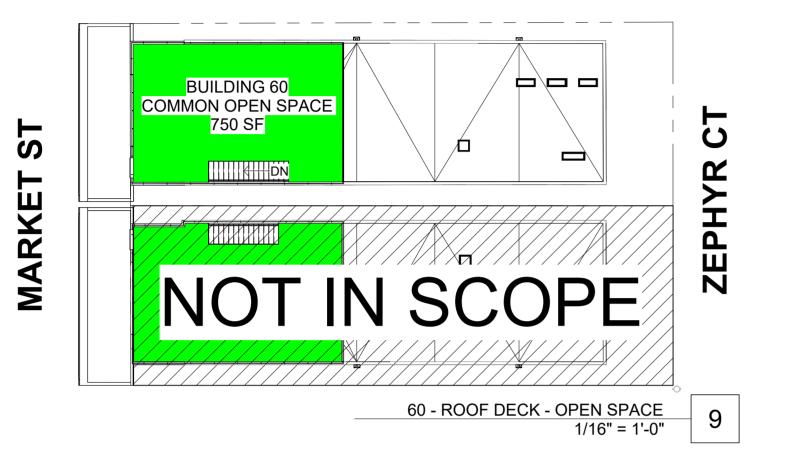
MARKET

ST

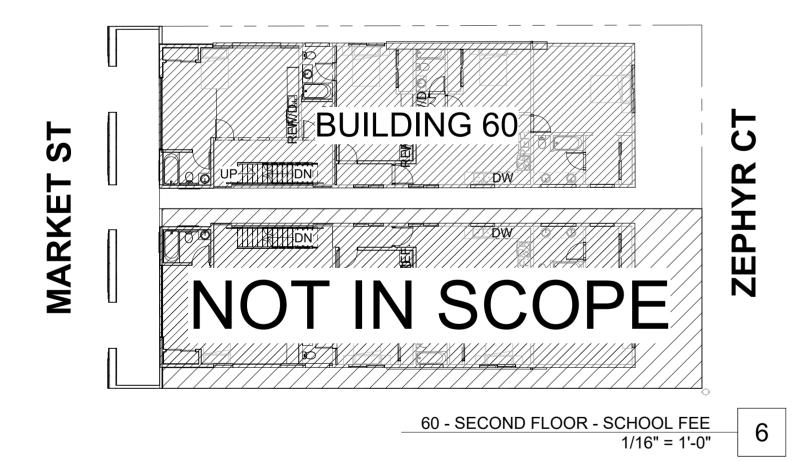
MARKET

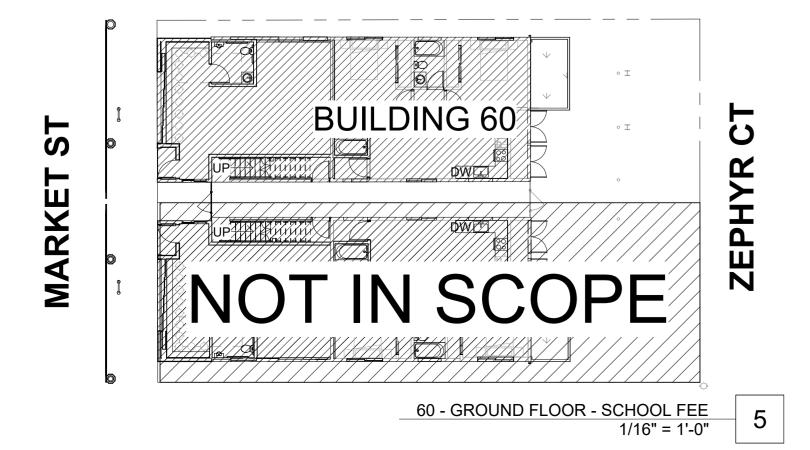
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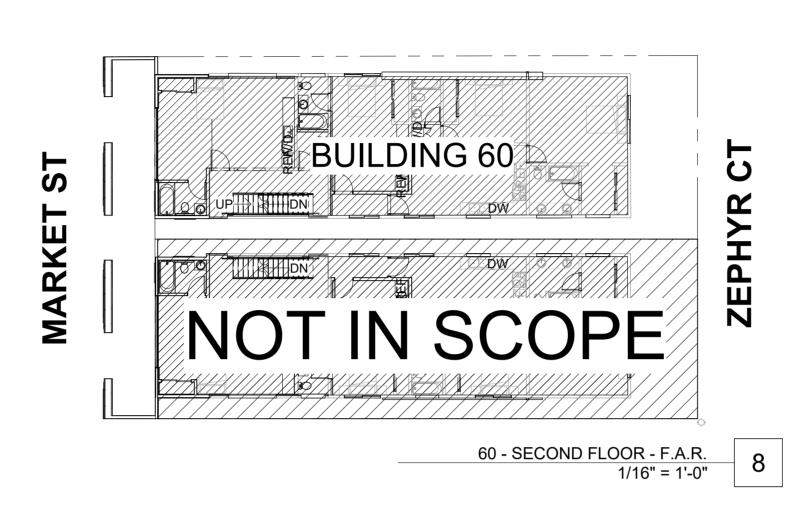
MARKET



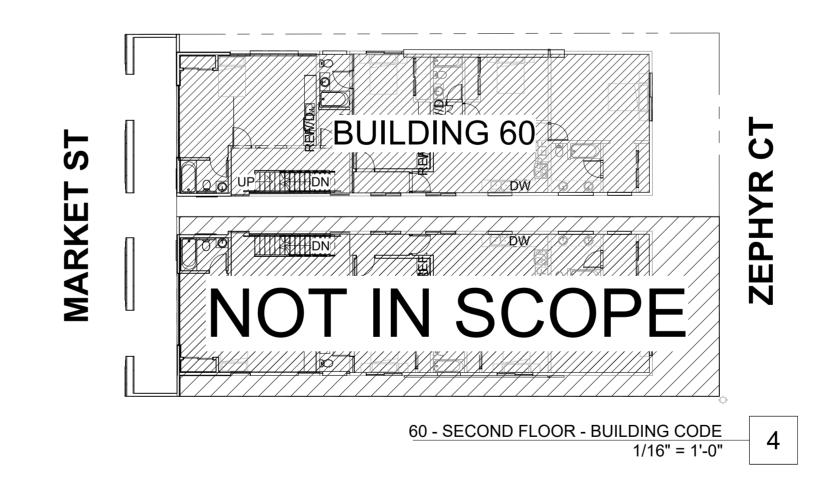
SCHOOL FEE FLOOR AREA - BUILDING 60										
FIRST FLOOR	1,497 SF 💯									
SECOND FLOOR	1,906 SF ///									
TOTAL PROVIDED	3,403 SF									



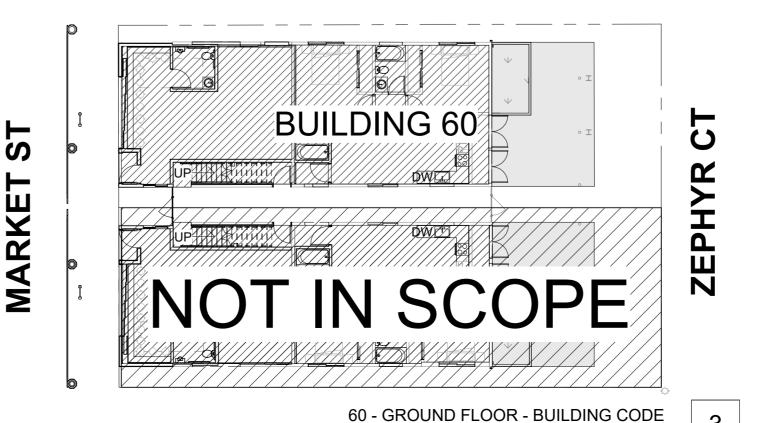




BUILDING CODE FLOOR AREA - BUILDING 60				
FIRST FLOOR COVERED	1,412 SF /// 409 SF			
SECOND FLOOR	1,803 SF ///			
TOTAL PROVIDED	3,624 SF			



MARKET ST		BUILDING 60 NOT IN SCOPE	ZEPHYR CT
	J	60 - GROUND FLOOR - BUILDING CODE 1/16" = 1'-0"	3





ST **MARKET** 

51 MARKET ST, VENICE, CA 90291

45 MARKET ST, VENICE, CA 90291

64 MARKET ST, VENICE, CA 90291 LOT 10/ //70' - 2 1/2"/ /11' - 2"/ /REAR SETBACK/ FRONT SETBACK LOT 9\_EXISTING BUILDING
60 MARKET ST, VENICE, CA 90291, USA L \_ \_ \_ <u>\_</u> \_ \_ \_ 70' - 2" 9' - 0 1/2" REAR SETBACK FRONT SETBACK LOT 7

46 MARKET ST, VENICE, CA 90291

55 WINDWARD AVE VENICE CA 90291

**EXISTING** SITE PLAN

**DRAWN** JV CHECKED BD

DATE 10/14/2024 4:00:34 PM

**SCALE** As indicated **JOB #** 23 - A004

A 1.00

EXISTING SITE PLAN 3/16" = 1'-0"

51 WINDWARD AVE, VENICE CA 90291

SITE PLAN LEGEND FLOOR TYPE

SETBACKS

51 MARKET ST, VENICE, CA 90291 45 MARKET ST, VENICE, CA 90291

**MARKET ST** 

64 MARKET ST, VENICE, CA 90291 PROPERTY DIMENSION ///11' - 2"// /79' - 2"// GROUND FLOOR PLANTER BOX BMP #1 SEE C-2/DETAIL 3 **EXISTING BUILDING** (N) PAVERS ON 6' - 2" 60 MARKET ST, VENICE, CA 90291 /79' - 2 1/2"/ REAR SETBACK 90' - 3 1/2"/ 46 MARKET ST, VENICE, CA 90291

55 WINDWARD AVE, VENICE CA 90291

51 WINDWARD AVE, VENICE CA 90291

PROPOSED SITE PLAN

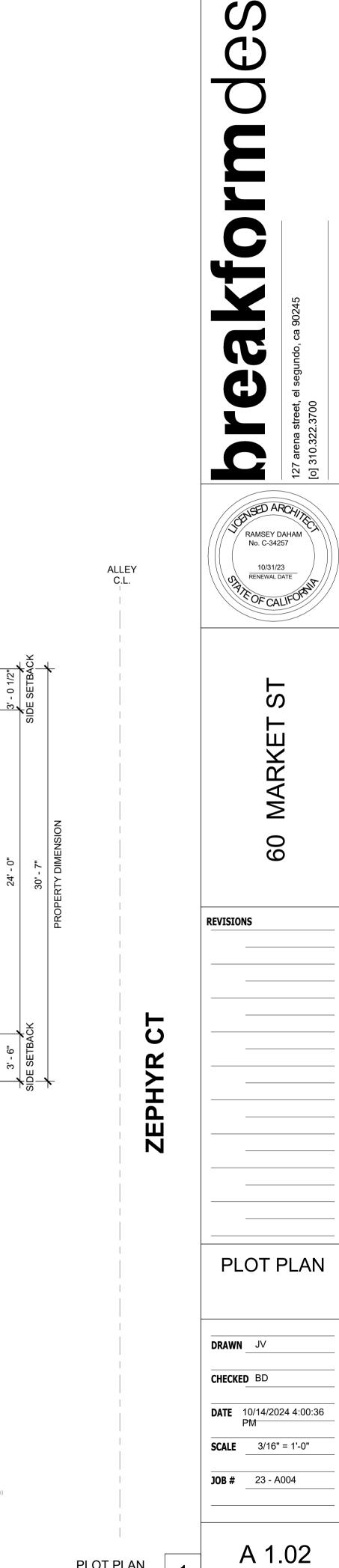
**DRAWN** JV CHECKED BD

**DATE** 10/14/2024 4:00:35 PM **SCALE** As indicated

**JOB #** 23 - A004

A 1.01

PROPOSED SITE PLAN 3/16" = 1'-0"



90' - 4 1/2" PROPERTY DIMENSION 11' - 2" \_REAR SETBACK\_ EXISTING BUILDING COLONNADE 249 SF ADDITION 60 MARKET ST, VENICE, CA 90291 1ST FLOOR: 285 SF 1ST FLOOR: 1,696 SF 2ND FLOOR: 206 SF 2ND FLOOR: 1,684 SF L: 491 SF TOTAL: TOTAL: 3,380 SF 79' - 2 1/2"/ 11' - 1 1/2" REAR SETBACK PROPERTY DIMENSION COLONNADE 250 SF NOT IN SCOPE

PLOT PLAN 3/16" = 1'-0"

## **DEMO NOTES:**

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.

2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.

3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.

4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.

5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.

6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.

7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.

A. ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.

B. NO STRUCTURAL MEMBER IN ANY STORY SHALL BE DEMOLISHED UNTIL THE STORY ABOVE IS COMPLETELY REMOVED.

C. THERE WILL BE NO FREE FALL DUMPING OVER EXTERIOR WALL FOR A HEIGHT OF MORE THAN 25

D. CALL FOR INSPECTION AT LEAST 24 HOURS BEFORE STARTING WORK.

E. APPROVAL OF PROTECTION FENCES AND CANOPIES IS REQUIRED PRIOR TO DEMOLITION.

F. ALL BASEMENT FILES SHALL BE CLEAN AND UNIFORM.

A 4.00

A 3.00 1

G. STORAGE OF MATERIALS ON FLOORS SHALL NOT EXCEED ( ) PSF LIVE LOAD.

\* AN 8-FOOT HIGH CHAIN LINK FENCE MUST BE PROVIDED TO PREVENT UNAUTHORIZED ENTRY TO THE VACANT LOT AFTER DEMOLITION.

HANDWRECKING: USE OF SMALL WHEEL MOUNTED PNEUMATIC TOOLS WILL BE PERMITTED IF FIRST

9' - 0"

FRONT SETBACK

/ 9' - 0<sup>´</sup>1/2"/

FRONT SETBACK

A 4.00

13' - 9 1/2"

BLDG 60 - UNIT A - GUEST ROOM AREA: 295 SF

19' - 9 1/2"

EXT. WALL #7 - WALL TO BE DEMO ;

\_EXT. WALL #5

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0A2.103

BATH

BEDROOM

LIVING AREA

BLDG 60 - UNIT A

AREA: 707 SF

0B2.101

#### **METHOD OF DEMOLITION:**

APPROVED BY BUILDING INSPECTOR.

1. A MINIMUM OF 50% OF NONHAZRDOUS CONSTRUCTION WASTE IS TO BE RECYCLED

**GREEN BUILDING STANDARDS NOTES:** 

2. TESTING AND ADJUSTING OF NEW SYSTEMS INSTALLED TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 5.701.1 SHALL BE REQUIRED

3. PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/ WARRANTIES FOR EACH SYSTEM. O&M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

4. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM

5. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 5.504.4 AND TABLES 4.504.1, 5.504.4.2, 5.504.4.3 AND 5.504.4.5 FOR: ADHESIVES, SEALANTS, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.

6. WASTE WATER FIXTURES SHALL COMPLY WITH THE STANDARDS LISTED IN CGC TABLE 5.303.6 AND 5.712.3.5.

7. WHERE LANDSCAPE IRRIGATION IS A PART OF THE ADDITION OR TENANT IMPROVEMENT, LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS. CGC 5.712.4.3.1.

8. SUBMIT TO THE ENGINEERING DEPARTMENT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT OUTLINES THE ITEMS LISTED IN CGC SECTION 5.713.8.1.1

9. PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IS RESPONSIBLE OF THE OVERALL CONSTRUCTION AND MUST COMPLETE AND SIGN THE CITYAPPROVED GREEN BUILDING STANDARDS CERTIFICATION FORM OR OTHER DOCUMENTATION REQUIRED BY THE CITY AND GIVEN TO THE BUILDING DEPARTMENT OFFICIAL PRIOR TO BUILDING FINAL APPROVAL TO BE FILED WITH THE APPROVED PLANS.

10. THIS PROJECT IS NOT LOCATED WITHIN A CNEL OF 65 OR GREATER.

90' - 4 1/2"

PROPERTY DIMENSION

70' - 2 1/2"

0B2.105

#### **FLOOR PLAN LEGEND**

FLOOR TYPE CL CLOSET WINDOW TAG (A0.09 WINDOW SCHEDULE) **EXISTING WALL** DOOR TAG (A0.07 DOOR SCHEDULE) **DEMOLITION WALL** WALL TYPE PROPOSED WALL ⟨**X**⟩—

**ELEVATION MARKER** SMOKE DETECTOR CARBON MONOXIDE — − − PROPERTY LINE → — → — ACCESSIBLE ROUTE **EXHAUST** 

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

WALL NUMBER	(E) WALL LENGTH	REMOVED WALL LENGTH	REMAINING WALL LENGTH	FLOOR LEVEL
1	16' - 2 1/2"	15' - 8 1/2"	0' - 6"	1ST FLOOR
2	53' - 2 1/2"	0' - 0"	53' - 2 1/2"	1ST FLOOR
3	24' - 0 1/2"	0' - 0"	24' - 0 1/2"	1ST FLOOR
4	33' - 4 1/2"	0' - 0"	33' - 4 1/2"	1ST FLOOR
5	13' - 6"	0' - 0"	13' - 6"	1ST FLOOR
6	7' - 11 1/2"	0' - 0"	7' - 11 1/2"	1ST FLOOR
7	19' - 9 1/2"	19' - 9 1/2"	0' - 0"	1ST FLOOR
8	16' - 2 1/2"	15' - 3 1/2"	0' - 11"	2ND FLOOR
9	70' - 2 1/2"	0' - 0"	70' - 2 1/2"	2ND FLOOR
10	24' - 0"	0' - 0"	24' - 0"	2ND FLOOR
11	50' - 4 1/2"	0' - 0"	50' - 4 1/2"	2ND FLOOR
12	13' - 6"	0' - 0"	13' - 6"	2ND FLOOR
13	7' - 11 1/2"	0' - 0"	7' - 11 1/2"	2ND FLOOR
14	19' - 9 1/2"	0' - 0"	19' - 9 1/2"	2ND FLOOR
15	16' - 2"	15' - 8"	0' - 6"	ROOF DECK
16	70' - 2 1/2"	0' - 0"	70' - 2 1/2"	ROOF DECK
17	70' - 2"	0' - 0"	70' - 2"	ROOF DECK
18	23' - 1 1/2"	23' - 1 1/2"	0' - 0"	ROOF DECK
19	6' - 10 1/2"	6' - 10 1/2"	0' - 0"	ROOF DECK
20	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
21	6' - 10 1/2"	6' - 10 1/2"	0' - 0"	ROOF DECK
22	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
TOTAL	576' - 7 1/2"	116' - 5"	460' - 2 1/2"	

11' - 2"

REAR SETBACK

11' - 1 1/2"

REAR SETBACK

11' - 0 1/2"

0B2.104

BEDROOM

KITCHEN

0B2,103

9' - 0"

WALL MATRIX 12" = 1'-0"

ILLUMINATED EXIT SIGN

SED ARCHITA RAMSEY DAHAM No. C-34257 RENEWAL DATE EOF CALIFOR

**REVISIONS** 

**EXISTING &** DEMO **PLANS** 

DRAWN JV

**DATE** 10/14/2024 4:00:37 **SCALE** As indicated

**JOB** # 23 - A004

A 2.00

EXISTING GROUND FLOOR 3/16" = 1'-0"

2 A 3.00

## **DEMO NOTES:**

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C. THERE WILL BE NO FREE FALL DUMPING OVER EXTERIOR WALL FOR A HEIGHT OF MORE THAN 25

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**E.** APPROVAL OF PROTECTION FENCES AND CANOPIES IS REQUIRED PRIOR TO DEMOLITION.

F. ALL BASEMENT FILES SHALL BE CLEAN AND UNIFORM.

**HANDWRECKING: USE OF SMALL WHEEL MOUNTED PNEUMATIC** 

A 3.00 1

G. STORAGE OF MATERIALS ON FLOORS SHALL NOT EXCEED ( ) PSF LIVE LOAD.

\* AN 8-FOOT HIGH CHAIN LINK FENCE MUST BE PROVIDED TO PREVENT UNAUTHORIZED ENTRY TO THE VACANT LOT AFTER DEMOLITION.

## **METHOD OF DEMOLITION:**

APPROVED BY BUILDING INSPECTOR.

**GREEN BUILDING STANDARDS NOTES:** 

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10. THIS PROJECT IS NOT LOCATED WITHIN A CNEL OF 65 OR GREATER.

## **FLOOR PLAN LEGEND**

FLOOR TYPE CL CLOSET WINDOW TAG (A0.09 WINDOW SCHEDULE) **EXISTING WALL** DOOR TAG (A0.07 DOOR SCHEDULE) **DEMOLITION WALL** ⟨X⟩— WALL TYPE PROPOSED WALL ELEVATION MARKER

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM,

WALL NUMBER	(E) WALL LENGTH	REMOVED WALL LENGTH	REMAINING WALL LENGTH	FLOOR LEVEL
1	16' - 2 1/2"	15' - 8 1/2"	0' - 6"	1ST FLOOR
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3	24' - 0 1/2"	0' - 0"	24' - 0 1/2"	1ST FLOOR
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TOTAL	576' - 7 1/2"	116' - 5"	460' - 2 1/2"	

NSED ARCHITA RAMSEY DAHAM RENEWAL DATE FOF CALIFOR

9

DEMO

A 2.01

EXISTING SECOND FLOOR 3/16" = 1'-0"

**EXISTING & PLANS** 

DRAWN JV

**SCALE** As indicated

**DATE** 10/14/2024 4:00:38

SMOKE DETECTOR CARBON MONOXIDE **EXHAUST** 

— — — PROPERTY LINE

→ — → — ACCESSIBLE ROUTE ILLUMINATED EXIT SIGN

OUTSIDE OF THE BUILDING.

MUST BE CONTROLLED BY A HUMIDITY CONTROL.

		TOTAL 576' - 7 1/2" 116' - 5" 460' 80% OF WALLS REMAINIG	- 2 1/2"
MATIC TOOLS WILL	BE PERMITTED IF FIRST		WALL MATRIX
	3 90' - 4 1/2"		12" = 1'-0"
•	PROPERTY DIMENSION A 3.00		ALLEY C.L.
9' - 0"	70' - 2 1/2"	11' - 2"	
FRONT SETBACK	EXT. WALL #9	REAR SETBACK S	
	13' - 9 1/2" 5' - 0" 10' - 2" 2' - 5" 4' - 10" 2' - 2" 11' - 3"	16' - 4"	
+ 5	0C2.202 0C2.203 0D2.209 0D2.208 0D2.207		
16' - 2 1/2"  EXT. WALL #8  15' - 3 1/2"  WALL TO BE DEMO  0C2.201	LIVING AREA  BLDG 60 - UNIT B GUEST ROOM AREA: 295 SF  OC2.203  DD2.205  DD2.206	(E) SKYLIGHT ABOVE	DIMENSION
8'-0" 0'-5"	LIVING AREA  19' - 9 1/2"  EXT. WALL #14  EXT. WALL #14	D2.209  (E) SKYLIGHT ABOVE  CL  CL  CL  CL  CL  CL  CL  CL  CL  C	30'-
		<b>1</b>	
_	19' - 9"	8' - 3" DD2.204 5' - 6" DD2.205 1' - 9 1/2" 50 E E E E E E E E E E E E E E E E E E	
	13' - 6" 50' - 4 1/2" A 3.00 EXT. WALL #12 / 70' 2" A S.00		
9' - 0 1/2"/	90' - 3 1/2"		
FRONT SETBACK	NOTINSON SCO	REAR SETBACK	2 A 3.00

## **DEMO NOTES:**

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OR ALTERATION SUBJECT TO SECTION 5.701.1 SHALL BE REQUIRED

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## **FLOOR PLAN LEGEND**

FLOOR TYPE CL CLOSET WINDOW TAG (A0.09 WINDOW SCHEDULE) **EXISTING WALL** DOOR TAG (A0.07 DOOR SCHEDULE) **DEMOLITION WALL** WALL TYPE PROPOSED WALL ⟨**X**⟩— **ELEVATION MARKER** SMOKE DETECTOR

ILLUMINATED EXIT SIGN 1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

— − − PROPERTY LINE

OUTSIDE OF THE BUILDING.

→ — → — ACCESSIBLE ROUTE

WALL NUMBER	(E) WALL LENGTH	REMOVED WALL LENGTH	REMAINING WALL LENGTH	FLOOR LEVEL
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17	70' - 2"	0' - 0"	70' - 2"	ROOF DECK
18	23' - 1 1/2"	23' - 1 1/2"	0' - 0"	ROOF DECK
19	6' - 10 1/2"	6' - 10 1/2"	0' - 0"	ROOF DECK
20	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
21	6' - 10 1/2"	6' - 10 1/2"	0' - 0"	ROOF DECK
22	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
TOTAL	576' - 7 1/2"	116' - 5"	460' - 2 1/2"	

CARBON MONOXIDE

**EXHAUST** 

WALL MATRIX 12" = 1'-0" **ALLEY REVISIONS** 

> **EXISTING &** DEMO **PLANS**

SED ARCHITA

RAMSEY DAHAM

No. C-34257

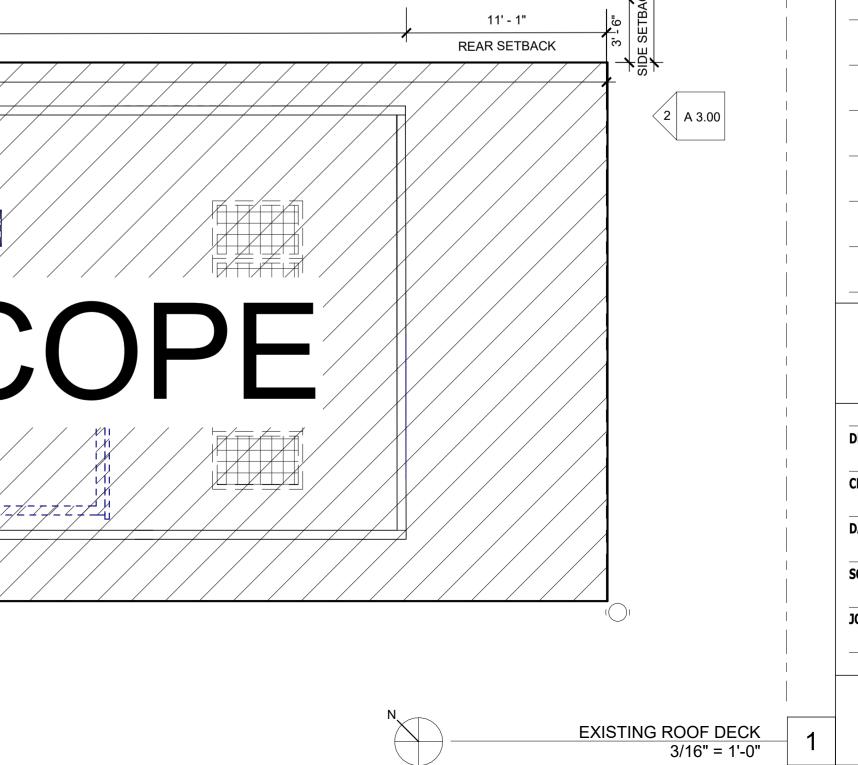
RENEWAL DATE

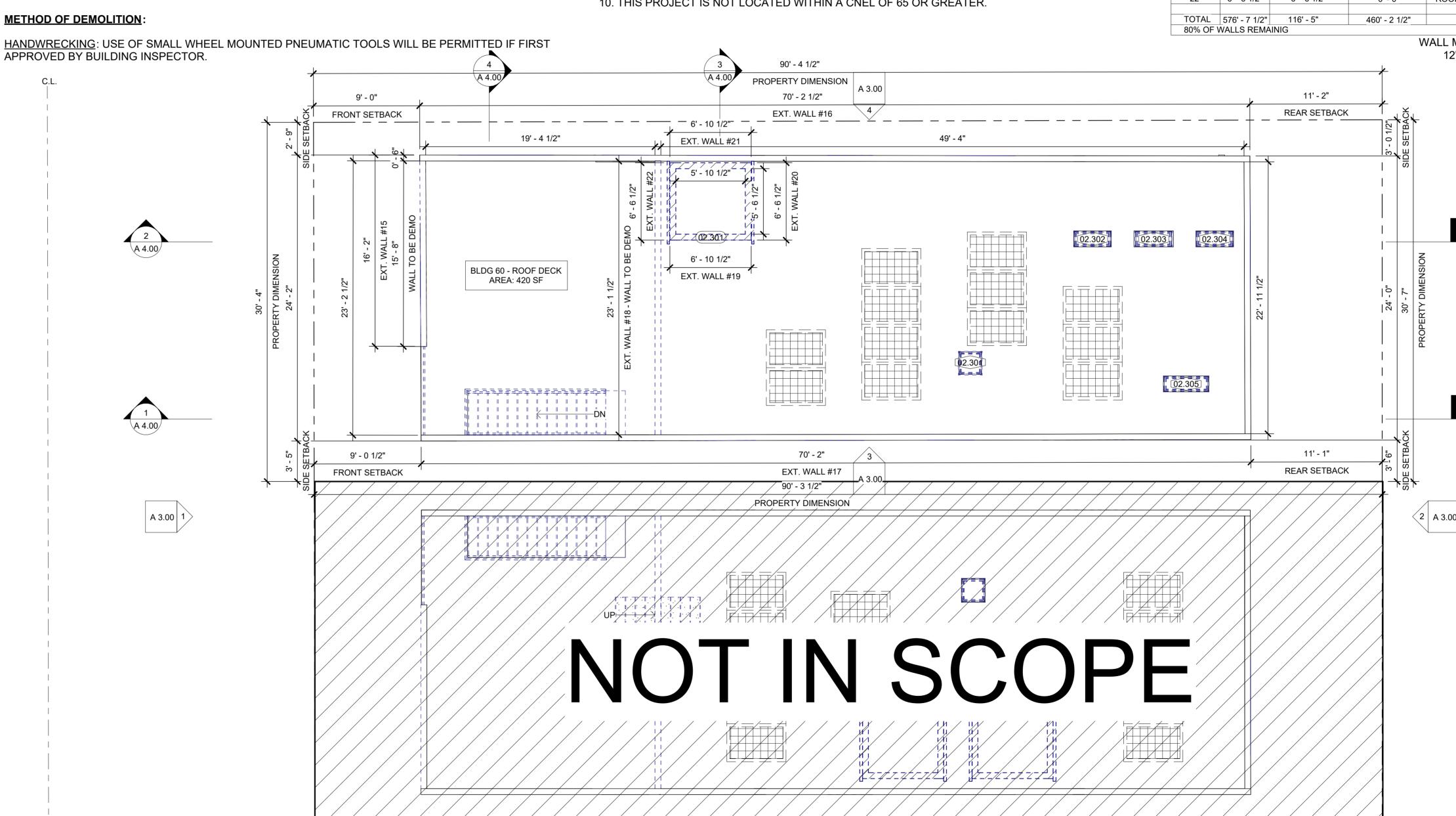
EOF CALIFOR

**DRAWN** JV CHECKED BD **DATE** 10/14/2024 4:00:39

**SCALE** As indicated **JOB** # 23 - A004

A 2.02





**FLOOR PLAN LEGEND ASSEMBLY TYPES** <u>WALLS</u> FLOOR TYPE CONC FLOOR PER STRC. W/ POLISHED 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.11) CONC. FINISH (1/A0.12) 1-HR 2x4 & 2x6 INTERIOR WALL (A-2) CONC FLOOR PER STRC. W/ WOOD

FINISH (2/A0.12)

FINISH (3/A0.12)

FINISH (4/A0.12)

FINISH (5/A0.12)

SPEC. (6/A0.12)

PER SPEC. (7/A0.12)

CONC FLOOR PER STRC. W/ TILE

WOOD JOIST PER STRC. W/ WOOD

WOOD JOIST PER STRC. W/ TILE

WOOD JOIST W/ WOOD DECK PER

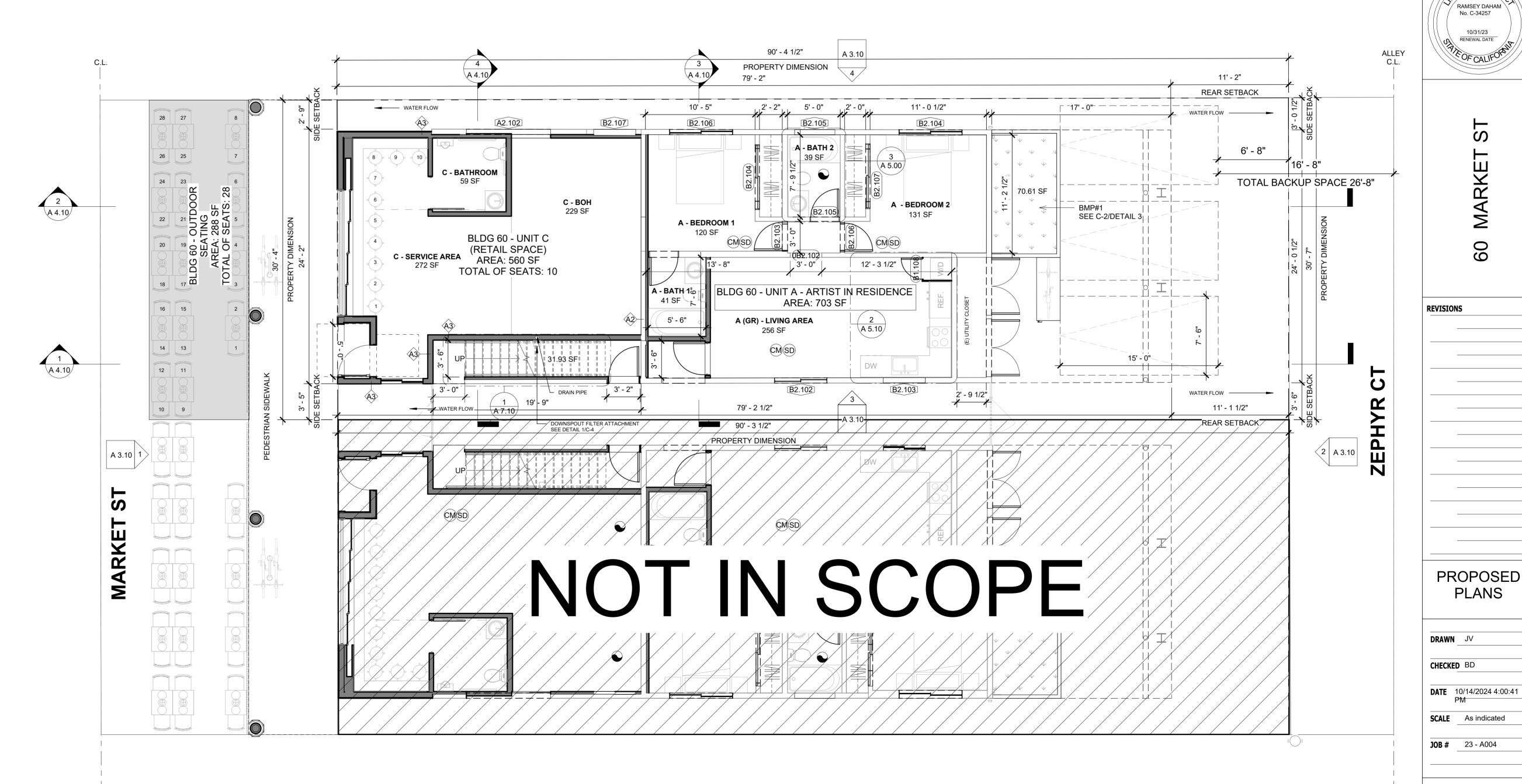
WOOD JOIST W/ ROOFING MEMBRANE

CL CLOSET EXISTING WALL WINDOW TAG (A0.09 WINDOW SCHEDULE) DOOR TAG (A0.07 DOOR SCHEDULE) **DEMOLITION WALL** WALL TYPE PROPOSED WALL ELEVATION MARKER SMOKE DETECTOR — − − PROPERTY LINE CARBON MONOXIDE → — → — ACCESSIBLE ROUTE **EXHAUST** 

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

ILLUMINATED EXIT SIGN



A2 ASSM. (2/A0.11)

1-HR 2x4 & 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3/A0.11)

(E) BLD 60 - GROUND FLOOR 3/16" = 1'-0"

A 2.10

No. C-34257

RENEWAL DATE

9

ASSEMBLY TYPES

WALLS
FLOORS

AT CONC FLOOR PER STRC. W/ POLISHED

FLOOR TYPE

FLOOR TYPE

2x4 & 2x6 INTERIOR CONC FLOOR PER STRC. W/ POLISHE CONC. FINISH (1/A0.12)

1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.11)

CONC FLOOR PER STRC. W/ POLISHE CONC. FINISH (1/A0.12)

CONC FLOOR PER STRC. W/ WOOD FINISH (2/A0.12)

1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.11)

1-HR 2x4 & 2x6 EXTERIOR WALL W/ ASSM. (3/A0.11)

CONC FLOOR PER STRC. W/V FINISH (2/A0.12)

CONC FLOOR PER STRC. W/V FINISH (3/A0.12)

(A-3) CONC FLOOR PER STRC. W/ TILE FINISH (3/A0.12)

(B-1) WOOD JOIST PER STRC. W/ WOOD

FINISH (4/A0.12)

WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.12)

FINISH (5/A0.12)

WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.12)

PER SPEC. (7/A0.12)

WOOD JOIST W/ ROOFING MEMBRANE

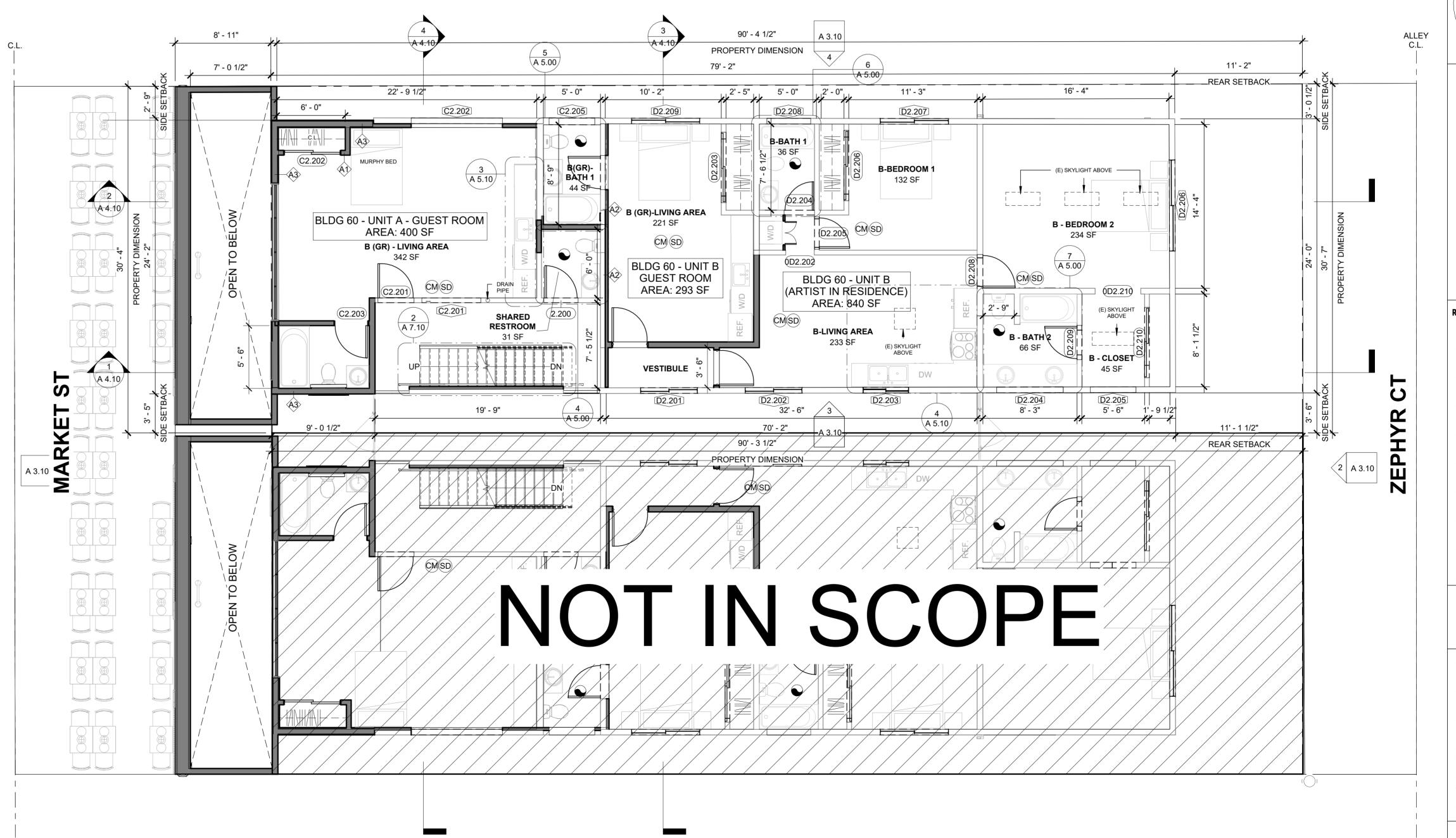
CL CLOSET

**EXHAUST** 

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

→ — → — ACCESSIBLE ROUTE

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.



127 arena street, el segundo, ca 90245 [o] 310.322.3700

RAMSEY DAHAM
No. C-34257

10/31/23
RENEWAL DATE

) MARKET ST

REVISIONS

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PROPOSED PLANS

DRAWN JV

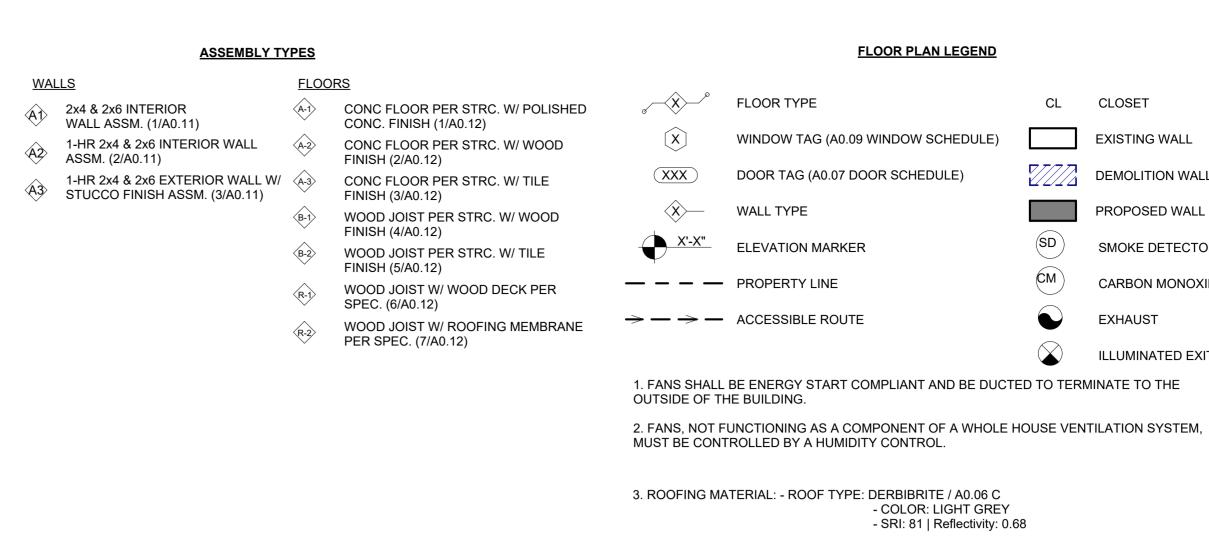
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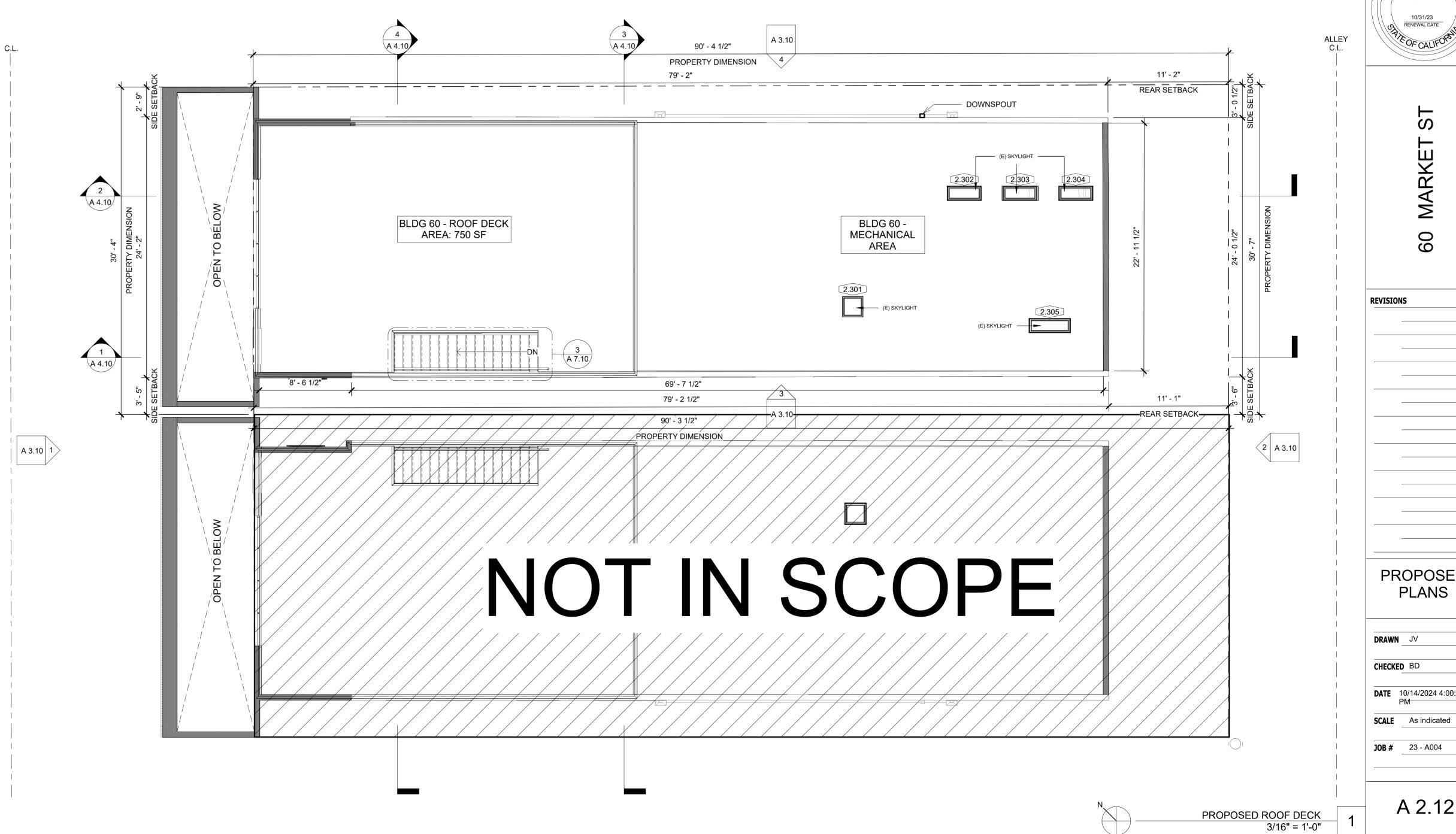
DATE 10/14/2024 4:00:43

JOB # 23 - A004

A O 11

(E) BLD 60 - SECOND FLOOR 3/16" = 1'-0" A 2.11





**DEMOLITION WALL** 

PROPOSED WALL

**EXHAUST** 

SMOKE DETECTOR

CARBON MONOXIDE

ILLUMINATED EXIT SIGN

ANGED ARCHITEC RAMSEY DAHAM No. C-34257 RENEWAL DATE P OF CALIFOR

**REVISIONS** 

PROPOSED **PLANS** 

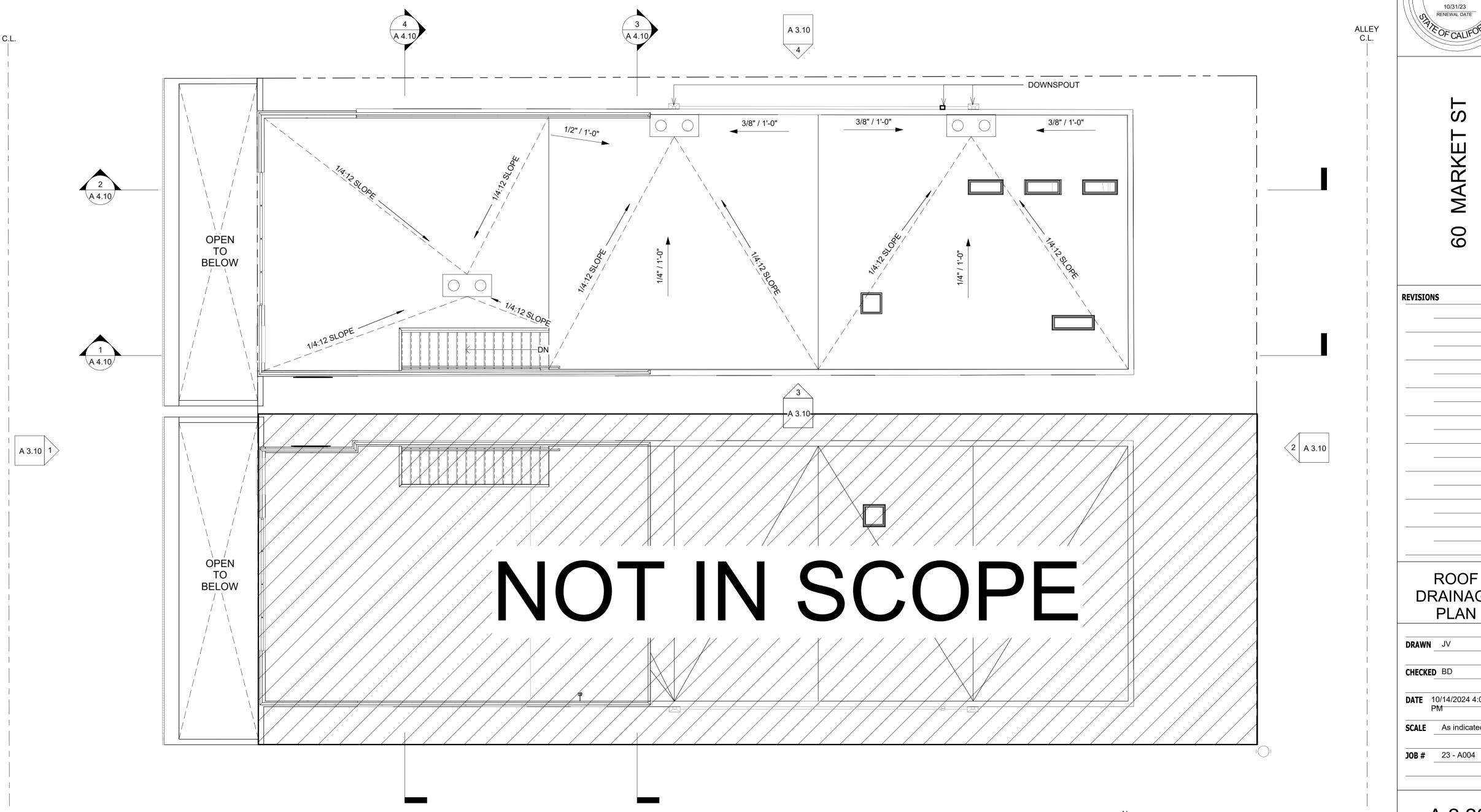
**DRAWN** JV CHECKED BD

DATE 10/14/2024 4:00:44 PM

**JOB #** 23 - A004

A 2.12

DRAINAGE LEGENDS: → SLOPE DRAIN DIRECTION OO DRAIN AND OVERFLOW. DETAIL # 11/A0.18 NOTE: PLEASE SEE CIVIL DRAWING FOR LID AND GROUND DRAINAGE **ROOF NOTES:** A. SIZE THE ROOF DRAINS AND OVERFLOW DRAINS ACCORDING TO CHAPTER 11 OF LAPC. 1502 B. THE ROOF DRAIN AND OVERFLOW DRAIN MUST BE INDEPENDENT LINES TO A YARD BOX. C. ROOF DRAINAGE IS NOT PERMITTED TO FLOW OVER PUBLIC PROPERTY. 3201.4 D. OVERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE TO TABLE 11-1 OF LAPC. 2. DOWNSPOUT(S) DISCHARGING INTO BMPs PER CIVIL PLANS 3. DOWNSPOUTS TO DRAIN TO PROPOSED FLOGARD DOWNSPOUT FILTER AND PLANTER BOX. SEE 4. ROOF RUNOFF TO DRAIN TO PROPOSED FLOGARD DOWNSPOUT FILTER AND PLANTER BOX. SEE



RAMSEY DAHAM

RENEWAL DATE P OF CALIFOR

ROOF DRAINAGE PLAN

**DRAWN** JV

CHECKED BD DATE 10/14/2024 4:00:45 PM

**SCALE** As indicated

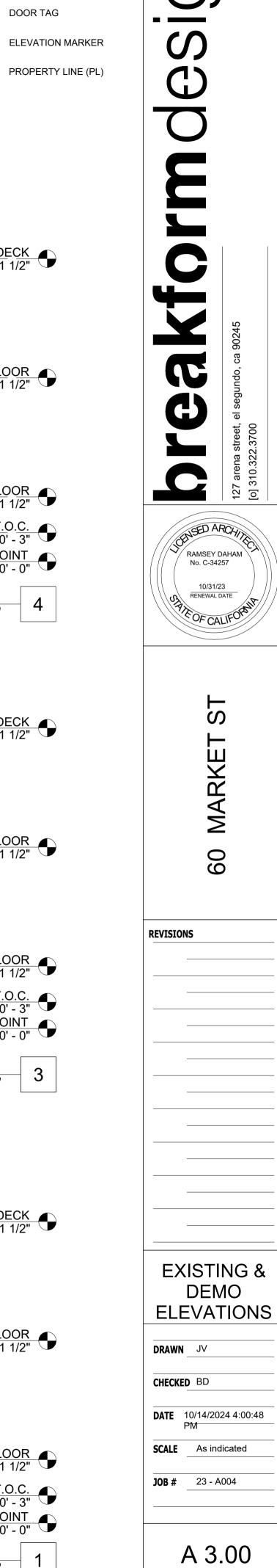
A 2.20

ROOF DRAINAGE PLAN 3/16" = 1'-0"

No. C-34257

RENEWAL DATE

09

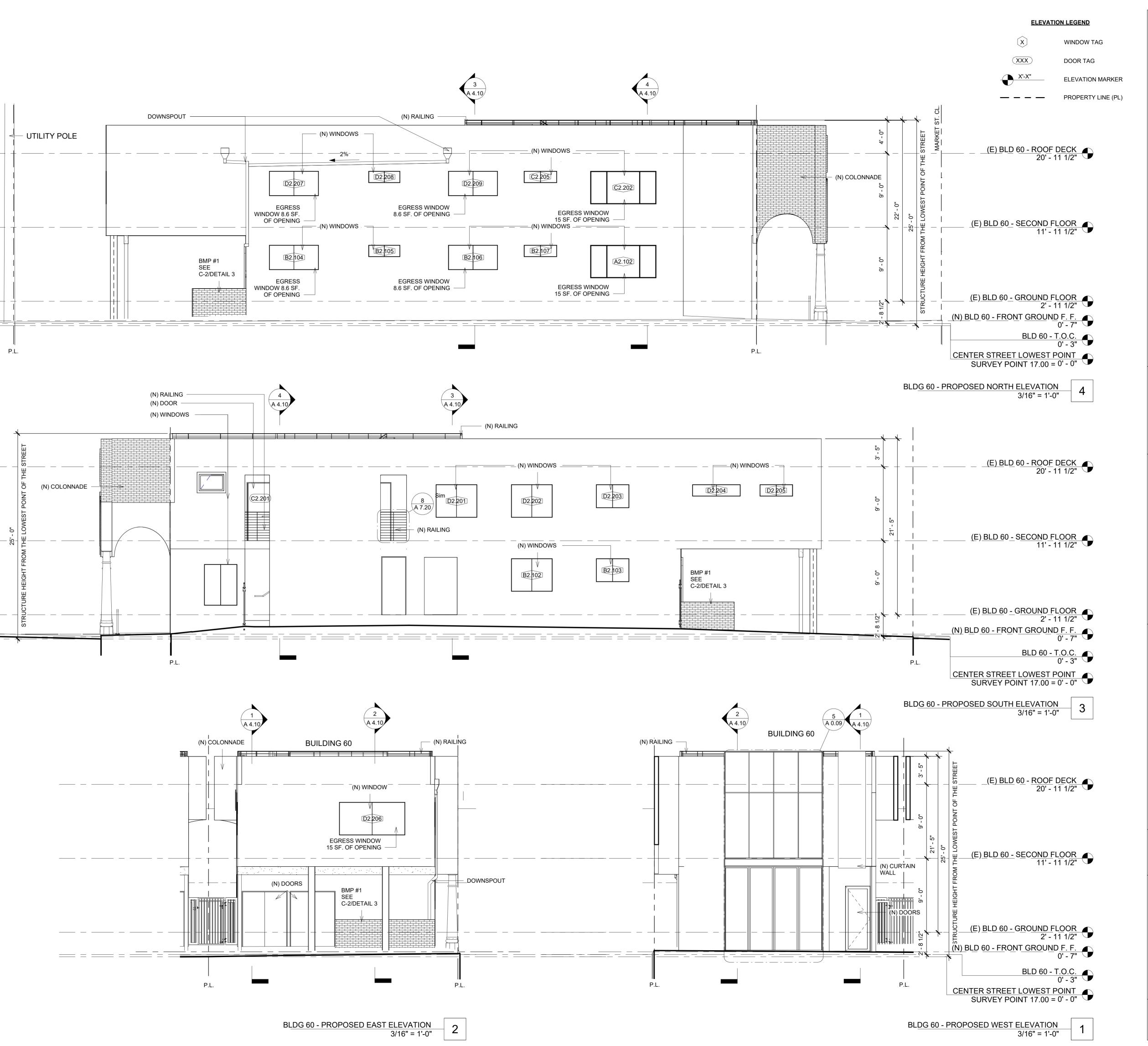


BLDG 52 AND 60 - WEST ELEVATION

3/16" = 1'-0"



BLDG 52 AND 60 - EAST ELEVATION 3/16" = 1'-0"



DIEST ACTOR OF SIGNATOR OF SIGNATURE OF SIGN

RAMSEY DAHAM
No. C-34257

10/31/23
RENEWAL DATE

REVISIONS

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PROPOSED ELEVATIONS

DRAWN JV

CHECKED BD

DATE 10/14/2024 4:00:52
PM

SCALE As indicated

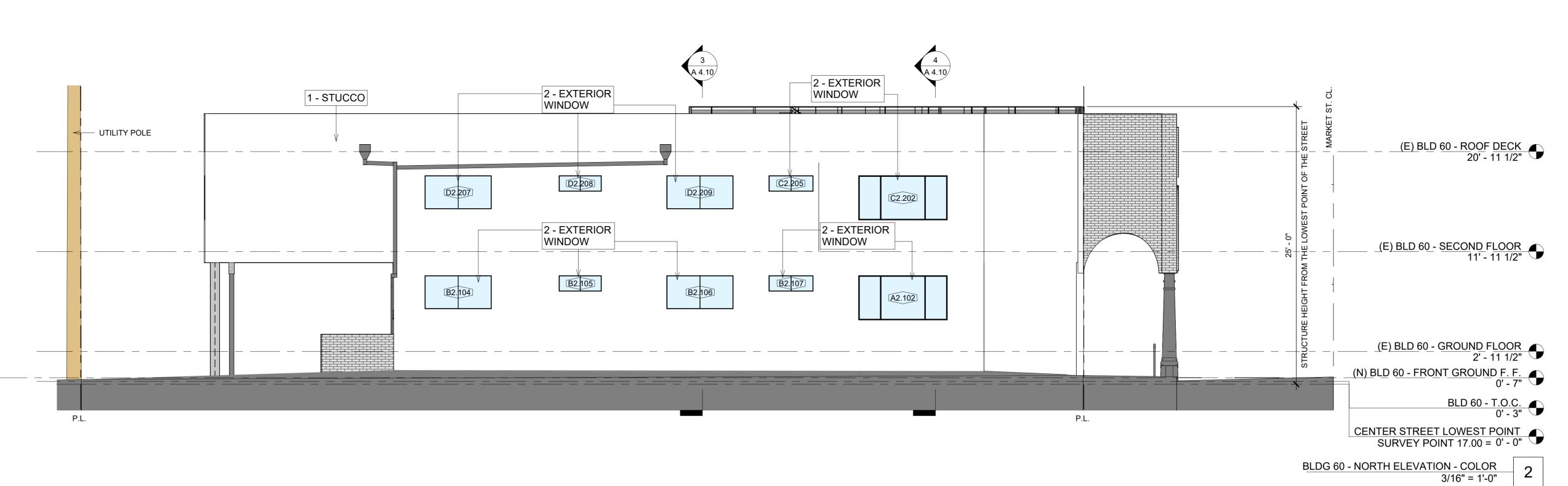
**JOB #** 23 - A004

A 3.10

CHECKED BD DATE 10/14/2024 4:00:57 PM

**SCALE** 3/16" = 1'-0" **JOB** # 23 - A004

A 3.20



- MANUFACTURER: OMEGA OR SIMILAR

COLORTEK SMOOTHCOAT

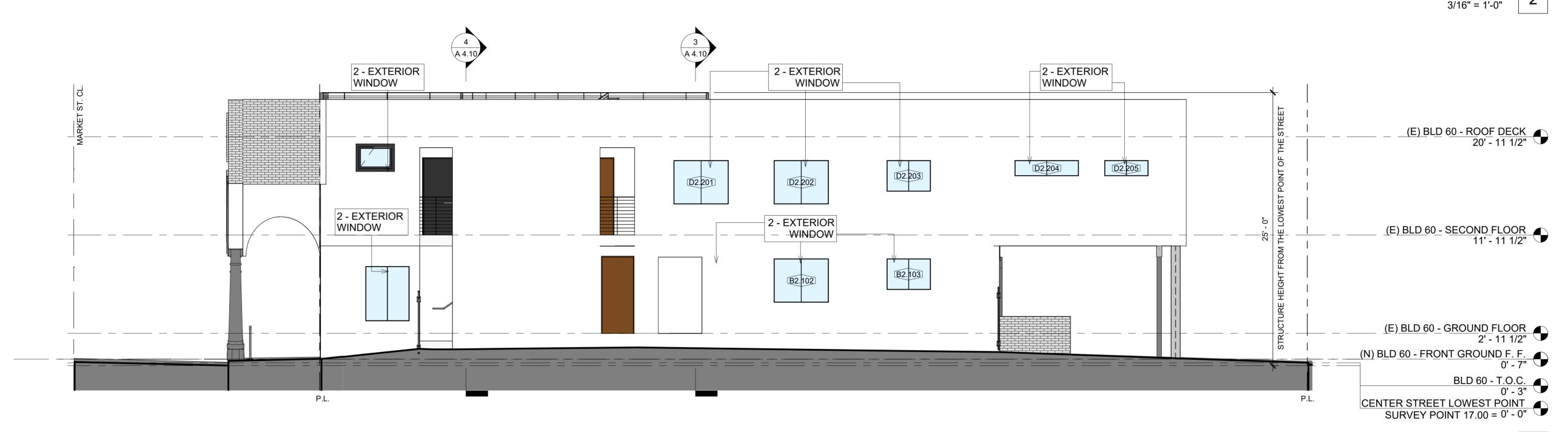
- MANUFACTURER: MILGARD OR SIMILAR - COLOR: DARK GREY

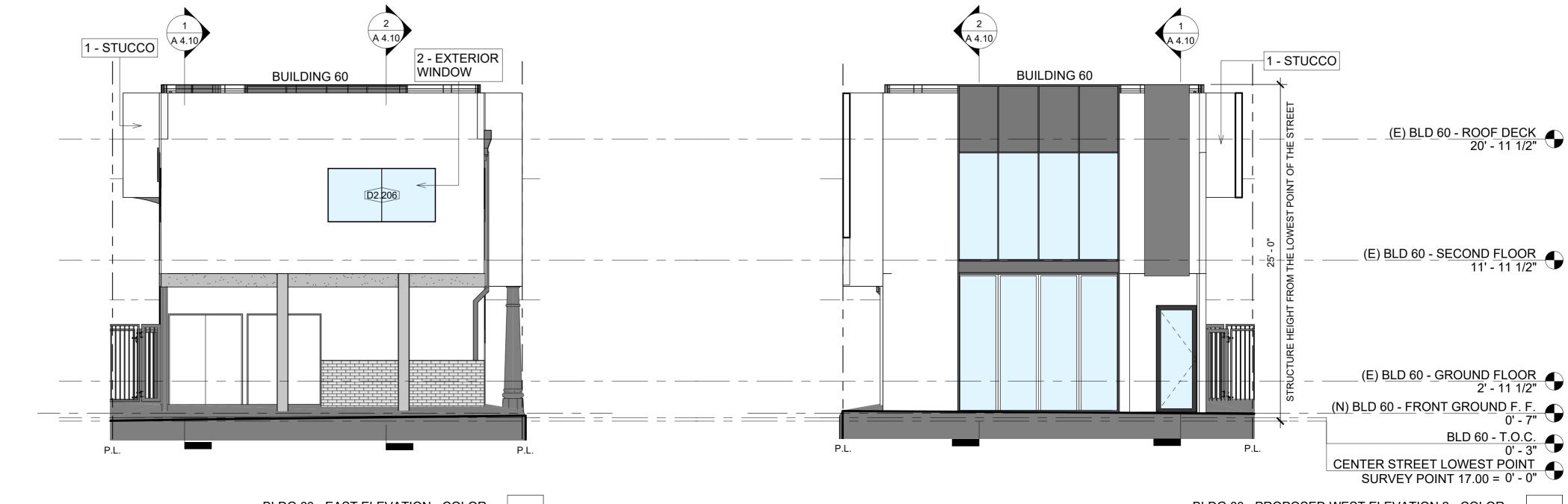
- TYPE: FIBERGLASS | ULTRA SERIES C650

EXTERIOR WINDOWS

EXTERIOR STUCCO

- COLOR: WHITE

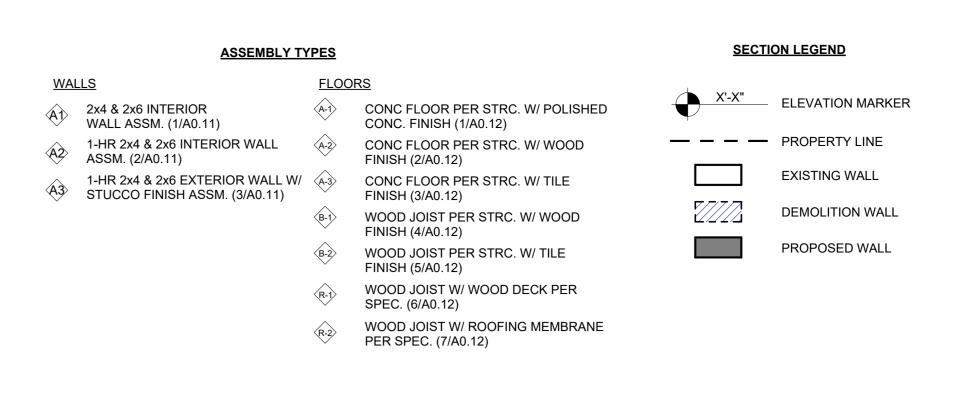


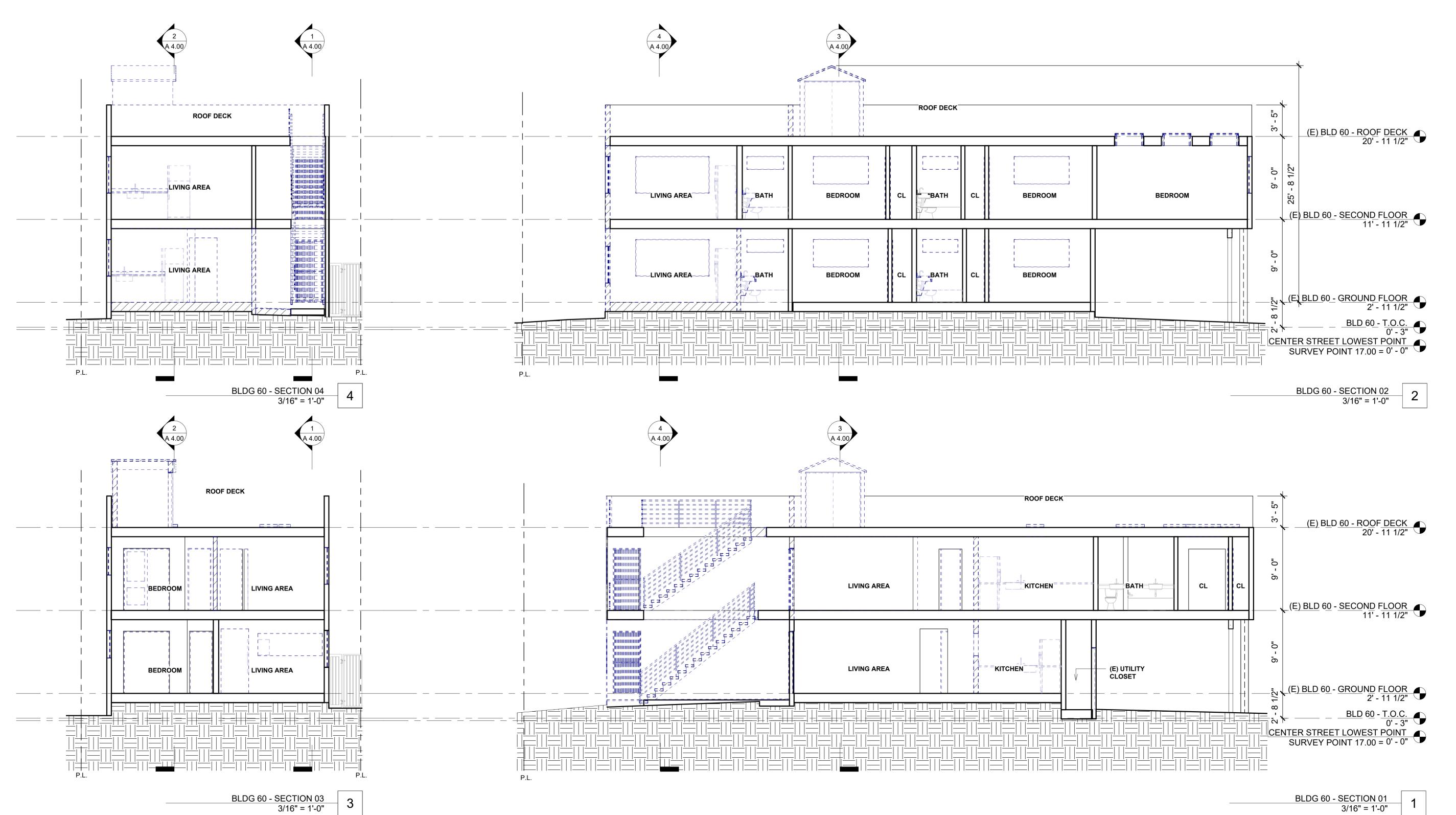


BLDG 60 - EAST ELEVATION - COLOR 3/16" = 1'-0"

BLDG 60 - PROPOSED WEST ELEVATION 2 - COLOR 3/16" = 1'-0"

BLDG 60 - SOUTH ELEVATION - COLOR 3/16" = 1'-0"





STATE OF THE STATE

RAMSEY DAHAM
No. C-34257

10/31/23
RENEWAL DATE

REVISIONS

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EXISTING

SECTIONS

DRAWN JV

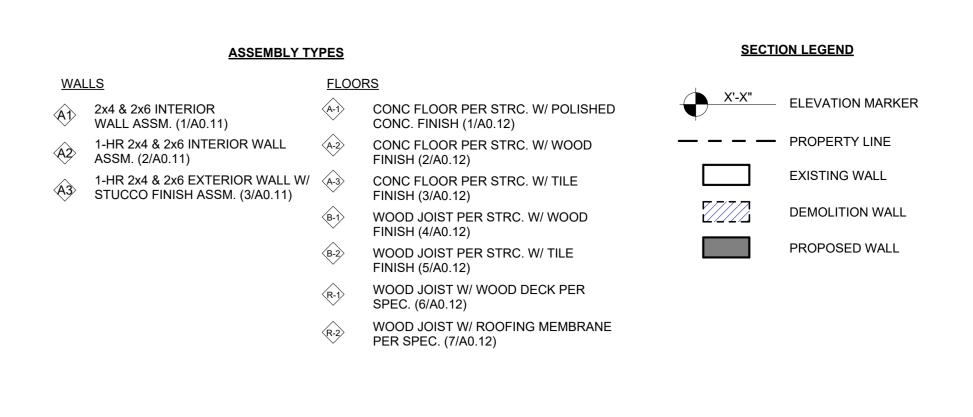
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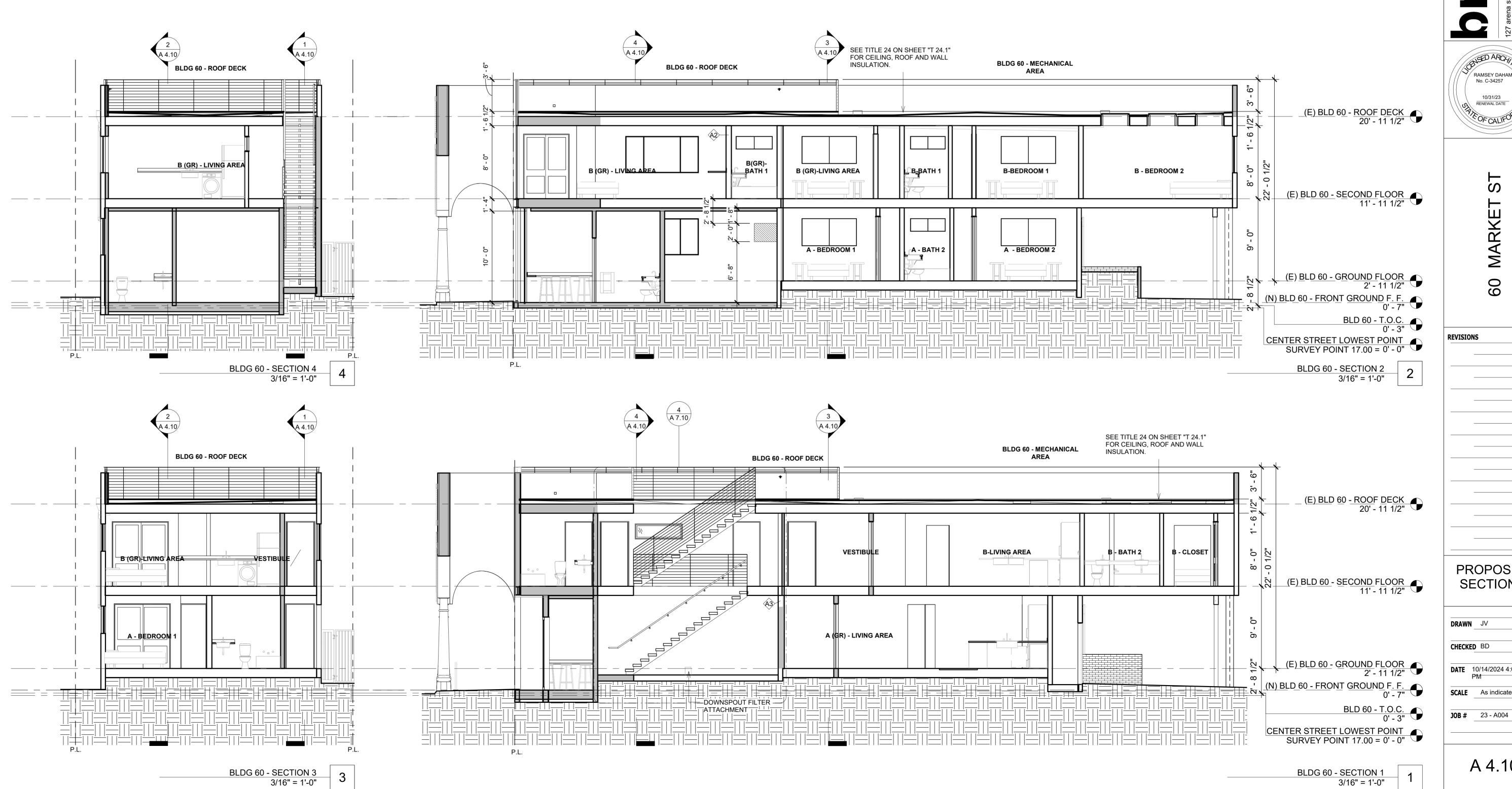
DATE 10/14/2024 4:00:59 PM

SCALE As indicated

**JOB #** 23 - A004

A 4.00





THISED ARCHITE RAMSEY DAHAM No. C-34257 RENEWAL DATE P/F OF CALIFOR

**REVISIONS** 

PROPOSED SECTIONS

DRAWN JV CHECKED BD DATE 10/14/2024 4:01:01 PM **SCALE** As indicated

A 4.10