## 404 LINNIE RESIDENCE

new 3-story plus roof deck single-family dwelling with attached garage 404 E Linnie Canal, Venice, CA 90291

#### LA CITY GENERAL NOTES

1. BUILDING COMPLIES WITH 2017 LARC, 2017 LAMC, 2017 LAPC, 2017 LAEC, 2017 LAFC, 2017 LAGBSC, CITY OF LOS ANGELES, AND THE STATE OF CALIFORNIA.

2. AQMD NOTIFICATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE COMMUNITY DEVELOPMENT DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.

3. ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS ARE INDICATED ON SITE/PLOT

4. SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THE PROPOSED BUILDING PERMIT IS ISSUED.

5. FENCE, WALL, HANDRAIL HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 72" AT ALL OTHER LOCATIONS ON SITE, (36" IF OBSTRUCTING DRIVEWAY VISIBILITY) (COMBINED RETAINING AND FREE STANDING WALL)

6. SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND EARTHWORK AS REQUIRED.

7. WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCADMD). (714) 396.2000 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.

8. PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.

9. THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAINAGE. 10. POST INSULATION COMPLIANCE CARD IN CONSPICUOUS LOCATION IN DWELLING PRIOR TO FINAL

11. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING IS WITHIN THE HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY

12. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158)

SEPARATE PLUMBING PERMIT IS REQUIRED. 13. THE PERMIT APPLICATION MUST BE SIGNED BY THE PROPERTY OWNER, OR LICENSED CONTRACTOR, OR AUTHORIZED AGENT AT THE TIME THE PERMIT IS TO BE ISSUED.

A. FOR OWNER-BUILT PERMITS: OWNER'S SIGNATURE CAN BE VERIFIED WITH OWNER'S DRIVER LICENSE. OWNER'S REPRESENTATIVES MUST PRESENT OWNER'S APPROVAL WITH A NOTARIZED LETTER FROM THE OWNER B. FOR CONTRACTOR BUILDING PERMITS: PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE CONTRACTOR SHALL HAVE THE FOLLOWING:

NOTARIZED LETTER OF AUTHORIZATION FOR AGENTS. ii. CERTIFICATE OF WORKERS COMPENSATION INSURANCE MADE OUT TO THE CONTRACTORS STATE LICENSE BOARD

iii. COPY OF CONTRACTORS STATE LICENSE OR POCKET ID. iv. COPY OF CITY OF LOS ANGELES BUSINESS TAX REGISTRATION CERTIFICATE OR A

14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES ( POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. HE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES—WHETHER OR NOT LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

15. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

16. (TWO) SETS OF PLANS WILL BE REQUIRED DURING PERMIT ISSUANCE. PLANS MUST BE:

A. QUALITY BLUE OR BLACK LINE DRAWINGS WITH UNIFORM AND LIGHT BACKGROUND COLOR. B. MAX. 36" X 48" SIZE WITH MINIMUM %" LETTERING SIZE.
C. STICKY BACK DETAILS MUST PRODUCE PRINTS WITHOUT CONTRASTING SHADES OF

17. FOR NEW BUILDINGS AND ADDITIONS, ONE COPY OF ONLY THE ARCHITECTURAL SET IS REQUIRED FOR THE COUNTY TAX ASSESSOR (CALIFORNIA REVENUE AND TAXATION SECTION 72).

18. AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 9.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL

19. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(b) THROUGH 110.10(c) SHALL BE PROVIDED TO

20. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9).

21. CONSTRUCTION WASTE SHALL BE REDUCED BY 50% AND SHALL BE HANDLED BY CITY OF LOS ANGELES CERTIFIED HAULER.

22. PROVIDE ANTI-GRAFFITI FINISH WITH THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306).

23. PROOF OF SURVEY (PROPERTY CORNERS) VERIFICATION BY THE CITY BUILDING INSPECTOR PROVIDED PRIOR TO BUILDING PERMIT ISSUANCE.

24. PLANTING LIST OF ALL PLANTS, INCLUDING WATER USE CLASSIFICATION PER WUCOLS (HTTP: //WUCOLS.ECORHYTHMGROUP.ORG/) AND TABLE SHOWING SQUARE FOOTAGES OF SITE, BUILDING/DRIVEWAY FOOTPRINT, TOTAL LANDSCAPE/HARDSCAPE AREA, AND TOTAL AREA OF HIGH WATER USE PLANTS (20% MAX) SHALL BE ADDRESSED PRIOR TO BUILDING PERMIT

25. INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.

26. CHANGE OF ADDRESS APPLICATION TO BE ADDRESSED PRIOR TO BUILDING PERMIT ISSUANCE.

#### CONSULTANTS

SURVEYOR: I/WS SURVEYING, (310) 791-0904 2556 VIA TEJON

PALOS VERDES ESTATES, CA 90274

#### LA CITY SECURITY NOTES

1. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL.

. SCREENS, BARRICADES, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES.

3. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO THE JAMB.

4. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR.

5. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NONREMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIAMETER STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMIN WITH SCREWS NO LESS THAN 2-1/2" LONG.

6. PROVIDE DEAD BOLTS WITH HARDENED INSERTS: DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, AND S OCCUPANCIES).

7. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4".

8. THE USE OF A LOCKING SYSTEM WHICH CONSISTS OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEADBOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED. SHALL NOT BE CONSIDERED AS A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEADBOLT SHALL NOT BE SEPARATED BY MORE THAN 8 INCHES.

9. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16" THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4" THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPTS MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 % INCHES AND 3 INCHES IN WIDTH.

10. SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.

11. SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO

12. METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDÉNED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED

13. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCK OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE OR GRIPPING TOOLS.

14. IN B, F, M AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 IN. BUT LESS THAN 48 IN., SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES.

15. GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION. SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL. OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS.

16. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE

17. OTHER OPERABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED

18. SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR

19. SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.2.

20. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY

ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION.

#### VENICE CANAL CONSTRUCTION NOTES

THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL ADHERE TO THE FOLLOWING MINIMUM GUIDELINES TO MITIGATE THE AFFECTS OF CONSTRUCTION ACTIVITIES ON NEIGHBORING RESIDENCES AND OCCUPANTS:

RKING: PARKING SHALL ONLY OCCUR WITHIN THE SUBJECT PROPERTY OR IN LEGAL OFF-SITE STREET PARKING OR PARKING FACILITIES. PARKING SHALL NOT OCCUR IN ALLEY. PARKING SHALL NOT BE ALLOWED WITHIN NEIGHBORING RESIDENCES UNLESS SUCH NEIGHBOR PROVIDES WRITTEN AUTHORIZATION AND INSTRUCTIONS.

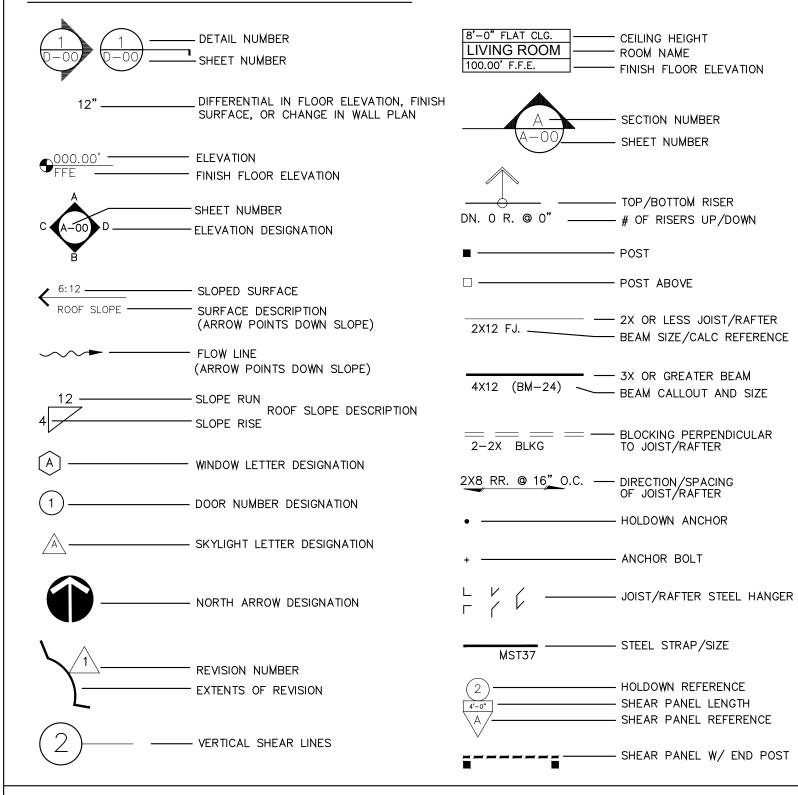
TRAFFIC: ALLEY TRAFFIC SHALL NOT BE OBSTRUCTED AT ANY TIME. IN THE EVENT THAT TEMPORARY CONSTRUCTION ACTIVITIES, SUCH AS MATERIAL TRUCK DELIVERIES, CONCRETE TRUCK DELIVERIES, PERMITTED WORK IN THE RIGHT—OF—WAY, OR SIMILAR TYPE ACTIVITES CANNOT OCCUR WITHIN THE SUBJECT PROPERTY AND MUST TEMPORARILY OCCUR IN THE ALLEY O PROVIDE THEIR SERVICES, CONTRACTOR SHALL NOTIFY ADJACENT NEIGHBORS, THE NEIGHBOR TO DIRECTLY ACROSS THE ALLEY, AND ALL NEIGHBORS HAVING VEHICULAR ACCESS TO THE NORTHEAST ALONG THE ALLEY. BY DIRECT TELEPHONE CALL, TEXT OR EMAIL AT LEAST 24 HOURS IN ADVANCE OF EACH OCCURRENCE AND SHALL SPECIFY THE EXTENT TO WHICH TRAFFIC WILL BE OBSTRUCTED.

WASTE/DEBRIS: THE ALLEY AND CANAL SIDEWALK SHALL BE KEPT CONTINUALLY CLEANED DURING CONSTRUCTION AND SHALL BE CLEANED DAILY TO REMOVE CONSTRUCTION DUST, DIRT AND DEBRIS. FENCING SHALL INCORPORATE MESH. WATERING SHALL OCCUR DURING GRADING OPERATIONS. SAWING, CUTTING AND SANDING SHALL OCCURS WITHIN THE SUBJECT STRUCTURE AND/OR AS FAR FROM PROPERTY LINES AS POSSIBLE.

CONSTRUCTION FENCING: CONSTRUCTION FENCING SHALL BE LOCATED WITHIN SUBJECT PROPERTY AND SHALL NOT EXTEND INTO NEIGHBORING PROPERTIES OR INTO THE RIGHT-OF-WAYS UNLESS TEMPORARY ACTIVITIES INVOLVING IMPROVEMENTS TO THE RIGHT-OF-WAY, UNDER SEPARATE PERMIT, ARE ACTIVELY BEING MADE.

NOISE GENERATED FROM CONSTRUCTION ACTIVITIES SHALL BE REASONABLY REDUCED. NOISE REDUCTION MEASURES SHALL INCLUDE LIMITING AUDIO PLAYER VOLUME, AVOIDING YELLING, AND IN GENERAL REASONABLY REDUCING THE INTENSITY OF NOISE GENERATING

#### SYMBOL LEGEND



#### ABBREVIATION LEGEND

A.B.	ANCHOR BOLT	IUT	TRUSS JOIST HANGER
A.H.	ACTUAL HEIGHT	LAND.	LANDING
A.W.	AWNING WINDOW	L.B.	LAG BOLT
BLKG.	BLOCKING	MAX.	MAXIMUM
BM.	BEAM	M.B.	MACHINE BOLT
BN.	BOUNDARY NAIL	MIN.	MINIMUM
B.O.W.	BOTTOM OF WALL	ML.	MICROLAM
CFRAME.	CALIFORNIA FRAME	O.C.	ON CENTER
CB.	COLUMNBASE	OP.	OPERABLE
C.H.	CRITICAL HEIGHT	P.A.	POST ABOVE
CLG.	CEILING	P.S.A.	POST/STRAP ABOVE
CLR.	CLEAR	PB.	POSTBASE
CC.	COLUMNCAP	P.C.	PIPE COLUMN
COL.	COLUMN	PC.	POSTCAP
CONC.	CONCRETE	PL.	PARALAM
CONT.	CONTINUOUS	PLINE.	PROPERTY LINE
C.W.	CASEMENT WINDOW	R.B.	ROOF BEAM
DET.	DETAIL	REIN.	REINFORCEMENT
DIA.	DIAMETER	REQ.	REQUIRED
DIM.	DIMENSION	R.R.	ROOF RAFTER
D.J.	DECK JOIST	SECT.	SECTION
DN.	DOWN	SHT.	SHEET
EMB.	EMBEDMENT	SIM.	SIMILAR
ELEV.	ELEVATION	SK.	SKEWED
E.N.	END NAILING	SL.	SLOPED
E.W.	EACH WAY	ST./MST./CMST./TS.	STRAP
F.A.	FROM ABOVE	STL.	STEEL
FB.	FLOOR BEAM	SBACK.	STRONGBACK
F.F.E.	FINISH FLOOR ELEVATION	T&B	TOP AND BOTTOM
F.J.	FLOOR JOIST	THK.	THICK
FLR.	FLOOR	TJI.	TRUSS JOIST
FX.	FIXED	T.O.W.	TOP OF WALL
GA.	GAUGE	T.S.	TUBE STEEL
GL.	GLULAM	TYP.	TYPICAL
JST.	JOIST	U.N.O.	UNLESS NOTED OTHERWISE
HD.	HOLDOWN	U.W.A.	UNDER WALL ABOVE
HORZ.	HORIZONTAL	VERT.	VERTICAL
нт.	HEIGHT	V.I.F.	VERIFY IN FIELD
HU/HUC/HUTF	WOOD BEAM HANGER	W.W.F.	WELDED WIRE FABRIC
		W/	WITH

#### PROPERTY OWNER

LINNIE 404 LLC 571 GOLF COURSE ROAD FRIDAY HARBOR, WA 98250 ADAM DRAIZIN, AGENT (914) 260-2400 ADAMDRAIZIN@GMAIL.COM

#### LEGAL DESCRIPTION

PIN NUMBER: 106-5A145 503 LOT AREA (ZIMAS): 2,848.8 S.F. THOMAS BROTHERS GRID: PAGE 671-GRID H6 ASSESSOR PARCEL #: 4227-008-039 TRACT: SHORT LINE BEACH VENICE CAVAL SUBDIVISION NO. 1 MAP REFERENCE: M B 7-126/127 BLOCK: 50

ARB (LOT CUT REFERENCE): NONE MAP SHEET: 106-5A145

#### ZONING

TINE DISTRICT 140. 1. 140	
FLOOD ZONE: AE, BASE FLOOD ELEVATION = 8 FT VERY HIGH FIRE HAZARD SEVERITY ZONE: NO FIRE DISTRICT NO. 1: NO	2020 LARBC, 2020 LAMC, 2020 LAPO 2020 LAEC, 2020 LAFC, & 2020 LAG
LIQUEFACTION: YES TSUNAMI INUNDATION ZONE: YES	APPLICABLE CODES
METHANE HAZARD SITE: METHANE ZONE	LADBS DISTRICT OFFICES: WEST L
DUAL JURISDICTIONAL COASTAL ZONE	CENSUS TRACT #: 2739.02
COASTAL ZONE: COASTAL ZONE COMMISSION AUTHORITY &	COUNCIL DISTRICT: CD 11 MIKE B
SUBAREA: VENICE CANALS	NEIGHBORHOOD COUNCIL: VENICE
VENICE COASTAL ZONE	AREA PLANNING COMMISSION: WEST I
SPECIFIC PLAN AREA: LOS ANGELES COASTAL TRANSPORTATION CORRIDOR &	COMMUNITY PLAN AREA: VENICE
GENERAL PLAN USE: LOW MEDIUM II RESIDENTIAL	CITY OF LOS ANGELES
ZONING: RW1-1-0	STATE OF CALIFORNIA   COUNTY OF LOS ANGELES

#### OCCUPANCY

R3/U WITH 1-HOUR SEPARATION CONSTRUCTION V-B NO. OF UNITS: NO OF STORIES: 3 + ROOF DECK NFPA 13D FULLY SPRINKLERED PER SECTION 313.2

THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

#### SCOPE OF WORK

 DEMOLITION OF EXISTING 1—STORY SINGLE-FAMILY DWELLING. (UNDER SEPARATE

2. CONSTRUCTION OF NEW 3-STORY PLUS ROOF DECK SINGLE-FAMILY DWELLING WITH ATTACHED 2-CAR GARAGE.

#### **ON-SITE PARKING**

(2) FULL SIZE SPACES LOCATED IN GARAGE W/ (1) COMPACT SPACE LOCATED IN UNENCLOSED REAR

TOTAL OF (3) OFF-STREET PARKING SPACES PROVIDED.

#### **BUILDING HEIGHTS**

PER LOS ANGELES ZONING CODE: MAX ALLOWABLE HEIGHT HT LIMIT BENCHMARK ELEVATION = 5.57MAX ALLOWABLE HT ELEVATION = 35.57' MAX PROPOSED BLDG HT ELEV = 35.53' MAX PROPOSED BUILDING HEIGHT = 29.96'

PER LOS ANGELES BUILDING CODE:

MAX ALLOWABLE HEIGHT HT LIMIT BENCHMARK ELEVATION = 6.16MAX ALLOWABLE HT ELEVATION = 46.16MAX PROPOSED BLDG HT ELEV = 35.53' MAX PROPOSED BUILDING HEIGHT = 29.37'

#### SHEET INDEX

COVER PROJECT INFORMATION SURVEY

A-1.1 DEMOLITION PLAN  $^{\prime}$  A-1.2  $^{\prime}$  SITE PLAN - PLANNING DEPT  $^{\downarrow}$ A-1.3 SITE PLAN - BUILDING DEPT LANDSCAPE PLAN

A - 2.1FIRST & SECOND FLOOR PLANS THIRD FLOOR & ROOF PLANS A - 2.2ZONING CODE AREAS A - 2.3

A-2.4 BUILDING CODE AREAS

IRRIGATION PLAN

FLEVATIONS & SECTIONS EXTERIOR MATERIALS

> A−1.5

#### **JURISDICTIONS**

STATE OF CALIFORNIA OUNTY OF LOS ANGELES ITY OF LOS ANGELES OMMUNITY PLAN AREA: VENICE REA PLANNING COMMISSION: WEST LOS ANGELES EIGHBORHOOD COUNCIL: VENICE COUNCIL DISTRICT: CD 11 MIKE BONIN ENSUS TRACT #: 2739.02 ADBS DISTRICT OFFICES: WEST LOS ANGELES

#### 020 LARBC, 2020 LAMC, 2020 LAPC,

020 LAEC, 2020 LAFC, & 2020 LAGBSC

#### FLOOR AREAS

VALUATION FLOOR AREAS: (REFER TO COMPLETE BREAKDOWN ON A-1.4) ENCLOSED & CONDITIONED LIVING AREA: ROOF ACCESS STRUCTURE = 38 S.F.3RD FLOOR LIVING = 724 S.F.= 1,750 S.F.2ND FLOOR LIVING = 1.039 S.F.1ST FLOOR LIVING = 3.551 S.F.TOTAL LIVING AREA ENCLOSED UNCONDITIONED STORAGE AREA: 1ST FLOOR GARAGE AREA: = 454 S.F.

UNENCLOSED & UNCONDITIONED DECK AREA: ROOF DECK = 732 S.F.

TOTAL ENCLOSED FLOOR AREA = 4,005 S.F. (LIVING + GARAGE)

= 4,737 S.F.

= 1,234 SF

(LIVING + GARAGE + DECK)

L.A. BUILDING CODE GROSS FLOOR AREAS: (REFER TO COMPLETE BREAKDOWN ON A-1.4) RESIDENTIAL GROUP 'R3' OCCUPANCY: ROOF ACCESS STRUCTURE = 116 S.F. 3RD FLOOR AREA 2RD FLOOR AREA

TOTAL GROUP 'R3' LIVING AREA = 3,952 SF UTILITY GROUP 'U' OCCUPANCY:

1ST FLR GROUP 'U' GARAGE AREA = 561 SF

1ST FLOOR AREA

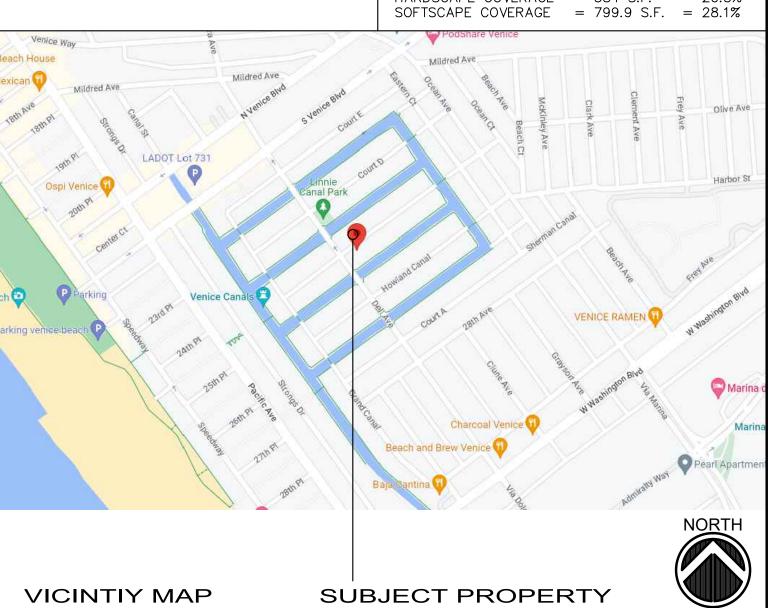
L.A. ZONING CODE FLOOR AREAS: (REFER TO COMPLETE BREAKDOWN ON A-1.3)  $ACCESS_STRUCT AREA = 11_S.F$ 

#### FLOOR AREA RATIO

FLOOR AREA RATIO (FAR) = TOTAL ZONING FLOOR AREA / LOT AREA = 3,097 / 2,848.8 S.F. S.F. = 1.09 (NO FAR LIMIT FOR RW-1 ZONING PER 12.21.1.A)

#### LOT COVERAGE

= 2,848.8 S.F. = 100% BUILDING COVERAGE = 1,464.9 S.F. = 51.4%HARDSCAPE COVERAGE = 584 S.F. = 20.5%





### RESIDENCE

404 E Linnie Canal Venice, CA 90291

**REVISIONS** 

/1\cdp app submittal ∆ 2024-07-16 2 CDP RE-SUBMITTAL

2023-10-16

**PROJECT** INFORMATION

COVER

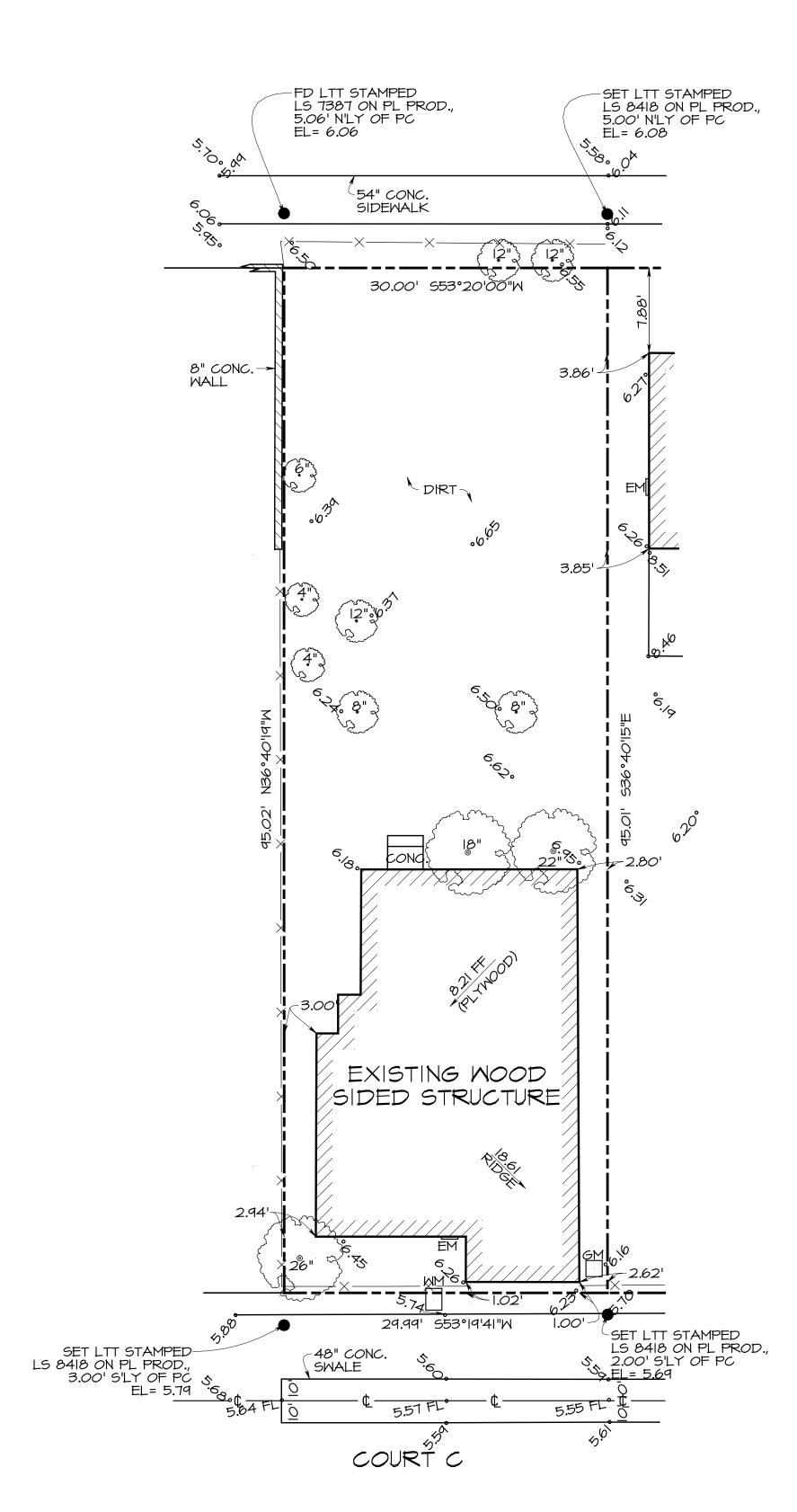
#### NOTE

THIS SURVEY AND MAP ARE THE PROPERTY OF I/WS SURVEYING AND MAY NOT BE MODIFIED. ALTERED. OR CHANGED IN ANY FASHION WITHOUT PRIOR WRITTEN APPROVAL BY I/WS SURVEYING AND THE CLIENT FOR WHOM THE SURVEY WAS PREPARED. THIS PROVISO EXTENDS TO THE RESULTING PLOT OF SAID MAP AND THE COMPUTER DISK OR E-MAIL OF THAT MAP AS PROVIDED TO THE CLIENT. ANY VIOLATION OF THIS PROVISO WILL VOID ANY PROFESSIONAL OBLIGATION OR WARRANTY, EITHER EXPRESSED OR IMPLIED. BY I/WS SURVEYING AS TO SUCH CHANGED MATERIAL

ALL MEASUREMENTS SHOWN TO PROPERTY LINES (PL) ARE MEASURED PERPENDICULAR (90° ANGLE) TO PROPERTY LINE.

ALL BUILDING CORNERS SHOWN WERE MEASURED FROM FINISHED BUILDING MATERIALS, UNLESS OTHERWISE NOTED





BASIS OF BEARINGS: N53°20'E BEING THE CENTERLINE OF LINNIE CANAL AS PER THE SHORT LINE BEACH VENICE CANAL SUBDIVISION No. 1 TRACT, MAP BOOK 7 PAGES 126-127 AS FILED IN THE RECORDS OF THE COUNTY OF LOS ANGELES

BENCHMARK: LA CITY BM 16-00135: EL= 15.574' AT WIRE SPK IN W CURB OF PACIFIC AVE, 5.8' S. OF C/L OF 24TH AVE. DATUM= NAVD88



23-053 4227-008-039

CLIENT: LINNIE 404 LLC PROJECT NO.

DATE OF SURVEY: 6-12-23

ASSESSOR'S I.D. NUMBER:

#### LEGAL DESCRIPTION

SHORT LINE BEACH VENICE CANAL SUBDIVISION No. 1 M.B. 7-126-127 BLK 50 LOT 39

90291

74

404 LINNIE CANA LOS ANGELES C

SCALE 1"=8'

#### ABBREVIATION LEGEND DATE OF REVISION: EAST *drafted by:* DRI SOUTH COMMENTS: WEST ANGLE POINT BEGINNING OF CURVE PLS, LS PP BENCHMARK BOTTOM/TOP OF STAIR PROD BOTTOM/TOP OF SLOPE PUE BACK OF WALK RBR REBAR BOTTOM/TOP OF X RCE CATCH BASIN RHO RANCHO CENTERLINE RTW CHAIN-LINK FENCE R/W CONCRETE NAIL RXR CLEAN OUT SDMH SPK CONCRETE DRAIN DRIVEWAY

END OF CURVE EDGE OF GUTTER EDGE OF PAVEMENT FINISH FLOOR/SURFACE FLOW LINE FOUND GRADE BREAK GARAGE FINISH FLOOR G.M., G. MTR. GAS METER GUY WIRE /L / O/L INLET/OUTLET INVERT IRON PIPE/PIN LANDSCAPING LIGHT STANDARD LEAD AND TAG LEAD, TACK, AND TAG NOT Á PART OFFSET

PROPERTY CORNER

PROPERTY LINE

PERMANENT CONTROL POINT

*MAP ISSUE DATE:* 6-16-23

LICENSED SURVEYOR POWER POLE PRODUCED PUBLIC UTILITY EASEMENT REGISTERED CIVIL ENGINEER RETAINING WALL RIGHT-OF-WAY RAILROAD STORM DRAIN MANHOLE SANITARY SEWER MANHOLE SSMH S/W SPIKE AND WASHER TOP OF CURB TELEPHONE POLE TOP OF GRATE ToS/BoS TOP/BOTTOM OF STAIR W.M., W. MTR. WATER METER M.H. WEEP HOLE

LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA, P.L.S. 8418, CHRISTOPHER W. VASSALLO, PURSUANT TO THE PROFESSIONAL LAND SURVEYOR'S ACT BUSINESS AND PROFESSIONS CODE, CHAPTER 15, SECTIONS 8700-8805. P.LS. 8418

LICENSED SURVEYOR:

OR OTHER DOCUMENTS ARE PREPARED UNDER THE RESPONSIBLE CHARGE OF A CALIFORNIA PROFESSIONAL LAND SURVEYOR

LINE TYPE LEGEND

PROPERTY LINE — -- -- --EXISTING FENCE -X-X-X-

PREPARED BY: I/WS SURVEYING

> 2556 VIA TEJON PALOS VERDES ESTATES CALIFORNIA 90274-1348 PHONE: 310.791.0904 FAX: 310.791.0914

#### **EASEMENT NOTES:**

A TITLE POLICY WAS NOT REVIEWED FOR EASEMENTS DURING THIS SURVEY. NO CLAIM IS MADE AS TO WHETHER OR NOT EASEMENTS EXIST.

#### **BEST MANAGEMENT PRACTICES**

REFER TO CITY HANDOUTS OF THE FOLLOWING LIST FOR GRADING, BUILDING, & FINAL CONSTRUCTION PHASES OF THIS PROJECT

CA1 DEWATERING OPERATIONS — REMOVE SEDIMENTS FROM GROUND WATER
CA2 PAVING OPERATIONS — REDUCE DISCHARGE OF POLLUTANTS FROM PAVING
OPERATIONS

CA3 STRUCTURE CONSTRUCTION AND PAINTING — PREVENT AND REDUCE DISCHARGE FROM CONSTRUCTION SITES AND PAINTING PROJECTS
CA10 MATERIAL DELIVERY AND STORAGE — PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MATERIAL DELIVERY AND STORAGE CA11 MATERIAL USE — PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO

CA11 MATERIAL USE — PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MATERIAL USE
CA12 SPILL PREVENTION AND CONTROL — PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER SYSTEMS WITH GOOD HOUSEKEEPING

POLLUTANTS TO STORM WATER SYSTEMS FROM SOLID WASTE OR CONSTRUCTION CA21 HAZARDOUS WASTE MANAGEMENT — PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM TOXIC MATERIALS CA22 CONTAMINATED SOIL MANAGEMENT — PREVENT AND REDUCE DISCHARGE

CA20 SOLID WASTE MANAGEMENT - PREVENT AND REDUCE DISCHARGE OF

OF POLLUTANTS TO STORM WATER FROM CONTAMINATED SOIL
CA23 CONCRETE WASTE MANAGEMENT — PREVENT AND REDUCE DISCHARGE OF
POLLUTANTS TO STORM WATER FROM CONCRETE WASTE

CA24 SANITARY / SEPTIC WASTE MANAGEMENT — PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM SANITARY AND SEPTIC SYSTEMS

CA30 VEHICLE AND EQUIPMENT CLEANING — PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CLEANING OF VEHICLES AND FOLIPMENT

CA31 VEHICLE AND EQUIPMENT FUELING — PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM FUELING OF VEHICLES AND EQUIPMENT CA32 VEHICLE AND EQUIPMENT MAINTENANCE — PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MAINTENANCE OF VEHICLES AND EQUIPMENT

CA40 EMPLOYEE / SUBCONTRACTOR TRAINING — SWPPP STORM WATER POLLUTION PREVENTION PLAN

ESC1 SCHEDULING — SEQUENCING THE CONSTRUCTION PROJECT TO REDUCE THE AMOUNT OF SOIL EXPOSED TO EROSION

ESC2 PRESERVATION OF EXISTING VEGETATION — MINIMIZE DAMAGE AND EROSION BY PRESERVING THE EXISTING VEGETATION ESC10 SEEDING AND PLANTING — MINIMIZE EROSION WITH SEEDING AND

PLANTING
ESC11 MULCHING — FOR STABILIZING CLEARED AND FRESHLY SEEDED AREAS
ESC20 GEOTEXTILES AND MATS — FOR STABILIZATION OF SOILS
ESC21 DUST CONTROLS — REDUCE DUST AND SOIL EROSION

ESC22 TEMPORARY STREAM CROSSING — RECOMMENDATIONS FOR INSTALLING A TEMPORARY CULVERT, FORD OR BRIDGE ESC23 CONSTRUCTION ROAD STABILIZATION — RECOMMENDATIONS FOR DUST

AND EROSION CONTROL

ESC24 STABILIZED CONSTRUCTION ENTRANCE — RECOMMENDATIONS FOR DUST,

SEDIMENT AND EROSION CONTROL FOR PUBLIC STREETS
ESC30 EARTH DIKE — TEMPORARY BERM OR RIDGE OF COMPACTED SOIL
ESC31 TEMPORARY DRAINS AND SWALES — TO DIVERT OFF—SITE RUNOFF
AROUND A CONSTRUCTION SITE

ESC32 SLOPE DRAIN — TEMPORARY PIPE TO DIVERT RUNOFF FROM THE TOP OF A SLOPE TO THE BOTTOM WITHOUT CAUSING EROSION ESC40 OUTLET PROTECTION — INSTALL RIP—RAP TO REDUCE SEDIMENT IN THE

ESC41 CHECK DAMS — REDUCES VELOCITY OF CONCENTRATED STORM WATER FLOWS AND REDUCES EROSION

ESC42 SLOPE ROUGHENING / TERRACING - CREATES MICROCLIMATES FOR ESTABLISHING VEGETATION

ESC50 SILT FENCE — FOR SEDIMENTATION CONTROL
ESC51 STRAW BALE BARRIERS — FOR SEDIMENTATION CONTROL

ESC52 SAND BAG BARRIER — FOR SEDIMENTATION CONTROL
ESC53 BRUSH OR ROCK FILTER — FOR SEDIMENTATION CONTROL AND VELOCITY
REDUCTION

ESC54 STORM DRAIN INLET PROTECTION — DEVICES WHICH DETAIN SEDIMENT LADEN RUNOFF ESC55 SEDIMENT TRAP — SMALL EXCAVATED OR BERMED ARES FOR

SEDIMENTATION
ESC56 SEDIMENT BASIN — POND CREATED TO ALLOW EXCESSIVE SEDIMENT TO SETTLE

#### **DEMOLITION NOTES**

- 1. A SEPARATE PERMIT SHALL BE OBTAINED FOR ALL DEMOLITION WORK.
- 2. A SEPARATE PERMIT SHALL BE OBTAINED FOR ALL WORK IN THE RIGHT-OF-WAY.

2. CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT PRIOR TO ANY EXCAVATION.

3. NO WORK WHATSOEVER SHALL BE STARTED WITHOUT FIRST NOTIFYING THE INSPECTOR AND SOIL ENGINEER.

4. AQMD NOTIFICATION IS REQUIRED BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE BUILDING AND SAFETY DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.

5. CONTRACTOR OR OWNER TO OBTAIN ADJOINING NEIGHBOR'S WRITTEN PERMISSION TO REMOVE ANY WALLS AND/OR FENCES THAT STRADDLE SHARED PROPERTY LINES OF SUBJECT PROPERTY AND SAID ADJOINING NEIGHBOR.

6. CONTRACTOR SHALL OBTAIN APPROVED TEMPORARY EXCAVATION (SHORING) PLANS WHEN REQUIRED PRIOR TO THE REMOVAL OF ANY RETAINING STRUCTURES AND PRIOR TO ANY GRADING WORK.

#### **EROSION CONTROL NOTES**

1. 1— LAYER LAPPED SANDBAGS ALONG FRONT, REAR, AND SIDEYARD PROPERTY LINES TO REMAIN AND BE MAINTAINED THROUGHOUT CONSTRUCTION.

2. DURABLE TEMPORARY FENCING (CHAIN LINK FENCING) TO BE INSTALLED AT PERIMETER OF PROPERTY WITHIN PROPERTY LINES TO REMAIN AND BE MAINTAINED THROUGHOUT CONSTRUCTION.

3. TEMPORARY POND SEDIMENT TRAP CREATED BY EARTHEN EMBANKMENTS WITHIN LOW LYING AREA OF SITE, AWAY FROM CONSTRUCTION ACTIVITY, TO BE CREATED TO COLLECT AND ALLOW FOR THE SETTLING OF SEDIMENT FROM STORMWATER VOLUMES.

4. ON—SITE VEHICLE LOADING AREA. TO BE MULCHED OR GRAVELED WHERE SLAB DOES NOT OCCUR TO PREVENT TRACKING OF LOOSE SOILS DURING THE DURATION OF CONSTRUCTION.

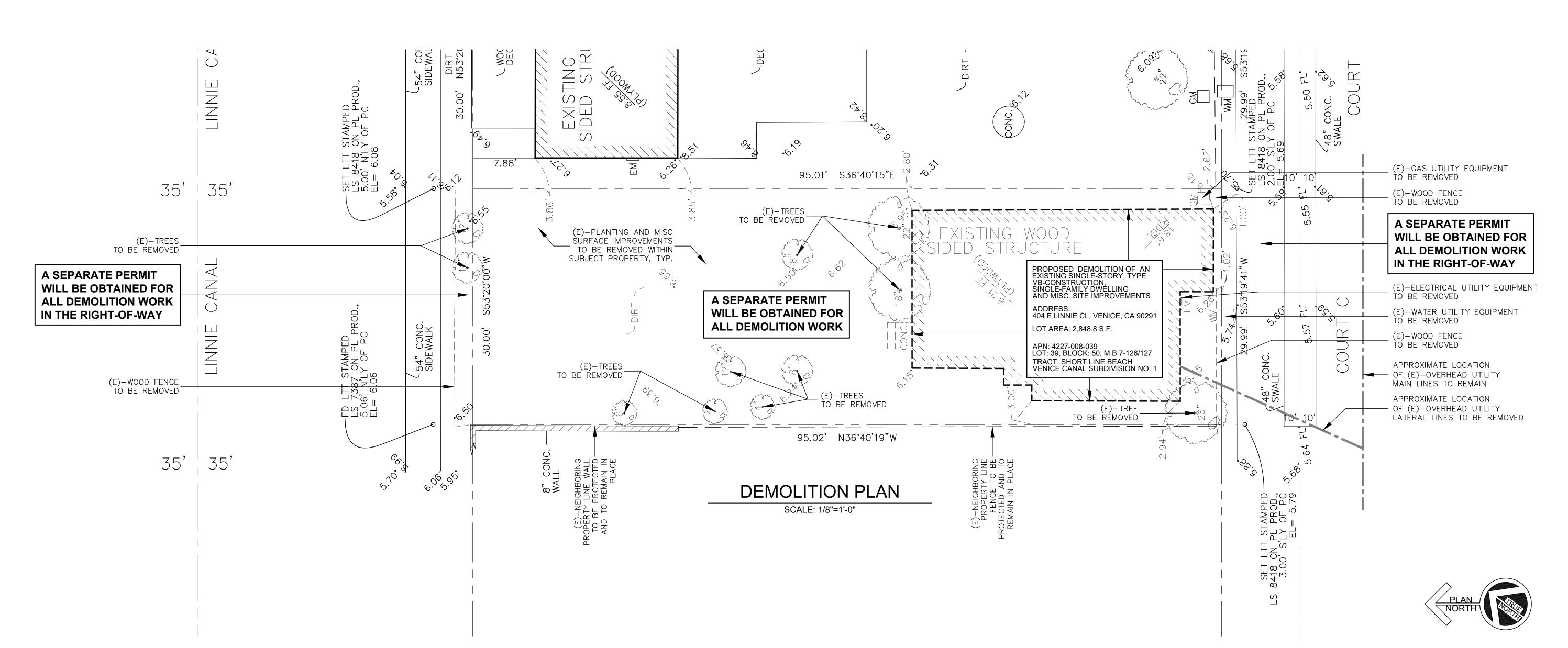
5. ON—SITE STORAGE TO BE LOCATED IN BUILDING ONCE FOUNDATION AND SLAB ARE INSTALLED. ON—SITE STORAGE TO BE LOCATED IN FRONTYARD PRIOR TO INSTALLATION OF FOUNDATION AND SLAB.

6. ALL GRADING SHALL BE DONE WITH CONTINUOUS WATERING TO CONTROL DUST. PRIOR TO ANY EXCAVATION THE AREA SHALL BE SATURATED WITH WATER TO CONTROL DUST.

7. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED AND MANAGED IN A MANNER TO MINIMIZE THE POTENTIAL OF POLLUTANTS TO ENTER THE STORMDRAIN.

8. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.







Venice, CA 90291

REVISIONS

2023-10-16
CDP APP SUBMITTAL

2024-07-16
CDP RE-SUBMITTAL

DEMOLITION PLAN

A-1.1

Peters
Architecture Inc.

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Laguna Hills, CA 92653
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www.capeters.com

#### PERMEABLE YARD REQUIREMENT

1. (PER VENICE SPECIFIC PLAN SECTION 10.E.3.b)
MIN. PERMEABLE YARD AREA LOCATED WITHIN CANAL
PROPERTY LINE AND FRONT OF STRUCTURE

= 15' X LOT WIDTH AND MIN. OF 450 S.F.

= 15' X 30' = 450 S.F.

ACTUAL PROVIDED AREA = 450 S.F.

2. (PER VENICE SPECIFIC PLAN SECTION 5.R)
MAX. 1 S.F. OF NON-POROUS SURFACE MATERIAL EACH
AND COLLECTIVELY COMPRISING LESS THAN TWO-THIRDS
OF THE TOTAL SURFACE AREA WITHIN THE REQUIRED
PERMEABLE FRONT YARD AREA
= % X 450 S.F. = 300 S.F. MAXIMUM ALLOWABLE

ACTUAL NON-POROUS SURFACE MATERIAL = 27 S.F.

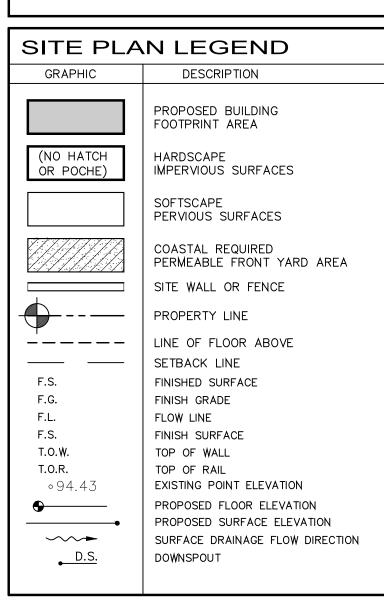
3. IMPERMEABLE GROUND COVER MATERIALS WITHIN REQUIRED PERMEABLE AREA LIMITED TO 15% OF REQUIRED AREA:

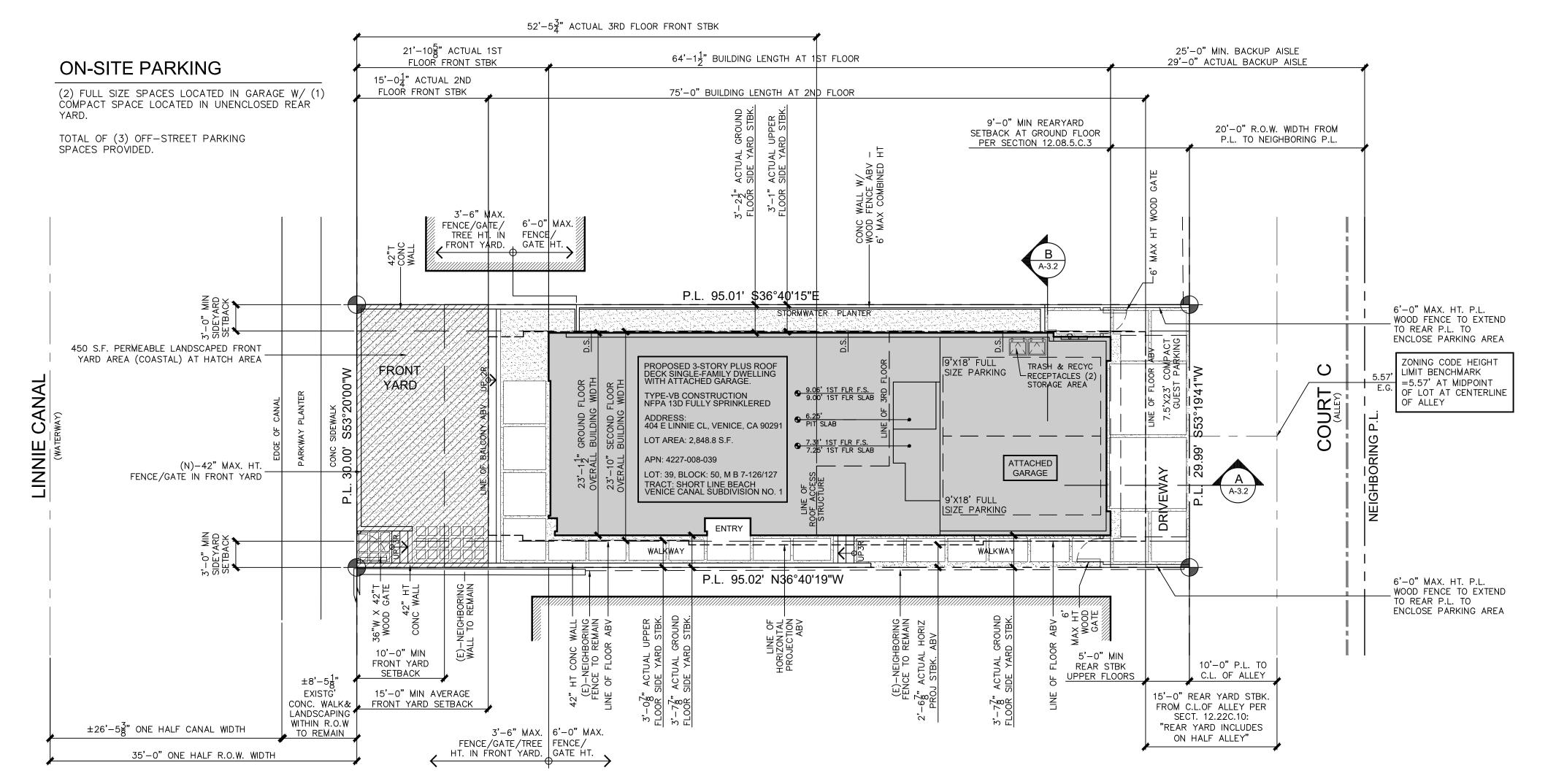
15% X MIN. PERMEABLE AREA = 15% X 450 S.F.

= 67.5 S.F. MAXIMUM ALLOWABLE

ACTUAL IMPERMEABLE GROUND COVER = 34 S.F.

IN ORDER TO MAINTAIN AN OPEN AND VISIBLE ACCESS CORRIDOR, TO ENHANCE VISUAL QUALITY, AND TO PRESERVE THE WATER QUALITY AND BIOLOGICAL PRODUCTIVITY OF THE CANALS, AN UNCOVERED AND PERMEABLE YARD AREA TOTALING NO LESS THAT 15 X THE WIDTH OF THE SITE (IN THIS CASE: 15' X 30' = 450 S.F.) SHALL BE MAINTAINED ON THE PROJECT SITE IN THE FRONT YARD AREA BETWEEN THE STRUCTURE AND THE FRONT (SHERMAN CANAL) PROPERTY LINE. UNCOVERED MEANS THAT NO FILL OR BUILDING EXTENSIONS (I.E. CHIMNEYS, BALCONIES, STAIRS, TRELLISES) SHALL BE PLACED IN OR OVER THE PERMEABLE YARD AREA WITH THE EXCEPTION OF FENCES OR GARDEN WALLS (NOT TO EXCEED 42 INCHES IN HEIGHT), PERMEABLE DECKS AT GRADE (NOT TO EXCEED 18 INCHES IN HEIGHT), AND AN UNDERGROUND CISTERN FOR WATER RETENTION. THE PERMEABLE YARD AREA MAY INCLUDE MINIMAL COVERAGE WITH IMPERMEABLE PAVERS, STONES, CONCRETE WALKWAYS OR OTHER SIMILAR GROUND COVER, BUT IN NO EVENT SHALL IMPERMEABLE MATERIALS OCCUPY MORE THAT FIFTEEN PERCENT (15%) OF THE TOTAL AMOUNT OF THE REQUIRED PERMEABLE YARD AREA.





SITE PLAN -PLANNING DEPT SCALE: 1/8"=1'-0"



# 404 Linnie RESIDENCE

404 E Linnie Canal Venice, CA 90291

REVISIONS

2023-10-16 CDP APP SUBMITTAL 2024-07-16 CDP RE-SUBMITTAL

SITE PLAN PLANNING DEPT

A-1.2



#### DRAINAGE NOTES

ALL ROOF & DECK SURFACE DRAINAGE QUANTITIES TO BE COLLECTED W/ GUTTERS OR AREA DRAINS. GUTTER OR AREA DRAIN LINES TO BE DIRECTED TO EITHER EXTERNAL OR INTERNAL DOWN SPOUTS. DOWN-SPOUTS TO DISCHARGE INTO ON-SITE PLANTER BOX SOIL AND PLANT-BASED FILTRATION DEVICE. OVERFLOW QUANTITIES SHALL SHEET FLOW INTO ALLEY. DOWN-SPOUTS SHALL NOT DISCHARGE ONTO OTHER SITE

2. ALL FRONT YARD YARD SURFACE DRAINAGE QUANTITIES TO SHEET FLOW TO ON-SITE PERCOLATION DRAIN. OVERFLOW QUANTITIES SHALL BE DIRECTED INTO SUB-TERRANEAN DRAIN LINES, BE DISCHARGED TO SOUTHERLY PORTIONS OF SIDE YARDS, SHEET FLOW TO ALLEY SWALE LEADING TO PUBLIC CATCH-BASIN.

3. ALL SIDE AND REAR YARD SURFACES TO BE PERMEABLE. DRAINAGE QUANTITIES TO BE ABSORBED WITHIN PERMEABLE SURFACES. OVERFLOW QUANITITES TO BE DIRECTED TO ALLEY SWALE LEADING TO PUBLIC CATCH-BASIN.

4. REFER TO 'LID' PLANS FOR COMPLETE INFORMATION ON ON-SITE PERCOLATION, COLLECTION AREAS, OVERFLOW SYSTEM, AND OTHER INFORMATION RELATED

5. DRAINAGE WITHIN BUILDING TO BE CONVEYED IN A MINIMUM 4" DIA. RIGID PIPE AT INTERNAL LINES AND 3" DIA. AT EXTERIOR DOWNSPOUTS.

6. DRAINAGE OUTSIDE BUILDING TO BE CONVEYED IN A MINIMUM 3" DIA ROUND PVC. AREA DRAINS SHALL BE 6" SQUARE OR 6" ROUND.

'. THE LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM

FALL OF 6 INCHES WITHIN THE FIRST 10 FEET. (R401.3) 8. MIN. PIPE STRENGTH IS SCHEDULE 40 OR SDR 35

9. MAXIMUM GRADIENT FOR SHEET FLOW IS 10%

10. MINIMUM ACCEPTABLE GRADIENTS FOR

CONCENTRATED FLOWS: EARTH 2.0% ASPHALTIC CONCENTRATE 1.0% CONCRETE IN EARTH 0.5%

TERRACE DRAINS 6.0%

INTERCEPTOR DRAINS 2.0%

#### L.I.D. PLANTER BOX AREA

TOTAL ROOF AREA = 1,846.2 S.F. (REFER TO ROOF PLAN)

L.I.D. PLANTER BOX SIZING: PLANTER BOX MIN AREA = ROOF AREA X 0.05 = 1,846.2 SF X 0.05 = 142.5 SF

AREA PROVIDED = 142.5 S.F. (LOCATED IN EAST SIDE YARD)

#### SEA-LEVEL RISE & FLOOD ORDINANCE NOTES

. ALL ELEVATIONS GIVEN ARE RELATIVE TO NAVD88 DATUM. REFER TO SURVEY FOR NAVD88 REFERENCE.

2. THE SUBJECT PROPERTY IS WITHIN FEMA FLOOD ZONE 'AE' WITH A BASE FLOOD ELEVATION (BFE) OF 8.00 FT.

3. PER CITY OF LOS ANGELES BASE FLOOD ORDINANCE, NO OCCUPIABLE SPACE SHALL BE LOCATED BELOW THE BASE FLOOD ELEVATION PLUS 1 FT = 8.00' + 1.00' = 9.00'

4. PER CALIFORNIA COASTAL COMMISSION, THE SEA-LEVEL RISE (SLR) ELEVATION IS 6.80'. FINISH FLOORS LOCATED BELOW 6.80' OF SLR REQUIRE WATERPROOF MEASURES.

#### **IRRIGATION NOTES**

AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:

I. CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER

2. WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE—BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUIT.

#### UTILITY NOTE

THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UPS. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

#### **HEAT ISLAND NOTES:** "PER LAGBC SEC 4.106.7"

HARDSCAPE AREAS, INCLUDING PATHWAYS, PATIOS, DRIVEWAYS AND OTHER PAVED AREAS = 584 S.F.

100% OF HARDSCAPE AREAS SHALL BE UNCOLORED CONCRETE WITH SAND CEMENT FINISH ACHIEVING A SOLAR REFLECTANCE OF 0.30 PER ASTM E918 OR ASTM C1549.

SITE PLAN LEGEND DESCRIPTION PROPOSED BUILDING FOOTPRINT AREA (NO HATCH HARDSCAPE OR POCHE) IMPERVIOUS SURFACES PERVIOUS SURFACES COASTAL REQUIRED PERMEABLE FRONT YARD AREA SITE WALL OR FENCE <del>----</del> PROPERTY LINE LINE OF FLOOR ABOVE SETBACK LINE F.S. FINISHED SURFACE FINISH GRADE F.G. FLOW LINE F.S. FINISH SURFACE T.O. \. TOP OF WALL T.O.R. TOP OF RAIL

EXISTING POINT ELEVATION

DOWNSPOUT

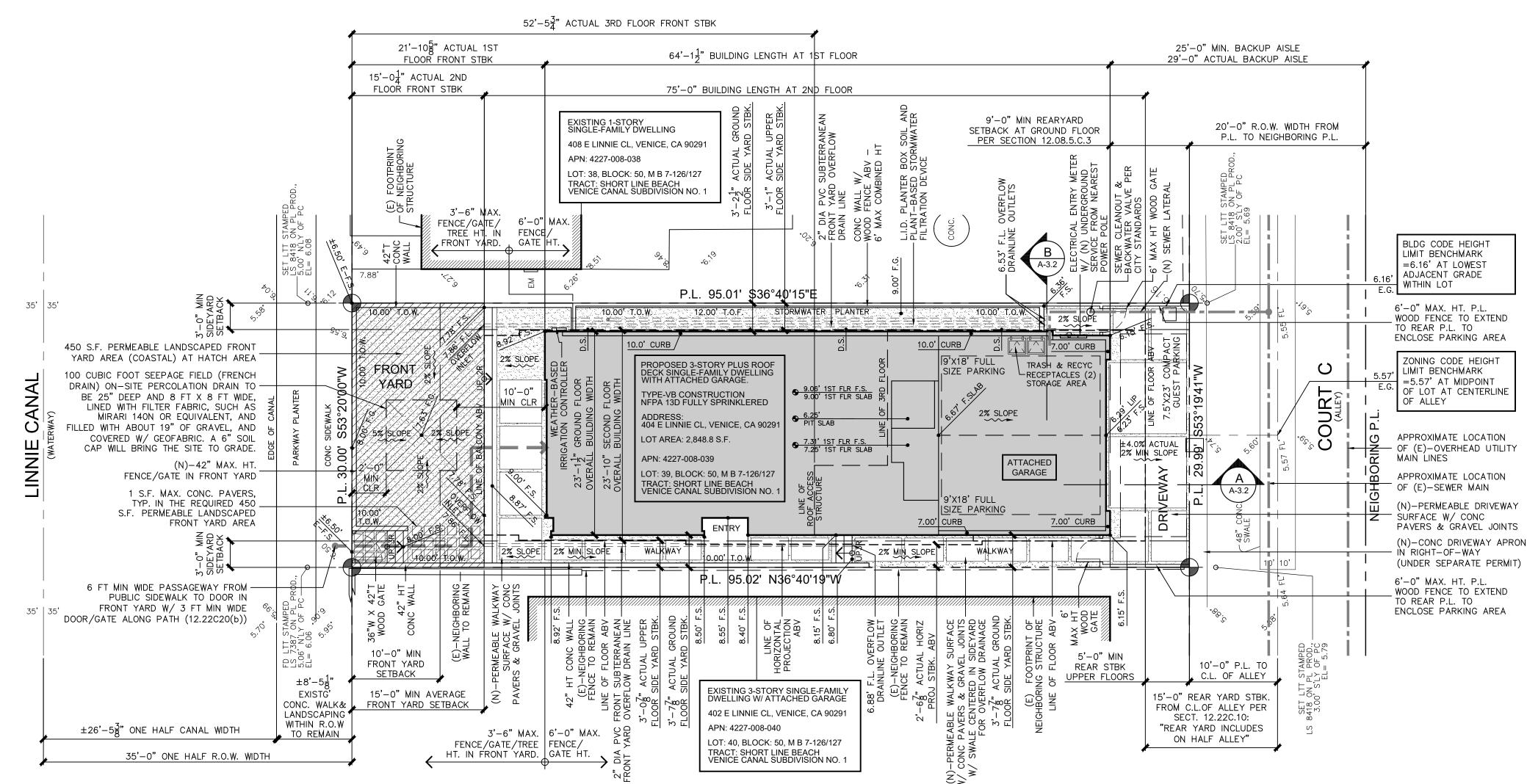
PROPOSED FLOOR ELEVATION

PROPOSED SURFACE ELEVATION

SURFACE DRAINAGE FLOW DIRECTION

。94.43

\_\_\_\_D.S.



SITE PLAN -BUILDING DEPT SCALE: 1/8"=1'-0"



#### 404 Linnie RESIDENCE

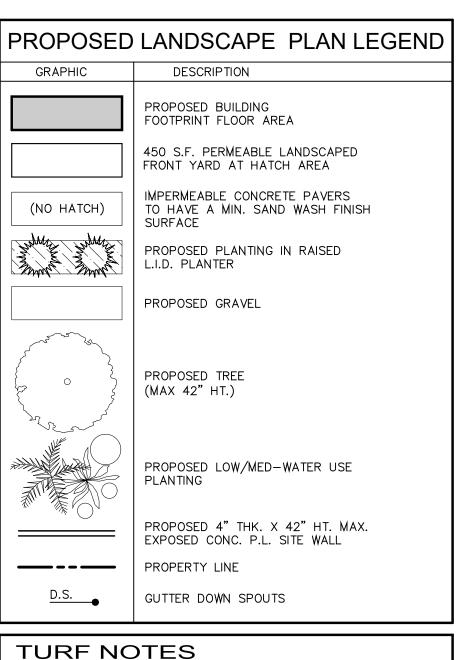
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SITE PLAN -**BUILDING DEPT** 

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. NO TURF AREA IS PROPOSED.

| SED LANDSCAPE PLAN LEGEND                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                           | LANDSCAPE NOTES                                                                                                                                                                                                                                                                                     |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| _                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | DESCRIPTION                                                               | 1. ALL PORTIONS OF THE REQUIRED FRONT YARD NOT USED FOR NECESSARY DRIVEWAYS AND WALKWAYS, INCLUDING DECORATIVE WALKWAYS, SHALL BE USED FOR PLANTING, AND SHALL NOT OTHERWISE BE PAVED.                                                                                                              |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | PROPOSED BUILDING<br>FOOTPRINT FLOOR AREA                                 | 2. ( NOT USED)                                                                                                                                                                                                                                                                                      |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | 450 S.F. PERMEABLE LANDSCAPED<br>FRONT YARD AT HATCH AREA                 | 3. ALL PLANTED AREAS SHALL BE EQUIPPED WITH WITH AN AUTOMATIC IRRIGATION SYSTEM, WHICH SHALL BE PROPERLY MAINTAINED.                                                                                                                                                                                |
| H)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | IMPERMEABLE CONCRETE PAVERS<br>TO HAVE A MIN. SAND WASH FINISH<br>SURFACE | 4. IRRIGATION SYSTEM SHALL BE DESIGNED FOR MAXIMUM WATER EFFICIENCY, UTILIZING LOW FLOW DRIP VALVES, LOW FLOW SPRAY HEADS IRRIGATION SYSTEM SHALL UTILIZE "SMART" WEATHER—BASED TECHNOLOGY IRRIGATION CONTROLLERS WITH RAIN—SENSORS.                                                                |
| The state of the s | PROPOSED PLANTING IN RAISED<br>L.I.D. PLANTER                             | 5. LANDSCAPING AND IRRIGATION SHALL BE INSTALLED BY LICENSED CONTRACTOR EXPERIENCED IN LANDSCAPE AND IRRIGATION DESIGN AND INSTALLATION.                                                                                                                                                            |
| <u> </u>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | PROPOSED GRAVEL                                                           | 6. ALL WORK IN RIGHT—OF—WAY REQUIRES SEPARATE PERMIT.  7. ALL LOCAL, MUNICIPAL AND STATE REGULATIONS, RULES, AND LAWS GOVERNING OR RELATING TO LANDSCAPING AND IRRIGATION ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE PLANS, AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | PROPOSED TREE<br>(MAX 42" HT.)                                            | 8. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.                                                                                                                                                       |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                           | 9. BUILDING ON SITE WITH 500 SQUARE FEET OR MORE OF CUMULATIVE LANDSCAPE AREA SHALL HAVE SEPARATE METERS OR SUBMETERS FOR OUTDOOR WATER USE.                                                                                                                                                        |
| $\sim$                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | I DRADASED LAW/MED_WATER LISE                                             |                                                                                                                                                                                                                                                                                                     |

| 4" THK. X 42" HT. MAX.<br>ONC. P.L. SITE WALL<br>LINE | 11. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OR COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE. |
|-------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| WN SPOUTS                                             | 12. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER SYSTE                                                                                                                                                                             |
|                                                       | 13. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO DEPTH OF SIX INCHES INTO THE SOIL.                |

WHERE MULCH IS CONTRAINDICATED.

10. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL

CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS

EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS,

| PLANTING LIST                                                                                                                       | 0175                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | 0.777                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | WUCOLS<br>CATEGORY<br>OF WATER                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | HEAT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
|-------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Designation Botanical name, COMMON NAME                                                                                             | SIZE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | QIY                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | NEEDS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| TREES/PALMS/HEDGES<br>1A. Chamaerops humilis, MEDITERRANEAN FAN PALM<br>1B. Podocarpus elongatus, ICEE BLUE PODOCARPUS              | 15 GAL<br>24–26 BOX                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | 1<br>8                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | L<br>M                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | HARDSCAPE AREA<br>DRIVEWAYS AND C                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| GRASSES/ACCENTS:<br>2A. Festuca glauca, BLUE FESCUE<br>2B. Aloe scorpioides, ALOE VERA<br>2C. Boutelua Gracilis, BLUE GRAMA GRASS   | 1 GAL<br>5 GAL<br>1 GAL                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | 32<br>16<br>17                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | L<br>L<br>L                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | CONCRETE WITH S<br>A SOLAR REFLECT<br>OR ASTM C1549.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| PERENNIALS/SHRUBS:                                                                                                                  | 5 GAL                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 4                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | L                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | IRRIGAT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| VINES:<br>4A. Antigonon leptopus, MEXICAN CREEPER                                                                                   | 1 GAL                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 4                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | L                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | 1. USE OF RECLAIN<br>ENCOURAGED. IF US                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| GROUNDCOVERS: 5A. Aeonium 'Mint Saucer', GREEN AEONIUM 5B. Carex tumulicola, BERKELY SEDGE 5C. Sedum brevifolium. SEDUM PREVIFOLIUM | 6" POT<br>1 GAL<br>FLATS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | 27<br>23<br>2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | L<br>L<br>L                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | ONLY DRIP OR MICROUSED. OTHER WATER CONSIDERED, SUCH CONTROLLERS.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| NOTES:                                                                                                                              | -                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 2. AUTOMATIC IRRIGATION LANDSCAPING PROVITHE TIME OF FINAL FOLLOWING:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|                                                                                                                                     | Planting Designation Botanical name, COMMON NAME  TREES/PALMS/HEDGES  1A. Chamaerops humilis, MEDITERRANEAN FAN PALM 1B. Podocarpus elongatus, ICEE BLUE PODOCARPUS  GRASSES/ACCENTS: 2A. Festuca glauca, BLUE FESCUE 2B. Aloe scorpioides, ALOE VERA 2C. Boutelua Gracilis, BLUE GRAMA GRASS  PERENNIALS/SHRUBS: 3A. Phormium tenax, NEW ZEALAND FLAX  VINES: 4A. Antigonon leptopus, MEXICAN CREEPER  GROUNDCOVERS: 5A. Aeonium 'Mint Saucer', GREEN AEONIUM 5B. Carex tumulicola, BERKELY SEDGE 5C. Sedum brevifolium, SEDUM PREVIFOLIUM | Planting Designation Botanical name, COMMON NAME  TREES/PALMS/HEDGES  1A. Chamaerops humilis, MEDITERRANEAN FAN PALM 1B. Podocarpus elongatus, ICEE BLUE PODOCARPUS  GRASSES/ACCENTS: 2A. Festuca glauca, BLUE FESCUE 2B. Aloe scorpioides, ALOE VERA 2C. Boutelua Gracilis, BLUE GRAMA GRASS  T GAL  PERENNIALS/SHRUBS: 3A. Phormium tenax, NEW ZEALAND FLAX  VINES: 4A. Antigonon leptopus, MEXICAN CREEPER  GROUNDCOVERS: 5A. Aeonium 'Mint Saucer', GREEN AEONIUM 5B. Carex tumulicola, BERKELY SEDGE 5C. Sedum brevifolium, SEDUM PREVIFOLIUM  T SELECTION OF SIZE  1 GAL 6" POT 1 GAL 5C. Sedum brevifolium, SEDUM PREVIFOLIUM  FLATS | Planting Designation Botanical name, COMMON NAME  SIZE QTY  TREES/PALMS/HEDGES  1A. Chamaerops humilis, MEDITERRANEAN FAN PALM 1B. Podocarpus elongatus, ICEE BLUE PODOCARPUS  GRASSES/ACCENTS: 2A. Festuca glauca, BLUE FESCUE 2B. Aloe scorpioides, ALOE VERA 2C. Boutelua Gracilis, BLUE GRAMA GRASS  PERENNIALS/SHRUBS: 3A. Phormium tenax, NEW ZEALAND FLAX  VINES: 4A. Antigonon leptopus, MEXICAN CREEPER  GROUNDCOVERS: 5A. Aeonium 'Mint Saucer', GREEN AEONIUM 5B. Carex tumulicola, BERKELY SEDGE 1 GAL 2 5C. Sedum brevifolium, SEDUM PREVIFOLIUM  PERENTIALS  15 GAL 17 26 POT 23 27 26 POT 23 26 POT 25 27 27 28 28 29 29 20 20 21 21 22 23 24 25 25 26 27 27 28 28 29 20 20 21 22 23 24 24 24 25 26 27 27 28 27 28 28 29 20 20 21 21 22 23 24 24 24 24 24 24 24 24 24 24 25 26 27 26 27 27 28 28 28 29 20 20 21 21 21 21 22 23 24 24 24 24 24 24 24 24 24 24 24 24 24 | Planting Designation Botanical name, COMMON NAME  SIZE  QTY  CATEGORY OF WATER NEEDS  TREES/PALMS/HEDGES  1A. Chamaerops humilis, MEDITERRANEAN FAN PALM 1B. Podocarpus elongatus, ICEE BLUE PODOCARPUS  GRASSES/ACCENTS: 2A. Festuca glauca, BLUE FESCUE 2A. Festuca glauca, BLUE FESCUE 2B. Aloe scorpioides, ALOE VERA 2C. Boutelua Gracilis, BLUE GRAMA GRASS  PERENNIALS/SHRUBS: 3A. Phormium tenax, NEW ZEALAND FLAX  VINES: 4A. Antigonon leptopus, MEXICAN CREEPER  GROUNDCOVERS: 5A. Aeonium 'Mint Saucer', GREEN AEONIUM 5B. Carex tumulicola, BERKELY SEDGE 5C. Sedum brevifolium, SEDUM PREVIFOLIUM  FLATS |

| LANDSCAPE AREAS                                                                                                                                         |              |         |  |  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|---------|--|--|
| LOT AREA                                                                                                                                                | = 2,848.8 SF | = 100%  |  |  |
| BLDG COVERAGE                                                                                                                                           | = 1,464.9 SF | = 51.4% |  |  |
| HARDSCAPE COVERAGE                                                                                                                                      | = 584 SF     | = 20.5% |  |  |
| GRAVEL COVERAGE                                                                                                                                         | = 188 SF     | = 6.6%  |  |  |
| LID PLANTED AREA                                                                                                                                        | = 142.5 SF   | = 5%    |  |  |
| LANDSCAPE AREAS                                                                                                                                         | = 470 SF     | = 16.5% |  |  |
| NOTE: THIS PROJECT HAS NEW LANDSCAPE AREAS OF 500 SQUARE FEET OR LESS AND IS NOT SUBJECT TO THE 2015 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). |              |         |  |  |

| HE   |       |         |       | <b>NO</b> 7 |       | <b>}</b> : |
|------|-------|---------|-------|-------------|-------|------------|
| CAPE | AREAS | S, INCL | UDING | PATHW       | 'AYS, | P          |

DRIVEWAYS AND OTHER PAVED AREAS = 584 S.F. 100% OF HARDSCAPE AREAS SHALL BE UNCOLORED CONCRETE WITH SAND CEMENT FINISH ACHIEVING A SOLAR REFLECTANCE OF 0.30 PER ASTM E918

#### **IRRIGATION NOTES**

1. USE OF RECLAIMED WATER FOR IRRIGATION IS ENCOURAGED. IF USING POTABLE WATER FOR IRRIGATION, ONLY DRIP OR MICROSPRAY IRRIGATION SYSTEMS MAY BE USED. OTHER WATER CONSERVATION MEASURES SHALL BE CONSIDERED, SUCH AS WEATHER BASED IRRIGATION

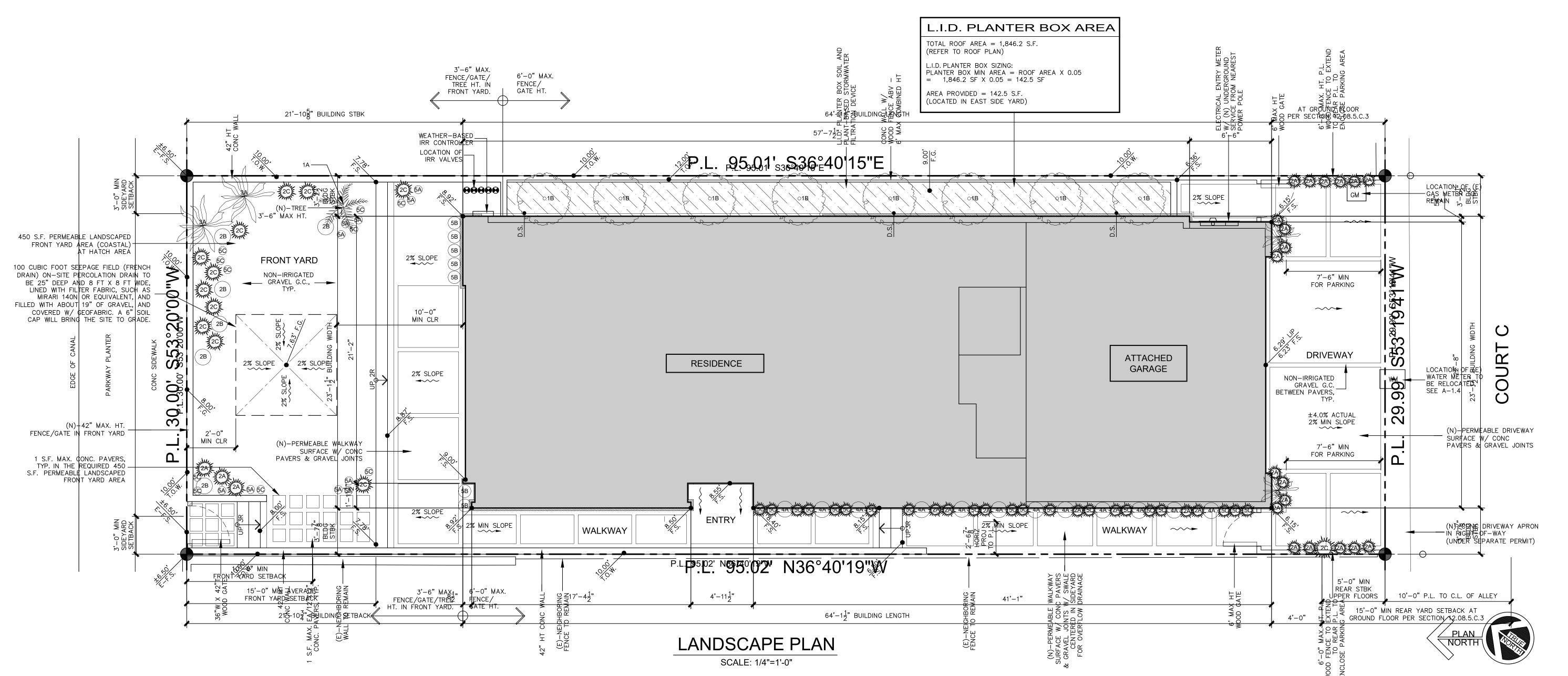
2. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPRCTION SHALL COMPLY WITH THE

A. CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANT'S NEEDS

AS WEATHER CONDITIONS CHANGE.

B. WEATER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATIONS SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.

Peters Architecture Inc. 23177 La Cadena Drive Suite 101 Laguna Hills, CA 92653 (949) 916-4800 info@capeters.com www.capeters.com

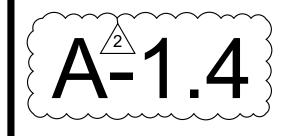




404 E Linnie Canal Venice, CA 90291

**REVISIONS** 2023-10-16 CDP APP SUBMITTAL 2024-07-16 CDP RE-SUBMITTAL

LANDSCAPE PLAN



| IRRIGATION LEGEND |                                                                                                                                                                               |  |  |
|-------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|
| GRAPHIC           | DESCRIPTION                                                                                                                                                                   |  |  |
|                   | UTILITY                                                                                                                                                                       |  |  |
| WM                | EXISTING WATER METER LOCATION, PROVIDE POINT—OF—CONNECTION AFTER METER BUT BEFORE SUPPLY LINE ENTERING BLDG                                                                   |  |  |
| SM                | OUTDOOR WATER USE SUB-METER (NOT NEEDED/USED)                                                                                                                                 |  |  |
| H                 | BRASS GATE VALVE (SIZE PER MAINLINE) —<br>NIBCO T—113 IN ROUND VALVE BOX                                                                                                      |  |  |
|                   | REDUCED PRESSURE BACKFLOW PREVENTER — FEBCO<br>825Y, PER MAINLINE, LOCATE ADJACENT TO VALVE BOX                                                                               |  |  |
| •                 | REMOTE CONTROL LOW-FLOW CONTROL ZONE VALVE 3/4"-1" SIZE (.02-40 GPM) - LOCATION PER PLAN                                                                                      |  |  |
| A1 3<br>1" GPM    | CONTROL VALVE INDICATOR W/ STATION NUMBER, LINE SIZE, AND FLOW RATE IN GALLONS PER MINUTE/HOUR                                                                                |  |  |
| Â                 | AUTOMATIC IRRIGATION MULTI-STATION CONTROLLER W/REMOTE OUTDOOR WEATHER SENSOR AND RAIN CUPINSTALLED TO OUTSIDE FACE OF HOUSE WALL IN OPENEXPOSED AREA WITH NO OVERHANGS ABOVE |  |  |
|                   | PLY NOTE:<br>SUPPLY VIA PUBLIC WATER METER ESTIMATED AT ¾"<br>E @ ±13.5 GPM W/ ±140 PSI.                                                                                      |  |  |
|                   | LINES/HEADS/EMITTERS                                                                                                                                                          |  |  |
|                   | SCH 40 PVC PIPE MAINLINE, SIZE PER<br>METER 24" BELOW FINISH GRADE                                                                                                            |  |  |
|                   | SCH 40 PVC PIPE (LATERALS), SIZE<br>PER PLAN 12" BELOW FINISH GRADE                                                                                                           |  |  |
| ====              | SCH 40 PVC PIPE SLEEVES 2x SIZE OF PIPE ENCLOSED, WIRE SLEEVES TO 1½" OR LARGER AS REQUIRED                                                                                   |  |  |
| •                 | ADJUSTABLE FULL FLOW FLOOD BUBBLER<br>ON 6" RISER W/ ANTI-DRAIN CHECK<br>VALVE - 0.25 GPM @ 30 PSI                                                                            |  |  |
| <u> </u>          | NETAFIM TECHLINE (OR EQUIVALENT) CV DRIPLINE WITH BUILT—IN EMITTERS W/ LINE FLUSHING END VALVE, 0.9 GPH @ 12" O.C                                                             |  |  |
|                   | R NOTES:  DRIPLINE AND BUBBLERS FOR EACH LOCATION TO LIMIT  TER ONTO ALL HARDSCARE AREAS WALLS FENCING AND                                                                    |  |  |

EXCESS WATER ONTO ALL HARDSCAPE AREAS, WALLS, FENCING, AND BUILDINGS.

2. COORDINATE ANY MAINLINE SLEEVING AND LATERAL LINE PIPING

RUNS REQUIRED UNDER PAVING AREAS WITH OTHER TRADES

#### **IRRIGATION NOTES**

1. 1. USE OF RECLAIMED WATER FOR IRRIGATION IS ENCOURAGED. IF USING POTABLE WATER FOR IRRIGATION, ONLY DRIP OR MICROSPRAY IRRIGATION SYSTEMS MAY BE USED. OTHER WATER CONSERVATION MEASURES SHALL BE CONSIDERED, SUCH AS WEATHER BASED IRRIGATION CONTROLLERS.

2. AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM. THE IRRIGATION CONTROLLER SHALL BE OF A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY SOURCE IS INTERRUPTED.

3. PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

4. MANUAL—SHUT—OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY OR ROUTINE REPAIR.

5. AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE OR DRIP IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.

6. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OR LANDSCAPE AND IRRIGATION MAINTENANCE.

7. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

8. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

9. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

10. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.11. CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL

SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

12. OVERHEAD IRRIGATION SHALL NOT BE PERMITTED WITHIN 24 INCHES

OF ANY NON-PERMEABLE SURFACE.

13. A DEDICATED WATER SERVICE METER OF PRIVATE SUBMETER SHALL
BE INSTALLED FOR ALL (NON-RESIDENTIAL IRRIGATED LANDSCAPES OF AT
LEAST 1,000 SF)(RESIDENTIAL IRRIGATED LANDSCAPE AREAS OF AT LEAST

#### **GENERAL NOTES**

PIPE & SLEEVING NOTES:

1. METER CONNECTION, MAINLINE, GATE VALVE, AND LATERAL LINE PIPING ARE DRAWN DIAGRAMMATICALLY. FIELD LOCATE TO MINIMIZE ALL TRENCHING AND SLEEVING.

2. ACTUAL FIELD LOCATIONS OF BURIED PIPE AND SLEEVE RUNS UNDER PAVING MAY VARY BASED OF FIELD CONDITIONS.

3. LOCATE MAINLINE GATE VALVE AND BACKFLOW PREVENTER BEFORE P.O.C. AS SHOWN.

4. LOCATED VALVES AS SHOWN ON PLANS.
5. COMBINE MAINLINE/LATERAL LINE TRENCHING AS OFTEN AS POSSIBLE.

POSSIBLE.

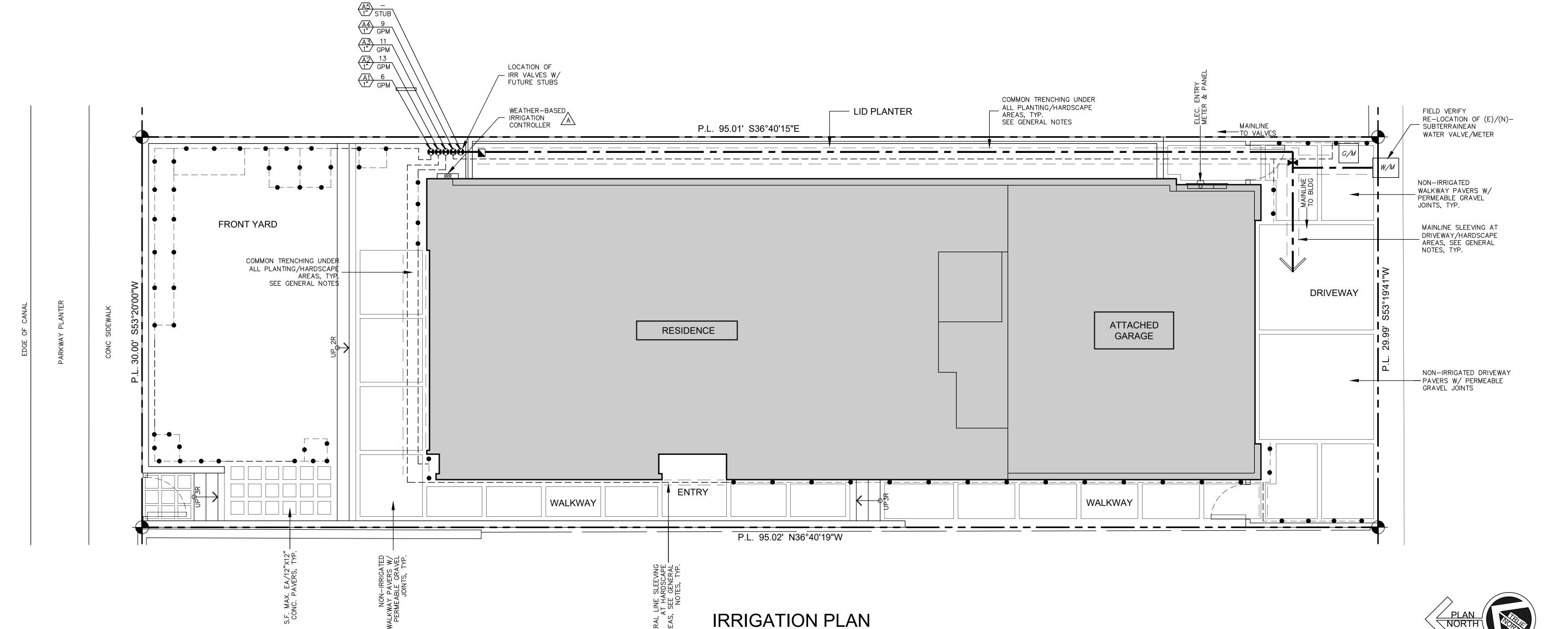
6. COORDINATE ANY MAINLINE SLEEVING AND LATER LINE PIPING RUNS REQUIRED UNDER PAVING AREAS WITH OTHER TRADES, TYP.

POINT-OF-CONNECTION NOTES:

1. CONNECT NEW PVC SCH 40 MAINLINE PIPING (SIZE PER EXISTING)
TO DOMESTIC WATER SUPPLY LINE AFTER WATER METER BUT BEFORE
LINE ENTERS HOUSE.

2. PROVIDE ANY REQUIRED REDUCERS OR PIPING CONNECTIONS.
3. PROVIDE EMERGENCY SHUT—OFF GATE VALVE (SIZE PER MAINLINE) AT POINT—OF—CONNECTION— LOCATE IN ACCESSIBLE LOCATION IN ROUND VALVE BOX WITH LID.





SCALE: 1/4"=1'-0"

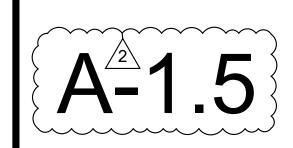
404 Linnie RESIDENCE 404 E Linnie Canal

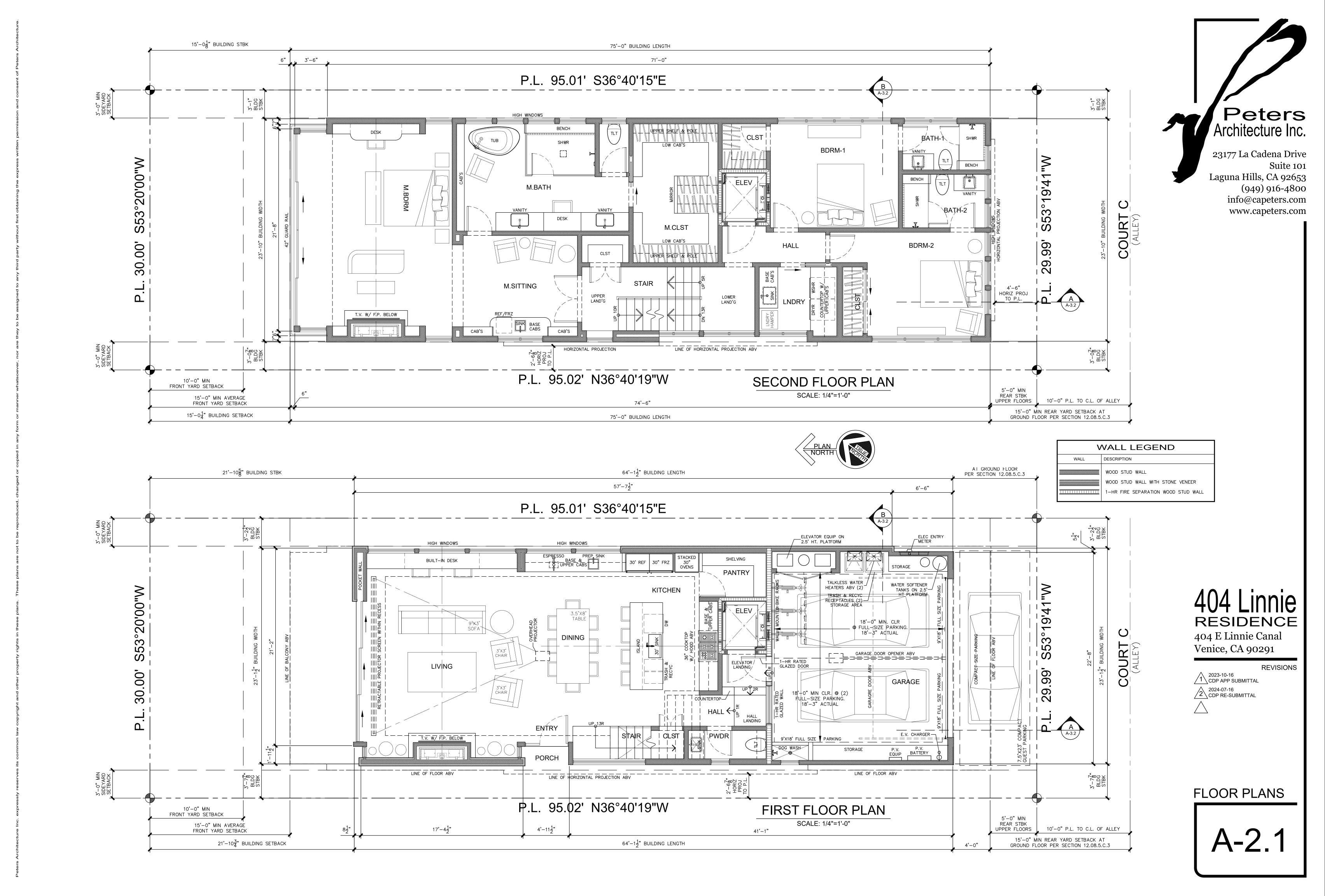
Venice, CA 90291

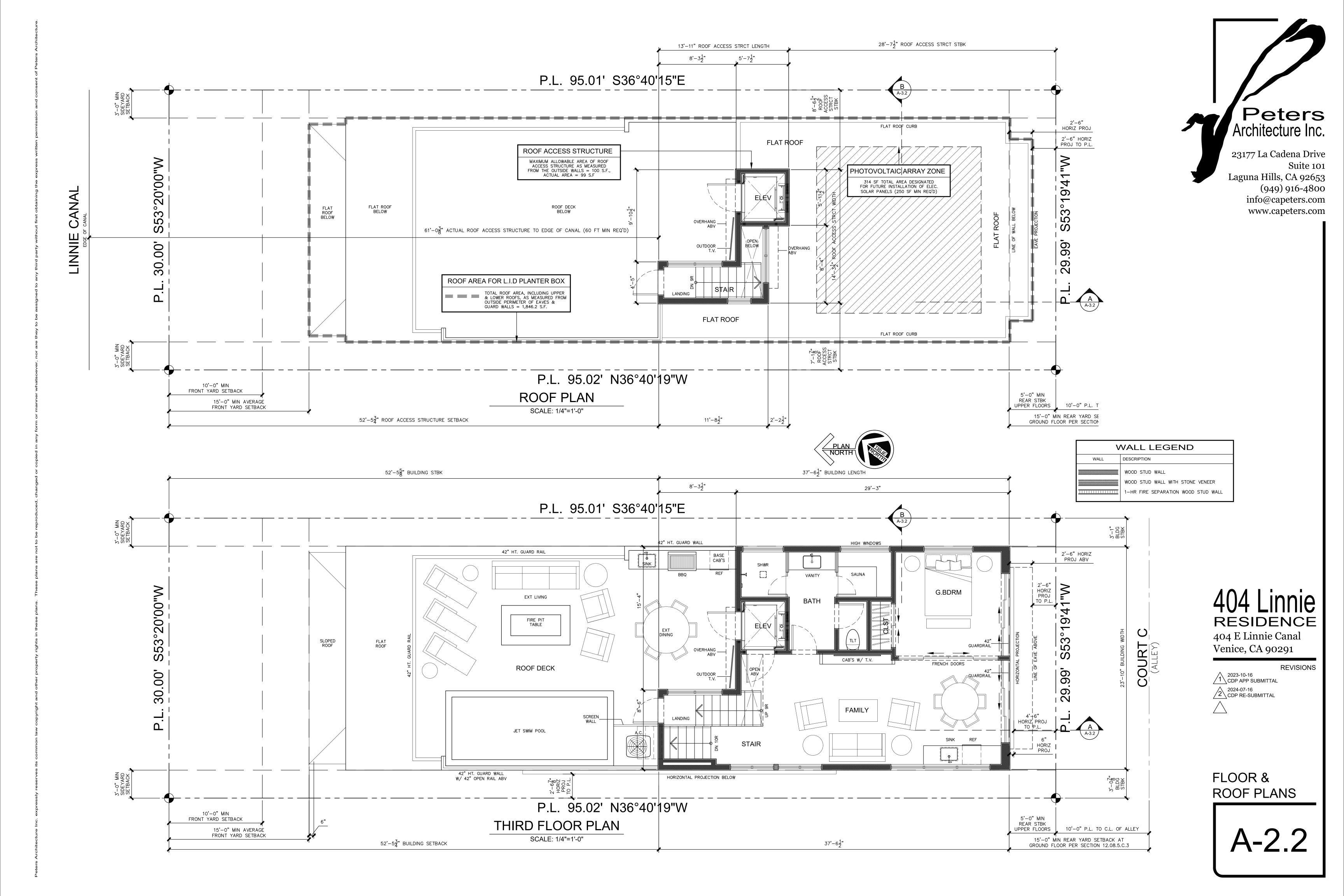
REVISIONS

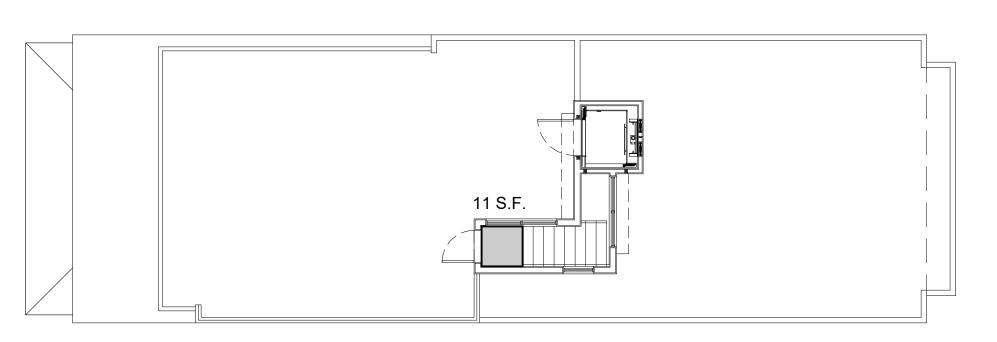
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IRRIGATION PLAN



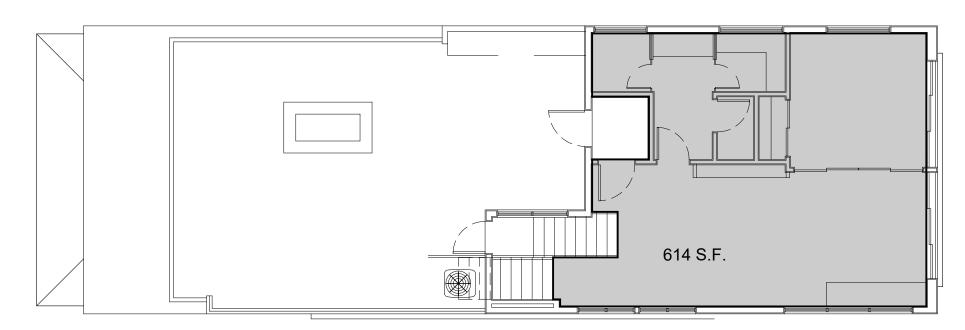






#### **ROOF PLAN**

SCALE: 1/8"=1'-0"



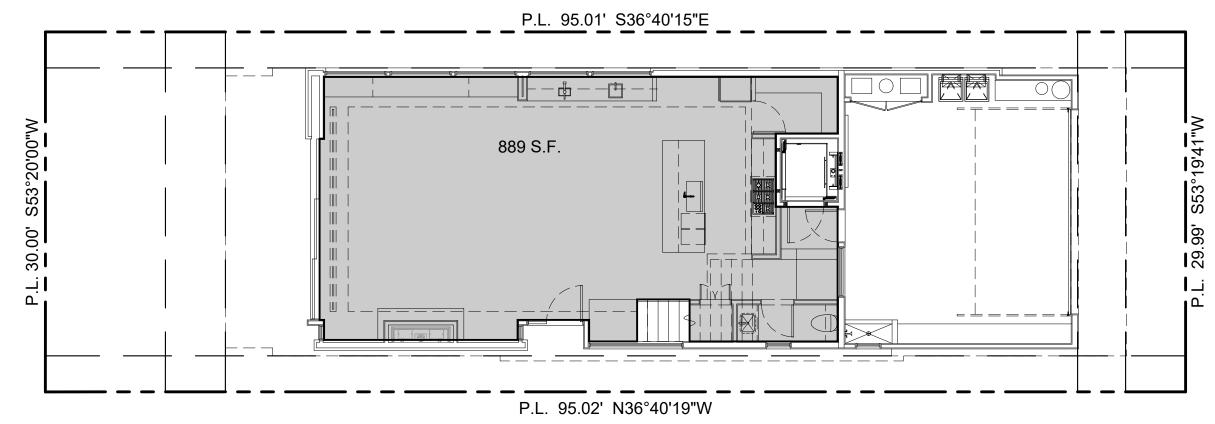
#### THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"



#### SECOND FLOOR PLAN

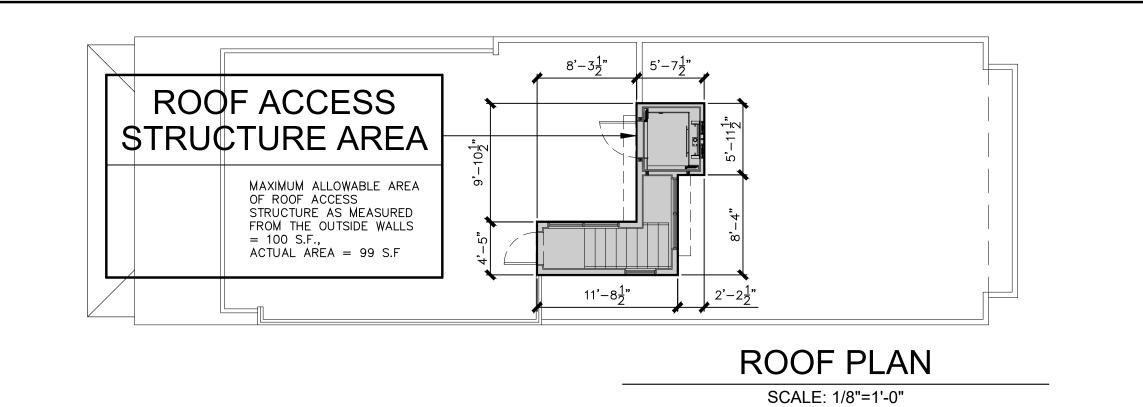
SCALE: 1/8"=1'-0"

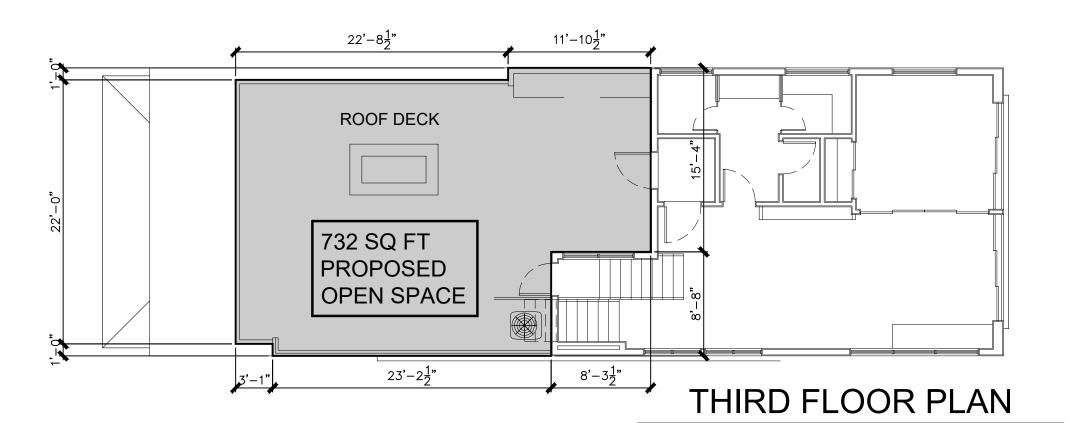


#### FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

#### **ZONING FLOOR AREAS** LOS ANGELES ZONING CODE ZONING CODE FLOOR AREA: ROOF ACCESS STRUCTURE AREA = 11 S.F. = 614 S.F. 3RD FLOOR AREA 2ND FLOOR AREA 1ST FLOOR AREA = 1,583 S.F. = 889 S.F. = 3,097 S.F. TOTAL ZONING FLOOR AREA LAMC SECT 12.03 DEFINITIONS: FLOOR AREA. THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING—OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.



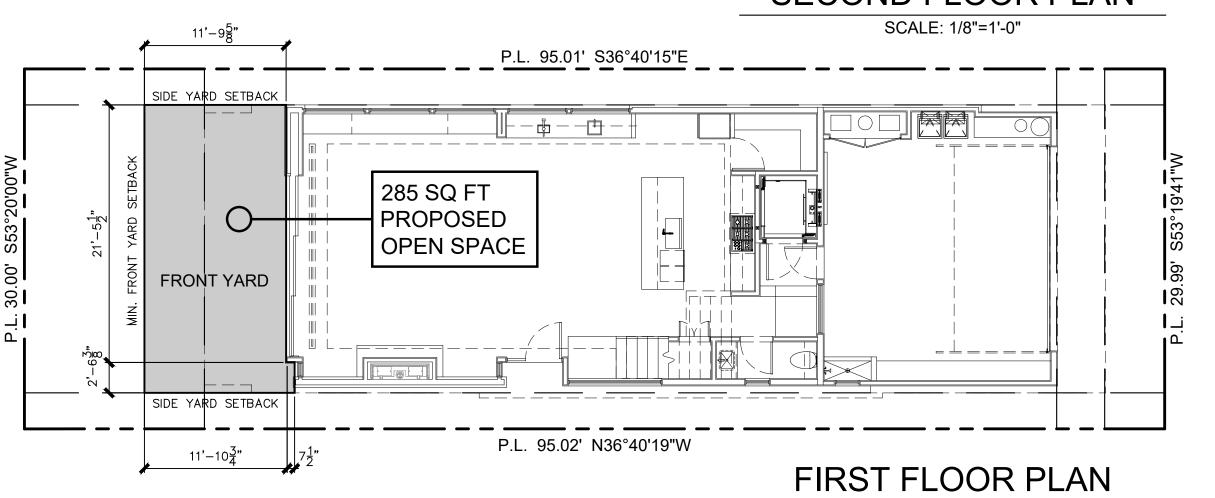




#### SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"



REQUIRED BE LOCATED ABOVE THE FIRST STORY OF THE MAIN BUILDING.

#### ZONING OPEN SPACE AREAS

PER LOS ANGELES ZONING CODE LAMC "RW1" OPEN SPACE REQUIREMENTS PER LAMC 12.08.5.C.5: AREA REQUIRED: LOT AREA = 2,848.8 S.F. (PER CITY ZIMAS) X 10% = 284.88 S.F. PER STORY OPEN SPACE — THERE SHALL BE USABLE OPEN SPACE, SUCH AS PATIO, GARDEN, DECK OR RECREATIONAL AREA, X 3 STORIES = 854.64 S.F. FT TOTAL REQ'D = 284.88 S.F. GROUND FLOOR REQ'D IN THE AMOUNT OF TEN PERCENT OF THE LOT AREA FOR EACH STORY OF A MAIN BUILDING ON THE LOT. SUCH OPEN SPACE SHALL BE IN ADDITION TO THE AREAS AREA PROVIDED WHICH ARE INCLUDED IN REQUIRED YARDS AND MAY BE NOT LESS THAN 100 SQUARE FEET IN SIZE. FOR (REFER TO FLOOR PLANS FOR PROVIDED AREAS): MULTI-STORIED BUILDINGS, SUCH OPEN SPACE NEED NOT = 732 S.F. BE EVENLY DISTRIBUTED BETWEEN ALL FLOORS OF THE MAIN BUILDING, BUT IN NO EVENT MAY MORE THAN TWO—THIRDS OF THE TOTAL USABLE OPEN SPACE SECOND FLOOR DECK GROUND FLOOR YARD = 285 S.F.

ACTUAL TOTAL OPEN SPACE = 1,017 S.F.

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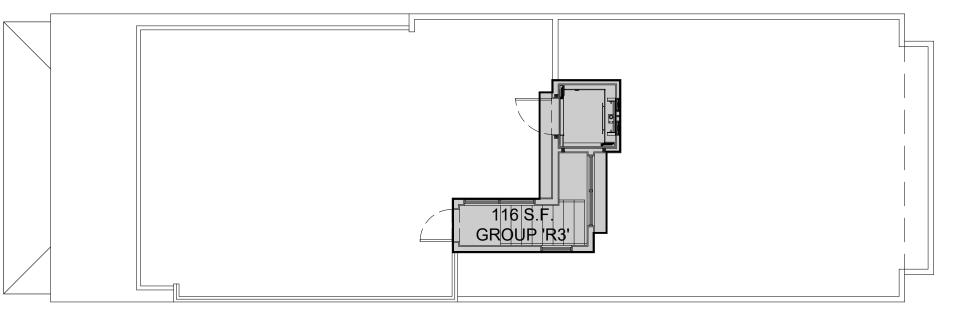
# RESIDENCE

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**REVISIONS** 

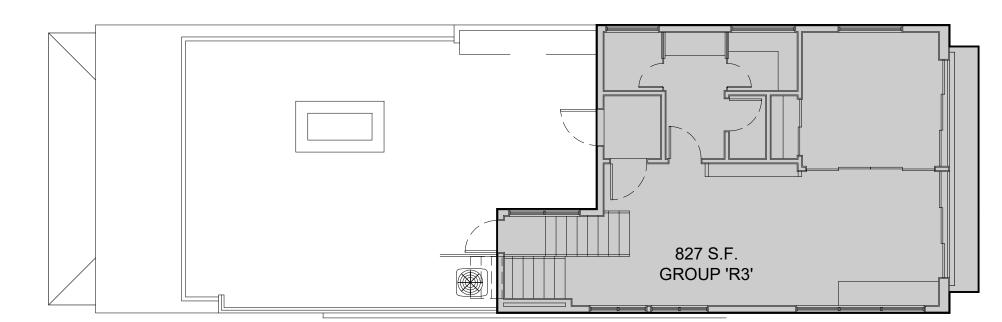
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ZONING CODE AREAS



#### **ROOF PLAN**

SCALE: 1/8"=1'-0"



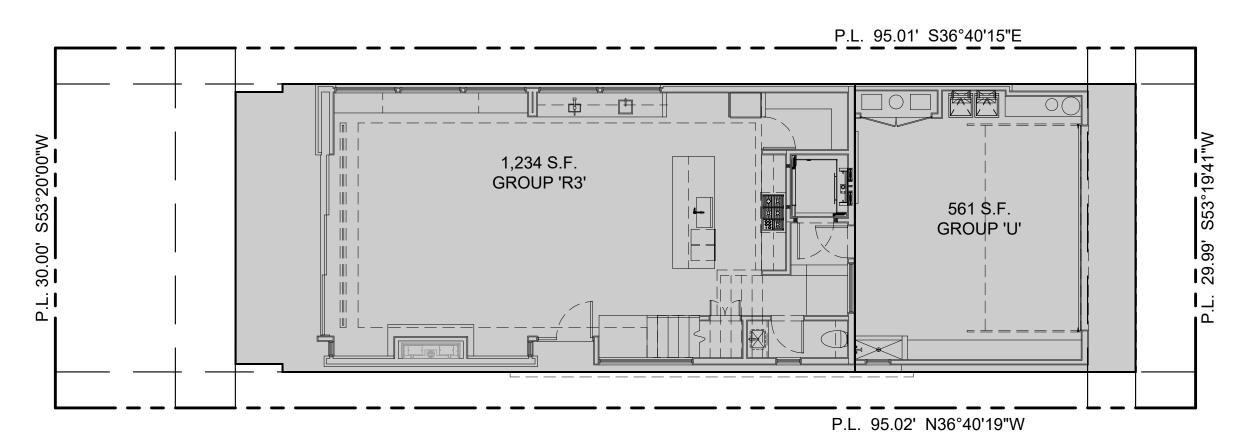
#### THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"



#### SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



#### GROSS FLOOR AREAS

RESIDENTIAL GROUP 'R3' OCCUPANCY:
ROOF ACCESS STRUCTURE = 116 S.F.
3RD FLOOR GROUP 'R3' LIVING AREA = 827 SF
2RD FLOOR GROUP 'R3' LIVING AREA = 1,775 SF
1ST FLOOR GROUP 'R3' LIVING AREA = 1,234 SF
TOTAL GROUP 'R3' LIVING AREA = 3,952 SF

UTILITY GROUP 'U' OCCUPANCY:
1ST FLOOR GROUP 'U' GARAGE AREA = 561 SF

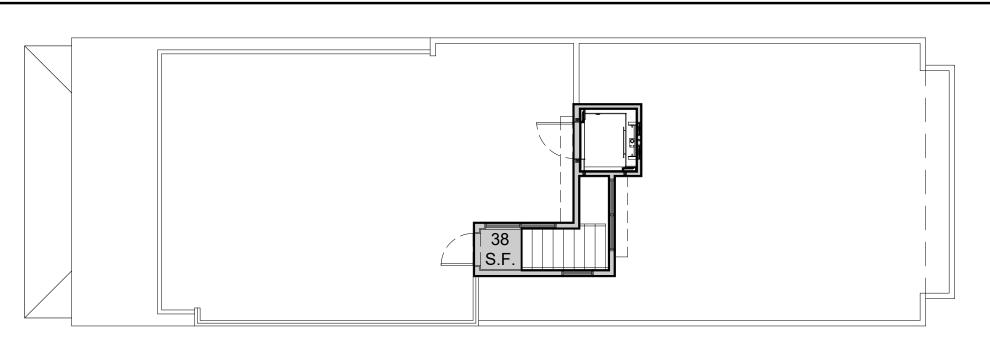
LABC SECT 202 DEFINITIONS:

INTERIOR COURTS.

FLOOR AREA, GROSS. THE FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS OF THE BUILDING UNDER CONSIDERATION, EXCLUSIVE OF VENT SHAFTS AND COURTS, WITHOUT DEDUCTION FOR CORRIDORS, STAIRWAYS, RAMPS, CLOSETS, THE THICKNESS OF INTERIOR WALLS, COLUMNS OR OTHER FEATURES. THE FLOOR AREA OF A BUILDING, OR PORTION THEREOF, NOT PROVIDED WITH SURROUNDING EXTERIOR WALLS SHALL BE THE USABLE AREA UNDER THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE. THE GROSS FLOOR AREA SHALL NOT INCLUDE SHAFTS WITH NO OPENINGS OR

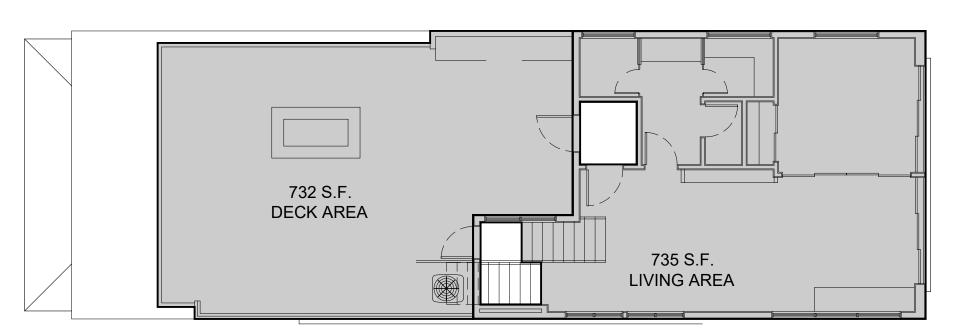
#### FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



#### **ROOF PLAN**

SCALE: 1/8"=1'-0"



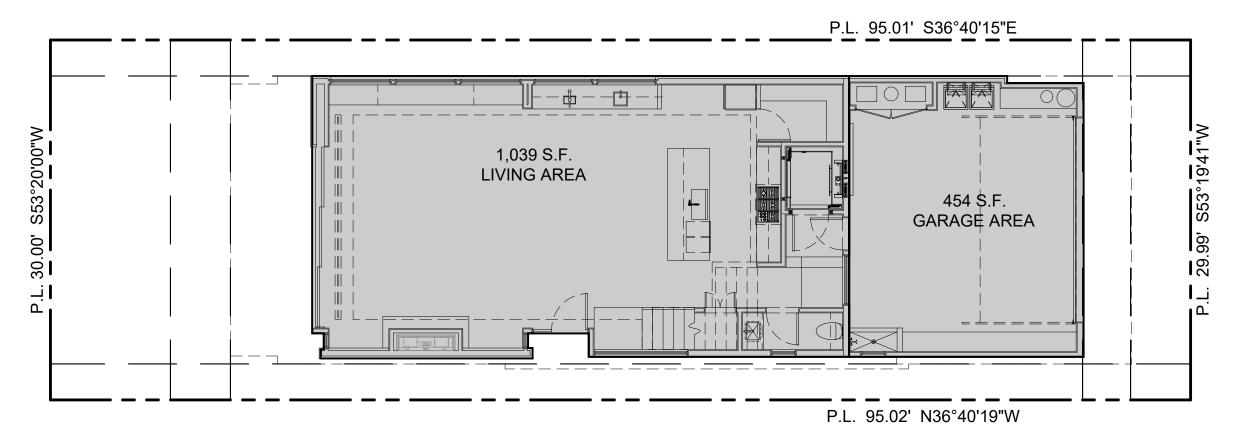
#### THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"



#### SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



#### VALUATION FLOOR AREAS

ACTUAL CONSTRUCTED FLOOR AREAS ENCLOSED & CONDITIONED LIVING AREA: ROOF ACCESS STRUCTURE = 38 S.F. = 724 S.F. = 1,750 S.F. 3RD FLOOR LIVING 2ND FLOOR LIVING = 1,039 S.F. = 3,551 S.F. 1ST FLOOR LIVING TOTAL LIVING AREA ENCLOSED UNCONDITIONED STORAGE AREA:

1ST FLOOR GARAGE AREA: = 4 = 454 S.F. UNENCLOSED & UNCONDITIONED DECK AREA: ROOF DECK TOTAL ENCLOSED FLOOR AREA (LIVING + GARAGE) TOTAL FLOOR AREA
(LIVING + GARAGE + DECK) = 4,737 S.F. <u>VALUATION FLOOR AREAS</u> SHALL INCLUDE PROPOSOSED ACTUAL CONSTRUCTED FLOOR AREAS INCLUDING AREAS WITHIN THE INSIDE

PERIMETER OF THE EXTERIOR WALLS BUT EXCLUDING SHAFT AREAS ON

FLOORS ABOVE THE GROUND FLOOR AND STAIR AREAS WITHIN THE

TOP FLOORS.

#### FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



# Peters Architecture Inc. 23177 La Cadena Drive Suite 101 Laguna Hills, CA 92653 (949) 916-4800 info@capeters.com www.capeters.com

404 Linnie RESIDENCE

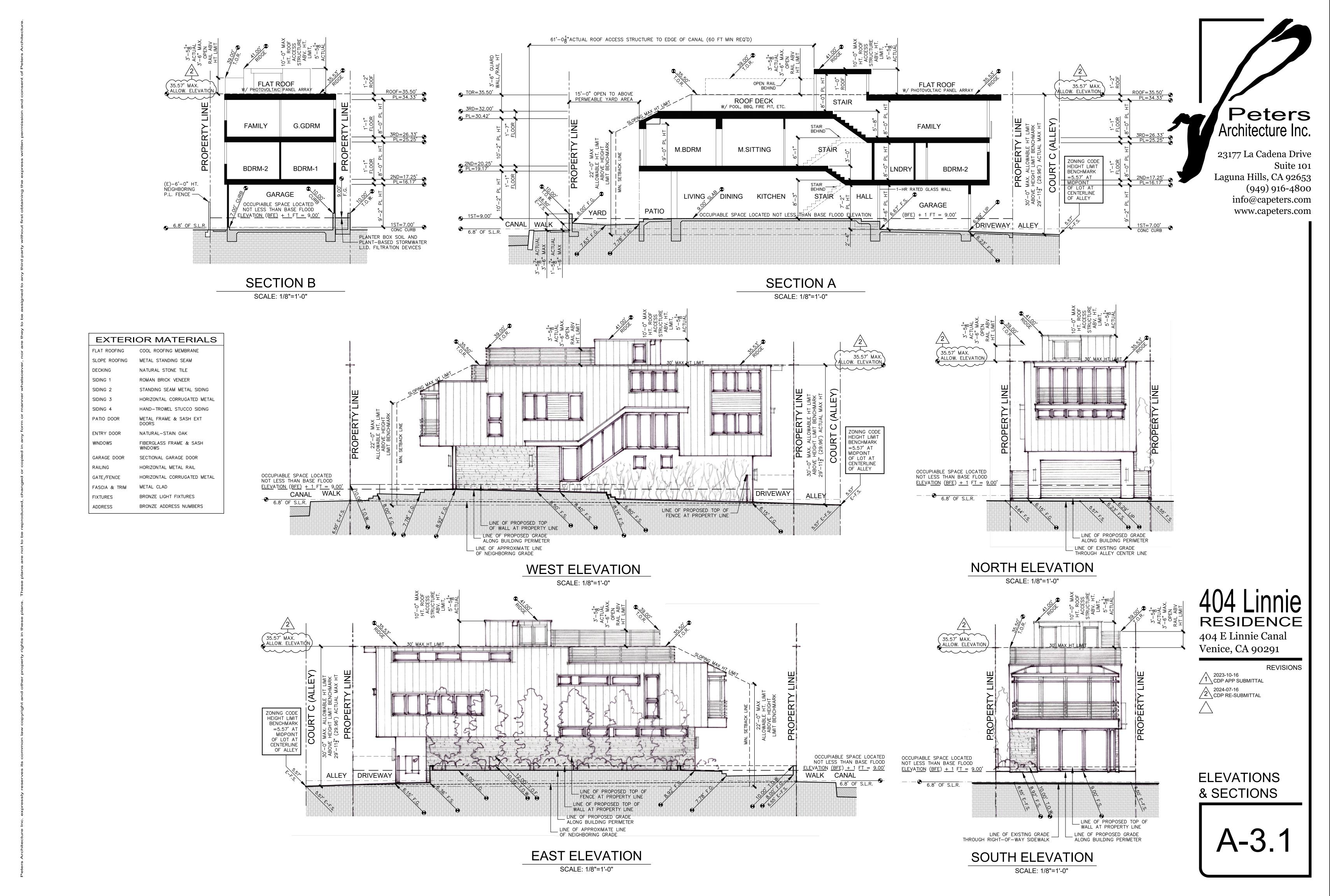
404 E Linnie Canal Venice, CA 90291

> REVISIONS 2023-10-16 CDP APP SUBMITTAL

2023-10-16 CDP APP SUBMITTAL 2024-07-16 CDP RE-SUBMITTAL

BUILDING CODE AREAS

A-2.4



#### **EXTERIOR MATERIALS**





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Venice, CA 90291

REVISIONS

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EXTERIOR MATERIALS

A-3.2