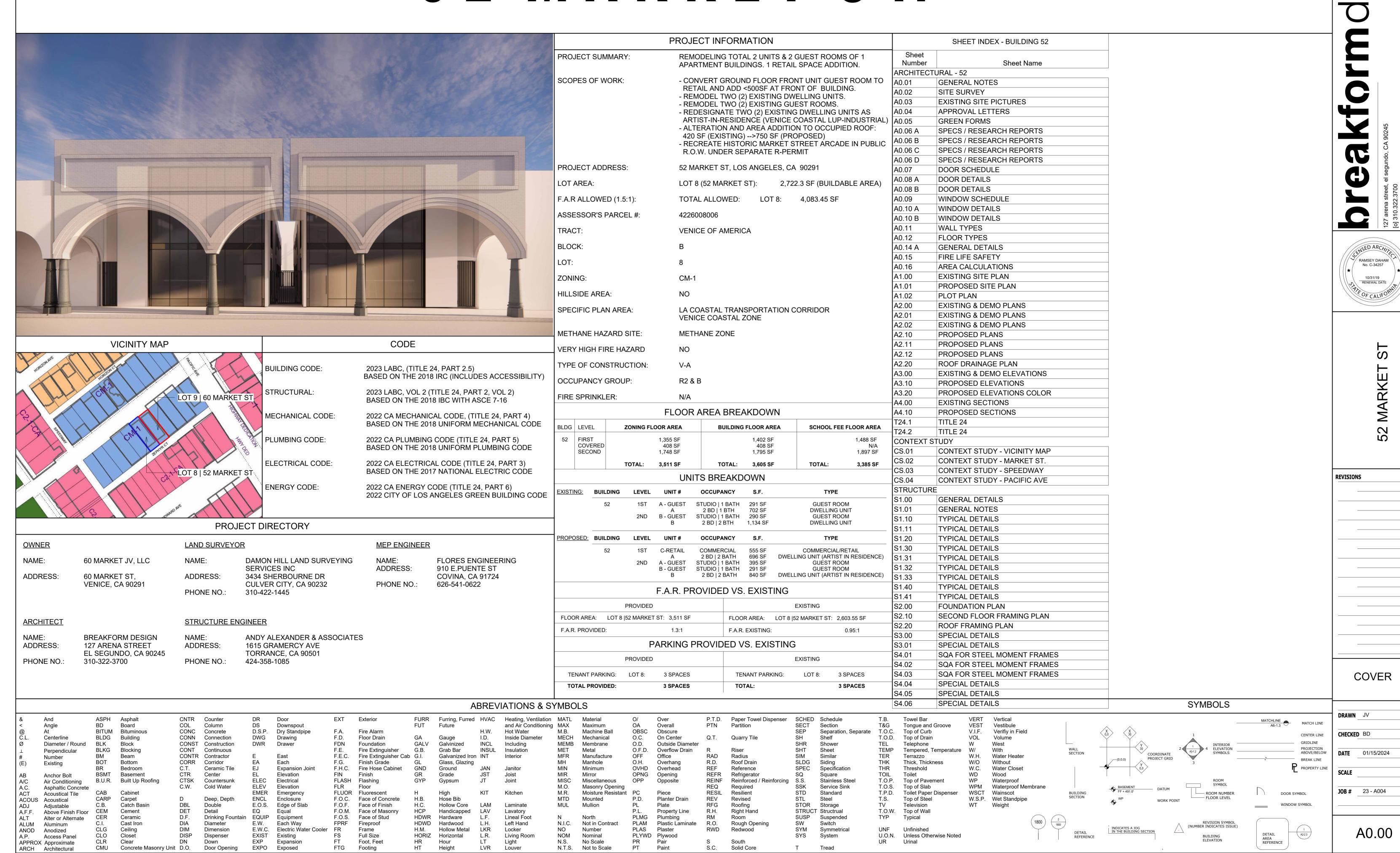
# MARKET ST.



PROGRESS AND UNTIL THE JOB IS COMPLETED.

2. OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE.

3. FURNISH ALL LABOR AND MATERIALS/EQUIPMENT TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED. GC TO ESTABLISH PROCEDURES W/ BLDG.

4. CONTRACTOR SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.

5. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL. CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.

**6.** AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL

7. DEBRIS REMOVAL MUST BE PERFORMED USING THE FREIGHT ELEVATOR WHEN APPLICABLE. CONTACT THE BUILDING MGMT. OFFICE TO OBTAIN SCHEDULE FOR THE USE OF THE FREIGHT ELEVATOR(S) PRIOR TO SUBMITTING BID. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE. WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.

SHALL BE REMOVED.

8. IF DIRECTED BY BUILDING MANAGEMENT, ALL DOORS. FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES, (INCLUDING DOWNLIGHTS & FLUORESCENTS), & SPECIAL EQUIPMENT SHOWN TO BE REMOVED, SHALL BE CLEAN AND FREE OF DEFECTS. PROTECTED, SAVED AND REUSED AS DIRECTED HEREIN RETURNED TO BUILDING STOCK OR DISPOSED OF.

9. IN PARTITIONS TO BE REMOVED, REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO THEIR SOURCE.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION IN ELEVATOR LOBBY, PUBLIC CORRIDORS, RESTROOMS OR TENANT SPACES. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.

11. NO EXISTING SMOKE DETECTOR, PUBLIC ADDRESS SPEAKER, FIRE ALARM BOX OR SIMILAR DEVICE, INCLUDING THE ASSOCIATED WIRING SHALL BE DAMAGED DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS, NO ACTIVE SMOKE DETECTOR SHALL BE COVERED OR OTHERWISE REMOVED OR USED FOR OTHER THAN IT'S INTENDED PURPOSE.

12. ALL EXISTING FLOOR MOUNTED OUTLETS, WHERE NOTED TO BE REMOVED OR RELOCATED, SHALL BE CAPPED OFF TO THE NEAREST JUNCTION BOX. FILL AND LEVEL FLOOR TO ACCEPT NEW FLOOR COVERING.

13. ALL EXISTING CEILING TILES TO REMAIN U.O.N. ALL BROKEN, PARTIAL, STAINED, OR DAMAGED TILES SHALL BE REPLACED.

14. ALL EXISTING LIGHT FIXTURES SHALL BE CLEANED OF DUST, WRAPPED FOR PROTECTION & STORED FOR RE-USE.

**15.** REMOVE TO SOURCE ALL PIPES, VENTS, APPLIANCES OR DRAINS NOT BEING RE-USED.

16. RE-USE OR RELOCATE ALL ABOVE CEILING DUCTWORK, DIFFUSERS, GRILLES, SPRINKLER PIPES OR OTHER EQUIPMENT. AS REQUIRED FOR PROPER DISTRIBUTION WITH NEW LAYOUT

17. REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/ COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES, SERVICE OWNER OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED TO PREVENT NEW CONSTRUCTION DELAYS.

18. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.

19. CAREFULLY REMOVE ALL EXISTING WALL COVERING AT EXISTING PARTITIONS AND/OR COLUMNS, AS NOTED.

20. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.

21. STAIRWAYS MUST REMAIN ACCESSIBLE AT ALL TIMES DURING DEMOLITION.

22. RATED WALLS SHALL NOT BE PENETRATED UNLESS THE

## **SAFETY NOTES:**

RATING IS MAINTAINED.

1. THE CONTRACTOR SHALL SAFEGUARD THE OWNER'S PROPERTYDURING CONSTRUCTION AND SHALL REPLACE ANY DAMAGED PROPERTY OF THE OWNER TO ORIGINAL CONDITION OR BETTER.

2. THE CONTRACTOR SHALL PROVIDE GUEST PROTECTION FROM ALL AREAS OF WORK.

3. THE CONTRACTOR SHALL PROTECT ADJOINING AREAS FROM NOISE, DUST, DIRT FIRE HAZARDS, ETC.

## **CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF MATCHING BUILDING LINES AND LEVELS BETWEEN NEW AND EXISTING CONSTRUCTION. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR THE LOCATION AND CONSTRUCTION OF THE WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.

2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.

3. CONTRACTOR SHALL RELOCATE OR CAP OFF EXISTING UTILITY LINES AS REQUIRED. COORDINATE WTH ELECTRICAL AND PLUMBING DRAWINGS FOR FURTHER INFORMATION.

4. EXISTING CONSTRUCTION WHICH IS TO REMAIN BUT IS DAMAGED DURING, CONSTRUCTION SHALL BE REPLACED OR REPAIRED TO ORIGINAL CONDITION OR BETTER.

5. MATERIALS USED FOR NEW CONSTRUCTION, UNLESS SPECIFIED OR INDICATED OTHERWISE, SHALL MATCH EXISTING ADJACENT MATERIALS, CONSTRUCTION AND

UNLESS ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE CITY

7. THE GENERAL CONTRACTOR SHALL PROVIDE A DUMPSTER IN AN AREA DESIGNATED BY THE OWNER FOR THE PURPOSE OF COLLECTING TRASH AND SHALL PROVIDE FOR ITS REMOVAL FROM THE SITE TO A LEGAL DISPOSAL

6. NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY

8. ALL HOLES IN CONCRETE SLABS LEFT AFTER REMOVAL OF PIPES, CONDUITS, ETC., ARE TO BE FILLED WITH POR-ROCK OR SOLID CONCRETE. REFER TO ANY DETAILS WITHIN DRAWING SET FOR FURTHER INFORMATION.

9. THE GENERAL CONTRACTOR SHALL VERIFY SALVAGE REQUIREMENTS OF ALL FURNITURE, FIXTURES AND EQUIPMENT WITH THE OWNER TO DEMOLITION.

10. SURFACE CRACKS AND VOIDS SHALL BE TUCK POINTED OR PATCHED.

11. ALL SURFACES TO BE FINISHED SHALL BE PREPARED IN ACCORDANCE WITH FINISH MANUFACTURERS RECOMMENDATIONS.

12. PROVIDE ALL NECESSARY BLOCKING, BACKING. SLEEVES, AND FRAMES FOR LIGHT FIXTURES, ELECTRICAL UNITS, A/C EQUIPMENT AND OTHER ITEMS REQUIRING SAME.

13. PLEASE RECYCLE DEMOLITION & CONSTRUCTION WASTE, ASK ABOUT POSSIBLE DUMP SITES.

14. THE CONTRACTOR SHALL COMPLY W/ ALL 0.S.H.A. REQUIREMENTS.

15. TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED

& VISIBLE WHEN THE UNIT IS GLAZED. 16. PENETRATIONS OF FIRE-RATED FLOORS OR FLOOR-CEILING ASSEMBLIES SHALL BE PROTECTED BY THROUGH-PENETRATION FIRE STOPS HAVING AN "F" OR "T" RATING. A "T" RATING IS REQUIRED WHERE PENETRATIONS ARE NOT CONTAINED IN THE WALL AT THE POINT THEY PENETRATE

THE FLOOR OR WHERE THEY ARE LARGER THAN A 4"

(IOOmm) PIPE OR 16 SQ IN (IO320mm SQ) IN AREA. UBC SEC

## 710.3 EX 5 CODE NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY TO THE CURRENT ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, NATIONAL ELECTRIC CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA FIRE CODE AND ALL LOCAL CODES, REGULATIONS, LAWS & ORDINANCES GOVERNING CONSTRUCTION . SECURITY IN THIS JURISDICTION.

2. METAL FABRICATION SHALL CONFORM TO C.B.C. AND STANDARDS OF A.S.T.M., A.I.S.C., A.W.S. AND S.S.P.C. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE CODE REGULATIONS.

3. DEPARTMENT OF INDUSTRIAL RELATIONS DIVISION OF INDUSTRIAL SAFETY (O.S.H.A.) REQUIREMENTS. CONTRACTOR SHALL PROVIDE OCCUPANCY SIGNAGE PER LOCAL BUILDING REQUIREMENTS AND/OR FIRE DEPARTMENT REQUIREMENTS.

4. OCCUPANCY SIGNAGE SHALL BE PLACED PER LOCAL CODE & FIRE DEPARTMENT REQUIREMENTS AS APPLICABLE.

5. ALL REQUIRED PERMITS MUST BE OBTAINED AND KEPT ON THE PREMISES AT ALL TIMES IN A LOCATION SPECIFIED

## **GENERAL NOTES:**

SPECIFIED BY THE CITY.

1. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY INCONSISTENCY, ERROR OR OMISSION HE MAY DISCOVER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE MEANS OF CORRECTING ANY ERROR, BEFORE OR AFTER THE START OF CONSTRUCTION, SHALL FIRST BE APPROVED BY THE ARCHITECT.

2. STAMPED SETS OF APPROVED PLANS SHALL BE PROVIDED FOR ALL WORK. THE CONTRACTOR SHALL MAINTAIN IN, GOOD CONDITION, COMPLETE SETS OF STAMPED AND APPROVED PLANS WITH ALL REVISIONS. ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THEY ARE TO BE UNDER THE CARE OF THE GENERAL CONTRACTOR OR HIS SUPERINTENDENT IN A LOCATION

3. THE ARCHITECT WILL REVIEW ALL SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.

4. THE ARCHITECT MAKES NO GUARANTEE FOR PRODUCTS

NAMED BY TRADE NAME OR MANUFACTURER.

5. REFERENCES OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWIING OR

6. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.

7. THE CONTRACTOR SHALL NOT BREAK SETS FOR TRADE BIDDING, ERRORS IN BIDDING AS A RESULT OF THIS PRACTICE ARE NOT THE RESPONSIBILITY OF THE OWNER OR THE ARCHITECT.

8. THE CONTRACTOR SHALL REFER TO AND CROSS-CHECK DETAILS, DIMENSIONS, NOTES, AND ALL REQUIREMENTS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH THE EXISTING SITE CONDITIONS AND SPECIFICATIONS.

9. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE FOLLOWING IS REQUIRED FROM THE AGENT OF THE OWNER, a) AN AUTHORIZATION LETTER FROM THE OWNER TO PULL PERMITS. THE FOLLOWING IS REQUIRED FROM THE CONTRACTOR AGENT:- b) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND FOLLOWING LANDLORD'S RULES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO PROVIDING INSURANCE CERTIFICATES PER LANDLORD'S CRITERIA. c) CERTIFICATE OF WORKERS COMPENSATION INSURANCE MADE OUT TO THE CONTRACTORS STATE LICENSE BOARD, d) COPY OF THE CITY BUSINESS TAX REGISTRATION CERTIFICATE OR NEWLY PAID RECEIPT FOR ONE. e) NOTARIZED LETTER OF

10. THE CONTRACTOR SHALL PROVIDE A LIST OF SUBCONTRACTORS TO THE OWNER FOR REVIEW PRIOR TO SIGNING THE OWNER / CONTRACTOR AGREEMENT.

AUTHORIZATION FOR AGENTS OF CONTRACTOR.

11. ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC., TO MAKE THE SEVERAL PIECES COME TOGETHER PROPERLY AND FIT OR BE RECEIVED BY WORK OF OTHER TRADES.

12. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY BRACING OR SHORING AS REQUIRED OR PORTION THEREOF DURING CONSTRUCTION.

13. THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER, AND TOILET FACILITIES AS REQUIRED AND SHALL INSTALL THEM IN ACCORDANCE TO LOCAL CODES. CONTRACTOR MAY USE OWNERS FACILITIES UPON WRITTEN AUTHORIZATION FROM OWNER'S REPRESENTATIVE.

14. THE GENERAL CONTRACTOR AND HIS ASSOCIATES, SUBCONTRACTORS, ETC., MUST MAINTAIN THE SPACE, ACCESS AREAS, ETC., CLEAN AT ALL TIMES AND SWEEP. DUST, CLEAN, ETC., EVERY DAY AT THE END OF WORKING

15. IT S THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DELIVER THE JOB COMPLETELY CLEAN.

16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR, ND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT

#### FIRE SAFETY NOTES:

1. THE GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A WITHIN A 75-FOOT TRAVEL DISTANCE.

2. THE GENERAL CONTRACTOR SHALL PROVIDE ANY ADDITIONAL FIRE EXTINGUISHERS AS REQUIRED BY THE LOCAL FIRE DEPARTMENT FIELD INSPECTOR.

3. THE GENERAL CONTRACTOR SHALL PROVIDE PLANS FOR REVISION OF THE FIXED FIRE PROTECTION EQUIPMENT AND SHALL SUBMIT THEM TO THE LOCAL JURISDICTION AS REQUIRED AND TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

4. THE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWNGS AND SPECIFICATIONS FOR REVISION TO FIXED FIRE PROTECTION EQUIPMENT AND SUBMITTAL OF PLANS TO THE FIRE MARSHALL AS REQUIRED FOR APPROVAL PRIOR TO INSTALLATION.

## LADBS GENERAL REQUIREMENTS:

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL

2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

4. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

5. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS 2. GLAZING IN THE FOLLOWING SECTIONS SHALL BE SAFETY WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

6. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

7. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY, SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

8. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)

9. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

**10.** AUTOMATIC GARAGE DOOR OPENERS. IF PROVIDED. SHALL BE LISTED IN ACCORDANCE WITH UL 325.

11. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)

12. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS. REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)

13. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

14. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

15. FOR EXISTING POOL ON SITE, PROVIDE ANTIENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL. 9AB0 NO. 2977. (3162B)

# **LADBS ADDITIONAL NOTES:**

GARAGE/CARPORTS

1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1).

2. DUCT PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENING INTO THE GARAGE (R302.5.2)

3. OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALL SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3)

4. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)

#### FIRE PROTECTION

1. AND APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STOREY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STOREY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)

2. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

#### MEANS OF EGRESS

1. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE EXTERIOR OF THE DWELLING AT THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. (R311.1)

2. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (R302.7)

ILLUMINATED. (R303.7) 4. PROVIDE 42" HIGH GUARDS WITH MAXIMUM 4" CLEAR

LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE

MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4

3. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE

SPACING OPENING BETWEEN RAILS. (R312) 5. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014

## INTERIOR ENVIRONMENT

1. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68 DEGREE FAHRENHEIT AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)

## **BUILDING ENVELOPE**

INCH. (2407)

1. PROVIDE A CLASS A. B OR C FIRE-RETARDANT ROOF COVERING PER SECTION R902..1

GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

> A. FIXED AND OPERABLE PANELS OF SWINGING. SLIDING AND BI-FOLD DOOR ASSEMBLIES.

B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING

CONDITIONS: 1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.

2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE 3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE

FLOOR. 4) ONE OR MORE WALKING SURFACES WITHIN 36

NCHES HORIZONTALLY OF THE GLAZING D. GLAZING IN RAILINGS.

E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALING SURFACE.

F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AN IN A STRAIGHT LINE, OF THE WATER'S EDGE.

G. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AN RAMPS.

H. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.

3. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6

4. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3). 5. PROTECTION OF WOOD AND WOOD BASED PRODUCTS

SPECIFIED PER SECTION R317.1 BY THE USED OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA

FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS

6. PROVIDE ANTI GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED.

7. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS. BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)

#### SECURITY REQUIREMENTS

1. SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF. BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES. (6707)

2. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR. (6708)

3. SLIDING GLASS DOORS PANELS SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN

4. METAL OR WOODEN OVERHEAD OR SLIDING DOORS

SHALL BE SECURED WITH A CYLINDER LOCK. PADLOCK WITH

A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED. HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. (6711) 5. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL

ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. (6712)

GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5

6. IN GROUP B, F, M, AND S OCCUPANCIES, PANES OF

IN. BUT LESS THAN 48 IN, SHALL BE CONSTRUCTED OF

TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES (6714) 7. GLAZED OPENINGS WITHIN 40" OF THE REQUIRED LOCKING DEVICE OF THE DOOR, WHEN THE DOOR IS IN THE CLOSED AND LOCKED POSITION AND WHEN THE DOOR IS OPENABLE FROM THE INSIDE WITHOUT USE OF KEY, SHALL BE FULLY TEMPERED GLASS PER SECTION 2406, OR

APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE

A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS

CONFORM TO THE PROVISIONS OF SECTION 6710 OR TO

VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN

PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING

SECTION SHALL NOT APPLY TO SLIDE GLASS DOORS WHICH

THER GREATEST DIMENSIONS. (6715.3) 8. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO

9. OTHER OPENABLE WINBDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN GROUP B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS. BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. (6715.2)

10. SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING

11. SLIDING GLASS WINDOWS SASH SHALL BE CLOSED AND

LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN

DEVICES. A DEVICE SHALL BE INSTALLED IN THE UPPER

PRECLUDE HUMAN ENTRY.

CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 6715.1

SEC. 6717.2 12. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRCLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS

13. ALL OTHER OPENINGSMUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION.

TWO INCHES IN ANY DIMENSION.

14. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW

PORTS IN THE DOOR OR ADJOINING WALL. (6706) **15**. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. (6709.1) DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB, OR JOINED BY RABBET TO

THE JAMB. (6709.4) **16.** ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. (6709.5, 6709.7)

17. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, M AND S OCCUPANCIES). (6709.2)

18. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8". AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". (6709.2)

19. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 INCH THICK WITH SHAPED PORTIONS OF THE PANELS NOT LESS THAN 1/4 INCH THICK, AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH. (6709.1 ITEM 2)

20. SLIDING GLASS DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVAL OF THE MOVING PANEL FROM THE TRACK WHILE IN THE CLOSED POSITION. (6710)

**GENERAL NOTES:** 

OUTSIDE OF THE BUILDING.

1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.

2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE

3. NEWLY INSTALLED BATHROOM EXHAUST FANS. NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.

4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED.

5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.

6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.

7. ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.12.

8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

**10**. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS.

11. ALL DOORS 4" FROM WALL U.O.N.

PROGRAM

ANSI/ACCA 36-S MANUAL S-2004.

12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

> A. VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE B. PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE

HEALTH'S SPECIFICATION. 13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004. ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE

**D.** MEET THE CALIFORNIA DEPARTMENT OF PUBLIC

14. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)

THE EQUIPMENT SELECTED IN ACCORDANCE WITH

15. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COMVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.

16. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH

110.10(C) SHALL BE PROVIDED TO THE OCCUPANT. 17. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'.

18. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY

ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4) 19. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA. WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER. BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER

IRRIGATION SYSTEM. (4.305.1) 20. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY

21. WHERE GROUNDWATER IS BEING EXTRACTED AND

LINE. (4.305.2)

REQUIRED.

DISCHARGED. A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND CONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4) 22. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE

WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3. 23. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR

THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY

FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY

24. MECHANICALLY VENTILATED BUILDINGS SHALL PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH A MERV 13 FILTER FOR OUTSIDE AND RETURN AIR. FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.

## **FIRE-RESISTANCE RATED CONSTRUCTION:**

BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)

1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL

2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)

SED ARCHIX RAMSEY DAHAN RENEWAL DATE

REVISIONS

2

**GENERAL** 

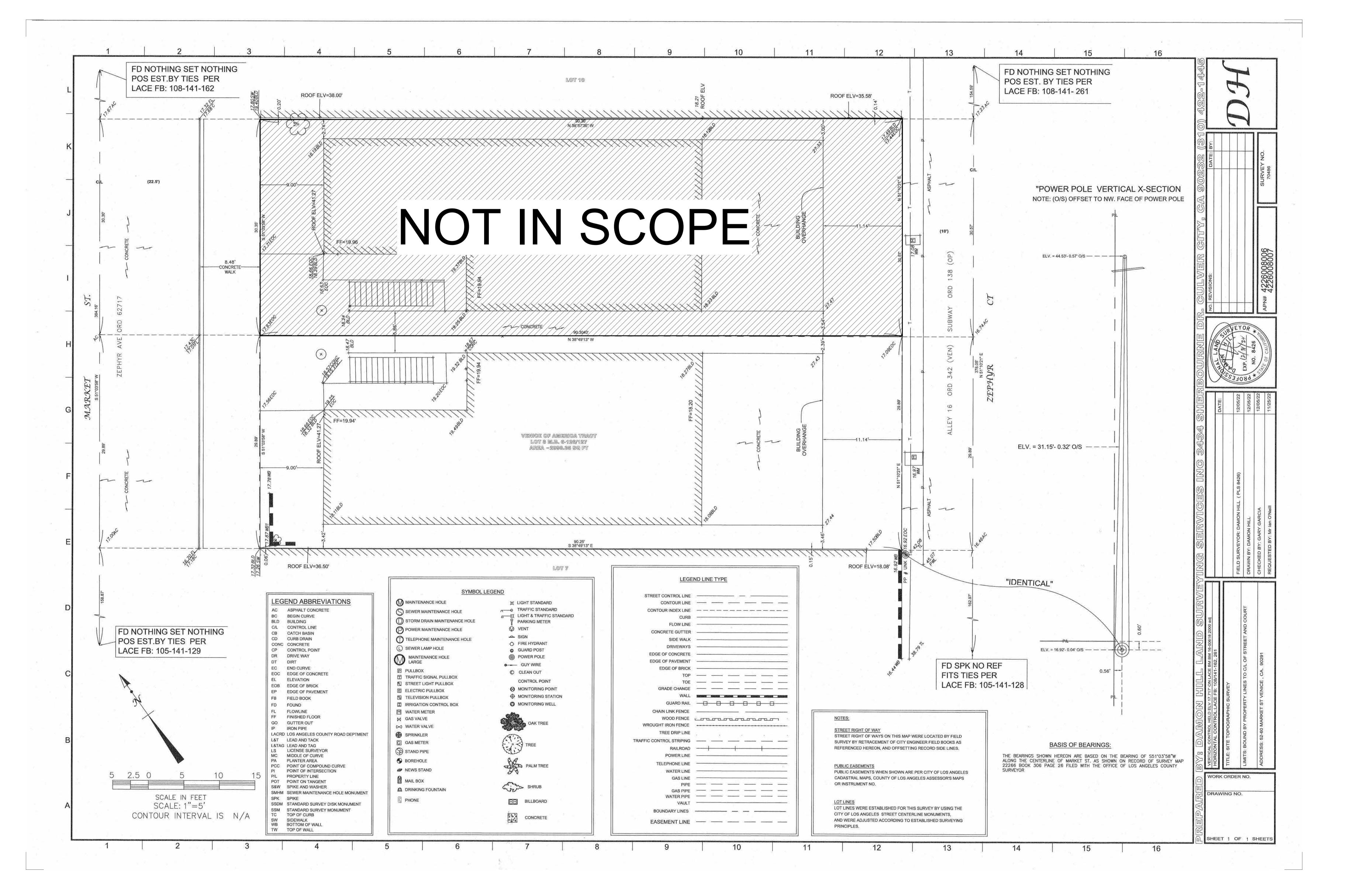
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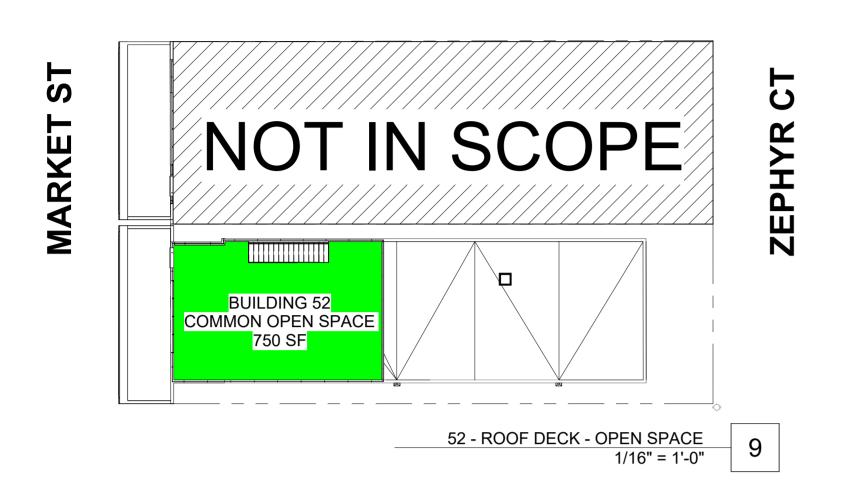
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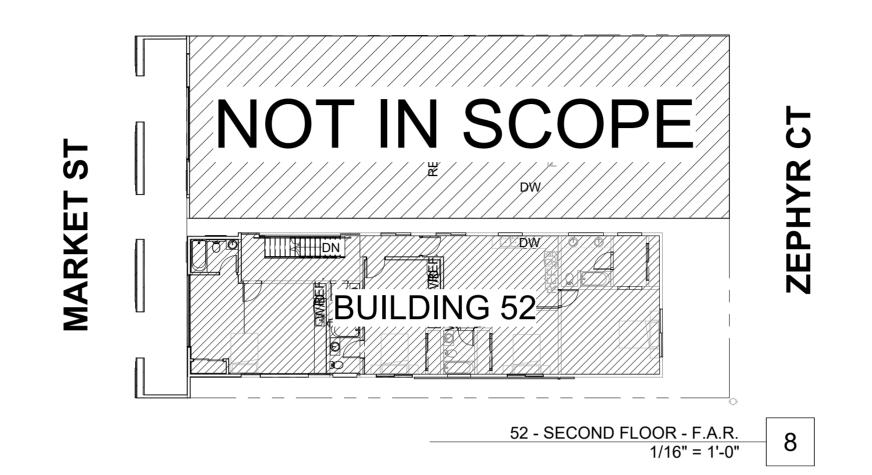
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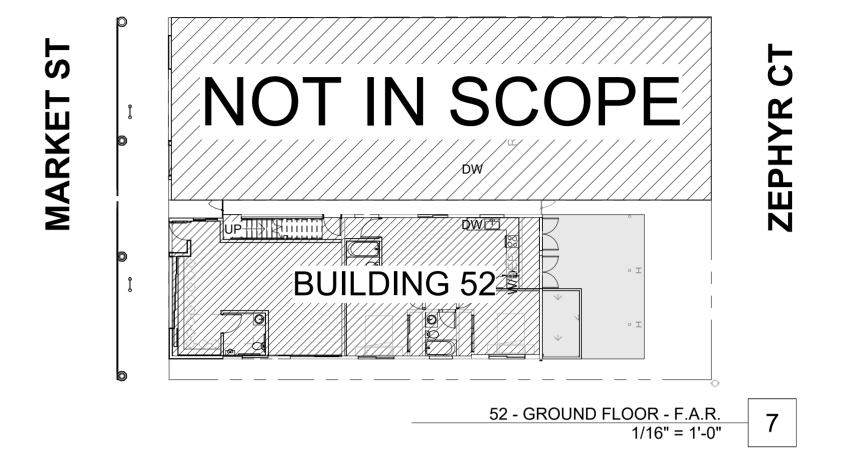
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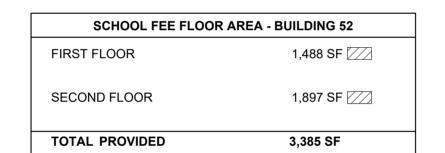
**JOB** # 23 - A004





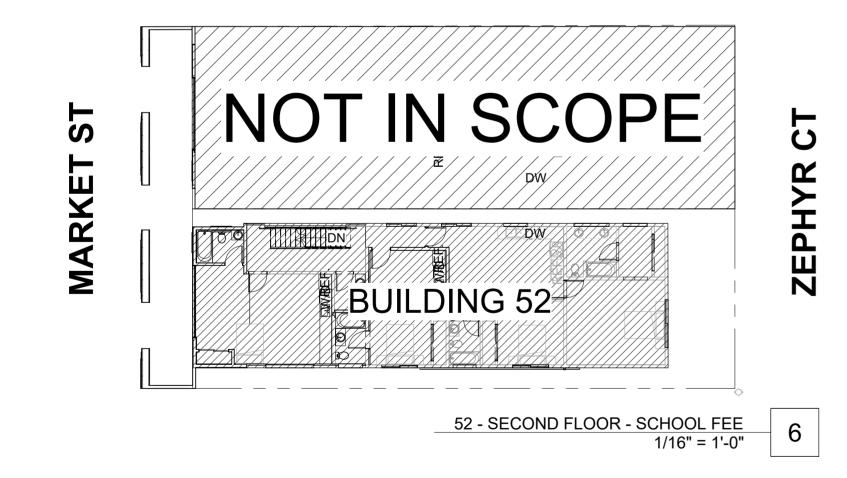


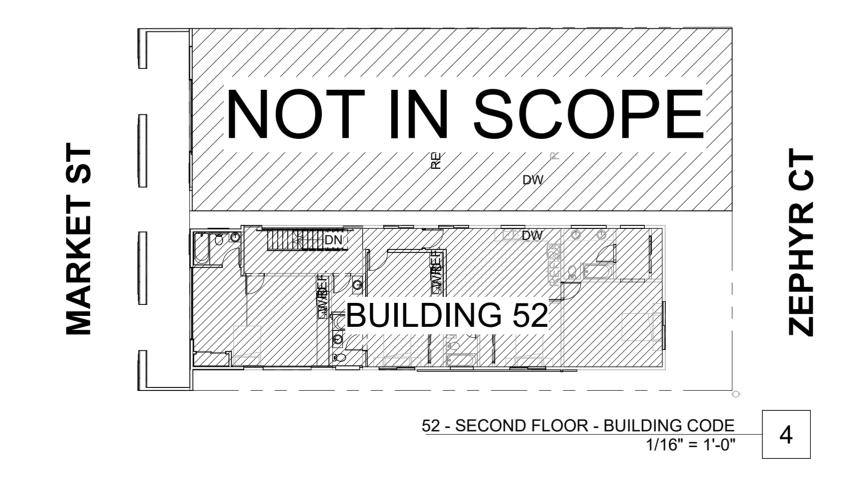


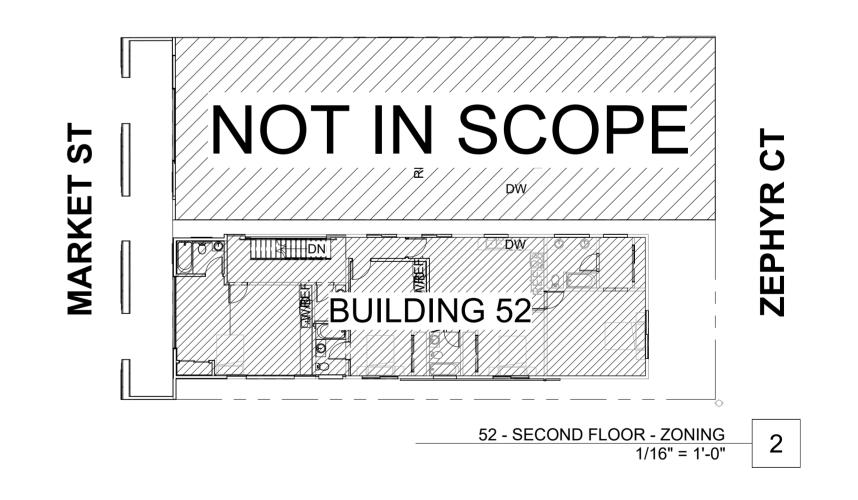


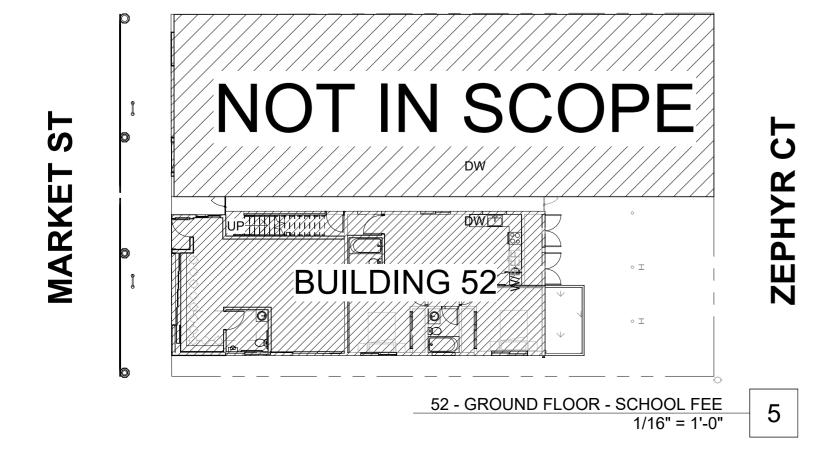
BUILDING CODE FLOOR AREA - BUILDING 52				
FIRST FLOOR COVERED	1,402 SF /// 408 SF			
SECOND FLOOR	1,795 SF ///			
TOTAL PROVIDED	3,605 SF			

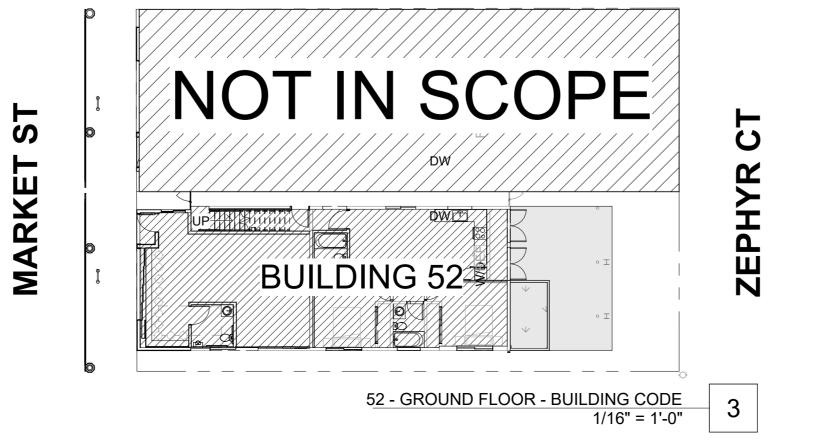
ZONING CODE FLOOR AREA - BUILDING 52				
FIRST FLOOR COVERED	1,355 SF /// 408 SF			
SECOND FLOOR	1,748 SF ///			
TOTAL PROVIDED	3,511 SF			

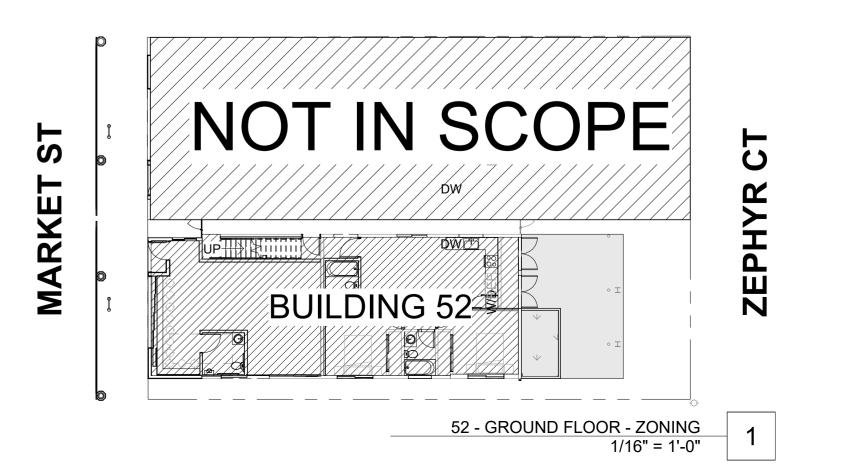












AREA
CALCULATIONS

DRAWN JV
CHECKED BD

DATE 10/14/2024 4:01:31
PM
SCALE As indicated

JOB # 23 - A004

RENEWAL DATE

51 WINDWARD AVE, VENICE CA 90291

55 WINDWARD AVE VENICE CA 90291

**EXISTING** 

SITE PLAN

CHECKED BD

DATE 10/14/2024 4:01:32 PM **SCALE** As indicated

**DRAWN** JV

**JOB #** 23 - A004

A1.00

ST

LOT 10 64 MARKET ST, VENICE, CA 90291 9' - 0 1/2" LOT 8\_EXISTING BUILDING
52 MARKET ST, VENICE, CA 90291, USA //11' - 1 1/2"// //8' - 11 1/2"/ REAR SETBACK FRONT SETBACK PROPERTY DIMENSION LOT 7 46 MARKET ST, VENICE, CA 90291

51 MARKET ST, VENICE, CA 90291

45 MARKET ST, VENICE, CA 90291

EXISTING SITE PLAN 3/16" = 1'-0"

ST, 90291

51 MARKET (SVENICE, CA)

45 MARKET ST, VENICE, CA 90291

64 MARKET ST, VENICE, CA 90291 PROPERTY DIMENSION 79' - 2" 11' - 2" REAR SETBACK MARKET EXISTING BUILDING (N) PAVERS ON GROUND FLOOR 52 MARKET ST, VENICE, CA 90291 GROUND FLOOR
PLANTER BOX
BMP #1
SEE C-2/DETAIL 3 //11' - 1 1/2"// /79' - 1 1/2"/ REAR SETBACK 90' - 3"/ PROPERTY DIMENSION 46 MARKET ST, VENICE, CA 90291

55 WINDWARD AVE VENICE CA 90291 52 MAF

PROPOSED SITE PLAN

**DRAWN** JV CHECKED BD

DATE 10/14/2024 4:01:33 PM **SCALE** As indicated

**JOB #** 23 - A004

A1.01

51 WINDWARD AVE VENICE CA 90291

**52 MARKET** COLONNADE (NOT IN SCOPE) NOT IN SCOPE 90' - 3 1/2" REAR SETBACK ZEPHYR COLONNADE (NOT IN SCOPE) ADDITION EXISTING BUILDING 52 MARKET ST, VENICE, CA 90291 1ST FLOOR: 282 SF 2ND FLOOR: 200 SF 1ST FLOOR: 1,686 SF 2ND FLOOR: 1,686 SF TOTAL: 482 SF TOTAL: 3,372 SF **DRAWN** JV CHECKED BD DATE 10/14/2024 4:01:34 PM **SCALE** 3/16" = 1'-0" 11' - 1 1/2" 79' - 1 1/2" REAR SETBACK **JOB #** 23 - A004 90' - 3" PROPERTY DIMENSION A1.02 PLOT PLAN - BUILDING 52 3/16" = 1'-0"

ST

PLOT PLAN

# **DEMO NOTES:**

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.

2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.

3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.

4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.

5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.

6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.

7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.

A. ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.

B. NO STRUCTURAL MEMBER IN ANY STORY SHALL BE DEMOLISHED UNTIL THE STORY ABOVE IS COMPLETELY REMOVED.

C. THERE WILL BE NO FREE FALL DUMPING OVER EXTERIOR WALL FOR A HEIGHT OF MORE THAN 25

D. CALL FOR INSPECTION AT LEAST 24 HOURS BEFORE STARTING WORK.

E. APPROVAL OF PROTECTION FENCES AND CANOPIES IS REQUIRED PRIOR TO DEMOLITION.

F. ALL BASEMENT FILES SHALL BE CLEAN AND UNIFORM.

G. STORAGE OF MATERIALS ON FLOORS SHALL NOT EXCEED ( ) PSF LIVE LOAD.

\* AN 8-FOOT HIGH CHAIN LINK FENCE MUST BE PROVIDED TO PREVENT UNAUTHORIZED ENTRY TO THE VACANT LOT AFTER DEMOLITION.

#### **METHOD OF DEMOLITION:**

## **GREEN BUILDING STANDARDS NOTES:**

1. A MINIMUM OF 50% OF NONHAZRDOUS CONSTRUCTION WASTE IS TO BE RECYCLED

2. TESTING AND ADJUSTING OF NEW SYSTEMS INSTALLED TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 5.701.1 SHALL BE REQUIRED

3. PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/ WARRANTIES FOR EACH SYSTEM. O&M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

4. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM

5. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 5.504.4 AND TABLES 4.504.1, 5.504.4.2, 5.504.4.3 AND 5.504.4.5 FOR: ADHESIVES, SEALANTS, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.

6. WASTE WATER FIXTURES SHALL COMPLY WITH THE STANDARDS LISTED IN CGC TABLE 5.303.6 AND 5.712.3.5.

7. WHERE LANDSCAPE IRRIGATION IS A PART OF THE ADDITION OR TENANT IMPROVEMENT, LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS. CGC 5.712.4.3.1.

8. SUBMIT TO THE ENGINEERING DEPARTMENT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT OUTLINES THE ITEMS LISTED IN CGC SECTION 5.713.8.1.1

9. PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IS RESPONSIBLE OF THE OVERALL CONSTRUCTION AND MUST COMPLETE AND SIGN THE CITYAPPROVED GREEN BUILDING STANDARDS CERTIFICATION FORM OR OTHER DOCUMENTATION REQUIRED BY THE CITY AND GIVEN TO THE BUILDING DEPARTMENT OFFICIAL PRIOR TO BUILDING FINAL APPROVAL TO BE FILED WITH THE APPROVED PLANS.

10. THIS PROJECT IS NOT LOCATED WITHIN A CNEL OF 65 OR GREATER.

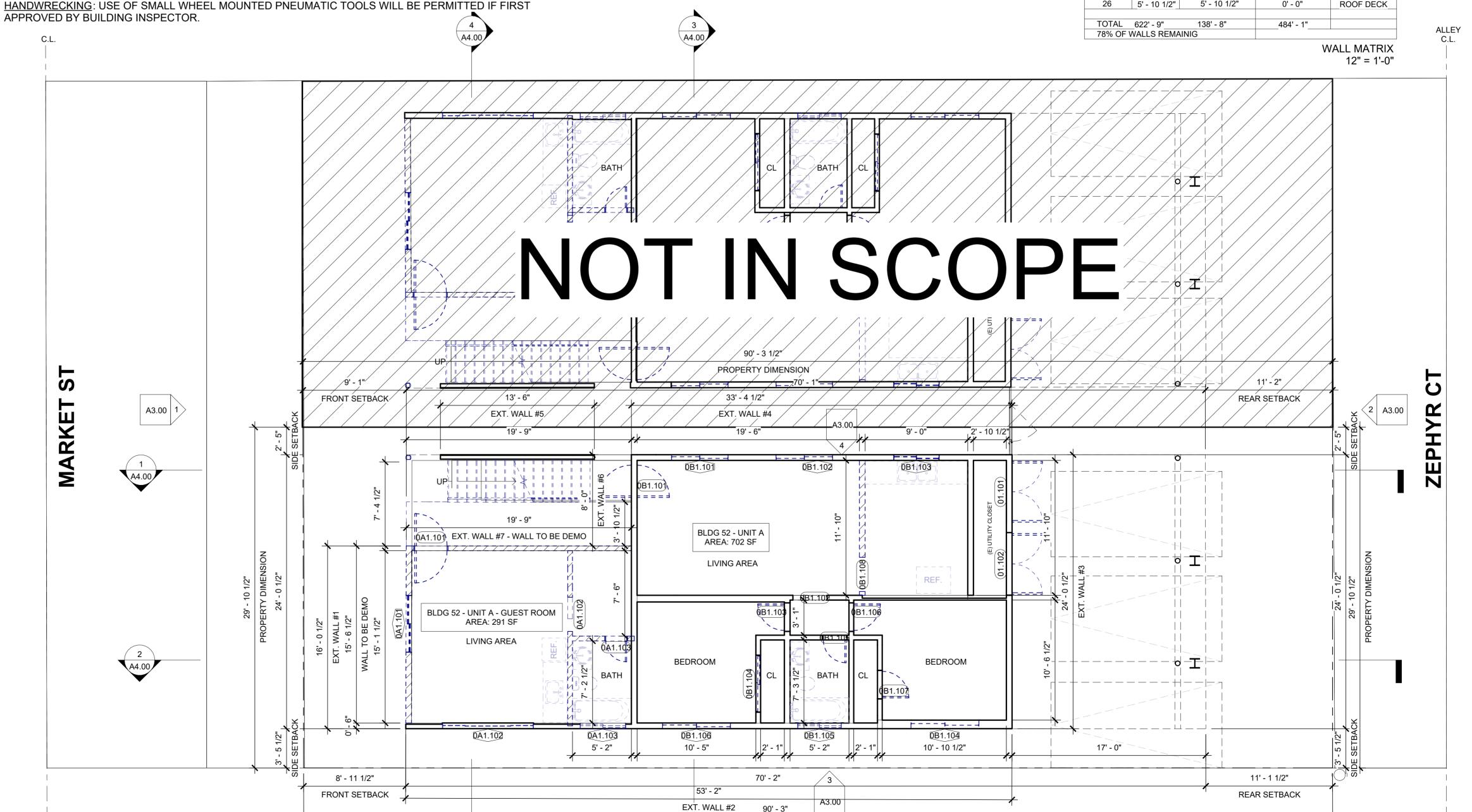
## **FLOOR PLAN LEGEND**

	FLOOR TYPE	CL	CLOSET
$\widehat{\mathbf{X}}$	WINDOW TAG (A0.09 WINDOW SCHEDULE)		EXISTING WALL
XXX	DOOR TAG (A0.07 DOOR SCHEDULE)		DEMOLITION WALL
<b>⟨x⟩</b> —	WALL TYPE		PROPOSED WALL
X'-X"	ELEVATION MARKER	SD	SMOKE DETECTOR
	PROPERTY LINE	CM	CARBON MONOXIDE
$\rightarrow$ $ \rightarrow$ $-$	ACCESSIBLE ROUTE		EXHAUST
			ILLUMINATED EXIT SIGN

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

WALL NUMBER	(E) WALL LENGTH	REMOVED WALL LENGTH	REMAINING WALL LENGTH	FLOOR LEVE
1	16' - 0 1/2"	15' - 6 1/2"	0' - 6"	1ST FLOOR
2	53' - 2"	0' - 0"	53' - 2"	1ST FLOOR
3	24' - 0 1/2"	0' - 0"	24' - 0 1/2"	1ST FLOOR
4	33' - 4 1/2"	0' - 0"	33' - 4 1/2"	1ST FLOOR
5	13' - 6"	0' - 0"	13' - 6"	1ST FLOOR
6	8' - 0"	0' - 0"	8' - 0"	1ST FLOOR
7	19' - 9"	19' - 9"	0' - 0"	1ST FLOOR
8	16' - 0 1/2"	15' - 1 1/2"	0' - 11"	2ND FLOOR
9	70' - 2"	0' - 0"	70' - 2"	2ND FLOOR
10	24' - 0 1/2"	0' - 0"	24' - 0 1/2"	2ND FLOOR
11	50' - 4"	0' - 0"	50' - 4"	2ND FLOOR
12	13' - 6"	0' - 0"	13' - 6"	2ND FLOOR
13	8' - 0"	0' - 0"	8' - 0"	2ND FLOOR
14	19' - 9"	0' - 0"	19' - 9"	2ND FLOOR
15	16' - 0 1/2"	15' - 6 1/2"	0' - 6"	ROOF DECK
16	70' - 2"	0' - 0"	70' - 2"	ROOF DECK
17	70' - 1"	0' - 0"	70' - 1"	ROOF DECK
18	23' - 0 1/2"	23' - 0 1/2"	0' - 0"	ROOF DECK
19	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
20	5' - 10 1/2"	5' - 10 1/2"	0' - 0"	ROOF DECK
21	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
22	5' - 10 1/2"	5' - 10 1/2"	0' - 0"	ROOF DECK
23	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
24	5' - 10 1/2"	5' - 10 1/2"	0' - 0"	ROOF DECK
25	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
26	5' - 10 1/2"	5' - 10 1/2"	0' - 0"	ROOF DECK
TOTAL	_622' - 9"_ VALLS REMA	138' - 8"	484' - 1"	



90' - 3"

PROPERTY DIMENSION



**REVISIONS** 

**EXISTING &** DEMO **PLANS** 

DRAWN JV

**DATE** 10/14/2024 4:01:35 **SCALE** As indicated

**JOB** # 23 - A004

EXISTING GROUND FLOOR 3/16" = 1'-0"

A2.00

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4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.

5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.

6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.

7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.

A. ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.

B. NO STRUCTURAL MEMBER IN ANY STORY SHALL BE DEMOLISHED UNTIL THE STORY ABOVE IS COMPLETELY REMOVED.

C. THERE WILL BE NO FREE FALL DUMPING OVER EXTERIOR WALL FOR A HEIGHT OF MORE THAN 25

D. CALL FOR INSPECTION AT LEAST 24 HOURS BEFORE STARTING WORK.

E. APPROVAL OF PROTECTION FENCES AND CANOPIES IS REQUIRED PRIOR TO DEMOLITION.

F. ALL BASEMENT FILES SHALL BE CLEAN AND UNIFORM.

G. STORAGE OF MATERIALS ON FLOORS SHALL NOT EXCEED ( ) PSF LIVE LOAD.

\* AN 8-FOOT HIGH CHAIN LINK FENCE MUST BE PROVIDED TO PREVENT UNAUTHORIZED ENTRY TO THE VACANT LOT AFTER DEMOLITION.

#### **METHOD OF DEMOLITION:**

APPROVED BY BUILDING INSPECTOR.

HANDWRECKING: USE OF SMALL WHEEL MOUNTED PNEUMATIC TOOLS WILL BE PERMITTED IF FIRST

A4.00

0C1.202

13' - 8 1/2"

## **GREEN BUILDING STANDARDS NOTES:**

1. A MINIMUM OF 50% OF NONHAZRDOUS CONSTRUCTION WASTE IS TO BE RECYCLED

2. TESTING AND ADJUSTING OF NEW SYSTEMS INSTALLED TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 5.701.1 SHALL BE REQUIRED

3. PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/ WARRANTIES FOR EACH SYSTEM. O&M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

4. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM

5. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 5.504.4 AND TABLES 4.504.1, 5.504.4.2, 5.504.4.3 AND 5.504.4.5 FOR: ADHESIVES, SEALANTS, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.

6. WASTE WATER FIXTURES SHALL COMPLY WITH THE STANDARDS LISTED IN CGC TABLE 5.303.6 AND 5.712.3.5.

7. WHERE LANDSCAPE IRRIGATION IS A PART OF THE ADDITION OR TENANT IMPROVEMENT, LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS. CGC 5.712.4.3.1.

8. SUBMIT TO THE ENGINEERING DEPARTMENT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT OUTLINES THE ITEMS LISTED IN CGC SECTION 5.713.8.1.1

9. PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IS RESPONSIBLE OF THE OVERALL CONSTRUCTION AND MUST COMPLETE AND SIGN THE CITYAPPROVED GREEN BUILDING STANDARDS CERTIFICATION FORM OR OTHER DOCUMENTATION REQUIRED BY THE CITY AND GIVEN TO THE BUILDING DEPARTMENT OFFICIAL PRIOR TO BUILDING FINAL APPROVAL TO BE FILED WITH THE APPROVED PLANS.

10. THIS PROJECT IS NOT LOCATED WITHIN A CNEL OF 65 OR GREATER.

## **FLOOR PLAN LEGEND**

× × ×	FLOOR TYPE	CL	CLOSET
(x)	WINDOW TAG (A0.09 WINDOW SCHEDULE)		EXISTING WALL
XXX	DOOR TAG (A0.07 DOOR SCHEDULE)		DEMOLITION WALL
<del>\$</del> —	WALL TYPE		PROPOSED WALL
X'-X"	ELEVATION MARKER	SD	SMOKE DETECTOR
	PROPERTY LINE	CM	CARBON MONOXIDE
$\rightarrow$ $ \rightarrow$ $-$	ACCESSIBLE ROUTE		EXHAUST
			ILLUMINATED EXIT SIGN

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

FLOOR LEVE	REMAINING WALL LENGTH	REMOVED WALL LENGTH	(E) WALL LENGTH	WALL NUMBER
1ST FLOOR	0' - 6"	15' - 6 1/2"	16' - 0 1/2"	1
1ST FLOOR	53' - 2"	0' - 0"	53' - 2"	2
1ST FLOOR	24' - 0 1/2"	0' - 0"	24' - 0 1/2"	3
1ST FLOOR	33' - 4 1/2"	0' - 0"	33' - 4 1/2"	4
1ST FLOOR	13' - 6"	0' - 0"	13' - 6"	5
1ST FLOOR	8' - 0"	0' - 0"	8' - 0"	6
1ST FLOOR	0' - 0"	19' - 9"	19' - 9"	7
2ND FLOOR	0' - 11"	15' - 1 1/2"	16' - 0 1/2"	8
2ND FLOOR	70' - 2"	0' - 0"	70' - 2"	9
2ND FLOOR	24' - 0 1/2"	0' - 0"	24' - 0 1/2"	10
2ND FLOOR	50' - 4"	0' - 0"	50' - 4"	11
2ND FLOOR	13' - 6"	0' - 0"	13' - 6"	12
2ND FLOOR	8' - 0"	0' - 0"	8' - 0"	13
2ND FLOOR	19' - 9"	0' - 0"	19' - 9"	14
ROOF DECK	0' - 6"	15' - 6 1/2"	16' - 0 1/2"	15
ROOF DECK	70' - 2"	0' - 0"	70' - 2"	16
ROOF DECK	70' - 1"	0' - 0"	70' - 1"	17
ROOF DECK	0' - 0"	23' - 0 1/2"	23' - 0 1/2"	18
ROOF DECK	0' - 0"	6' - 6 1/2"	6' - 6 1/2"	19
ROOF DECK	0' - 0"	5' - 10 1/2"	5' - 10 1/2"	20
ROOF DECK	0' - 0"	6' - 6 1/2"	6' - 6 1/2"	21
ROOF DECK	0' - 0"	5' - 10 1/2"	5' - 10 1/2"	22
ROOF DECK	0' - 0"	6' - 6 1/2"	6' - 6 1/2"	23
ROOF DECK	0' - 0"	5' - 10 1/2"	5' - 10 1/2"	24
ROOF DECK	0' - 0"	6' - 6 1/2"	6' - 6 1/2"	25
ROOF DECK	0' - 0"	5' - 10 1/2"	5' - 10 1/2"	26
	484' - 1"	138' - 8"	622' - 9"	
		INIG	VALLS REMA	78% OF V

WALL MATRIX 12" = 1'-0"

RENEWAL DATE \*FOF CALIFOR

**REVISIONS** 

NSED ARCHIZ

RAMSEY DAHAM

9' - 0 1/2" A3.00 1 < 2 | A3.00 | FRONT SETBACK FRONT SETBACK 12' - 6" A4.00 0D1.205 KITCHEN LIVING AREA BLDG 52 - UNIT B EXT. WALL #14 AREA: 1,134 SF (E) SKYLIGHT ABOVE (C1.202) BEDROOM BLDG 52 - UNIT B GUEST ROOM AREA: 290 SF OFFICE BEDROOM BATH

QD1.209

70' - 2"

EXT. WALL #9

PROPERTY DIMENSION

90' - 3"

5' - 2"

0C1.203

5' - 0"

0D1.207

11' - 0"

16' - 4 1/2"

**EXISTING &** DEMO **PLANS** 

**DRAWN** JV **DATE** 10/14/2024 4:01:36

**SCALE** As indicated **JOB** # 23 - A004

A2.01

EXISTING SECOND FLOOR
3/16" = 1'-0"

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.

2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.

3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.

4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.

5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.

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F. ALL BASEMENT FILES SHALL BE CLEAN AND UNIFORM.

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#### **METHOD OF DEMOLITION:**

HANDWRECKING: USE OF SMALL WHEEL MOUNTED PNEUMATIC TOOLS WILL BE PERMITTED IF FIRST APPROVED BY BUILDING INSPECTOR.

A4.00

#### **GREEN BUILDING STANDARDS NOTES:**

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10. THIS PROJECT IS NOT LOCATED WITHIN A CNEL OF 65 OR GREATER.

## **FLOOR PLAN LEGEND**

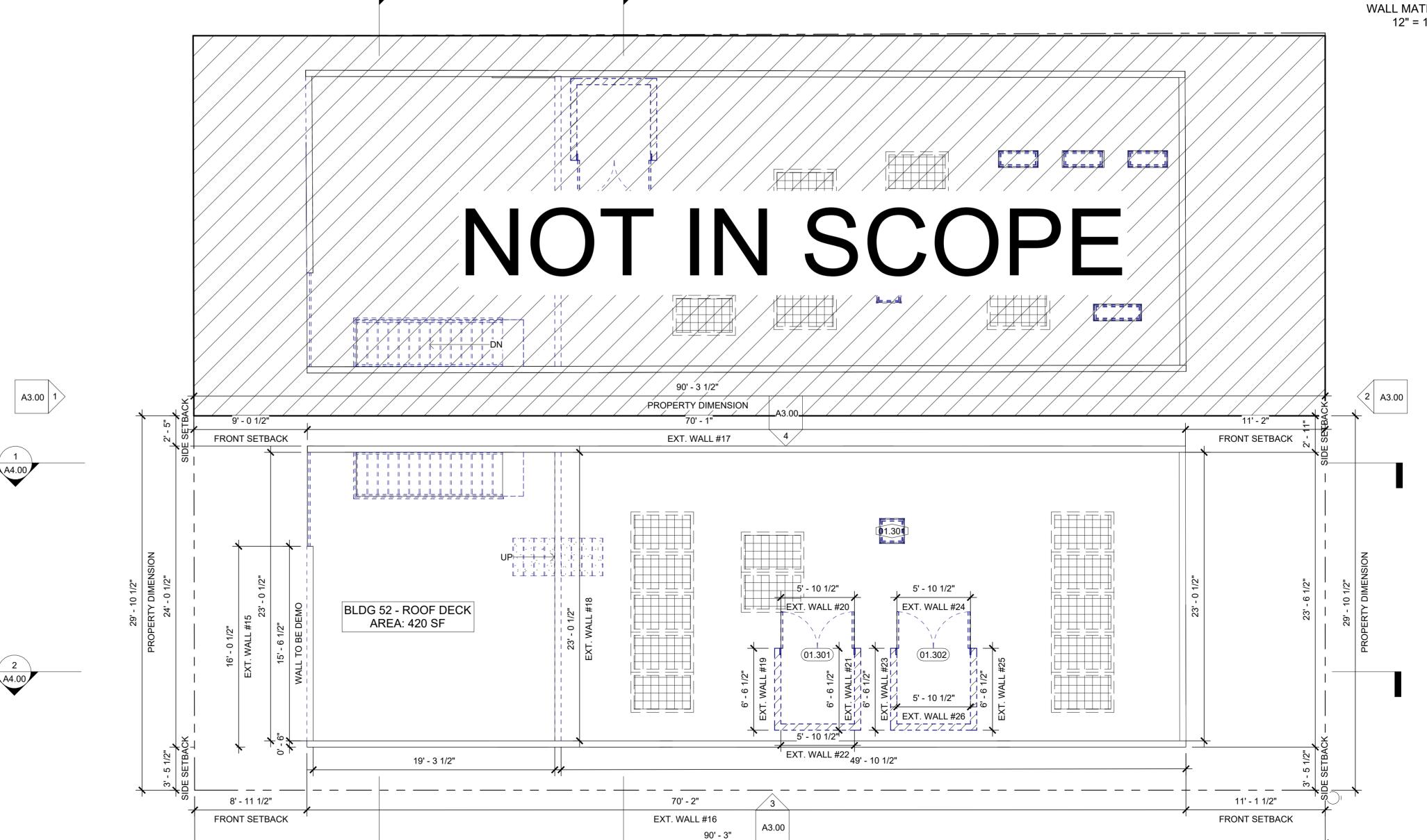
	I EGGIT EAN EEGEND		
	FLOOR TYPE	CL	CLOSET
(x)	WINDOW TAG (A0.09 WINDOW SCHEDULE)		EXISTING WALL
XXX	DOOR TAG (A0.07 DOOR SCHEDULE)		DEMOLITION WALL
<b>&amp;</b> —	WALL TYPE		PROPOSED WALL
X'-X"	ELEVATION MARKER	SD	SMOKE DETECTOR
	PROPERTY LINE	CM	CARBON MONOXIDE
<del>-&gt;</del>	ACCESSIBLE ROUTE		EXHAUST
			ILLUMINATED EXIT SIGN

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

WALL NUMBER	(E) WALL LENGTH	REMOVED WALL LENGTH	REMAINING WALL LENGTH	FLOOR LEVEL
1	16' - 0 1/2"	15' - 6 1/2"	0' - 6"	1ST FLOOR
2	53' - 2"	0' - 0"	53' - 2"	1ST FLOOR
3	24' - 0 1/2"	0' - 0"	24' - 0 1/2"	1ST FLOOR
4	33' - 4 1/2"	0' - 0"	33' - 4 1/2"	1ST FLOOR
5	13' - 6"	0' - 0"	13' - 6"	1ST FLOOR
6	8' - 0"	0' - 0"	8' - 0"	1ST FLOOR
7	19' - 9"	19' - 9"	0' - 0"	1ST FLOOR
8	16' - 0 1/2"	15' - 1 1/2"	0' - 11"	2ND FLOOR
9	70' - 2"	0' - 0"	70' - 2"	2ND FLOOR
10	24' - 0 1/2"	0' - 0"	24' - 0 1/2"	2ND FLOOR
11	50' - 4"	0' - 0"	50' - 4"	2ND FLOOR
12	13' - 6"	0' - 0"	13' - 6"	2ND FLOOR
13	8' - 0"	0' - 0"	8' - 0"	2ND FLOOR
14	19' - 9"	0' - 0"	19' - 9"	2ND FLOOR
15	16' - 0 1/2"	15' - 6 1/2"	0' - 6"	ROOF DECK
16	70' - 2"	0' - 0"	70' - 2"	ROOF DECK
17	70' - 1"	0' - 0"	70' - 1"	ROOF DECK
18	23' - 0 1/2"	23' - 0 1/2"	0' - 0"	ROOF DECK
19	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
20	5' - 10 1/2"	5' - 10 1/2"	0' - 0"	ROOF DECK
21	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
22	5' - 10 1/2"	5' - 10 1/2"	0' - 0"	ROOF DECK
23	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
24	5' - 10 1/2"	5' - 10 1/2"	0' - 0"	ROOF DECK
25	6' - 6 1/2"	6' - 6 1/2"	0' - 0"	ROOF DECK
26	5' - 10 1/2"	5' - 10 1/2"	0' - 0"	ROOF DECK
TOTAL	622' - 9"	138' - 8"	484' - 1"	
78% OF \	WALLS REMA	AINIG		

WALL MATRIX 12" = 1'-0"



PROPERTY DIMENSION

**JOB** # 23 - A004 A2.02

EXISTING ROOF DECK 3/16" = 1'-0"

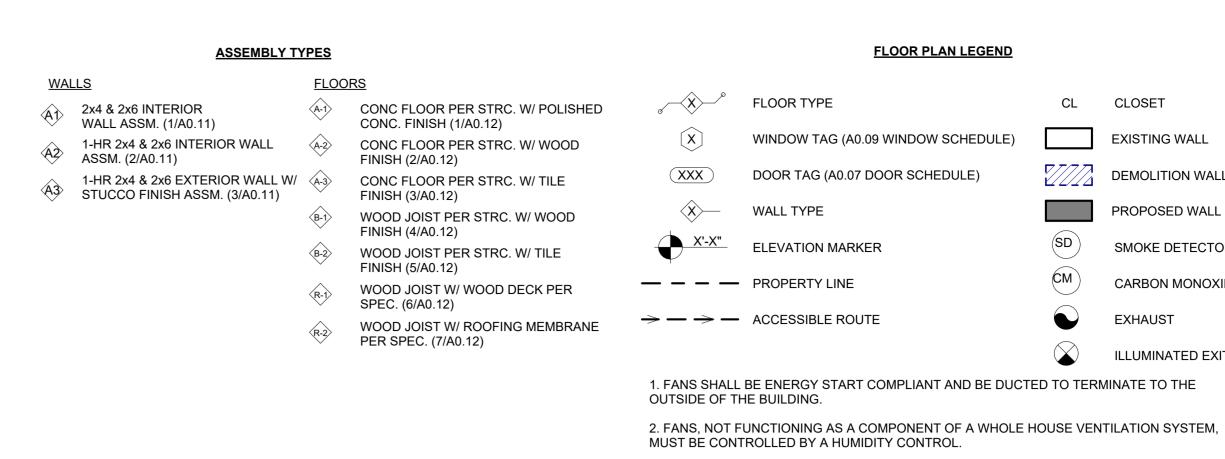
SED ARCHITA RAMSEY DAHAM RENEWAL DATE FOF CALIFOR

**REVISIONS** 

**EXISTING &** DEMO **PLANS** 

DRAWN JV **DATE** 10/14/2024 4:01:38

**SCALE** As indicated



/79' - 2"

5' - 6"

A-BATH 1

44 SF

A - BEDROOM 1

115 SF

B1.106

10' - 5"

BLDG 52 - UNIT C (RETAIL SPACE) AREA: 555 SF TOTAL OF SEATS: 10

C - BOH

229 SF

12' - 2 1/2"

C - SERVICE AREA

C - BATHROOM

→ WATER FLOW

7' - 2"

BLDG 52 - UNIT A - ARTIST IN RESIDENCE AREA: 696 SF

A - LIVING AREA

264 SF

A - BATH 2

B1.105

5' - 2"

A3.10

90' - 3" \(\begin{aligned} A5.00 \end{aligned}

79' - 1 1/2"

PROPERTY DIMENSION

38 SF ₺

A -BEDROOM 2

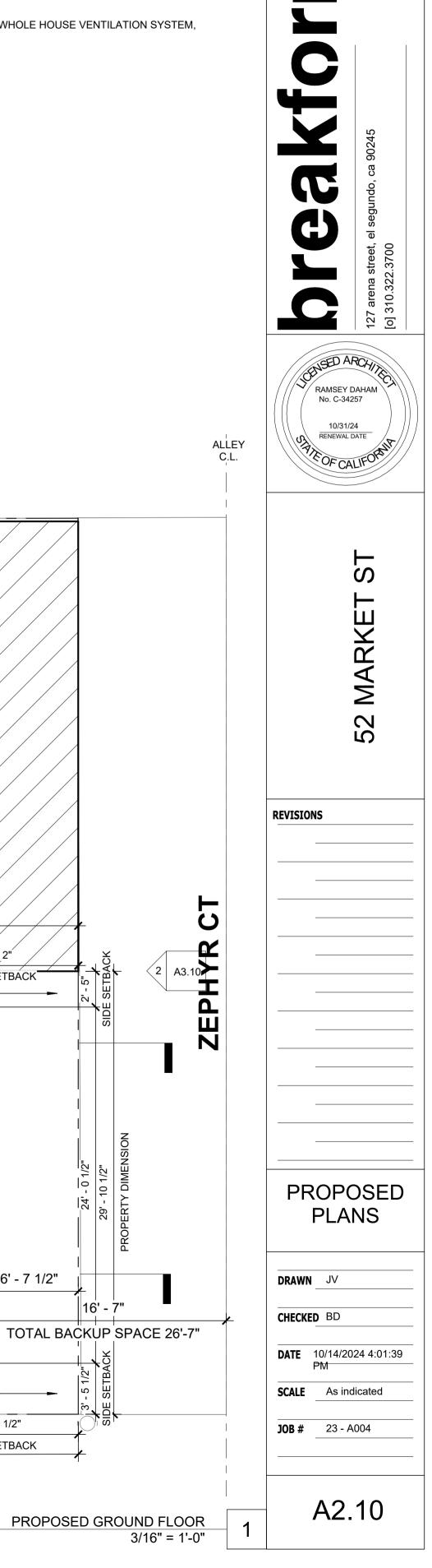
122 SF

B1.104

10' - 10 1/2"

9' - 6"

8' - 6"



REAR SETBACK WATER FLOW —

6' - 7 1/2"

WATER FLOW ----

11' - 1 1/2"

REAR SETBACK

15' - 0"

BMP #1

SEE C-2/DETAIL 3

L \_17' **-** 0"\_ \_\_ \_ \_ \_ \_ \_

CL CLOSET

EXISTING WALL

**EXHAUST** 

**DEMOLITION WALL** 

PROPOSED WALL

SMOKE DETECTOR

CARBON MONOXIDE

ILLUMINATED EXIT SIGN

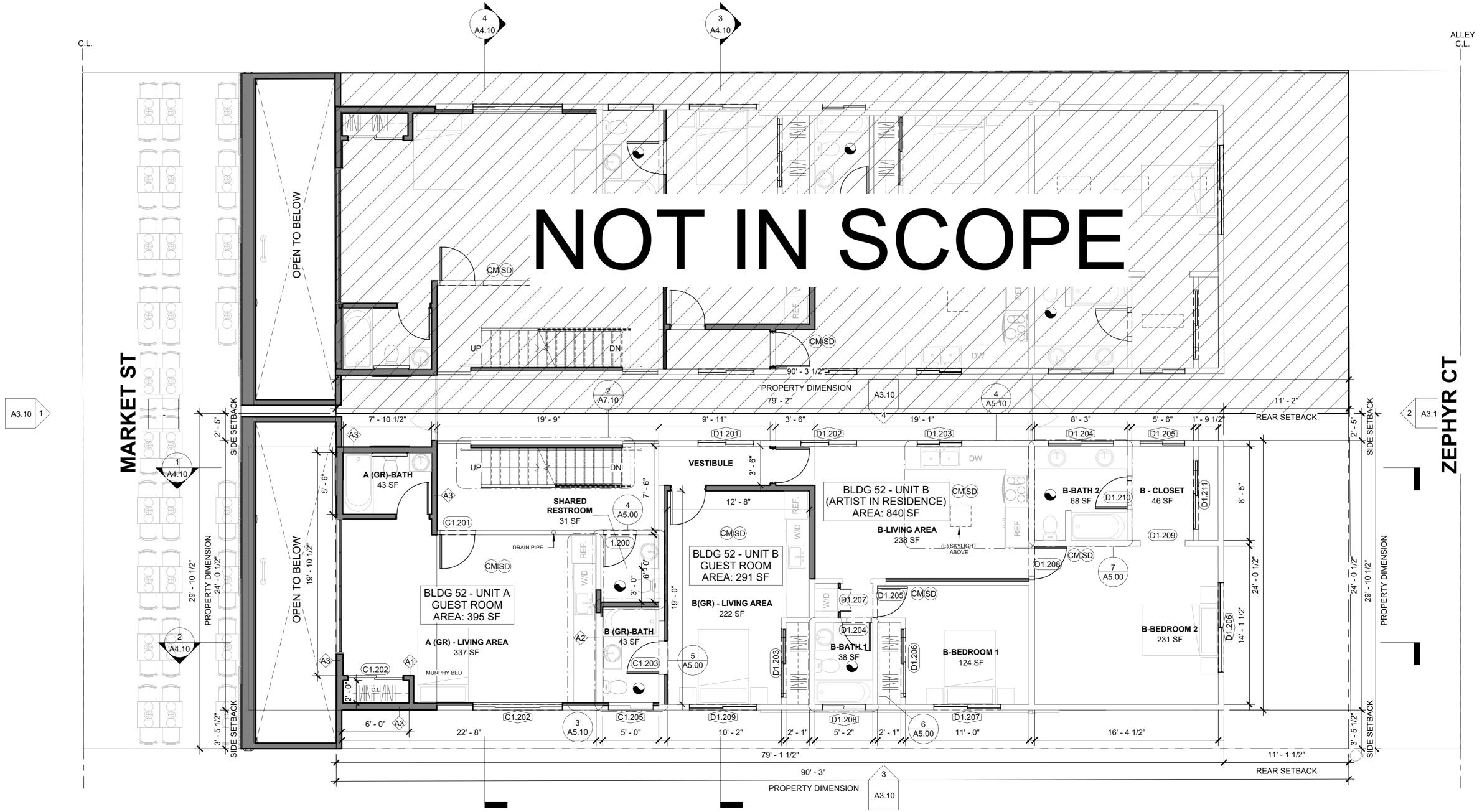
**ASSEMBLY TYPES** <u>WALLS</u> CONC FLOOR PER STRC. W/ POLISHED 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.11) CONC. FINISH (1/A0.12) 1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.11) (A-2) CONC FLOOR PER STRC. W/ WOOD FINISH (2/A0.12) 1-HR 2x4 & 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3/A0.11) CONC FLOOR PER STRC. W/ TILE FINISH (3/A0.12) WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.12) WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.12) WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.12) WOOD JOIST W/ ROOFING MEMBRANE

PER SPEC. (7/A0.12)

**FLOOR PLAN LEGEND** FLOOR TYPE CL CLOSET EXISTING WALL WINDOW TAG (A0.09 WINDOW SCHEDULE) DOOR TAG (A0.07 DOOR SCHEDULE) **DEMOLITION WALL** WALL TYPE PROPOSED WALL X'-X" ELEVATION MARKER SMOKE DETECTOR CARBON MONOXIDE — − − PROPERTY LINE → — → — ACCESSIBLE ROUTE **EXHAUST** ILLUMINATED EXIT SIGN

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.



N

PROPOSED SECOND FLOOR 3/16" = 1'-0"

A2.11

PROPOSED

**PLANS** 

**DATE** 10/14/2024 4:01:41

**SCALE** As indicated

**JOB** # 23 - A004

DRAWN JV

CHECKED BD

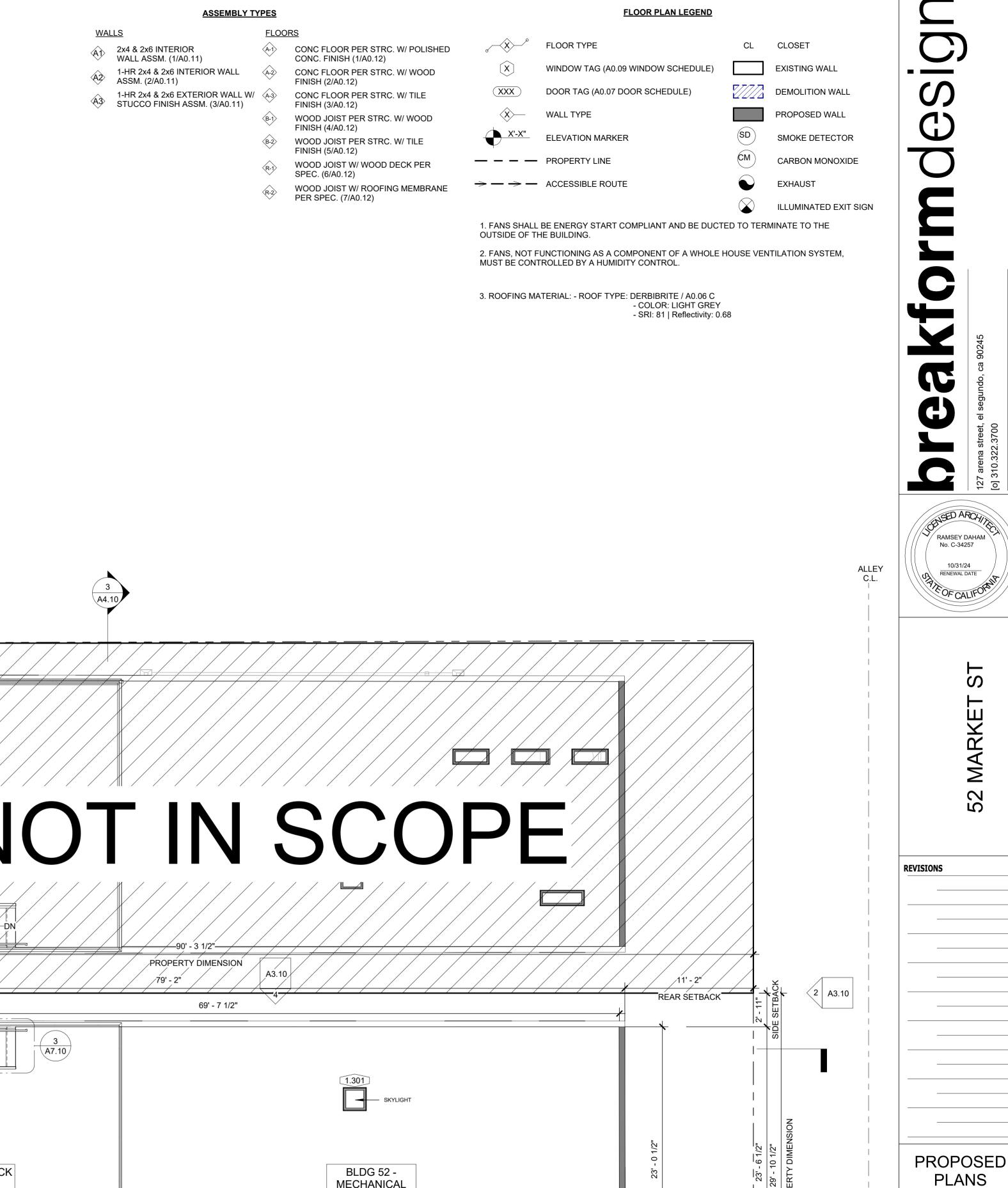
RAMSEY DAHAM

RENEWAL DATE

OF CALIFORN

**REVISIONS** 

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**DRAWN** JV

CHECKED BD

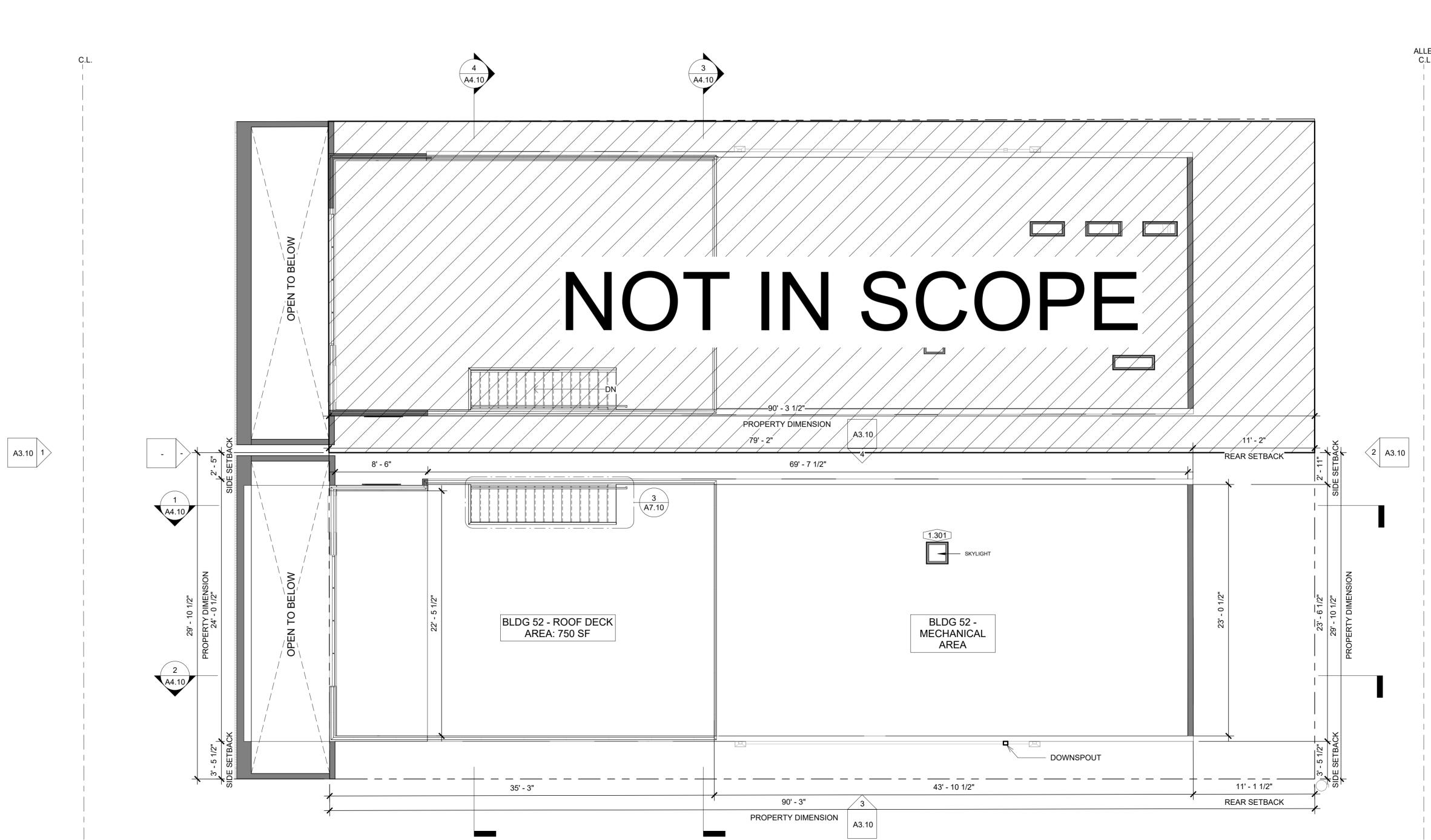
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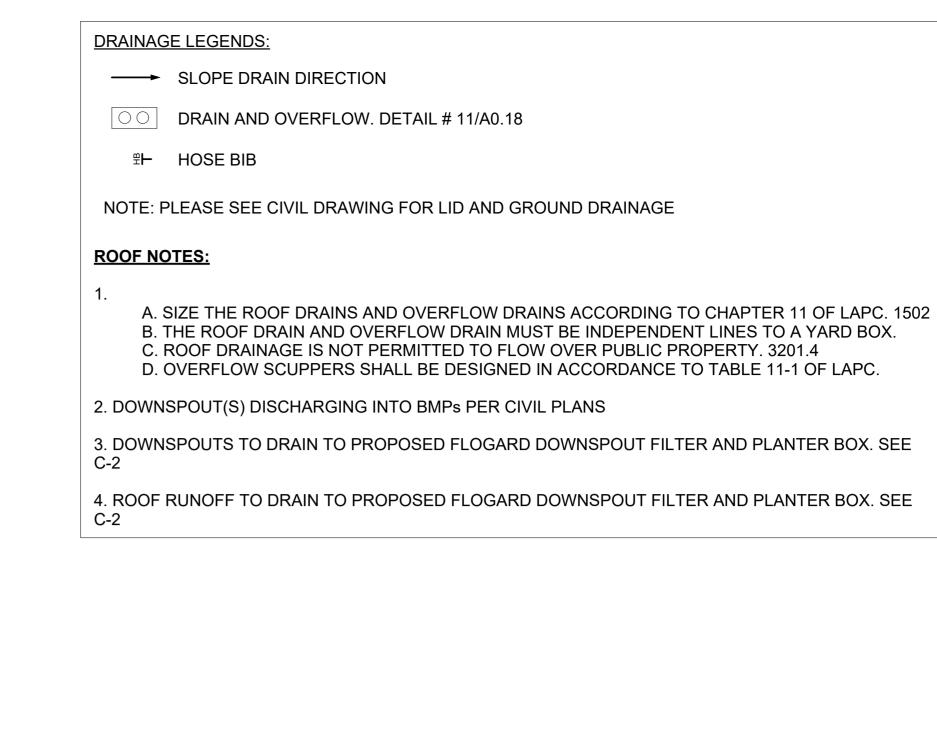
A2.12

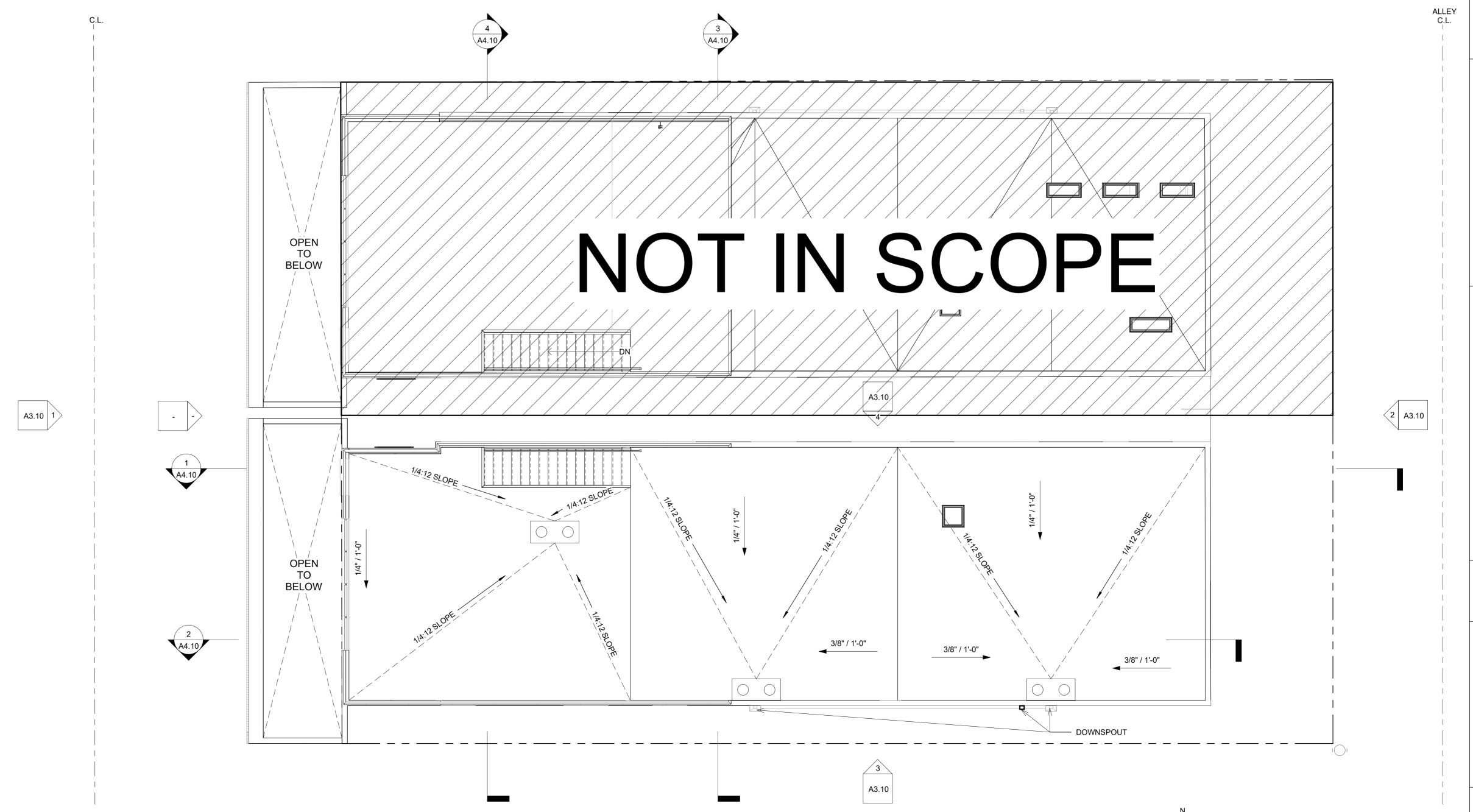
**SCALE** As indicated

**JOB #** 23 - A004

PROPOSED ROOF DECK 3/16" = 1'-0"







Sakform design

MANA AND STEER STOOM IS 10.322.3700

RAMSEY DAHAM
No. C-34257

10/31/24
RENEWAL DATE

52 MARKET S

REVISIONS

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ROOF DRAINAGE

PLAN

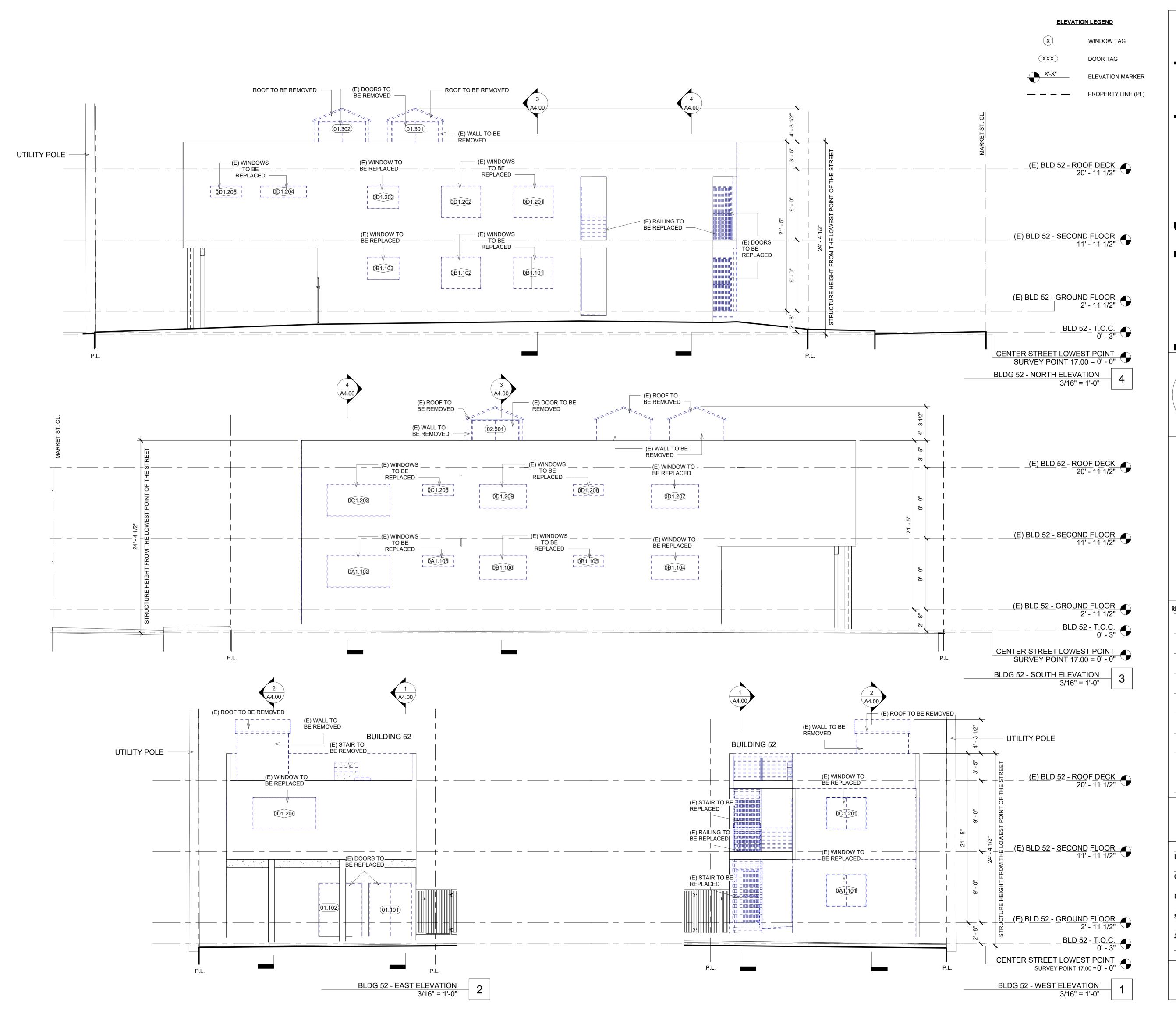
DRAWN JV

DATE 10/14/2024 4:01:44

SCALE As indicated

JOB # 23 - A004

PROPOSED ROOF DECK 3/16" = 1'-0" A2.20



DIEST ACTION OF SIGNATOR OF SIGNATURE OF SIG

RAMSEY DAHAM
No. C-34257

10/31/24
RENEWAL DATE

52 MARKET

REVISIONS

EXISTING & DEMO

DRAWN JV

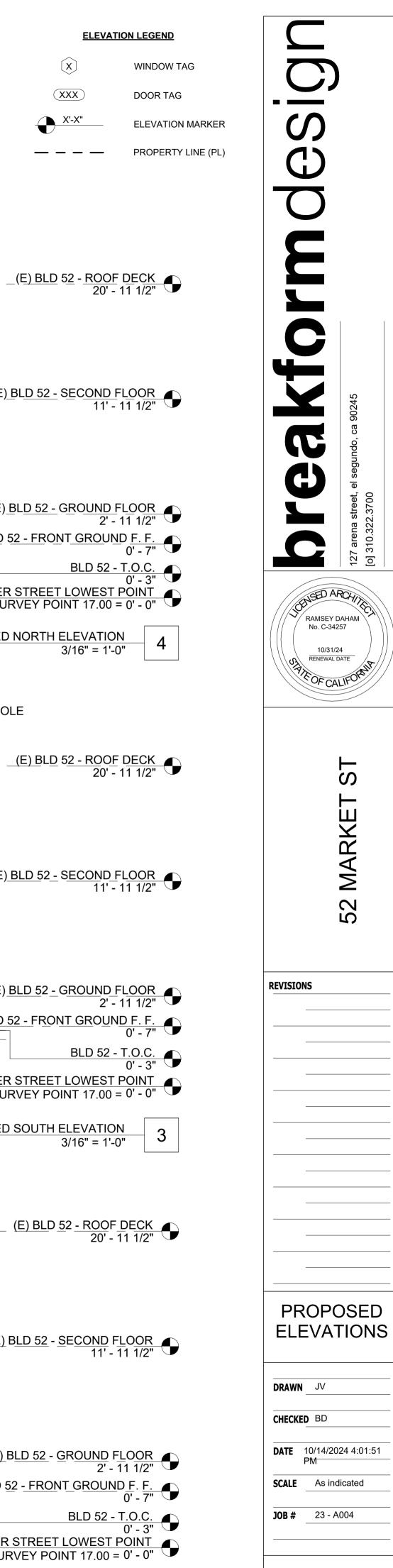
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DATE 10/14/2024 4:01:47
PM

SCALE As indicated

**JOB #** 23 - A004

A3.00



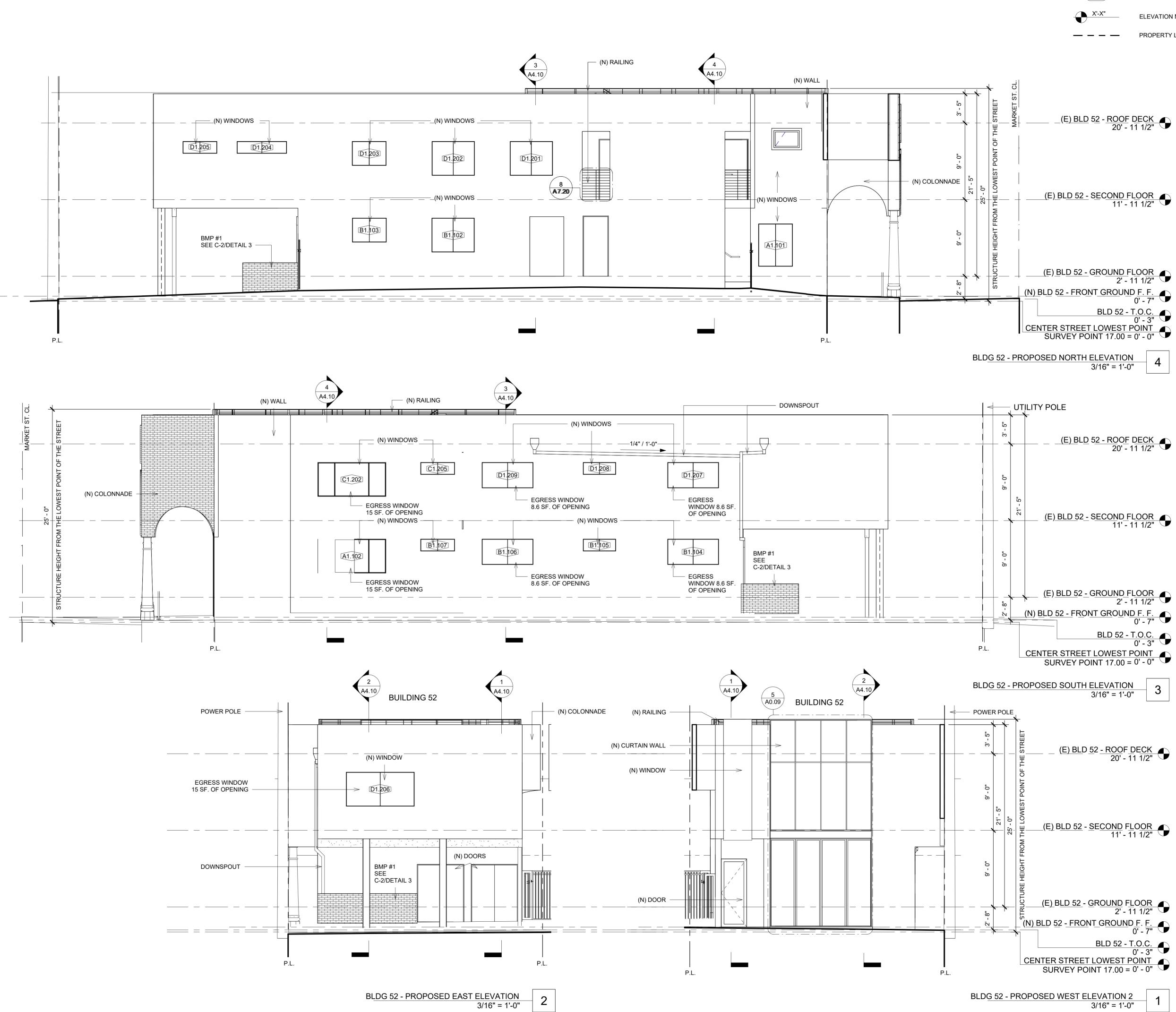
JOENSED ARCHITECT

RAMSEY DAHAM No. C-34257

> 10/31/24 RENEWAL DATE

> > 52

A3.10



DRAWN JV

CHECKED BD

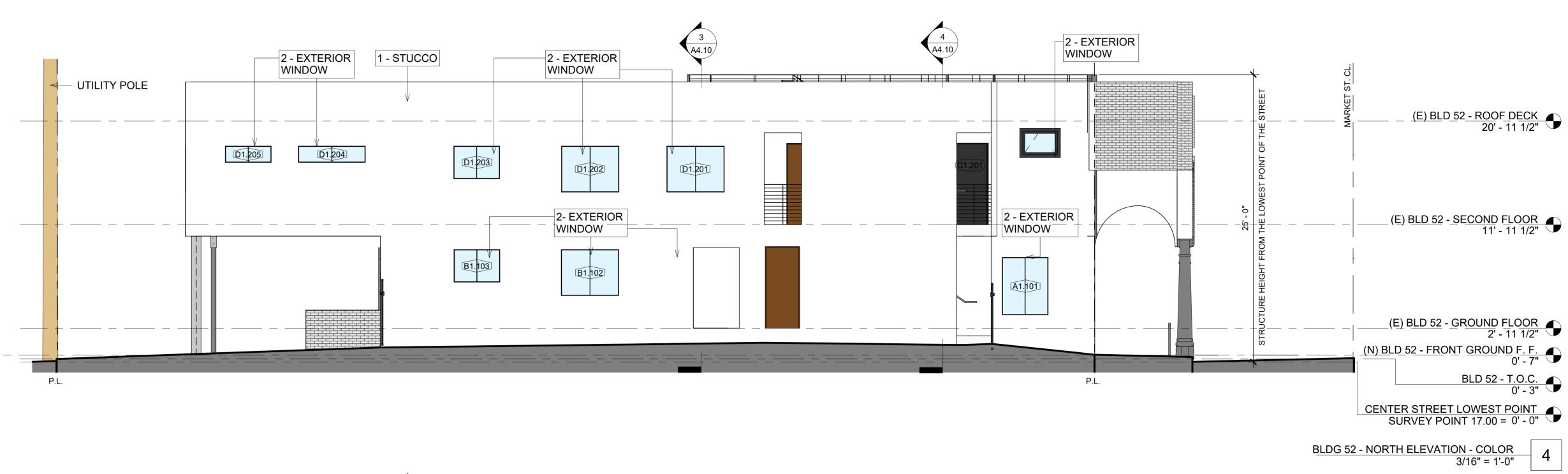
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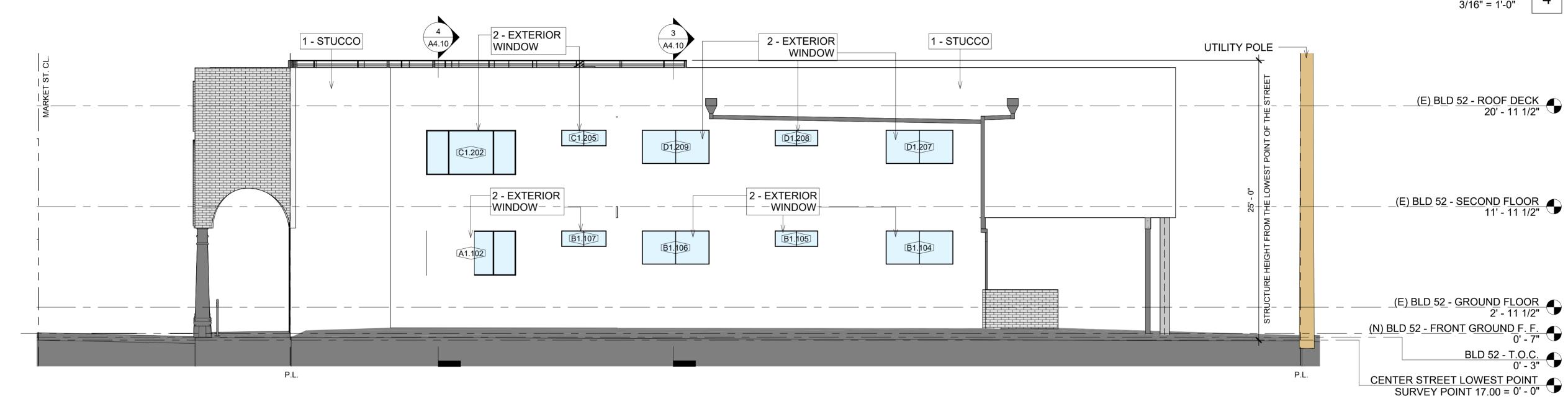
SCALE 3/16" = 1'-0"

**JOB #** 23 - A004

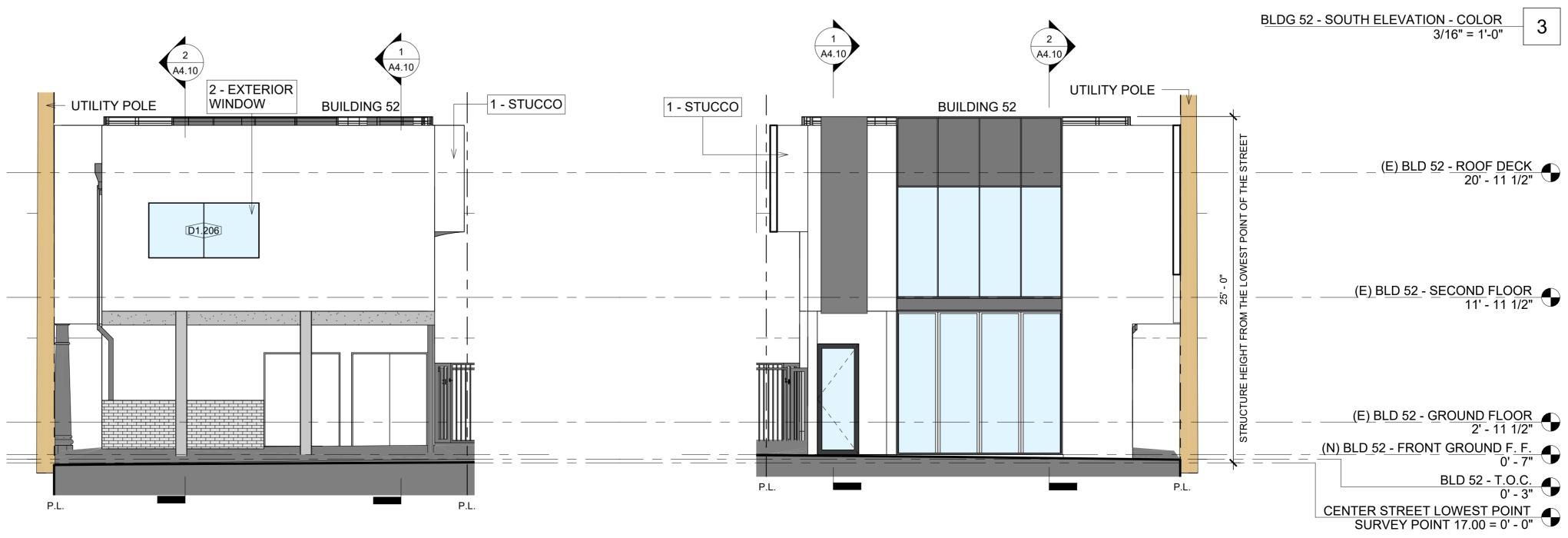
A3.20







BLDG 52 - EAST ELEVATION - COLOR 3/16" = 1'-0"

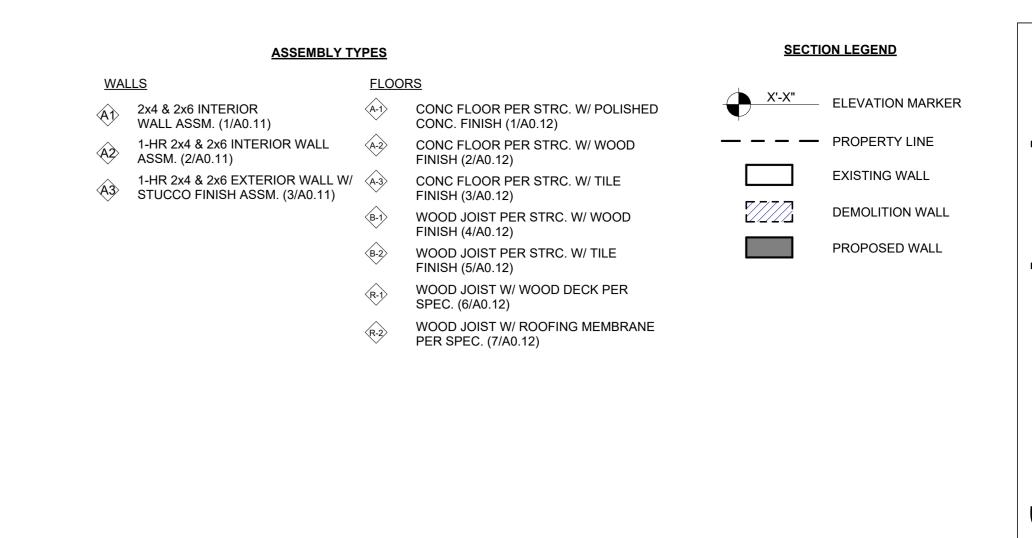


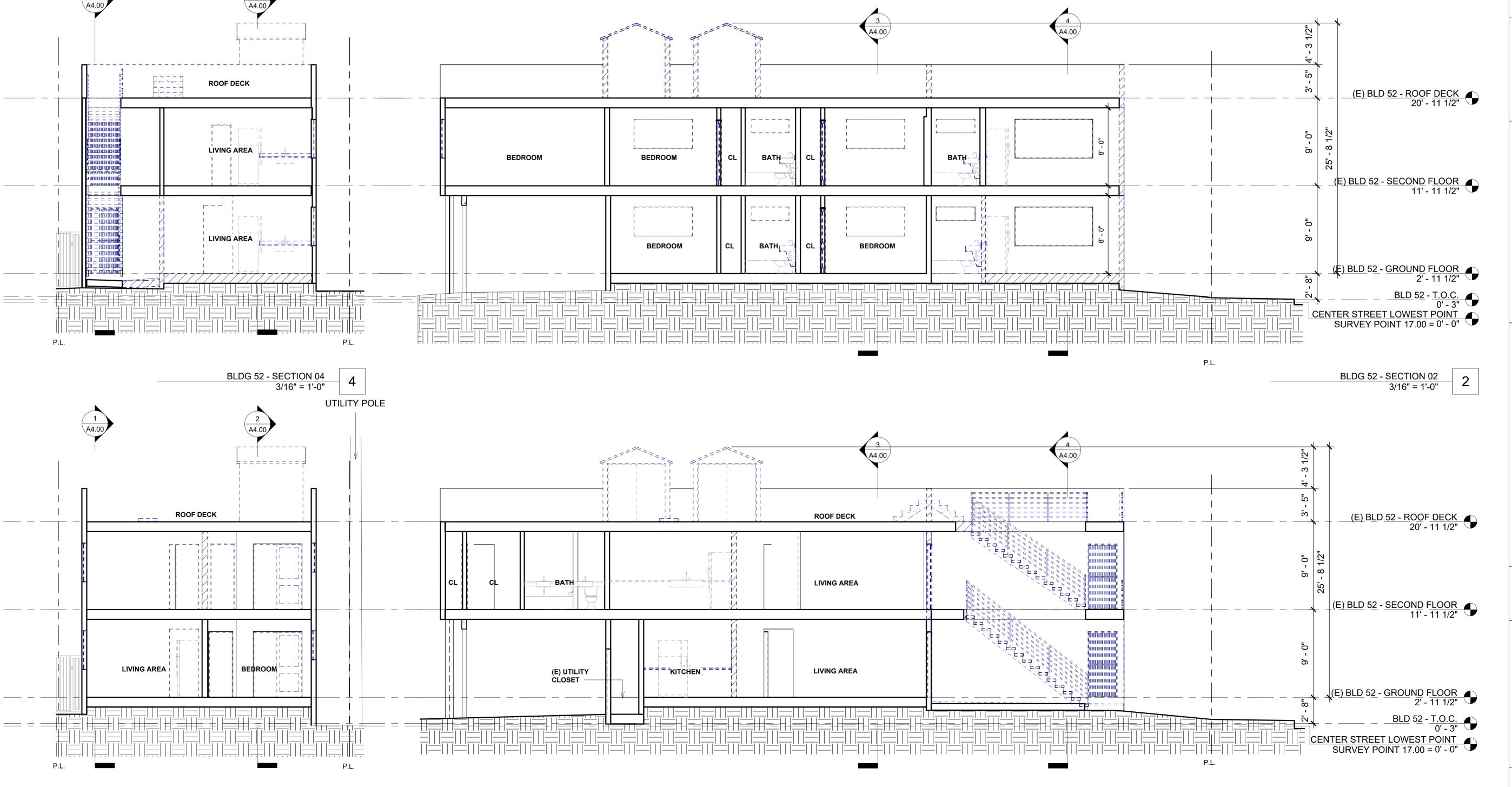


- TYPE: FIBERGLASS | ULTRA SERIES C650

EXTERIOR WINDOWS

- COLOR: DARK GREY





BLDG 52 - SECTION 03 3/16" = 1'-0" RAMSEY DAHAM
No. C-34257

10/31/24
RENEWAL DATE

OF CALIFORNIA

REVISIONS

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EXISTING SECTIONS

DRAWN JV

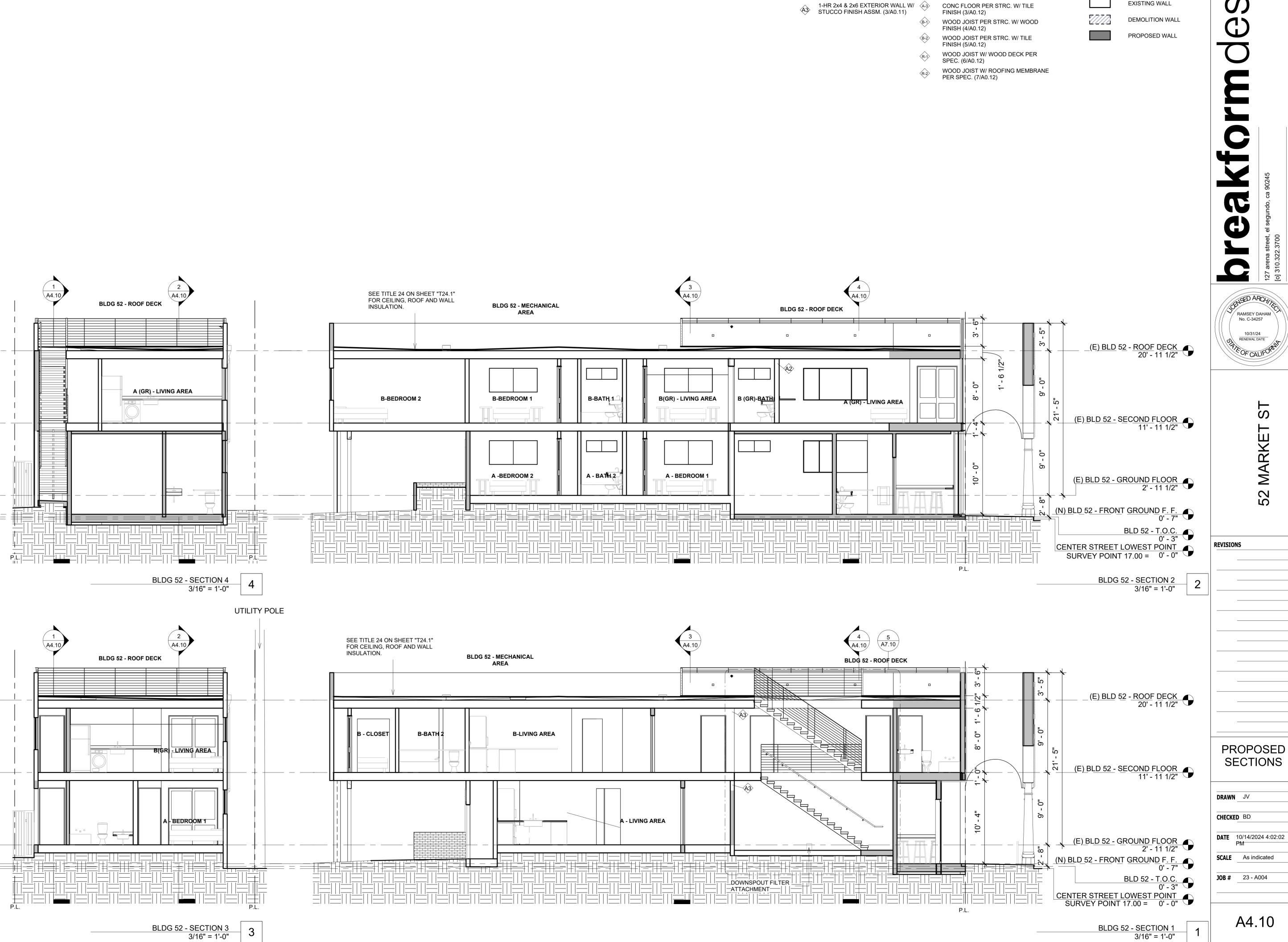
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DATE 10/14/2024 4:01:59
PM

JOB # 23 - A004

A4.00

BLDG 52 - SECTION 01 3/16" = 1'-0"



SECTION LEGEND

X'-X" ELEVATION MARKER

**EXISTING WALL** 

— − − − PROPERTY LINE

**ASSEMBLY TYPES** 

**FLOORS** 

(A-1) CONC FLOOR PER STRC. W/ POLISHED

CONC. FINISH (1/A0.12)

FINISH (2/A0.12)

(A-2) CONC FLOOR PER STRC. W/ WOOD

**WALLS** 

2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.11)

ASSM. (2/A0.11)

1-HR 2x4 & 2x6 INTERIOR WALL