

	PF	ROJECT INFORMATION	F.A.R. PROVIDE	D VS. ALLOWED	SHEET INDEX
	PROJECT SUMMARY:	DEMOLITION OF EXISTING TRIPLEX, CONSTRUCTION OF NEW 25 UNIT APARTMENT BUILDING (20 MARKET RATE & 5 AFFORDABLE UNITS)	PROVIDED TOTAL RESIDENTIAL FLOOR AREA = 16,176 SF	ALLOWED TOTAL LOT AREA: 16,088.75 SF	SheetSheet NameNumberSheet NameARCHITECTURALA0.00COVER
A Contraction	PROJECT ADDRESS:	522 S. VENICE BLVD. VENICE, CA 90291 1700 S. WASHINGTON WAY VENICE, CA 90291	(BUILDABLE LOT AREA = 10,913.05 SF) (F.A.R.) x 10,913.05 = 16,176 SF F.A.R. PROVIDED: 1.48:1	F.A.R. ALLOWED:       3:1         BUILDABLE AREA:       10,913.05 SF         (3) x 10,913.05 SF =       32,739.15 SF	A0.01 A GENERAL NOTES A0.01 B GENERAL NOTES A0.02 LOD
STAR AND ASTR	LOT AREA:	16,096.46 SF			A0.03 GREEN FORMS A0.04 A SPECS / RESEARCH REPORTS
	ACCESSOR'S PARCEL #:	4228003001	TOTAL PROVIDED: 16,176 SF	TOTAL ALLOWED: 32,739.15 SF	A0.04 B SPECS / RESEARCH REPORTS
	TRACT:	TR 6329	RESIDENTIAL DENSITY F	PROVIDED VS. ALLOWED	A0.04 C SPECS / RESEARCH REPORTS A0.04 D SPECS / RESEARCH REPORTS
MARTINE CONTRACT	MAP REFERENCE:	M B 67-37	PROVIDED	ALLOWED	A0.05 A DOOR SCHEDULE A0.06 DOOR DETAILS
	BLOCK:	NONE	DWELLING UNITS: 25 DWELLING UNITS	ALLOWED BASE DENSITY PER AB2334 BASE DENSITY: 16,088.75/1,500 SF = 10.73	A0.07 A WINDOW SCHEDULE
and the second second	LOT:	FR 42 & 43	MARKET RATE: 20	BASE DENSITY: 10,088.75/1,500 SF = 10.73 BY-RIGHT DENSITY: 10 UNITS BASE DENSITY: 11 UNITS	A0.08 A WINDOW DETAILS A0.08 B WINDOW DETAILS
	CENSUS TRACT:	2739.02	AFFORDABLE: 5 (VERY LOW INCOME)	120% BONUS PER LAMC 12.24 U.26	A0.09 WALL & FLOOR TYPES A0.10 A GENERAL DETAILS
	ZONING:	RD1.5-1-0	TOTAL PROVIDED: 25 DWELLING UNITS	TOTAL ALLOWED: 25 DWELLING UNITS	A0.10 B GENERAL DETAILS
	ARB #:	NONE	PARKING PROVID	ED VS. REQUIRED	A0.10 C GENERAL DETAILS A0.11 A ACCESSIBILITY NOTES
	HILLSIDE AREA:	NO	PROVIDED	REQUIRED	A0.11 B ACCESSIBILITY DETAILS
	SPECIFIC PLAN AREA:	LOS ANGELES COASTAL TRANSPORTATIONCORRIDOR VENICE COASTAL ZONE	VENICE COASTAL ZONE SPECIFIC PLAN SECTION 13.D LAMC 12.21.A.4 TENANT PARKING: 5 SPACES	TENANT PARKING: VENICE COASTAL ZONE SPECIFIC PLAN 2.25 SPACES PER 1 UNIT @ 25 56.25 ≈ 57 SPACES	A0.11 CACCESSIBILITY DETAILSA0.13EXISTING SITE SURVEYA0.14 ASQUARE FOOTAGE BREAKDOWNSA0.14 BSQUARE FOOTAGE BREAKDOWNS
	VERY HIGH FIRE HAZARD SEVERITY ZONE:	NO			A0.14 C SQUARE FOOTAGE BREAKDOWNS A0.15 OPEN SPACE AREA CALCULATIONS
	FIRE DISTRICT NO. 1:	NO	TOTAL PROVIDED: 5 SPACES		A0.16 F.A.R. CALCULATIONS
	METHANE HAZARD SITE:	METHANE BUFFER ZONE	BICYCLE PARKING PRO	OVIDED VS. REQUIRED	A0.17 AFFORDABLE HOUSING REFERRAL FOR A1.00 SITE PLAN
	HEIGHT LIMIT:	25' FLAT ROOF 30' VARIED ROOF LINE	PROVIDED	REQUIRED	A1.10 SITE PLAN 2 A2.10 PROPOSED PLANS
	BUILDING HEIGHT:	31'-11" FLAT ROOF	LONG TERM BICYCLE PARKING: 26 SPACES	LONG TERM BICYCLE PARKING: 1 SPACE PER 1 UNIT @ 25 UNITS 25 SPACES TOTAL LONG TERM BICYCLE PARKING: 25 SPACES	A2.20 PROPOSED PLANS
		36'-11" VARIED ROOF LINE	SHORT TERM BICYCLE PARKING: 6 SPACES	SHORT TERM BICYCLE PARKING:	A2.30 PROPOSED PLANS A2.40 PROPOSED PLANS
	VEHICLE PARKING:	5		1 SPACE PER 10 UNITS @ 25 UNITS2.5 SPACESTOTAL SHORT TERM BICYCLE PARKING:3 SPACES	A3.10 ELEVATIONS A3.20 ELEVATIONS
	NUMBER OF DWELING UNITS:	25	TOTAL PROVIDED: 32 SPACES	TOTAL REQUIRED: 28 SPACES	A3.30 ELEVATIONS
	FLOOD ZONE:	AE D=N/A E=8 IN	OPEN SPACE PROV	IDED VS. REQUIRED	A3.40 ELEVATIONS A3.50 COLOR ELEVATIONS
	BUILDING ELEVATION:	9'-0" (PER FEMA FLOOD ZONE REQUIREMENTS)	PROVIDED	REQUIRED	A3.51 COLOR ELEVATIONS A3.52 COLOR ELEVATIONS
CODE		THE FLOOD HAZARD MANAGEMENT SPECIFIC PLAN"	COMON SPACE: 317 SF 467 SF	25 UNITS @ < 3 HABITABLE ROOMS (100 SF) (25 UNITS) (100 SF) = 2,500 SF	A3.53 COLOR ELEVATIONS
			USABLE PRIVATE OPEN	0 UNITS @ = 3 HABITABLE ROOMS (125 SF)	A4.10 PROPOSED SECTIONS A4.20 PROPOSED SECTIONS
2023 LABC, (TITLE 24, PART 2.5)		RESIDENTIAL UNITS	SPACE TOWARDS CALCULATION BASED ON ZONING CODE 12.21G:	(0 UNITS) (125 SF) = 0 SF 0 UNITS @ > 3 HABITABLE ROOMS (175 SF)	A4.30PROPOSED SECTIONSA4.40PROPOSED SECTIONS
BASED ON THE 2021 IRC (INCLUDES ACCESSIBILITY)	UNIT # OCC	UPANCY S.F.	25 UNITS x 50 SF = 1,250 SF	(0 UNITS) (175 SF) = 0 SF	A4.50 PROPOSED SECTIONS
2023 LABC, VOL 2 (TITLE 24, PART 2, VOL 2)	101 1 BC	0 / 1 BTH 495 SF	TOTAL OPEN SPACE PROVIDED: 2,034 SF	TOTAL OPEN SPACE REQUIRED: 2,500 SF	A5.00 ENLARGED PLANS A5.10 ENLARGED PLANS
BASED ON THE 2021 IBC WITH ASCE 7-16		0 / 1 BTH 495 SF	ACTIONS R	EQUESTED	A5.20 ENLARGED PLANS
2022 CA MECHANICAL CODE, (TITLE 24, PART 4)		0 / 1 BTH 495 SF 0 / 1 BTH 477 SF	THE REQUEST CONFORMS TO THE FOLLOWING REQUIREM	ENTS AS FOLLOWS:	A5.30 ENLARGED PLANS A7.00 REFLECTED CEILING PLAN
BASED ON THE 2021 UNIFORM MECHANICAL CODE	105 1 BC	0 / 1 BTH 477 SF	A CONDITIONAL USE PERMIT PURSUANT TO LAMC 12.24 U 26 THE DENSITY INCREASE IS GREATER THAN THE MAXIMUM 3	5% PERMITTED IN LAMC SECTION 12.22 A 25; IN	A7.10 REFLECTED CEILING PLAN A7.20 REFLECTED CEILING PLAN
2022 CA PLUMBING CODE (TITLE 24, PART 5)		0/1BTH 477 SF	CONJUNCTION WITH THE CONSTRUCTION, USE, AND MAINT 15 DWELLING UNITS OTHERWISE PERMITTED BY LAMC 12.22 INCOME HOUSEHOLDS; AND PURSUANT TO LAMC SECTION	A 25; WITH 5 DWELLING UNITS RESERVED FOR VERY LOW	A7.30 REFLECTED CEILING PLAN
BASED ON THE 2021 UNIFORM PLUMBING CODE		0 / 1 BTH 477 SF 0 / 1 BTH 477 SF	INCENTIVES (12.22 A 25):		A7.40 REFLECTED CEILING PLAN A7.50 REFLECTED CEILING PLAN
2022 CA ELECTRICAL CODE (TITLE 24, PART 3)			OFF-MENU	BACK ALONG MILDRED AVENUE FRONTAGE TO ALLOW A 9'	A9.10 VERTICAL CIRCULATION A9.20 VERTICAL CIRCULATION
	000 ( DE		I • PERMIT A 40% REDUCTION IN REQUIRED FRONT YARD SET		DEMO DEMO PLAN
BASED ON THE 2020 NATIONAL ELECTRIC CODE		0 / 1 BTH     495 SF       0 / 1 BTH     495 SF	<ul> <li>FRONT YARD SETBACK IN LIEU OF THE REQUIRED 15' FRON</li> <li>PERMIT A 37% REDUCTION OF TOTAL REQUIRED COMMON</li> </ul>	OPEN SPACE TO ALLOW THE PROVISION OF 784 SQUARE	
2022 CA ENERGY CODE (TITLE 24, PART 6)	203 1 BD		<ul> <li>FRONT YARD SETBACK IN LIEU OF THE REQUIRED 15' FRONT</li> <li>PERMIT A 37% REDUCTION OF TOTAL REQUIRED COMMON</li> <li>FEET OF TOTAL COMMON OPEN SPACE IN LIEU OF THE 1,250</li> <li>SPACE PURSUANT TO LAMC 12.21.G.2.A.1.IV</li> <li>PERMIT A 6'-11" INCREASE IN VARIED ROOFLINE HEIGHT TO</li> </ul>	OPEN SPACE TO ALLOW THE PROVISION OF 784 SQUARE SQUARE FEET REQUIRED FOR TOTAL COMMON OPEN ALLOW UP TO 36'-11" IN LIEU OF THE MAXIMUM 30 FEET	L1.00 LANDSCAPE PLAN
	203 1 BC 204 1 BC 205 1 BC	0 / 1 BTH     495 SF       0 / 1 BTH     495 SF       0 / 1 BTH     477 SF	<ul> <li>FRONT YARD SETBACK IN LIEU OF THE REQUIRED 15' FRONT</li> <li>PERMIT A 37% REDUCTION OF TOTAL REQUIRED COMMON</li> <li>FEET OF TOTAL COMMON OPEN SPACE IN LIEU OF THE 1,250</li> <li>SPACE PURSUANT TO LAMC 12.21.G.2.A.1.IV</li> <li>PERMIT A 6'-11" INCREASE IN VARIED ROOFLINE HEIGHT TO ALLOWED IN THE RD1.5-1 ZONE PURSUANT TO THE VENICE</li> </ul>	OPEN SPACE TO ALLOW THE PROVISION OF 784 SQUARE SQUARE FEET REQUIRED FOR TOTAL COMMON OPEN ALLOW UP TO 36'-11" IN LIEU OF THE MAXIMUM 30 FEET	
2022 CA ENERGY CODE (TITLE 24, PART 6)	203 1 BC 204 1 BC 205 1 BC 206 1 BC	0 / 1 BTH     495 SF       0 / 1 BTH     495 SF	<ul> <li>FRONT YARD SETBACK IN LIEU OF THE REQUIRED 15' FROM</li> <li>PERMIT A 37% REDUCTION OF TOTAL REQUIRED COMMON FEET OF TOTAL COMMON OPEN SPACE IN LIEU OF THE 1,250 SPACE PURSUANT TO LAMC 12.21.G.2.A.1.IV</li> <li>PERMIT A 6'-11" INCREASE IN VARIED ROOFLINE HEIGHT TO ALLOWED IN THE RD1.5-1 ZONE PURSUANT TO THE VENICE</li> <li>WAIVERS OF DEVELOPMENT STANDARDS:</li> <li>PERMIT A 21% REDUCTION IN REQUIRED WESTERLY SIDE ' ALLOW A 4'-9" SIDE YARD SETBACK IN LIEU OF THE REQUIRE</li> </ul>	OPEN SPACE TO ALLOW THE PROVISION OF 784 SQUARE SQUARE FEET REQUIRED FOR TOTAL COMMON OPEN ALLOW UP TO 36'-11" IN LIEU OF THE MAXIMUM 30 FEET COASTAL ZONE SPECIFIC PLAN (ARD SETBACK ALONG OCEAN AVENUE FRONTAGE TO ED 6' SIDE YARD SETBACK PURSUANT TO LAMC 12.09.1.B.1	
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2022 CA ENERGY CODE (TITLE 24, PART 6) 2020 CITY OF LOS ANGELES GREEN BUILDING CODE	203 1 BC 204 1 BC 205 1 BC 206 1 BC 207 1 BC 208 1 BC 209 1 BC 301 1 BC 302 1 BC 303 1 BC	0 / 1 BTH       495 SF         0 / 1 BTH       495 SF         0 / 1 BTH       477 SF	<ul> <li>FRONT YARD SETBACK IN LIEU OF THE REQUIRED 15' FROM • PERMIT A 37% REDUCTION OF TOTAL REQUIRED COMMON FEET OF TOTAL COMMON OPEN SPACE IN LIEU OF THE 1,250 SPACE PURSUANT TO LAMC 12.21.G.2.A.1.IV</li> <li>• PERMIT A 6'-11" INCREASE IN VARIED ROOFLINE HEIGHT TO ALLOWED IN THE RD1.5-1 ZONE PURSUANT TO THE VENICE</li> <li>WAIVERS OF DEVELOPMENT STANDARDS:</li> <li>• PERMIT A 21% REDUCTION IN REQUIRED WESTERLY SIDE ` ALLOW A 4'-9" SIDE YARD SETBACK IN LIEU OF THE REQUIRE • PERMIT THE REMOVAL OF THE STEP-BACK PROVISIONS FO FEET AS OTHERWISE REQUIRED BY SECTION 10G.3.A OF TH • PERMIT THE PROVISION OF 5 AUTOMOBILE PARKING SPACE TO THE VENICE COASTAL ZONE SPECIFIC PLAN SECTION 13 • PERMIT THE PROVISION OF 3 STANDARD PARKING STALLS STANDARD PARKING SPACE PER DWELLING UNIT MINIMUM</li> <li>2. AUTHORIZING CODE SECTION: 12.20.2 A COASTAL DEVELOPMENT PERMIT PURSUANT TO LAMC 12 RESIDENTIAL TRIPLEX AND THE CONSTRUCTION OF A NEW 5 VERY-LOW-INCOME UNITS, 16,176 SQUARE FEET OF RESID A MAXIMUM HEIGHT OF 36-FEET.</li> </ul>	OPEN SPACE TO ALLOW THE PROVISION OF 784 SQUARE SQUARE FEET REQUIRED FOR TOTAL COMMON OPEN ALLOW UP TO 36'-11" IN LIEU OF THE MAXIMUM 30 FEET COASTAL ZONE SPECIFIC PLAN (ARD SETBACK ALONG OCEAN AVENUE FRONTAGE TO ED 6' SIDE YARD SETBACK PURSUANT TO LAMC 12.09.1.B.1 OR THE PORTIONS OF THE STRUCTURE GREATER THAN 25 E VENICE COASTAL ZONE SPECIFIC PLAN ES IN LIEU OF THE 57 AUTOMOBILES REQUIRED PURSUANT D AND 2 COMPACT PARKING STALLS IN LIEU OF THE 1 REQUIRED PURSUANT TO LAMC 12.21.A.5.(1)C 20.2 TO ALLOW THE DEMOLITION OF AN EXISTING 25-UNIT APARTMENT HOUSE HAVING 20 MARKET RATE AND	L1.00       LANDSCAPE PLAN         NOTE:       "THIS IS NOT A PUBLIC HOUSING FACILITIES OWNED AND/OR OPE         BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT         FROM STATE OR FEDERAL. NOT A TCAC FACILITY, AND NOT A SO         CENTER. 100% PRIVATELY FUNDED.
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2022 CA ENERGY CODE (TITLE 24, PART 6) 2020 CITY OF LOS ANGELES GREEN BUILDING CODE	203       1 BC         204       1 BC         205       1 BC         206       1 BC         207       1 BC         208       1 BC         209       1 BC         301       1 BC         303       1 BC         304       1 BC         305       1 BC         306       1 BC	0/1 BTH       495 SF         0/1 BTH       495 SF         0/1 BTH       477 SF         0/1 BTH       495 SF         0/1 BTH       477 SF         0/1 BTH       477 SF	<ul> <li>FRONT YARD SETBACK IN LIEU OF THE REQUIRED 15' FRON'</li> <li>PERMIT A 37% REDUCTION OF TOTAL REQUIRED COMMON FEET OF TOTAL COMMON OPEN SPACE IN LIEU OF THE 1,250 SPACE PURSUANT TO LAMC 12.21.G.2.A.1.IV</li> <li>PERMIT A 6'-11" INCREASE IN VARIED ROOFLINE HEIGHT TO ALLOWED IN THE RD1.5-1 ZONE PURSUANT TO THE VENICE</li> <li>WAIVERS OF DEVELOPMENT STANDARDS:</li> <li>PERMIT A 21% REDUCTION IN REQUIRED WESTERLY SIDE ' ALLOW A 4'-9" SIDE YARD SETBACK IN LIEU OF THE REQUIRE PERMIT THE REMOVAL OF THE STEP-BACK PROVISIONS FO FEET AS OTHERWISE REQUIRED BY SECTION 10G.3.A OF TH</li> <li>PERMIT THE PROVISION OF 5 AUTOMOBILE PARKING SPACE TO THE VENICE COASTAL ZONE SPECIFIC PLAN SECTION 13</li> <li>PERMIT THE PROVISION OF 3 STANDARD PARKING STALLS STANDARD PARKING SPACE PER DWELLING UNIT MINIMUM</li> <li>2. AUTHORIZING CODE SECTION: 12.20.2 A COASTAL DEVELOPMENT PERMIT PURSUANT TO LAMC 12 RESIDENTIAL TRIPLEX AND THE CONSTRUCTION OF A NEW 5 VERY-LOW-INCOME UNITS, 16,176 SQUARE FEET OF RESID A MAXIMUM HEIGHT OF 36-FEET.</li> <li>3. AUTHORIZING CODE SECTION: 11.5.7 A PROJECT PERMIT COMPLIANCE PURSUANT TO LAMC 11.5. CONFORMANCE WITH THE REGULATIONS OF THE VENICE C</li> </ul>	OPEN SPACE TO ALLOW THE PROVISION OF 784 SQUARE O SQUARE FEET REQUIRED FOR TOTAL COMMON OPEN O ALLOW UP TO 36'-11" IN LIEU OF THE MAXIMUM 30 FEET COASTAL ZONE SPECIFIC PLAN (ARD SETBACK ALONG OCEAN AVENUE FRONTAGE TO ED 6' SIDE YARD SETBACK PURSUANT TO LAMC 12.09.1.B.1 OR THE PORTIONS OF THE STRUCTURE GREATER THAN 25 E VENICE COASTAL ZONE SPECIFIC PLAN ES IN LIEU OF THE 57 AUTOMOBILES REQUIRED PURSUANT D AND 2 COMPACT PARKING STALLS IN LIEU OF THE 1 REQUIRED PURSUANT TO LAMC 12.21.A.5.(1)C 20.2 TO ALLOW THE DEMOLITION OF AN EXISTING 25-UNIT APARTMENT HOUSE HAVING 20 MARKET RATE AND ENTIAL FLOOR AREA, 5 AT-GRADE PARKING SPACES, AND 7 C TO DETERMINE THAT THE PROJECT IS IN COASTAL ZONE SPECIFIC PLAN	L1.00       LANDSCAPE PLAN         NOTE:       "THIS IS NOT A PUBLIC HOUSING FACILITIES OWNED AND/OR OPE BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT FROM STATE OR FEDERAL. NOT A TCAC FACILITY, AND NOT A SO CENTER. 100% PRIVATELY FUNDED.         YARD       YARD SETBACK PROVIDED VS. REQU         YARD       PROVIDED
2022 CA ENERGY CODE (TITLE 24, PART 6) 2020 CITY OF LOS ANGELES GREEN BUILDING CODE	203       1 BC         204       1 BC         205       1 BC         206       1 BC         207       1 BC         208       1 BC         209       1 BC         301       1 BC         302       1 BC         303       1 BC         304       1 BC         305       1 BC         306       1 BC         307       1 BC	0/1 BTH       495 SF         0/1 BTH       495 SF         0/1 BTH       477 SF         0/1 BTH       495 SF         0/1 BTH       477 SF         0/1 BTH       477 SF         0/1 BTH       477 SF         0/1 BTH       477 SF	<ul> <li>FRONT YARD SETBACK IN LIEU OF THE REQUIRED 15' FRON' • PERMIT A 37% REDUCTION OF TOTAL REQUIRED COMMON FEET OF TOTAL COMMON OPEN SPACE IN LIEU OF THE 1,250 SPACE PURSUANT TO LAMC 12.21.G.2.A.1.IV</li> <li>• PERMIT A 6'-11" INCREASE IN VARIED ROOFLINE HEIGHT TO ALLOWED IN THE RD1.5-1 ZONE PURSUANT TO THE VENICE</li> <li>WAIVERS OF DEVELOPMENT STANDARDS:</li> <li>• PERMIT A 21% REDUCTION IN REQUIRED WESTERLY SIDE ' ALLOW A 4'-9" SIDE YARD SETBACK IN LIEU OF THE REQUIRE • PERMIT THE REMOVAL OF THE STEP-BACK PROVISIONS FO FEET AS OTHERWISE REQUIRED BY SECTION 10G.3.A OF TH • PERMIT THE PROVISION OF 5 AUTOMOBILE PARKING SPACE TO THE VENICE COASTAL ZONE SPECIFIC PLAN SECTION 13</li> <li>• PERMIT THE PROVISION OF 3 STANDARD PARKING STALLS STANDARD PARKING SPACE PER DWELLING UNIT MINIMUM</li> <li>2. AUTHORIZING CODE SECTION: 12.20.2 A COASTAL DEVELOPMENT PERMIT PURSUANT TO LAMC 12 RESIDENTIAL TRIPLEX AND THE CONSTRUCTION OF A NEW 5 VERY-LOW-INCOME UNITS, 16,176 SQUARE FEET OF RESID A MAXIMUM HEIGHT OF 36-FEET.</li> <li>3. AUTHORIZING CODE SECTION: 11.5.7 A PROJECT PERMIT COMPLIANCE PURSUANT TO LAMC 11.5. CONFORMANCE WITH THE REGULATIONS OF THE VENICE C</li> <li>4. CODE SECTION FROM WHICH RELIEF IS REQUESTED: 12.3 CODE SECTION FROM WHICH RELIEF IS REQUESTED: 12.3 CODE SECTION REQUIRED TO COMPLET A 30-FOOT HALF RIG</li> </ul>	OPEN SPACE TO ALLOW THE PROVISION OF 784 SQUARE O SQUARE FEET REQUIRED FOR TOTAL COMMON OPEN O ALLOW UP TO 36'-11" IN LIEU OF THE MAXIMUM 30 FEET COASTAL ZONE SPECIFIC PLAN (ARD SETBACK ALONG OCEAN AVENUE FRONTAGE TO ED 6' SIDE YARD SETBACK PURSUANT TO LAMC 12.09.1.B.1 OR THE PORTIONS OF THE STRUCTURE GREATER THAN 25 E VENICE COASTAL ZONE SPECIFIC PLAN ES IN LIEU OF THE 57 AUTOMOBILES REQUIRED PURSUANT D AND 2 COMPACT PARKING STALLS IN LIEU OF THE 1 REQUIRED PURSUANT TO LAMC 12.21.A.5.(1)C 20.2 TO ALLOW THE DEMOLITION OF AN EXISTING 25-UNIT APARTMENT HOUSE HAVING 20 MARKET RATE AND ENTIAL FLOOR AREA, 5 AT-GRADE PARKING SPACES, AND 7 C TO DETERMINE THAT THE PROJECT IS IN OASTAL ZONE SPECIFIC PLAN 7.A. TE A 26-FOOT HALF RIGHT-OF-WAY IN LIEU OF THE 10'	L1.00       LANDSCAPE PLAN         NOTE:         "THIS IS NOT A PUBLIC HOUSING FACILITIES OWNED AND/OR OPE         BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT         FROM STATE OR FEDERAL. NOT A TCAC FACILITY, AND NOT A SO         CENTER. 100% PRIVATELY FUNDED.         YARD       PROVIDED       VS. REQU         YARD       PROVIDED       RE         MILDRED AVE.       9'-0" @ ALL LEVELS       15'-0" @ ALL LEVELS
2022 CA ENERGY CODE (TITLE 24, PART 6) 2020 CITY OF LOS ANGELES GREEN BUILDING CODE	203       1 BC         204       1 BC         205       1 BC         206       1 BC         207       1 BC         208       1 BC         209       1 BC         301       1 BC         302       1 BC         303       1 BC         304       1 BC         305       1 BC         306       1 BC         307       1 BC         308       1 BC	0/1 BTH       495 SF         0/1 BTH       495 SF         0/1 BTH       477 SF         0/1 BTH       495 SF         0/1 BTH       477 SF         0/1 BTH       477 SF	<ul> <li>FRONT YARD SETBACK IN LIEU OF THE REQUIRED 15' FRON'</li> <li>PERMIT A 37% REDUCTION OF TOTAL REQUIRED COMMON FEET OF TOTAL COMMON OPEN SPACE IN LIEU OF THE 1,250 SPACE PURSUANT TO LAMC 12.21.G.2.A.1.IV</li> <li>PERMIT A 6'-11" INCREASE IN VARIED ROOFLINE HEIGHT TO ALLOWED IN THE RD1.5-1 ZONE PURSUANT TO THE VENICE</li> <li>WAIVERS OF DEVELOPMENT STANDARDS:</li> <li>PERMIT A 21% REDUCTION IN REQUIRED WESTERLY SIDE ' ALLOW A 4'-9" SIDE YARD SETBACK IN LIEU OF THE REQUIRE PERMIT THE REMOVAL OF THE STEP-BACK PROVISIONS FO FEET AS OTHERWISE REQUIRED BY SECTION 10G.3.A OF TH PERMIT THE PROVISION OF 5 AUTOMOBILE PARKING SPACE TO THE VENICE COASTAL ZONE SPECIFIC PLAN SECTION 13</li> <li>PERMIT THE PROVISION OF 3 STANDARD PARKING STALLS STANDARD PARKING SPACE PER DWELLING UNIT MINIMUM</li> <li>2. AUTHORIZING CODE SECTION: 12.20.2 A COASTAL DEVELOPMENT PERMIT PURSUANT TO LAMC 12 RESIDENTIAL TRIPLEX AND THE CONSTRUCTION OF A NEW 5 VERY-LOW-INCOME UNITS, 16,176 SQUARE FEET OF RESID A MAXIMUM HEIGHT OF 36-FEET.</li> <li>3. AUTHORIZING CODE SECTION: 11.5.7 A PROJECT PERMIT COMPLIANCE PURSUANT TO LAMC 11.5. CONFORMANCE WITH THE REGULATIONS OF THE VENICE C</li> <li>4. CODE SECTION FROM WHICH RELIEF IS REQUESTED: 12.33 CODE SECTION FROM WHICH RELIEF IS REQUESTED: 12.33 CODE SECTION WHICH AUTHORIZES RELIEF: 12.37.I.3. PERMIT A 6' DEDICATION ON MILDRED AVENUE TO COMPLET</li> </ul>	OPEN SPACE TO ALLOW THE PROVISION OF 784 SQUARE O SQUARE FEET REQUIRED FOR TOTAL COMMON OPEN O ALLOW UP TO 36'-11" IN LIEU OF THE MAXIMUM 30 FEET COASTAL ZONE SPECIFIC PLAN (ARD SETBACK ALONG OCEAN AVENUE FRONTAGE TO ED 6' SIDE YARD SETBACK PURSUANT TO LAMC 12.09.1.B.1 OR THE PORTIONS OF THE STRUCTURE GREATER THAN 25 E VENICE COASTAL ZONE SPECIFIC PLAN ES IN LIEU OF THE 57 AUTOMOBILES REQUIRED PURSUANT D AND 2 COMPACT PARKING STALLS IN LIEU OF THE 1 REQUIRED PURSUANT TO LAMC 12.21.A.5.(1)C 20.2 TO ALLOW THE DEMOLITION OF AN EXISTING 25-UNIT APARTMENT HOUSE HAVING 20 MARKET RATE AND ENTIAL FLOOR AREA, 5 AT-GRADE PARKING SPACES, AND 7 C TO DETERMINE THAT THE PROJECT IS IN OASTAL ZONE SPECIFIC PLAN 7.A. TE A 26-FOOT HALF RIGHT-OF-WAY IN LIEU OF THE 10'	L1.00       LANDSCAPE PLAN         NOTE:         "THIS IS NOT A PUBLIC HOUSING FACILITIES OWNED AND/OR OPE BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT FROM STATE OR FEDERAL. NOT A TCAC FACILITY, AND NOT A SO CENTER. 100% PRIVATELY FUNDED.         YARD       PROVIDED       VS. REQU         YARD       PROVIDED       RE         MILDRED AVE.       9'-0" @ ALL LEVELS       15'-0" @ ALL LE         OCEAN AVE SIDE YARD       4'-9" @ ALL LEVELS       5'-0" + 1'-0" = 6         S. VENICE BLVD.       15'-0" @ ALL LEVELS       15'-0" @ ALL LE
2022 CA ENERGY CODE (TITLE 24, PART 6) 2020 CITY OF LOS ANGELES GREEN BUILDING CODE	203       1 BC         204       1 BC         205       1 BC         206       1 BC         207       1 BC         208       1 BC         209       1 BC         301       1 BC         302       1 BC         303       1 BC         304       1 BC         305       1 BC         306       1 BC         307       1 BC         308       1 BC         309       1 BC	9/1 BTH       495 SF         9/1 BTH       495 SF         9/1 BTH       477 SF         9/1 BTH       495 SF         9/1 BTH       477 SF	<ul> <li>FRONT YARD SETBACK IN LIEU OF THE REQUIRED 15' FRON' • PERMIT A 37% REDUCTION OF TOTAL REQUIRED COMMON FEET OF TOTAL COMMON OPEN SPACE IN LIEU OF THE 1,250 SPACE PURSUANT TO LAMC 12.21.G.2.A.1.IV</li> <li>• PERMIT A 6'-11" INCREASE IN VARIED ROOFLINE HEIGHT TO ALLOWED IN THE RD1.5-1 ZONE PURSUANT TO THE VENICE</li> <li>WAIVERS OF DEVELOPMENT STANDARDS:</li> <li>• PERMIT A 21% REDUCTION IN REQUIRED WESTERLY SIDE ' ALLOW A 4'-9" SIDE YARD SETBACK IN LIEU OF THE REQUIRE • PERMIT THE REMOVAL OF THE STEP-BACK PROVISIONS FO FEET AS OTHERWISE REQUIRED BY SECTION 10G.3.A OF TH • PERMIT THE PROVISION OF 5 AUTOMOBILE PARKING SPACE TO THE VENICE COASTAL ZONE SPECIFIC PLAN SECTION 13</li> <li>• PERMIT THE PROVISION OF 3 STANDARD PARKING STALLS STANDARD PARKING SPACE PER DWELLING UNIT MINIMUM</li> <li>2. AUTHORIZING CODE SECTION: 12.20.2 A COASTAL DEVELOPMENT PERMIT PURSUANT TO LAMC 12 RESIDENTIAL TRIPLEX AND THE CONSTRUCTION OF A NEW 5 VERY-LOW-INCOME UNITS, 16,176 SQUARE FEET OF RESID A MAXIMUM HEIGHT OF 36-FEET.</li> <li>3. AUTHORIZING CODE SECTION: 11.5.7 A PROJECT PERMIT COMPLIANCE PURSUANT TO LAMC 11.5. CONFORMANCE WITH THE REGULATIONS OF THE VENICE C</li> <li>4. CODE SECTION FROM WHICH RELIEF IS REQUESTED: 12.3 CODE SECTION FROM WHICH RELIEF IS REQUESTED: 12.3 CODE SECTION REQUIRED TO COMPLET A 30-FOOT HALF RIG</li> </ul>	OPEN SPACE TO ALLOW THE PROVISION OF 784 SQUARE O SQUARE FEET REQUIRED FOR TOTAL COMMON OPEN O ALLOW UP TO 36'-11" IN LIEU OF THE MAXIMUM 30 FEET COASTAL ZONE SPECIFIC PLAN (ARD SETBACK ALONG OCEAN AVENUE FRONTAGE TO ED 6' SIDE YARD SETBACK PURSUANT TO LAMC 12.09.1.B.1 OR THE PORTIONS OF THE STRUCTURE GREATER THAN 25 E VENICE COASTAL ZONE SPECIFIC PLAN ES IN LIEU OF THE 57 AUTOMOBILES REQUIRED PURSUANT D AND 2 COMPACT PARKING STALLS IN LIEU OF THE 1 REQUIRED PURSUANT TO LAMC 12.21.A.5.(1)C 20.2 TO ALLOW THE DEMOLITION OF AN EXISTING 25-UNIT APARTMENT HOUSE HAVING 20 MARKET RATE AND ENTIAL FLOOR AREA, 5 AT-GRADE PARKING SPACES, AND 7 C TO DETERMINE THAT THE PROJECT IS IN OASTAL ZONE SPECIFIC PLAN 7.A. TE A 26-FOOT HALF RIGHT-OF-WAY IN LIEU OF THE 10'	L1.00       LANDSCAPE PLAN         NOTE:         "THIS IS NOT A PUBLIC HOUSING FACILITIES OWNED AND/OR OPE         BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT         FROM STATE OR FEDERAL. NOT A TCAC FACILITY, AND NOT AS OCENTER. 100% PRIVATELY FUNDED.         YARD SETBACK PROVIDED VS. REQU         YARD       PROVIDED         MILDRED AVE.       9'-0" @ ALL LEVELS       15'-0" @ ALL LEVELS         OCEAN AVE SIDE YARD       4'-9" @ ALL LEVELS       5'-0" + 1'-0" = 6
2022 CA ENERGY CODE (TITLE 24, PART 6) 2020 CITY OF LOS ANGELES GREEN BUILDING CODE LS ENGINEER ME: PARMELEE-SCHICK & ASSOC. INC. DRESS: 13223 VENTURA BLVD. SUITE J STUDIO CITY, CA 91604 DNE NO.: 818-905-5337	203       1 BC         204       1 BC         205       1 BC         206       1 BC         207       1 BC         208       1 BC         209       1 BC         301       1 BC         302       1 BC         303       1 BC         304       1 BC         305       1 BC         306       1 BC         307       1 BC         308       1 BC         309       1 BC	9/1 BTH       495 SF         9/1 BTH       495 SF         9/1 BTH       477 SF         9/1 BTH       495 SF         9/1 BTH       477 SF	<ul> <li>FRONT YARD SETBACK IN LIEU OF THE REQUIRED 15' FRONT</li> <li>PERMIT A 37% REDUCTION OF TOTAL REQUIRED COMMON</li> <li>FEET OF TOTAL COMMON OPEN SPACE IN LIEU OF THE 1,25</li> <li>SPACE PURSUANT TO LAMC 12.21.G.2.A.1.IV</li> <li>PERMIT A 6'-11" INCREASE IN VARIED ROOFLINE HEIGHT TO</li> <li>ALLOWED IN THE RD1.5-1 ZONE PURSUANT TO THE VENICE</li> <li>WAIVERS OF DEVELOPMENT STANDARDS:</li> <li>PERMIT A 21% REDUCTION IN REQUIRED WESTERLY SIDE YALLOW A 4'-9" SIDE YARD SETBACK IN LIEU OF THE REQUIRE</li> <li>PERMIT THE REMOVAL OF THE STEP-BACK PROVISIONS FOR FEET AS OTHERWISE REQUIRED BY SECTION 10G.3.A OF TH</li> <li>PERMIT THE PROVISION OF 5 AUTOMOBILE PARKING SPACE TO THE VENICE COASTAL ZONE SPECIFIC PLAN SECTION 13</li> <li>PERMIT THE PROVISION OF 3 STANDARD PARKING STALLS</li> <li>STANDARD PARKING SPACE PER DWELLING UNIT MINIMUM</li> <li>2. AUTHORIZING CODE SECTION: 12.20.2</li> <li>A COASTAL DEVELOPMENT PERMIT PURSUANT TO LAMC 12</li> <li>RESIDENTIAL TRIPLEX AND THE CONSTRUCTION OF A NEW 5 VERY-LOW-INCOME UNITS, 16,176 SQUARE FEET OF RESIDE A MAXIMUM HEIGHT OF 36-FEET.</li> <li>3. AUTHORIZING CODE SECTION: 11.5.7</li> <li>A PROJECT PERMIT COMPLIANCE PURSUANT TO LAMC 11.5. CONFORMANCE WITH THE REGULATIONS OF THE VENICE C</li> <li>4. CODE SECTION FROM WHICH RELIEF IS REQUESTED: 12.3</li> <li>CODE SECTION FROM WHICH RELIEF IS REQUESTED: 12.3</li> <li>CODE SECTION REQUIRED TO COMPLETE A 30-FOOT HALF RIG STANDARDS PURSUANT TO LAMC 12.37.A</li> </ul>	OPEN SPACE TO ALLOW THE PROVISION OF 784 SQUARE O SQUARE FEET REQUIRED FOR TOTAL COMMON OPEN O ALLOW UP TO 36'-11" IN LIEU OF THE MAXIMUM 30 FEET COASTAL ZONE SPECIFIC PLAN (ARD SETBACK ALONG OCEAN AVENUE FRONTAGE TO ED 6' SIDE YARD SETBACK PURSUANT TO LAMC 12.09.1.B.1 OR THE PORTIONS OF THE STRUCTURE GREATER THAN 25 E VENICE COASTAL ZONE SPECIFIC PLAN ES IN LIEU OF THE 57 AUTOMOBILES REQUIRED PURSUANT D AND 2 COMPACT PARKING STALLS IN LIEU OF THE 1 REQUIRED PURSUANT TO LAMC 12.21.A.5.(1)C 20.2 TO ALLOW THE DEMOLITION OF AN EXISTING 25-UNIT APARTMENT HOUSE HAVING 20 MARKET RATE AND ENTIAL FLOOR AREA, 5 AT-GRADE PARKING SPACES, AND 7 C TO DETERMINE THAT THE PROJECT IS IN OASTAL ZONE SPECIFIC PLAN 7.A. TE A 26-FOOT HALF RIGHT-OF-WAY IN LIEU OF THE 10' HT-OF-WAY IN ACCORDANCE WITH LOCAL STREET	L1.00       LANDSCAPE PLAN         NOTE:         "THIS IS NOT A PUBLIC HOUSING FACILITIES OWNED AND/OR OPE BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT FROM STATE OR FEDERAL. NOT A TCAC FACILITY, AND NOT A SO CENTER. 100% PRIVATELY FUNDED.         YARD       PROVIDED       VS. REQU         YARD       PROVIDED       RE         MILDRED AVE.       9'-0" @ ALL LEVELS       15'-0" @ ALL LE         OCEAN AVE SIDE YARD       4'-9" @ ALL LEVELS       5'-0" + 1'-0" = 6         S. VENICE BLVD.       15'-0" @ ALL LEVELS       15'-0" @ ALL LE
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Noth         NO       Numb	0/1 BTH       495 SF         0/1 BTH       495 SF         0/1 BTH       477 SF         0/1 BTH       495 SF         0/1 BTH       477 SF </td <td>FRONT YARD SETBACK IN LIEU OF THE REQUIRED 15' FRONT         • PERMIT A 37% REDUCTION OF TOTAL REQUIRED COMMON         FEET OF TOTAL COMMON OPEN SPACE IN LIEU OF THE 1,25         SPACE PURSUANT TO LAMC 12.21.G.2.A.1.IV         • PERMIT A 6'-11" INCREASE IN VARIED ROOFLINE HEIGHT TO         ALLOWED IN THE RD1.5-1 ZONE PURSUANT TO THE VENICE         WAIVERS OF DEVELOPMENT STANDARDS:         • PERMIT A 21% REDUCTION IN REQUIRED WESTERLY SIDE YALLOW A 4'-9" SIDE YARD SETBACK IN LIEU OF THE REQUIRE         • PERMIT THE REMOVAL OF THE STEP-BACK PROVISIONS FOR FEET AS OTHERWISE REQUIRED BY SECTION 10G.3. 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2022 CA ENERGY CODE (TITLE 24, PART 6) 2020 CITY OF LOS ANGELES GREEN BUILDING CODE	203       1 BC         204       1 BC         205       1 BC         206       1 BC         207       1 BC         208       1 BC         209       1 BC         301       1 BC         302       1 BC         303       1 BC         304       1 BC         305       1 BC         306       1 BC         307       1 BC         308       1 BC         309       1 BC         309       1 BC         MBREVIATIO       North	0/1 BTH       495 SF         0/1 BTH       495 SF         0/1 BTH       477 SF         0/1 BTH       495 SF         0/1 BTH       477 SF </td <td>FRONT YARD SETBACK IN LIEU OF THE REQUIRED 15' FRONT         • PERMIT A 37% REDUCTION OF TOTAL REQUIRED COMMON         FEET OF TOTAL COMMON OPEN SPACE IN LIEU OF THE 1,25         SPACE PURSUANT TO LAMC 12.21.G.2.A.1.IV         • PERMIT A 6'-11" INCREASE IN VARIED ROOFLINE HEIGHT TO         ALLOWED IN THE RD1.5-1 ZONE PURSUANT TO THE VENICE         WAIVERS OF DEVELOPMENT STANDARDS:         • PERMIT A 21% REDUCTION IN REQUIRED WESTERLY SIDE YALLOW A 4'-9" SIDE YARD SETBACK IN LIEU OF THE REQUIRE         • PERMIT THE REMOVAL OF THE STEP-BACK PROVISIONS FOR FEET AS OTHERWISE REQUIRED BY SECTION 10G.3. 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SUITE J         STUDIO CITY, CA 91604         DNE NO.:       818-905-5337	203       1 BC         204       1 BC         205       1 BC         206       1 BC         207       1 BC         208       1 BC         209       1 BC         301       1 BC         302       1 BC         303       1 BC         304       1 BC         305       1 BC         306       1 BC         307       1 BC         308       1 BC         309       1 BC         309       1 BC         308       1 BC         309       1 BC         300       1 BC         301       1 BC         302       1 BC         303       1 BC         304       1 BC         305       1 BC	0/1 BTH495 SF0/1 BTH495 SF0/1 BTH477 SF0/1 BTH477 SF0/1 BTH477 SF0/1 BTH477 SF0/1 BTH477 SF0/1 BTH495 SF0/1 BTH477 SF <td>FRONT YARD SETBACK IN LIEU OF THE REQUIRED 15' FRON         • PERMIT A 37% REDUCTION OF TOTAL REQUIRED COMMON         FET OF TOTAL COMMON OPEN SPACE IN LIEU OF THE 1,25'         SPACE PURSUANT TO LAMC 12.21.G.2.A.1.IV         • PERMIT A 6'-11" INCREASE IN VARIED ROOFLINE HEIGHT TO         ALLOWED IN THE RD1.5-1 ZONE PURSUANT TO THE VENICE         WAIVERS OF DEVELOPMENT STANDARDS:         • PERMIT A 21% REDUCTION IN REQUIRED WESTERLY SIDE 'ALLOW A 4'-9" SIDE YARD SETBACK IN LIEU OF THE REQUIRE         • PERMIT THE REMOVAL OF THE STEP-BACK PROVISIONS FOR FEET AS OTHERWISE REQUIRED BY SECTION 10G.3.A OF TH         • PERMIT THE PROVISION OF 5 A STANDARD PARKING SPACTO THE VENICE COASTAL ZONE SPECIFIC PLAN SECTION 13         • PERMIT THE PROVISION OF 5 A STANDARD PARKING STALLS         STANDARD PARKING SPACE PER DWELLING UNIT MINIMUM         2. 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VENICE BLVD.       11'-7" @ ALL LEVELS       5'-0" + 1'-0" = 6         MATCHINE         WALL       11'-7" @ ALL LEVELS       5'-0" + 1'-0" = 6         MATCHINE         MATCHINE      <td< td=""></td<></td>	FRONT YARD SETBACK IN LIEU OF THE REQUIRED 15' FRON         • PERMIT A 37% REDUCTION OF TOTAL REQUIRED COMMON         FET OF TOTAL COMMON OPEN SPACE IN LIEU OF THE 1,25'         SPACE PURSUANT TO LAMC 12.21.G.2.A.1.IV         • PERMIT A 6'-11" INCREASE IN VARIED ROOFLINE HEIGHT TO         ALLOWED IN THE RD1.5-1 ZONE PURSUANT TO THE VENICE         WAIVERS OF DEVELOPMENT STANDARDS:         • PERMIT A 21% REDUCTION IN REQUIRED WESTERLY SIDE 'ALLOW A 4'-9" SIDE YARD SETBACK IN LIEU OF THE REQUIRE         • PERMIT THE REMOVAL OF THE STEP-BACK PROVISIONS FOR FEET AS OTHERWISE REQUIRED BY SECTION 10G.3.A OF TH         • PERMIT THE PROVISION OF 5 A STANDARD PARKING SPACTO THE VENICE COASTAL ZONE SPECIFIC PLAN SECTION 13         • PERMIT THE PROVISION OF 5 A STANDARD PARKING STALLS         STANDARD PARKING SPACE PER DWELLING UNIT MINIMUM         2. AUTHORIZING CODE SECTION: 12.20.2         A COASTAL DEVELOPMENT PERMIT PURSUANT TO LAMC 12         RESIDENTIAL TRIPLEX AND THE CONSTRUCTION OF A NEW         5 VERY-LOW-INCOME UNITS, 16,176 SQUARE FEET OF RESID         A MAXIMUM HEIGHT OF 36-FEET.         3. AUTHORIZING CODE SECTION: 11.5.7         A PROJECT PERMIT COMPLIANCE PURSUANT TO LAMC 11.5.         CONFORMANCE WITH THE REGULATIONS OF THE VENICE C         4. CODE SECTION FROM WHICH RELIEF IS REQUESTED: 12.3         CODE SECTION FROM WHICH RELIEF IS REQUESTED: 12.3         CODE SECTION FROM WHICH RELIEF IS REQUESTED: 12.3	OPEN SPACE TO ALLOW THE PROVISION OF 784 SQUARE ) SQUARE FEET REQUIRED FOR TOTAL COMMON OPEN ) ALLOW UP TO 36'-11" IN LIEU OF THE MAXIMUM 30 FEET COASTAL ZONE SPECIFIC PLAN (ARD SETBACK ALONG OCEAN AVENUE FRONTAGE TO ED 6' SIDE YARD SETBACK PURSUANT TO LAMC 12.09.1.B.1 ) R THE PORTIONS OF THE STRUCTURE GREATER THAN 25 E VENICE COASTAL ZONE SPECIFIC PLAN ES IN LIEU OF THE 57 AUTOMOBILES REQUIRED PURSUANT D AND 2 COMPACT PARKING STALLS IN LIEU OF THE 1 REQUIRED PURSUANT TO LAMC 12.21.A.5.(1)C 20.2 TO ALLOW THE DEMOLITION OF AN EXISTING 25-UNIT APARTMENT HOUSE HAVING 20 MARKET RATE AND ENTIAL FLOOR AREA, 5 AT-GRADE PARKING SPACES, AND 7 C TO DETERMINE THAT THE PROJECT IS IN OASTAL ZONE SPECIFIC PLAN TA. TE A 26-FOOT HALF RIGHT-OF-WAY IN LIEU OF THE 10' HT-OF-WAY IN ACCORDANCE WITH LOCAL STREET Toilet Paper Dispenser Top of Steel Television Top of Wall Typical Unfinished Unfinished Unfinished	MATCHINE         MATCH         LI 1.00         LANDSCAPE PLAN         NOTE:         "THIS IS NOT A PUBLIC HOUSING FACILITIES OWNED AND/OR OPE BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT FROM STATE OR FEDERAL. NOT A TCAC FACILITY, AND NOT A SO CENTER. 100% PRIVATELY FUNDED.         YARD SETBACK PROVIDED VS. REQU         YARD       PROVIDED       RE         MILDRED AVE.       9'-0" @ ALL LEVELS       15'-0" @ ALL L         OCEAN AVE SIDE YARD       4'-9" @ ALL LEVELS       5'-0" + 1'-0" = 6         S. VENICE BLVD.       15'-0" @ ALL LEVELS       5'-0" + 1'-0" = 6         S. VENICE BLVD.       11'-7" @ ALL LEVELS       5'-0" + 1'-0" = 6         MATCHINE         WALL       11'-7" @ ALL LEVELS       5'-0" + 1'-0" = 6         MATCHINE         MATCHINE <td< td=""></td<>

HDWR HDWD H.M. HORIZ HR Hardware Hardwood Hollow Metal Horizontal Hour ΗT Height HVAC Heating, Ventilation and Air Conditioning H.W. Hot Water I.D. INCL

INSUL INT

JAN JST

Inside Diameter

Including

Insulation

Interior

Janitor

Joist

LVK Louver MATL Material Maximum MAX M.B. MECH Machine Ball Mechanical MEMB MET Membrane Metal MFR Manufacture MH Manhole MIN Minimum MIR MISC M.O. M.R. MTD Mirror Miscellaneous Masonry Opening Moisture Resistant Mounted MUL Mullion

O.F.D. OFF O.H. OVHD OPNG OPP PC P.D. PL P.L. PLMG PLAM PLAS PLYWD PR PT

Office Overhang Overhead Opening Opposite Piece Planter Drain Plate Property Line Plumbing Plastic Laminate Plaster Plywood Pair Paint

RESIL REV RFG Resilient Revised Roofing R.H. RM R.O. RWD Right Hand Room Rough Opening Redwood South S S.C. SCHED SECT SEP Solid Core Schedule SH SHR

SHT

Section Separation, Separate Shelf Shower Sheet

SYM SYS

T.B.

T&G T.O.C. T.O.D.

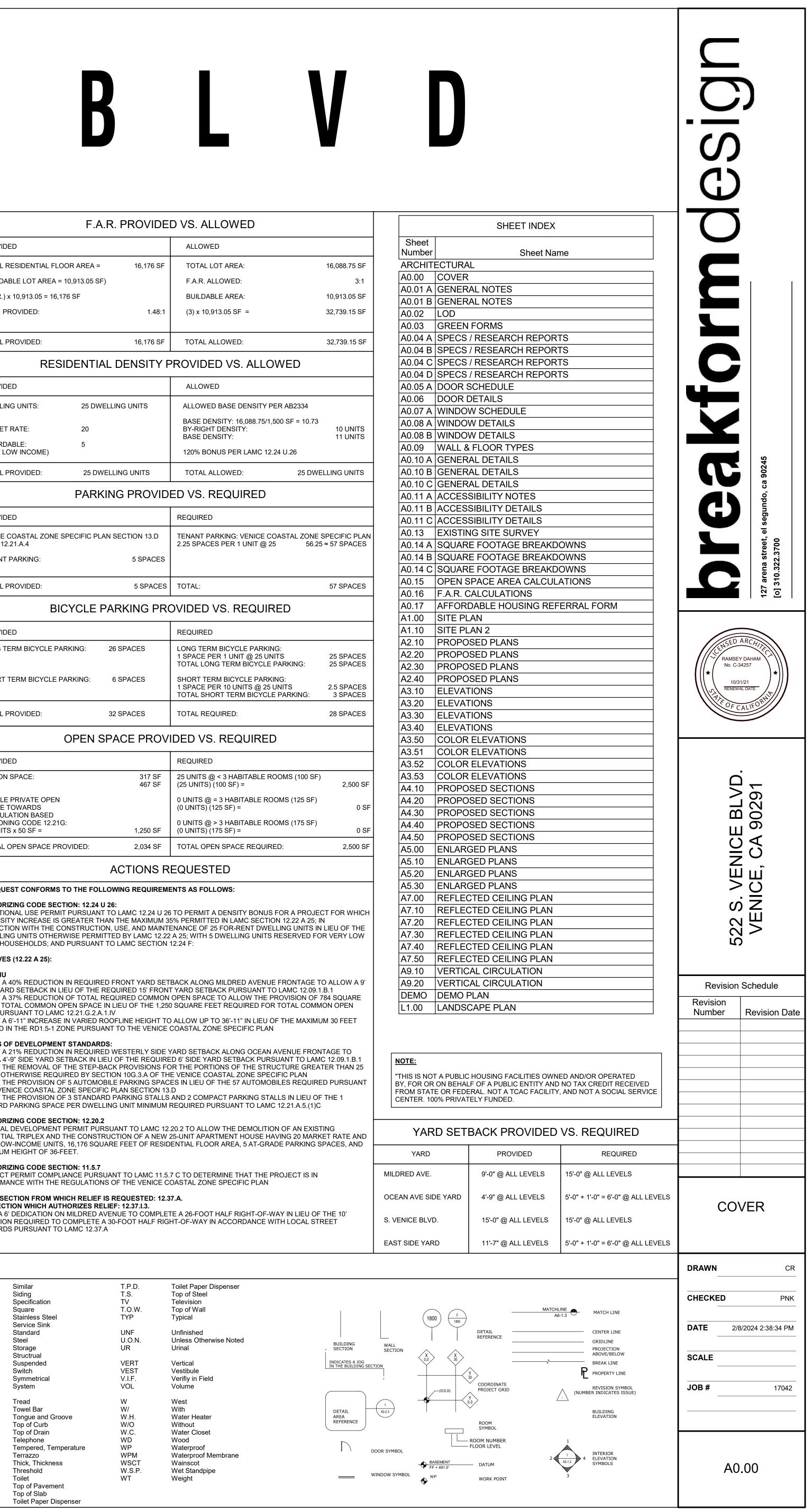
TEL

TEMP TER

THK THR

TOIL T.O.P. T.O.S. T.P.D.

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L1.00	



### DEMOLITION NOTES

OWNER

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED.

OF SAME IN CONTRACT PRICE. 3. FURNISH ALL LABOR AND MATERIALS/EQUIPMENT TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED. GC TO ESTABLISH PROCEDURES W/ BLDG.

2. OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS

4. CONTRACTOR SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.

5. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL. CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.

6. AT COMPLETION OF DEMOLITION WORK THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.

FREIGHT ELEVATOR WHEN APPLICABLE. CONTACT THE BUILDING MGMT. OFFICE TO OBTAIN SCHEDULE FOR THE USE OF THE FREIGHT ELEVATOR(S) PRIOR TO SUBMITTING BID. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE. WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.

7. DEBRIS REMOVAL MUST BE PERFORMED USING THE

8. IF DIRECTED BY BUILDING MANAGEMENT, ALL DOORS FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES, (INCLUDING DOWNLIGHTS & FLUORESCENTS), & SPECIAL EQUIPMENT SHOWN TO BE REMOVED, SHALL BE CLEAN AND FREE OF DEFECTS, PROTECTED, SAVED AND REUSED AS DIRECTED HEREIN, RETURNED TO BUILDING STOCK OR DISPOSED OF.

IN PARTITIONS TO BE REMOVED, REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO THEIR SOURCE.

**10.** CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION IN ELEVATOR LOBBY, PUBLIC CORRIDORS, RESTROOMS OR TENANT SPACES. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.

**11.** NO EXISTING SMOKE DETECTOR, PUBLIC ADDRESS SPEAKER, FIRE ALARM BOX OR SIMILAR DEVICE, INCLUDING THE ASSOCIATED WIRING SHALL BE DAMAGED DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS. NO ACTIVE SMOKE

OR USED FOR OTHER THAN IT'S INTENDED PURPOSE. 12. ALL EXISTING FLOOR MOUNTED OUTLETS, WHERE NOTED TO BE REMOVED OR RELOCATED, SHALL BE CAPPED OFF TO THE NEAREST JUNCTION BOX. FILL AND LEVEL FLOOR TO ACCEPT NEW FLOOR COVERING.

DETECTOR SHALL BE COVERED OR OTHERWISE REMOVED

**13.** ALL EXISTING CEILING TILES TO REMAIN U.O.N. ALL BROKEN, PARTIAL, STAINED, OR DAMAGED TILES SHALL BE REPLACED.

14. ALL EXISTING LIGHT FIXTURES SHALL BE CLEANED OF DUST, WRAPPED FOR PROTECTION & STORED FOR RE-USE. **15.** REMOVE TO SOURCE ALL PIPES, VENTS, APPLIANCES OR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB

RE-USE OR RELOCATE ALL ABOVE CEILING DUCTWORK DIFFUSERS. GRILLES. SPRINKLER PIPES OR OTHER EQUIPMENT, AS REQUIRED FOR PROPER DISTRIBUTION WITH NEW LAYOUT.

DRAINS NOT BEING RE-USED.

**17.** REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/ COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES, SERVICE OWNER OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED

**18.** REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE. SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.

TO PREVENT NEW CONSTRUCTION DELAYS.

**19.** CAREFULLY REMOVE ALL EXISTING WALL COVERING AT EXISTING PARTITIONS AND/OR COLUMNS, AS NOTED. **20.** DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS

SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.

**21.** STAIRWAYS MUST REMAIN ACCESSIBLE AT ALL TIMES DURING DEMOLITION. 22. RATED WALLS SHALL NOT BE PENETRATED UNLESS THE 11. ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, RATING IS MAINTAINED.

## **SAFETY NOTES:**

1. THE CONTRACTOR SHALL SAFEGUARD THE OWNER'S PROPERTYDURING CONSTRUCTION AND SHALL REPLACE ANY DAMAGED PROPERTY OF THE OWNER TO ORIGINAL CONDITION OR BETTER.

**2.** THE CONTRACTOR SHALL PROVIDE GUEST PROTECTION FROM ALL AREAS OF WORK. 3. THE CONTRACTOR SHALL PROTECT ADJOINING AREAS FROM NOISE, DUST, DIRT FIRE HAZARDS, ETC.

**CONSTRUCTION NOTES:** 

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF MATCHING BUILDING LINES AND LEVELS BETWEEN NEW AND EXISTING CONSTRUCTION. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR THE LOCATION AND CONSTRUCTION OF THE WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.

2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.

3. CONTRACTOR SHALL RELOCATE OR CAP OFF EXISTING UTILITY LINES AS REQUIRED. COORDINATE WTH ELECTRICAL AND PLUMBING DRAWINGS FOR FURTHER INFORMATION.

**4.** EXISTING CONSTRUCTION WHICH IS TO REMAIN BUT IS DAMAGED DURING, CONSTRUCTION SHALL BE REPLACED OR REPAIRED TO ORIGINAL CONDITION OR BETTER.

5. MATERIALS USED FOR NEW CONSTRUCTION, UNLESS SPECIFIED OR INDICATED OTHERWISE, SHALL MATCH EXISTING ADJACENT MATERIALS, CONSTRUCTION AND FINISHES.

6. NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE CITY .

7. THE GENERAL CONTRACTOR SHALL PROVIDE A DUMPSTER IN AN AREA DESIGNATED BY THE OWNER FOR THE PURPOSE OF COLLECTING TRASH AND SHALL PROVIDE FOR ITS REMOVAL FROM THE SITE TO A LEGAL DISPOSAL SITE

8. ALL HOLES IN CONCRETE SLABS LEFT AFTER REMOVAL OF PIPES, CONDUITS, ETC., ARE TO BE FILLED WITH POR-ROCK OR SOLID CONCRETE. REFER TO ANY DETAILS WITHIN DRAWING SET FOR FURTHER INFORMATION.

9. THE GENERAL CONTRACTOR SHALL VERIFY SALVAGE REQUIREMENTS OF ALL FURNITURE, FIXTURES AND EQUIPMENT WITH THE OWNER TO DEMOLITION.

**10.** SURFACE CRACKS AND VOIDS SHALL BE TUCK POINTED OR PATCHED. **11.** ALL SURFACES TO BE FINISHED SHALL BE PREPARED IN

ACCORDANCE WITH FINISH MANUFACTURERS RECOMMENDATIONS.

12. PROVIDE ALL NECESSARY BLOCKING, BACKING, SLEEVES, AND FRAMES FOR LIGHT FIXTURES, ELECTRICAL UNITS, A/C EQUIPMENT AND OTHER ITEMS REQUIRING SAME. **13.** PLEASE RECYCLE DEMOLITION & CONSTRUCTION WASTE, ASK ABOUT POSSIBLE DUMP SITES. 14. THE CONTRACTOR SHALL COMPLY W/ ALL 0.S.H.A. REQUIREMENTS

**15.** TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED & VISIBLE WHEN THE UNIT IS GLAZED.

16. PENETRATIONS OF FIRE-RATED FLOORS OR FLOOR-CEILING ASSEMBLIES SHALL BE PROTECTED BY THROUGH-PENETRATION FIRE STOPS HAVING AN "F" OR "T" RATING. A "T" RATING IS REQUIRED WHERE PENETRATIONS ARE NOT CONTAINED IN THE WALL AT THE POINT THEY PENETRATE THE FLOOR OR WHERE THEY ARE LARGER THAN A 4" (IOOmm) PIPE OR 16 SQ IN (IO320mm SQ) IN AREA. UBC SEC 710.3 EX 5

1. ALL WORK AND MATERIALS SHALL COMPLY TO THE CURRENT ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, NATIONAL ELECTRIC CODE CALIFORNIA MECHANICAL CODE CALIFORNIA FIRE CODE AND ALL LOCAL CODES, REGULATIONS, LAWS & ORDINANCES GOVERNING CONSTRUCTION . SECURITY IN THIS JURISDICTION.

CODE NOTES:

2. METAL FABRICATION SHALL CONFORM TO C.B.C. AND STANDARDS OF A.S.T.M., A.I.S.C., A.W.S. AND S.S.P.C. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE CODE REGULATIONS.

3. DEPARTMENT OF INDUSTRIAL RELATIONS DIVISION OF INDUSTRIAL SAFETY (O.S.H.A.) REQUIREMENTS. CONTRACTOR SHALL PROVIDE OCCUPANCY SIGNAGE PER LOCAL BUILDING REQUIREMENTS AND/OR FIRE DEPARTMENT REQUIREMENTS.

4. OCCUPANCY SIGNAGE SHALL BE PLACED PER LOCAL CODE & FIRE DEPARTMENT REQUIREMENTS AS APPLICABLE. 5. ALL REQUIRED PERMITS MUST BE OBTAINED AND KEPT

ON THE PREMISES AT ALL TIMES IN A LOCATION SPECIFIED BY THE CITY GENERAL NOTES

1. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY INCONSISTENCY, ERROR OR OMISSION HE MAY DISCOVER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE MEANS OF CORRECTING ANY ERROR, BEFORE OR AFTER THE START OF CONSTRUCTION, SHALL FIRST BE APPROVED BY THE ARCHITECT

2. STAMPED SETS OF APPROVED PLANS SHALL BE PROVIDED FOR ALL WORK. THE CONTRACTOR SHAL MAINTAIN IN, GOOD CONDITION, COMPLETE SETS OF

STAMPED AND APPROVED PLANS WITH ALL REVISIONS ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THEY ARE TO BE UNDER THE CARE OF THE GENERAL CONTRACTOR OR HIS SUPERINTENDENT IN A LOCATION SPECIFIED BY THE CITY.

3. THE ARCHITECT WILL REVIEW ALL SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.

**4.** THE ARCHITECT MAKES NO GUARANTEE FOR PRODUCTS NAMED BY TRADE NAME OR MANUFACTURER.

5. REFERENCES OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWIING OR

6. DETAILS ARE INTENDED TO SHOW DESIGN INTENT, MINOR DIMENSIONS OR CONDITIONS. AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.

7. THE CONTRACTOR SHALL NOT BREAK SETS FOR TRADE BIDDING, ERRORS IN BIDDING AS A RESULT OF THIS PRACTICE ARE NOT THE RESPONSIBILITY OF THE OWNER OR THE ARCHITECT

8. THE CONTRACTOR SHALL REFER TO AND CROSS-CHECK DETAILS, DIMENSIONS, NOTES, AND ALL REQUIREMENTS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH THE EXISTING SITE CONDITIONS AND SPECIFICATIONS.

9. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE FOLLOWING IS REQUIRED FROM THE AGENT OF THE OWNER a) AN AUTHORIZATION LETTER FROM THE OWNER TO PULL PERMITS. THE FOLLOWING IS REQUIRED FROM THE CONTRACTOR AGENT:- b) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND FOLLOWING LANDLORD'S RULES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO PROVIDING INSURANCE CERTIFICATES PER

LANDLORD'S CRITERIA. c) CERTIFICATE OF WORKERS COMPENSATION INSURANCE MADE OUT TO THE CONTRACTORS STATE LICENSE BOARD. d) COPY OF THE CITY BUSINESS TAX REGISTRATION CERTIFICATE OR NEWLY PAID RECEIPT FOR ONE. e) NOTARIZED LETTER OF AUTHORIZATION FOR AGENTS OF CONTRACTOR.

10. THE CONTRACTOR SHALL PROVIDE A LIST OF SUBCONTRACTORS TO THE OWNER FOR REVIEW PRIOR TO SIGNING THE OWNER / CONTRACTOR AGREEMENT.

PATCHING, ETC., TO MAKE THE SEVERAL PIECES COME TOGETHER PROPERLY AND FIT OR BE RECEIVED BY WORK OF OTHER TRADES.

**12.** THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY BRACING OR SHORING AS REQUIRED OR PORTION THEREOF DURING CONSTRUCTION.

13. THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER, AND TOILET FACILITIES AS REQUIRED AND SHALL INSTALL THEM IN ACCORDANCE TO LOCAL CODES. CONTRACTOR MAY USE OWNERS FACILITIES UPON WRITTEN AUTHORIZATION FROM OWNER'S REPRESENTATIVE.

14. THE GENERAL CONTRACTOR AND HIS ASSOCIATES, SUBCONTRACTORS, ETC., MUST MAINTAIN THE SPACE, ACCESS AREAS, ETC., CLEAN AT ALL TIMES AND SWEEP. DUST, CLEAN, ETC., EVERY DAY AT THE END OF WORKING

15. IT S THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DELIVER THE JOB COMPLETELY CLEAN.

16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR, ND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.

17. NEW MECHANICALLY VENTILATED BUILDINGS SHALL PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH A MERV 13 FILTER FOR OUTSIDE AND RETURN AIR. FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL. FIRE SAFETY NOTES:

1. THE GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A WITHIN A 75-FOOT TRAVEL DISTANCE.

2. THE GENERAL CONTRACTOR SHALL PROVIDE ANY ADDITIONAL FIRE EXTINGUISHERS AS REQUIRED BY THE LOCAL FIRE DEPARTMENT FIELD INSPECTOR.

3. THE GENERAL CONTRACTOR SHALL PROVIDE PLANS FOR 3. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE REVISION OF THE FIXED FIRE PROTECTION EQUIPMENT AND ILLUMINATED. (R303.7) SHALL SUBMIT THEM TO THE LOCAL JURISDICTION AS REQUIRED AND TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

**4.** THE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWNGS AND SPECIFICATIONS FOR REVISION TO FIXED FIRE PROTECTION EQUIPMENT AND SUBMITTAL OF PLANS TO THE FIRE MARSHALL AS REQUIRED FOR APPROVAL PRIOR TO INSTALLATION.

FIRE-RESISTANCE RATED CONSTRUCTION:

1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND WITH THE MANUFACTURER'S INSTRUCTIONS BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11) 2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET.

DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE

INTO APPROXIMATELY EQUAL AREAS. (R302.12)

FIRE PROTECTION

 AND APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STOREY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STOREY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)

2. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY

3. THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72

4. BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS.

LADBS GENERAL REQUIREMENTS: THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

4. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

5. SHOWER COMPARTMENTS AND WALSS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET (SECTION 1210.2.3). USE OF WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE AS STATED IN SECTION 2509.3

6. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION

7. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

8. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)

9. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

**10.** AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. 11. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL

DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY. UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)

12. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000) EXISTING DWELLINGS OR SLEEPIN( UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)

**13.** A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

14. FOR EXISTING POOL ON SITE, PROVIDE ANTIENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL. 9AB0 NO. 2977. (3162B) LADBS ADDITIONAL NOTES:

GARAGE/CARPORTS

1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1).

2. DUCT PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENING INTO THE GARAGE (R302.5.2)

3. OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALL SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3)

4. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL. AND THE AREA USED TO PARKVEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201) MEANS OF EGRESS

 THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE EXTERIOR OF THE DWELLING AT THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. (R311.1)

2. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (R302.7)

4. PROVIDE 42" HIGH GUARDS WITH MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS. (R312)

5. FOR GLASS HANDRAILS AND GUARDS. THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4 INCH. (2407)

6. INTERNALLY ILLUMINATED EXIT SIGNS. ELECTRICALLY POWERED, SELF-LUMINOUS AND PHOTOLUMINESCENT EXIT SIGNS SHALL BELISTED AND LABELED IN ACCORDANCE WITH UL 924 AND SHALL BE INSTALLED IN ACCORDANCE AND CHAPTER 27.

7. EXTERNALLY ILLUMINATED EXIT SIGNS SHALL COMPLY WITH SECTIONS 1013.6.1 - 1013.6.3. 8. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY

9. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 IUX).

ILLUMINATED.

LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

10. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702.

**11.** EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. 12. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90MIN. IN CASE OF PRIMARY POWER LOSS. 1013.5-1013.6.3

13. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. 1010.1.9

14. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR. 1010.1.9.2 15. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY

WITH SECTION 1010.1.9 **16.** THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE

BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1FOOT-CANDLE AT THE WALKING SURFACE 1008 1

**17.** THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS: 1008.3

> I. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS;

**II.** CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.; **III.** EXTERIOR EGRESS COMPONENTS AT OTHER

THAN THEIR LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. IV. INTERIOR EXIT DISCHARGE ELEMENTS, AS

PERMITTED IN SECTION 1028.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

V. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1010.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

18. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ONSITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702. 1008.3

**19. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED** TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. 1008.3

**20.** THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES UNIT EQUIPMENT OR AN ON-SITE ACCORDANCE WITH THE ELECTRICAL CODE. FOR HIGH RISE CONFORM TO THE PROVISIONS OF SECTION 6710 OR TO BUILDINGS, SEE SECTION 403.

21. EVERY EXIT SIGN AND DIRECTIONAL EXIT SIGN SHALL HAVE PLAINLY LEGIBLE LETTERS NOT LESS THAN 6 INCHES (152 MM) HIGH WITH THE PRINCIPAL STROKES OF THE LETTERS NOT LESS THAN V4 INCH (19.1 MM) WIDE. THE WORD "EXIT" SHALL HAVE LETTERS HAVING A WIDTH NOT LESS THAN 2 INCHES (5 1 MM) WIDE, EXCEPT THE LETTER "I AND THE MINIMUM SPACING BETWEEN LETTERS SHALL BE NOT LESS THAN 3/8 INCH (9.5 MM). SIGNS LARGER THAN THE MINIMUM ESTABLISHED IN THIS SECTION SHALL HAVE LETTER WIDTHS, STROKES AND SPACING IN PROPORTION TO THEIR HEIGHT. THE WORD "EXIT" SHALL BE IN HIGH CONTRAST WITH THE BACKGROUND AND SHALL BE CLEARLY DISCERNIBLE WHEN THE MEANS OF EXIT SIGN ILLUMINATION IS OR IS NOT ENERGIZED. IF A CHEVRON DIRECTIONAL INDICATOR IS PROVIDED AS PART OF THE EXIT SIGN, THE CONSTRUCTION SHALL BE SUCH THAT THE DIRECTION OF THE CHEVRON DIRECTIONAL INDICATOR CANNOT BE READILY CHANGED.

**INTERIOR ENVIRONMENT** 

1. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68 DEGREE FAHRENHEIT AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)

2. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

# BUILDING ENVELOPE

**1.** PROVIDE A CLASS A, B OR C FIRE-RETARDANT ROOF COVERING PER SECTION R902..1

2. GLAZING IN THE FOLLOWING SECTIONS SHALL BE SAFETY PORTS IN THE DOOR OR ADJOINING WALL. (6706) GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.

B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.

2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE

3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.

4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING

D. GLAZING IN RAILINGS.

E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALING SURFACE.

F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AN IN A STRAIGHT LINE, OF THE WATER'S EDGE.

**G.** GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AN RAMPS.

H. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND VENTILATION SYSTEM. MUST BE CONTROLLED BY A WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.

3. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6

4. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).

5. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USED OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA

6. PROVIDE ANTI GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

7. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)

8. ALL COOL ROOF PRODUCTS SHALL HAVE A CLEARLY VISIBLE PACKAGING LABEL THAT LISTS THE EMITTANCE AND THE INITIAL AND 3-YEAR AGED SOLAR REFLECTANCE, OR A CRRC APPROVED ACCELERATED AGED SOLAR REFLECTANCE TESTED IN ACCORDANCE WITH CRRC-1 140.1, 140.2, 140.3(A)1, 141.0(B)2B, 150.1(C)11, 150.2(B)1H, 150.2(B)2

SECURITY REQUIREMENTS

1. SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF. BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES. (6707)

2. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR. (6708)

3. SLIDING GLASS DOORS PANELS SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.1

4. METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED. HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. (6711)

5. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. (6712)

6. IN GROUP B, F, M, AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 IN. BUT LESS THAN 48 IN, SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES (6714)

7. GLAZED OPENINGS WITHIN 40" OF THE REQUIRED LOCKING DEVICE OF THE DOOR, WHEN THE DOOR IS IN THE CLOSED AND LOCKED POSITION AND WHEN THE DOOR IS OPENABLE FROM THE INSIDE WITHOUT USE OF KEY, SHALL BE FULLY TEMPERED GLASS PER SECTION 2406, OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS GENERATOR SET, AND THE SYSTEM SHALL BE INSTALLED IN SECTION SHALL NOT APPLY TO SLIDE GLASS DOORS WHICH VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THER GREATEST DIMENSIONS. (6715.3)

> 8. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY.

> 9. OTHER OPENABLE WINBDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN GROUP B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. (6715.2)

> **10.** SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICES. A DEVICE SHALL BE INSTALLED IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 6715.1

11. SLIDING GLASS WINDOWS SASH SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.2

**12.** ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRCLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION.

**13.** ALL OTHER OPENINGSMUST BE PROTECTED BY METAL INCHES IN ONE DIMENSION.

**14.** ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW

**15.** WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. (6709.1) DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB, OR JOINED BY RABBET TO THE JAMB. (6709.4)

**16.** ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. (6709.5, 6709.7)

17. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, M AND S OCCUPANCIES). (6709.2)

18. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". (6709.2)

19. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 INCH THICK WITH SHAPED PORTIONS OF THE PANELS NOT LESS THAN 1/4 INCH THICK, AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH. (6709.1 ITEM 2)

20. SLIDING GLASS DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVAL OF THE MOVING PANEL FROM THE TRACK WHILE IN THE CLOSED POSITION. (6710)

**GENERAL NOTES:** 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35

CFM CONTINUOUS. 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM

CONTROLLERS ARE SOIL BASED.

5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP. LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.

7. ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.12.

8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO **10.** CONTROLS FOR SERVICE WATER-HEATING SYSTEMS INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH SHALL LIMIT THE OUTLET TEMPERATURE AT PUBLIC CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATION LAVATORIES TO 110°F. 110.3(C)3 OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. 11. UNFIRED SERVICE WATER-HEATER STORAGE TANKS AND 9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY BACKUP TANKS FOR SOLAR WATER-HEATING SYSTEMS SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SHALL HAVE: SPACE(S) RESERVED FOR FUTURE EV CHARCHING AS EV

CAPABLE IN ACCORDANCE WITH THE LOS ANGELESELECTRICAL CODE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE

10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS. 11. ALL DOORS 4" FROM WALL U.O.N.

12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

> A. VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE **B.** PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM.

C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM **D.** MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION.

13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004. ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.

POOL SHALL BE COVERED.

IRRIGATION SYSTEM. (4.305.1)

ELECTRIC'.

LINE. (4.305.2)

SEWER. (4.305.4)

610.4.1.2 OR 610.4.1.3.

**BUILDING ENERGY STANDARD NOTES:** 

REQUIRED.

GENERAL NOTES

EXECUTIVE DIRECTOR.

14. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE, THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)

15. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COMVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE

16. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.

**17.** THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR

18. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4) 19. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHES WASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER

20. WATER USED IN THE BUILDING FOR WATER CLOSETS URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY

21. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND CONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE

22. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION

23. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS

I. COMPLIANCE INFORMATION: THE BUILDER SHALL LEAVE IN THE BUILDING, COPIES OF THE COMPLETED, SIGNED AND SUBMITTED COMPLIANCE DOCUMENTS FOR THE BUILDING OWNER AT OCCUPANCY. FOR LOW-RISE RESIDENTIAL BUILDINGS, SUCH INFORMATION SHALL, AT A MINIMUM. INCLUDE COPIES OF ALL CERTIFICATE OF COMPLIANCE, CERTIFICATE OF INSTALLATION, AND CERTIFICATE OF VERIFICATION DOCUMENTATION SUBMITTED. 10-103(B)1

2. OPERATING INFORMATION: THE BUILDER SHALL PROVIDE THE BUILDING OWNER AT OCCUPANCY, OPERATING INFORMATION FOR ALL APPLICABLE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES INSTALLED IN THE BUILDING. OPERATING INFORMATION SHALL INCLUDE INSTRUCTIONS ON HOW TO OPERATE THE FEATURES, MATERIALS. COMPONENTS, AND MECHANICAL DEVICES CORRECTLY AND EFFICIENTLY. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE

> A. FOR RESIDENTIAL BUILDINGS, SUCH INFORMATION SHALL BECONTAINED IN A FOLDER OR MANUAL WHICH PROVIDES ALL CERTIFICATE OF COMPLIANCE, CERTIFICATE OF INSTALLATION, AND CERTIFICATE OF VERIFICATION DOCUMENTATIONS. THIS OPERATING INFORMATION SHALL BE IN PAPER

OR ELECTRONIC FORMAT. 10-103(B)2 3. MAINTENANCE INFORMATION: THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT OCCUPANCY. MAINTENANCE INFORMATION FOR ALL FEATURES. MATERIALS, COMPONENTS, AND MANUFACTURED DEVICES THAT REQUIRE ROUTINE MAINTENANCE FOR EFFICIENT

OPERATION. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL MAY BE LIMITED TO IDENTIFYING, BY TITLE AND/OR PUBLICATION NUMBER, THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF FEATURE, MATERIAL, COMPONENT OR MANUFACTURED DEVICE. 10-103(B)3

4. VENTILATION INFORMATION: THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT OCCUPANCY. A DESCRIPTION OF THE QUANTITIES OF OUTDOOR AIR THAT THE VENTILATION SYSTEM(S) ARE DESIGNED TO PROVIDE TO THE BUILDING'S CONDITIONED SPACE, AND INSTRUCTIONS

5. ALL SYSTEMS, EQUIPMENT, APPLIANCES AND BUILDING OMPONENTS SHALL COMPLY WITH THE APPLICABLE MANUFACTURING, CONSTRUCTION, AND INSTALLATION PROVISIONS OF SECTIONS 110.0 THROUGH 110.11 FOR

FOR PROPER OPERATION AND MAINTENANCE OF THE

VENTILATION SYSTEM, 10-103(B)4

NEWLY CONSTRUCTED BUILDINGS.

TEMPERATURE. 110.3(C)1

SYSTEM. 110.3(C)2

6. ANY APPLIANCE REGULATED BY THE APPLIANCE EFFICIENCY REGULATIONS, TITLE 20 CALIFORNIA CODE OF REGULATIONS, SECTION 1601 ET SEQ., MAY BE INSTALLED ONLY IF THE APPLIANCE FULLY COMPLIES WITH SECTION 1608(A) OF THOSE REGULATIONS. 110.1(A)

SERVICE WATER-HEATING SYSTEMS SHALL BE EQUIPPED WITH AUTOMATIC TEMPERATURE CONTROLS CAPABLE OF ADJUSTMENT FROM THE LOWEST TO THE HIGHEST ACCEPTABLE TEMPERATURE SETTINGS FOR THE INTENDED USE AS LISTED IN TABLE 3. CHAPTER 50 OF THE ASHRAE HANDBOOK, HVAC APPLICATIONS VOLUME. 110.3(A)1

8. ON SYSTEMS THAT HAVE A TOTAL CAPACITY GREATER THAN 167,000 BTU/HR, OUTLETS THAT REQUIRE HIGHER THAN SERVICE WATER TEMPERATURES AS LISTED IN THE ASHRAE HANDBOOK, APPLICATIONS VOLUME, SHALL HAVE SEPARATE REMOTE HEATERS, HEAT EXCHANGERS, OR BOOSTERS TO SUPPLY THE OUTLET WITH THE HIGHER

9. SERVICE HOT WATER SYSTEMS WITH CIRCULATING PUMPS OR WITH ELECTRICAL HEAT TRACE SYSTEMS SHALL BE CAPABLE OF AUTOMATICALLY TURNING OFF THE

A. EXTERNAL INSULATION WITH AN INSTALLED R-VALUE OF AT LEAST R-12, OR

**B.** INTERNAL AND EXTERNAL INSULATION WITH A COMBINED RVALUE OF AT LEAST R-16, OR

C. THE HEAT LOSS OF THE TANK SURFACE BASED ON AN 80°F WATER-AIR TEMPERATURE DIFFERENCE SHALL BE LESS THAN 6.5 BTU/HR PER SQUARE FOOT. 110.3 (C)4

**12.** FOR NONRESIDENTIAL, HIGH-RISE RESIDENTIAL, AND HOTEL/MOTEL BUILDINGS, SPACE CONDITIONING SYSTEMS SHALL MEET THE EFFICIENCY STANDARDS SPECIFIED **SECTION 120.2.** 

**13.** CONTINUOUSLY BURNING PILOT LIGHT SHALL BE PROHIBITED FOR THE FOLLOWING NATURAL GAS SYSTEM OR EQUIPMENT LISTED BELOW: (110.5) A. FAN-TYPE CENTRAL FURNACES

> **B.** HOUSEHOLD COOKING APPLIANCES, EXCEPT FOR HOUSEHOLD COOKING APPLIANCES WITHOUT AN ELECTRICAL SUPPLY VOLTAGE CONNECTION AND IN WHICH EACH PILOT CONSUMES LESS THAN 150 BTU/HR

C. POOL HEATERS

**D.** SPA HEATERS

E. INDOOR AND OUTDOOR FIREPLACES 14. ANY POOL OR SPA HEATING SYSTEM OR EQUIPMENT

SHALL: (110.4) A. A THERMAL EFFICIENCY THAT COMPLIES WITH THE APPLIANCE EFFICIENCY REGULATIONS

**B.** HAVE A READILY ACCESSIBLE ON-OFF SWITCH MOUNTED ON THE OUTSIDE OF THE HEATER THAT ALLOWS SHUTTING OFF THE HEATER WITHOUT ADJUSTING THE THERMOSTAT SETTING.

C. NOT UTILIZE ELECTRIC RESISTANCE HEATING. D. HAVE A COVER FOR OUTDOOR POOLS OR SPAS THAT HAVE A HEAT PUMP OR GAS HEATER.

**E.** HAVE A PERMANENT, EASILY READABLE, AND WEATHERPROOF INSTRUCTION CARD THAT GIVES INSTRUCTIONS FOR THE ENERGY EFFICIENT OPERATION OF THE POOL OR SPA HEATER AND FOR THE PROPER CARE OF POOL OR SPA WATER WHEN A COVER IS USED.

F. HAVE AT LEAST 36 INCHES OF PIPE INSTALLED BETWEEN THE FILTER AND HEATER OR DEDICATED SUCTION AND RETURN LINES, OR BUILT-IN OR BUILT-UP CONNECTIONS SHALL BE INSTALLED TO ALLOW FOR THE FUTURE ADDITION OF SOLAR HEATING EQUIPMENT

**G.** HAVE DIRECTIONAL INLETS FOR THE POOL OR SPA THAT ADEQUATELY MIX THE POOL WATER.

H. A TIME SWITCH OR SIMILAR CONTROL MECHANISM SHALL BE INSTALLED AS PART OF A POOL WATER CIRCULATION CONTROL SYSTEM THAT WILL ALLOW ALL PUMPS TO BE SET OR PROGRAMMED TO RUN ONLY DURING THE OFF-PEAK ELECTRIC DEMAND PERIOD AND FOR THE MINIMUM TIME NECESSARY TO MAINTAIN THE WATER IN THE CONDITION REQUIRED BY APPLICABLE PUBLIC HEALTH STANDARDS.

**15.** MANUFACTURED FENESTRATION PRODUCTS AND EXTERIOR DOORS SHALL HAVE AIR INFILTRATION RATES NOT EXCEEDING 0.3 CFM/FT2 OF WINDOW AREA, 0.3 CFM/FT2 OF DOOR AREA FOR RESIDENTIAL DOORS, 0.3 CFM/FT2 OF NONRESIDENTIAL SINGLE DOOR AREA, AND 1.0 CFM/FT2 OF NONRESIDENTIAL DOUBLE DOOR AREA. 110.6(A)1

**16.** FENESTRATION PRODUCTS SHALL BE RATED IN ACCORDANCE WITH NFRC 100 FOR U-FACTOR, NFRC 200 FOR SHGC. AND VT OR USE THE APPLICABLE DEFAULT VALUE. FENESTRATION PRODUCTS SHALL HAVE A TEMPORARY LABEL, FOR MANUFACTURED FENESTRATION PRODUCTS AND EXTERIOR DOORS, A TEMPORARY LABEL CERTIFICATE APPROVED BY THE SUPERVISORY ENTITY (NFRC) MEETS THE REQUIREMENTS OF THIS SECTION. WHEN COMPONENT MODELING APPROACH IS USED AND FOR SITE-BUILT FENESTRATION PRODUCTS, A LABEL CERTIFICATE APPROVED BY THE SUPERVISORY ENTITY (NFRC) MEETS THE REQUIREMENTS OF THIS SECTION 10-111(A)1, 110.6(A)2, 110.6(A)3, 110.6(A)4, 110.6(A)5

**17.** FIELD-FABRICATED FENESTRATION PRODUCTS AND EXTERIOR DOORS, OTHER THAN UNFRAMED GLASS DOORS AND FIRE DOORS, SHALL BE CAULKED BETWEEN THE FENESTRATION PRODUCTS OR EXTERIOR DOOR AND THE BUILDING, AND SHALL BE WEATHERSTRIPPED. 110.6(B)

18. JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. 110.7

**19.** INSULATION SHALL BE CERTIFIED BY DEPARTMENT OF CONSUMER AFFAIRS. BUREAU OF ELECTRONIC AND APPLIANCE REPAIR. HOME FURNISHING AND THERMAL INSULATION THAT THE INSULATION CONDUCTIVE THERMAL PERFORMANCE IS APPROVED PURSUANT TO THE CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 12, CHAPTER 12-13, ARTICLE 3, "STANDARDS FOR INSULATING MATERIAL." 110.8(A)

**20.** UREA FORMALDEHYDE FOAM INSULATION MAY ONLY BE USED IN EXTERIOR SIDE WALLS, AND REQUIRES A FOUR-MIL- 2. AREA SMOKE DETECTORS SHALL BE PROVIDED IN THICK PLASTIC POLYETHYLENE VAPOR BARRIER BETWEEN THE UREA FORMALDEHYDE FOAM INSULATION AND THE INTERIOR SPACE IN ALL APPLICATIONS. 110.8(B)

**21.** INSULATING MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF THE CBC. 110.8(C)

**22.** INSULATION INSTALLED ON AN EXISTING SPACE CONDITIONING DUCT, IT SHALL COMPLY WITH SECTION 604.0 OF THE CMC. 110.8(D)3

**23.** EXTERNAL INSULATION INSTALLED ON AN EXISTING UNFIRED WATER STORAGE TANK OR ON AN EXISTING BACK-UP TANK FOR A SOLAR WATERHEATING SYSTEM. IT SHALL HAVE AN R-VALUE OF AT LEAST R-12, OR THE HEAT LOSS OF THE TANK SURFACE BASED ON AN 80°F WATER-AIR TEMPERATURE DIFFERENCE SHALL BE LESS THAN 6.5 BTU PER HOUR PER SQUARE FOOT. 110.8(D)2

24. INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.12 AND SECTION 803.1

RESIDENTIAL NOTES

1. A MASONRY OR FACTORY-BUILT FIREPLACE SHALL HAVE THE FOLLOWING: (150.0(E))

A. CLOSEABLE METAL OR GLASS DOORS COVERING THE ENTIRE OPENING OF THE FIREBOX:

**B.** A COMBUSTION AIR INTAKE TO DRAW AIR FROM THE OUTSIDE OF THE BUILDING DIRECTLY INTO THE FIREBOX, WHICH IS AT LEAST SIX SQUARE INCHES IN AREA AND IS EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE, AND TIGHT-FITTING DAMPER OR COMBUSTION-AIR CONTROL DEVICE. (EXCEPTION: AN OUTSIDE COMBUSTION-AIR INTAKE IS NOT REQUIRED IF THE FIREPLACE WILL BE INSTALLED OVER CONCRETE SLAB FLOORING AND THE FIREPLACE WILL NOT BE LOCATED ON AN

C. A FLUE DAMPER WITH A READILY ACCESSIBLE CONTROL

EXTERIOR WALL.); AND

2. HEATING OR COOLING SYSTEMS, INCLUDING HEAT PUMPS, NOT CONTROLLED BY A CENTRAL ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) SHALL BE EQUIPPED WITH A SETBACK THERMOSTAT THAT MEET THE REQUIREMENTS OF SECTION 110.2(C). 150.0(I) 3. GAS OR PROPANE WATER HEATERS SHALL HAVE: 150.0(N)

A. A DEDICATED 125 VOLT, 20 AMP ELECTRICAL RECEPTACLE THAT IS WITHIN 3 FEET FROM THE WATER HEATER.

**B.** A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE.

C. CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINING WITHOUT PUMP ASSISTANCE. **D**. A GAS SUPPLY LINE WITH A CAPACITY OF AT

4. ALL PUMPS AND PUMP MOTORS INSTALLED SHALL BE LISTED IN THE COMMISSION'S DIRECTORY OF CERTIFIED EQUIPMENT AND SHALL COMPLY WITH THE APPLIANCE EFFICIENCY REGULATIONS. 150.0(P)1.A

LEAST 200,000 BTU/HR

5. THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT OF ANY LOOSEFILL INSULATION SHALL CONFORM WITH THE INSULATION MANUFACTURER'S LABELED R-VALUE. 150.0 (B)

6. THE MINIMUM DEPTH OF CONCRETE-SLAB FLOOR PERIMETER INSULATION SHALL BE 16 INCHES OR THE DEPTH OF THE FOOTING OF THE BUILDING, WHICHEVER IS LESS. 150.1(C)(1)(D)

7. RAISED-FLOORS SHALL BE INSULATED SUCH THAT THE FLOOR ASSEMBLY HAS AN ASSEMBLY U-FACTOR EQUAL TO OR LESS THAN SHOWN IN TABLE 150.1-(A) SINGLE FAMILY OR (B) MULTIFAMILY 150.1(C)1.C

8. ALL NEW BUILDINGS AND ADDITIONS >700 SQFT SHALL COMPLY WITH THE QUALITY INSULATION INSTALLATION (QII) REQUIREMENTS SHOWN IN TABLE 150.1-(A) SINGLE FAMILY OR (B) MULTIFAMILY. WHEN QII IS REQUIRED, INSULATION INSTALLATION SHALL MEET THE CRITERIA SPECIFIED IN REFERENCE APPENDIX RA3.5. 150.1(C)1.E

9. INSULATIONS ARE REQUIRED FOR: 150.0(J)2.A **A.** ALL HOT WATER PIPES FROM THE HEATING

SOURCE TO THE KITCHEN FIXTURES. **B.** ALL PIPING WITH A NOMINAL DIAMETER TO OR

GREATER THAN 3/4 INCH AND LESS THAN 1 INCH. C. THE FIRST 5 FEET (1.5 METERS) OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK.

**D.** ALL PIPING ASSOCIATED WITH A DOMESTIC HOT WATER RECIRCULATION SYSTEM.

**E.** PIPING FROM THE HEATING SOURCE TO STORAGE TANK OR BETWEEN TANKS.

F. PIPING BURIED BELOW GRADE. **10.** INSULATION SHALL BE PROVIDED FOR WATER HEATERS

AS FOLLOWS:

11. LIGHTING 150.0(K)

**A.** UNFIRED HOT WATER TANKS, SUCH AS STORAGE TANKS AND BACKUP STORAGE TANKS FOR SOLAR WATER-HEATING SYSTEMS, SHALL BE EXTERNALLY WRAPPED WITH INSULATION HAVING AN INSTALLED THERMAL RESISTANCE OF R-12 OR GREATER OR HAVE INTERNAL INSULATION OF AT LEAST R-16 AND A LABEL ON THE EXTERIOR OF THE TANK SHOWING THE INSULATION R-VALUE. 150.0 (J)1

A. INSTALLED LUMINAIRES SHALL BE CLASSIFIED AS HIGH-EFFICACY IN ACCORDANCE WITH TABLE 150.0-A.

**B.** EXHAUST FANS SHALL BE CONTROLLED SEPARATELY FROM LIGHTING SYSTEMS.

C. LUMINARIES SHALL BE SWITCHED WITH READILY ACCESSIBLE WALL-MOUNTED CONTROLS THAT PERMIT THE LUMINARIES TO BE MANUALLY TURNED ON AND OFF.

**D.** LIGHTING INSTALLED IN ATTACHED AND DETACHED GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY VACANCY SENSORS.

E. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8. EXCEPTION 1: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET. EXCEPTION 2: LUMINAIRES IN HALLWAYS.

F. IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS 20 PERCENT OR LESS OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING FOR THE INTERIOR COMMON AREAS IN THAT BUILDING SHALL BE HIGH EFFICACY LUMINAIRES OR CONTROLLED BY AN OCCUPANT SENSOR.

**G.** IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS MORE THAN 20 PERCENT OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING IN THAT BUILDING SHALL:

> I. COMPLY WITH THE APPLICABLE REQUIREMENTS IN SECTIONS 110.9, 130.0, 130.1, 140.6 AND 141.0; AND

**II.** LIGHTING INSTALLED IN CORRIDORS AND STAIRWELLS SHALL BE CONTROLLED BY OCCUPANT SENSORS THAT REDUCE THE LIGHTING POWER IN EACH SPACE BY AT LEAST 50 PERCENT. THE OCCUPANT SENSORS SHALL BE CAPABLE OF TURNING THE LIGHT FULLY ON AND OFF FROM ALL DESIGNED PATHS OF INGRESS AND EGRESS.

FIRE PROTECTION & LIFE SAFETY

1. IN BUILDINGS WHERE MORE THAN ONE STANDPIPE IS PROVIDED. THE STANDPIPES SHALL BE INTERCONNECTED IN ACCORDANCE WITH NFPA 14. (905.4.2)

ACCORDANCE WITH THIS SECTION. SMOKE DETECTORS SHALL BE CONNECTED TO AN AUTOMATIC FIRE ALARM SYSTEM. THE ACTIVATION OF ANY DETECTOR REQUIRED BY THIS SECTION SHALL ACTIVATE THE EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH SECTION 907.5.2.2. IN ADDITION TO SMOKE DETECTORS REQUIRED BY SECTIONS 907.2.1 THROUGH 907.2.9, SMOKE DETECTORS SHALL BE LOCATED AS FOLLOWS:

> 1. IN EACH MECHANICAL EQUIPMENT, ELECTRICAL. TRANSFORMER, TELEPHONE EQUIPMENT OR SIMILAR ROOM THAT IS NOT PROVIDED WITH SPRINKLER PROTECTION.

2. IN EACH ELEVATOR MACHINE ROOM, MACHINERY SPACE, CONTROL ROOM AND CONTROL SPACE AND IN ELEVATOR LOBBIES.

3. SMOKE DETECTORS LISTED FOR USE IN AIR DUCT SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH THIS SECTION AND THE CALIFORNIA MECHANICAL CODE THE ACTIVATION OF ANY DETECTOR REQUIRED BY THIS SECTION SHALL INITIATE A VISIBLE AND AUDIBLE SUPERVISORY SIGNAL AT A CONSTANTLY ATTENDED LOCATION. DUCT SMOKE DETECTORS COMPLYING WITH SECTION 907.3.1 SHALL BE LOCATED AS FOLLOWS:

> **1.** IN THE MAIN RETURN AIR AND EXHAUST AIR PLENUM OF EACH AIR-CONDITIONING SYSTEM HAVING A CAPACITY GREATER THAN 2,000 CUBIC FEET PER MINUTE (CFM) (0.94 M3/S). SUCH DETECTORS SHALL BE LOCATED IN A SERVICEABLE AREA DOWNSTREAM OF THE LAST DUCT INLET.

2. AT EACH CONNECTION TO A VERTICAL DUCT OR RISER SERVING TWO OR MORE STORIES FROM A RETURN AIR DUCT OR PLENUM OF AN AIR-CONDITIONING SYSTEM. IN GROUP R-1 AND R-2 OCCUPANCIES, A SMOKE DETECTOR IS ALLOWED TO **16.** PUBLIC ADDRESS SYSTEM, WHERE BE USED IN EACH RETURN AIR RISER CARRYING NOT MORE THAN 5,000 CFM (2.4 M3/S) AND SERVING NOT MORE THAN 10 AIR-INLET OPENINGS.

4. SMOKE DETECTORS INSTALLED IN DUCTS SHALL BE LISTED FOR THE AIR VELOCITY, TEMPERATURE AND HUMIDITY PRESENT IN THE DUCT. DUCT SMOKE DETECTORS SHALL BE CONNECTED TO THE BUILDING'S FIRE ALARM CONTROL UNIT WHERE A FIRE ALARM SYSTEM IS REQUIRED BY SECTION 907.2. ACTIVATION OF A DUCT SMOKE DETECTOR SHALL INITIATE A VISIBLE AND AUDIBLE SUPERVISORY SIGNAL AT A CONSTANTLY ATTENDED LOCATION AND SHALL PERFORM THE INTENDED FIRE SAFETY FUNCTION IN ACCORDANCE WITH THIS CODE AND THE CALIFORNIA MECHANICAL CODE. IN FACILITIES THAT ARE REQUIRED TO BE MONITORED BY A SUPERVISING STATION, DUCT SMOKE DETECTORS SHALL REPORT ONLY AS A SUPERVISORY SIGNAL AND NOT AS A FIRE ALARM. THEY SHALL NOT BE USED AS A SUBSTITUTE FOR REQUIRED OPEN AREA DETECTION.

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<ul> <li>7. CONTROLS FOR UNLOCKING INTERIOR EXIT STAIRWAY DOORS SIMULTANEOUSLY.</li> <li>8. SPRINKLER VALVE AND WATERFLOW DETECTOR DISPLAY PANELS.</li> <li>9. EMERGENCY AND STANDBY POWER STATUS INDICATORS.</li> <li>10. A TELEPHONE FOR FIRE DEPARTMENT USE WITH CONTROLLED ACCESS TO THE PUBLIC TELEPHONE SYSTEM.</li> <li>11. FIRE PUMP STATUS INDICATORS.</li> <li>12. SCHEMATIC BUILDING PLANS INDICATING THE TYPICAL FLOOR PLAN AND DETAILING THE BUILDING CORE, MEANS OF EGRESS, FIRE PROTECTION SYSTEMS, FIRE FIGHTER AIR REPLENISHMENT SYSTEM, FIRE-FIGHTING EQUIPMENT AND</li> </ul>	RAMSEY DAHAM No. C-34257
<ul> <li>WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS.</li> <li>13. AN APPROVED BUILDING INFORMATION CARD THAT CONTAINS, BUT IS NOT LIMITED TO, THE FOLLOWING INFORMATION:</li> <li>13.1 GENERAL BUILDING INFORMATION THAT INCLUDES: PROPERTY NAME, ADDRESS, THE NUMBER OF FLOORS IN THE BUILDING ABOVE AND BELOW GRADE, USE AND OCCUPANCY CLASSIFICATION (FOR MIXED USES, IDENTIFY THE DIFFERENT TYPES OF OCCUPANCIES ON EACH FLOOR), AND THE ESTIMATED BUILDING POPULATION DURING THE DAY, NIGHT AND WEEKEND.</li> <li>13.2 BUILDING EMERGENCY CONTACT INFORMATION THAT INCLUDES: A LIST OF THE BUILDING'S EMERGENCY CONTACTS INCLUDING BUT NOT LIMITED TO BUILDING MANAGER AND BUILDING ENGINEER AND THEIR RESPECTIVE WORK PHONE NUMBER, CELL PHONE NUMBER, E-MAIL ADDRESS.</li> <li>13.3 BUILDING CONSTRUCTION INFORMATION THAT INCLUDES: THE TYPE OF BUILDING CONSTRUCTION INCLUDING BUT NOT LIMITED TO FLOORS, WALLS,</li> </ul>	522 S. VENICE BLVD. VENICE, CA 90291
COLUMNS, AND ROOF ASSEMBLY. <b>13.4</b> EXIT ACCESS AND EXIT STAIRWAY INFORMATION THAT INCLUDES: NUMBER OF EXIT ACCESS AND EXIT STAIRWAYS IN THE BUILDING, EACH EXIT ACCESS AND EXIT STAIRWAY DESIGNATION AND FLOORS SERVED, LOCATION WHERE EACH EXIT ACCESS AND EXIT STAIRWAY DISCHARGES, INTERIOR EXIT STAIRWAYS THAT ARE PRESSURIZED, EXIT STAIRWAYS PROVIDED WITH EMERGENCY LIGHTING, EACH EXIT STAIRWAY THAT ALLOWS REENTRY, EXIT STAIRWAYS PROVIDING ROOF ACCESS; ELEVATOR INFORMATION THAT INCLUDES: NUMBER OF ELEVATOR BANKS, ELEVATOR BANK DESIGNATION, ELEVATOR CAR NUMBERS AND RESPECTIVE FLOORS THAT THEY SERVE; LOCATION OF ELEVATOR MACHINE ROOMS, CONTROL ROOMS AND CONTROL SPACES; LOCATION OF SKY LOBBY,	Revision Schedule         Revision Number       Revision Date         Image: Strategy of the strategy
LOCATION OF FREIGHT ELEVATOR BANKS. <b>13.5</b> BUILDING SERVICES AND SYSTEM INFORMATION THAT INCLUDES: LOCATION OF MECHANICAL ROOMS, LOCATION OF BUILDING MANAGEMENT SYSTEM, LOCATION AND CAPACITY OF ALL FUEL OIL TANKS, LOCATION OF EMERGENCY GENERATOR, LOCATION OF NATURAL GAS SERVICE. <b>13.6</b> FIRE PROTECTION SYSTEM INFORMATION THAT INCLUDES: LOCATION OF STANDPIPES, LOCATION OF FIRE PUMP ROOM, LOCATION OF FIRE DEPARTMENT CONNECTIONS, FLOORS PROTECTED BY AUTOMATIC SPRINKLERS, LOCATION OF DIFFERENT TYPES OF AUTOMATIC SPRINKLER SYSTEMS INSTALLED INCLUDING, BUT NOT LIMITED TO, DRY, WET AND PRE-ACTION.	GENERAL NOTES
<ul> <li>13.7 HAZARDOUS MATERIAL INFORMATION THAT INCLUDES: LOCATION OF HAZARDOUS MATERIAL, QUANTITY OF HAZARDOUS MATERIAL.</li> <li>14. WORK TABLE.</li> <li>15. GENERATOR SUPERVISION DEVICES, MANUAL START AND TRANSFER FEATURES.</li> <li>16. PUBLIC ADDRESS SYSTEM, WHERE SPECIFICALLY REQUIRED BY OTHER SECTIONS OF THIS CODE.</li> <li>17. ELEVATOR FIRE RECALL SWITCH IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 8, DIVISION 1, CHAPTER 4, SUBCHAPTER 6, ELEVATOR SAFETY ORDERS.</li> <li>18. ELEVATOR EMERGENCY OR STANDBY POWER SELECTOR SWITCH(ES), WHERE EMERGENCY OR STANDBY POWER IS PROVIDED.</li> <li>19. A MASTER SWITCH FOR UNLOCKING ELEVATOR LOBBY DOORS PERMITTED BY SECTION 1010.1.9.13.</li> <li>[SFM] FIRE COMMAND CENTERS SHALL NOT BE USED FOR THE HOUSING OF ANY BOILER, HEATING UNIT, GENERATOR, COMBUSTIBLE STORAGE, OR SIMILAR HAZARDOUS</li> </ul>	DRAWN       CR         CHECKED       PNK         DATE       2/8/2024 3:53:20 PM         SCALE
EQUIPMENT OR STORAGE.	A0.01 A

## FIRE GENERAL NOTES

1. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED AT THE TOP OF RUBBISH AND LINEN CHUTES AND IN THEIR TERMINAL ROOMS. CHUTES SHALL HAVE ADDITIONAL SPRINKLER HEADS INSTALLED AT ALTERNATE FLOORS AND

2. CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. {CBC 915.4.2/4} {LAFC 915.4.2/4}

3. PROVIDE EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH LAFC 510. {CBC 916:1}

4. MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED. THE ILLUMINATION LEVEL SHALL NOT BE <1 FOOTCANDLE AT THE WALKING SURFACE. {CBC 1008.2}

5. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS FOR A DURATION OF NOT <90 MIN. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1

{CBC 1008.3-5} I. AISLES II. CORRIDORS

> IV. INTERIOR AND EXTERIOR EXIT STAIRWAYS AND RAMPS V. EXIT PASSAGEWAYS VI. VESTIBULES AND AREAS ON THE LEVEL OF

DISCHARGE USED FOR EXIT DISCHARGE VII. ELECTRICAL EQUIPMENT ROOMS VIII. FIRE COMMAND CENTERS IX. FIRE PUMP ROOMS

X. GENERATOR ROOMS XI. PUBLIC RESTROOMS >300 SF

#### SERVING EACH ELEVATOR OR BANK OF ELEVATORS ABOVE OR BELOW THE LEVEL OF EXIT DISCHARGE {CBC 1009.8}\*\*

7. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED {CBC 1013.3}\*\*

8. TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS: {CBC 1013.4}

#### DOOR. **B.** EACH EXIT DOOR THAT LEADS DIRECTLY TO A

GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:

I. "EXIT STAIR DOWN" II. "EXIT RAMP DOWN" III. "EXIT STAIR UP" IV. "EXIT RAMP UP"

C. "EXIT ROUTE" AT EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADELEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY.

D. "EXIT ROUTE" AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY.

E. "TO EXIT" AT EACH EXIT DOOR THROUGH A HORIZONTAL EXIT.

9. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES {CBC 1013.5}

10. THE FACE OF AN EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE HALL HAVE AN INTENSITY OF 25 FOOTCARIDLES {CBC 1013.6.2}

11. IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM FOR A DURATION OF NOT <90 MINUTES". {CBC 1013.6.3}\*\*

12. PROVIDE A SIGN AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING >3 STORIES DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND BOTTOM AND THE IDENTIFICATION OF THE STAIRWAY OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF, AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5' ABOVE THE FLOOR LANDING {CBC 1023.9}

13. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP {LAFC 907.2.11.5-6}

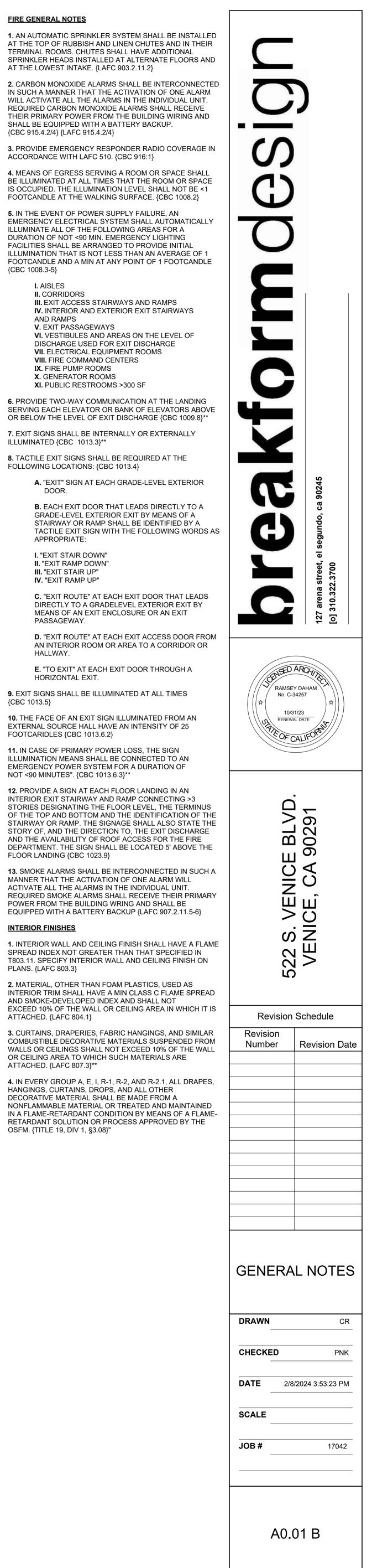
# **INTERIOR FINISHES**

1. INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN T803.11. SPECIFY INTERIOR WALL AND CEILING FINISH ON PLANS. {LAFC 803.3}

2. MATERIAL, OTHER THAN FOAM PLASTICS, USED AS INTERIOR TRIM SHALL HAVE A MIN CLASS C FLAME SPREAD AND SMOKE-DEVELOPED INDEX AND SHALL NOT EXCEED 10% OF THE WALL OR CEILING AREA IN WHICH IT IS ATTACHED. {LAFC 804.1}

COMBUSTIBLE DECORATIVE MATERIALS SUSPENDED FROM WALLS OR CEILINGS SHALL NOT EXCEED 10% OF THE WALL OR CEILING AREA TO WHICH SUCH MATERIALS ARE ATTACHED. {LAFC 807.3}\*\*

4. IN EVERY GROUP A, E, I, R-1, R-2, AND R-2.1, ALL DRAPES, HANGINGS, CURTAINS, DROPS, AND ALL OTHER DECORATIVE MATERIAL SHALL BE MADE FROM A NONFLAMMABLE MATERIAL OR TREATED AND MAINTAINED IN A FLAME-RETARDANT CONDITION BY MEANS OF A FLAME-RETARDANT SOLUTION OR PROCESS APPROVED BY THE OSFM. {TITLE 19, DIV 1, §3.08}"





	TECHNICAL SPECIFICATIONS	INDOOR LOCKERS	
	Leveling	Leveling feet	Leveling fee Outdoor mounting I
	Operating Temperature	41°F to 113° (5°C to 45°C)	-4° to 113°F (-20°C to 45°
	Humidity	0-95% RH, non-	condensing
	Power Consumption	.4A nominal   1A peak* Luxer Fridge: 1.5A *Based on single row of up to 8	.7A nomina 6.25 peak* locker towers including Main
	AC Voltage	Recommender Minimum: 1 50/60Hz n	10VAC
	Ethernet/Data	CAT6 with R Minimum upload DHCP connection with	speed: 1.5MB
	Ce	Ilular and WiFi connectivity options a	vailable as an alternative to
LUX	ER		



Battery back-up included in case of power outages.

ONE

# DS4 | E-Scooter Docking & Charging Station <u>Universal Four (4) E-Scooter Charging and Docking Station</u>



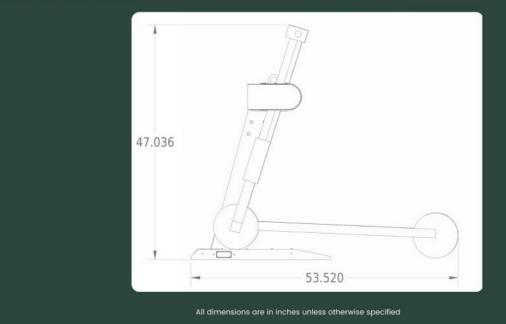
ports all models of E-Sco eather Proof (Indoor or Outdoor Use nium Ambient LED Lighting

> ty Custom Branding with Laser Etchir in Power outlets for non-Ridy E-Scooter

n the USA ERAL Tax Credit - Potential Savings w/ IRA Power Requirements and Setup

 110V, 20 Amp Standard Power Outlets Easy Setup with Free Standing Rails or Additional Security with Anchoring

# Pulsar | E-Scooter Station Dimensions



#### **Outdoor Lockers:** Installation Requirements Outdoor Lockers: What's Included Roof Package OCKERS Required for outdoor installs, unless located under an enclosed area. • Protects unit from the elements. Power & Data Provides mount for LED lights for • Power: 120VAC, 50/60Hz from 20A brackets nighttime illumination. electrical disconnect. Outdoor-rated #12 · Provides mount for surveillance cameras electrical wire run from an accessible outdoor-rated disconnect in 3/4" conduit. Electrician must be onsite to Electronics Package complete connectivity. Protects the computer from extreme • Ethernet: Outdoor-rated CAT6 cable run heat and cold. in 3/4" conduit. Ethernet cable terminated with an RJ45 tip. Seals the electronics bay contained in the main unit, and provides airflow and Electrical Disconnect temperature modulation. Cellular connectivity option available as an alternative to ethernet. Camera Package in conduit Weather-proof outdoor-compliant camera. Video Surveillance Mounts to roof package. Luxer One provides 24/7 video surveillance. Outdoor Mounting Package One (1) surveillance camera is included. One camera needed for every four lockers. Brackets included for anchoring towers to the concrete pad. 3" minimum spa Footage is available for ten (10) days. required between lock and rear wall · Requires use of concrete anchors. Your team may request footage directly 8" minimum on sides from your Luxer One Account Representative Please notify us if your installation site is located in an extreme weather region. For illustrative purposes only. Refer to site-specific floorplan. to Ethernet

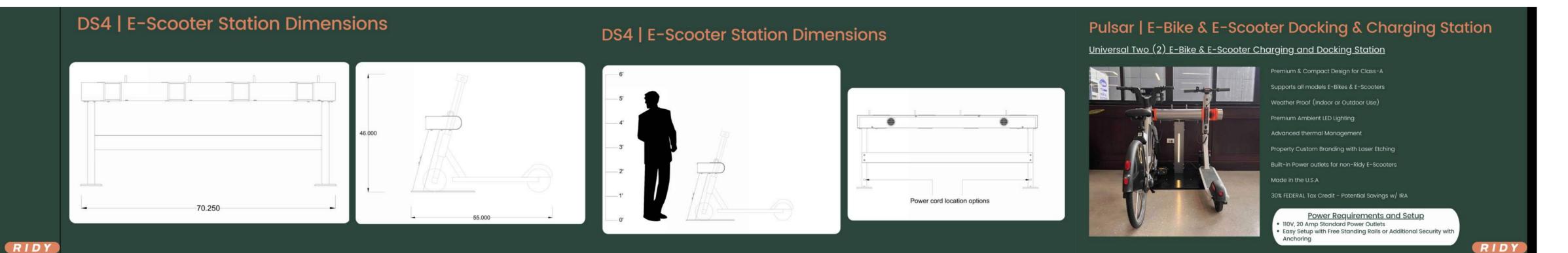
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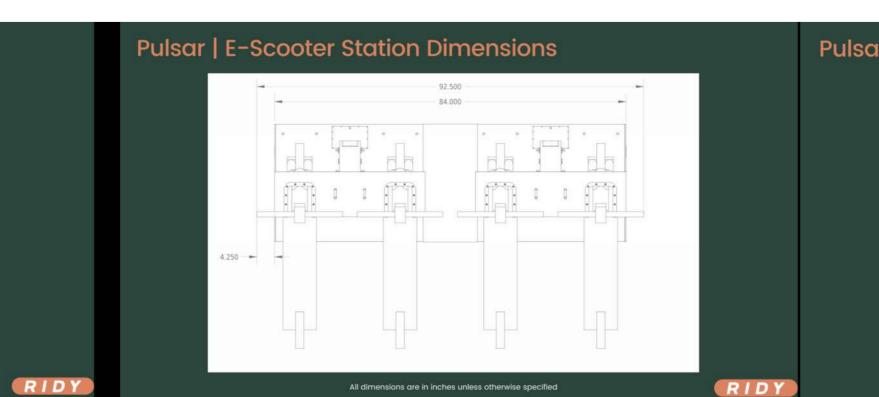
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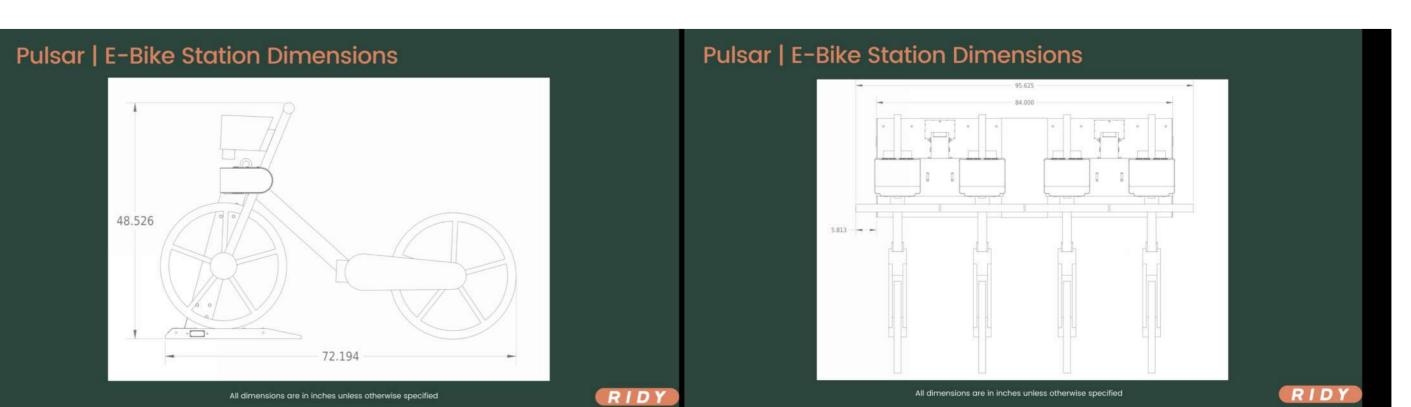
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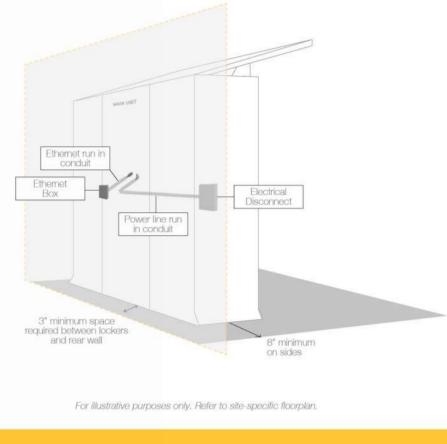
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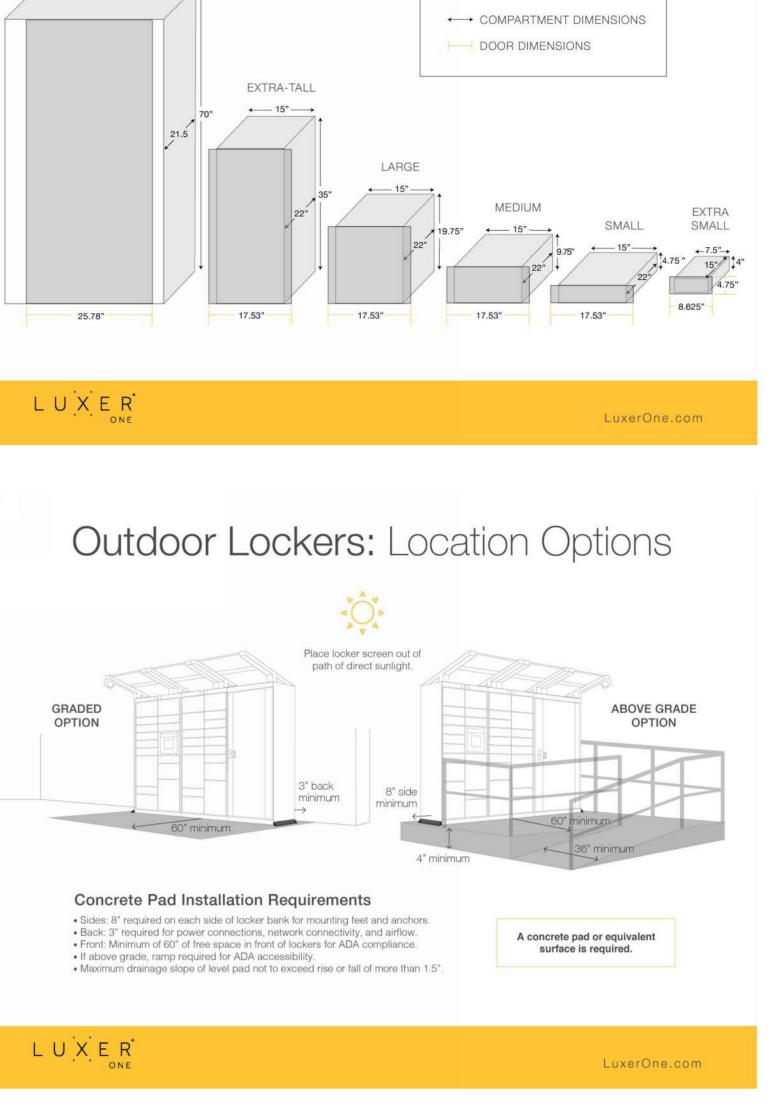




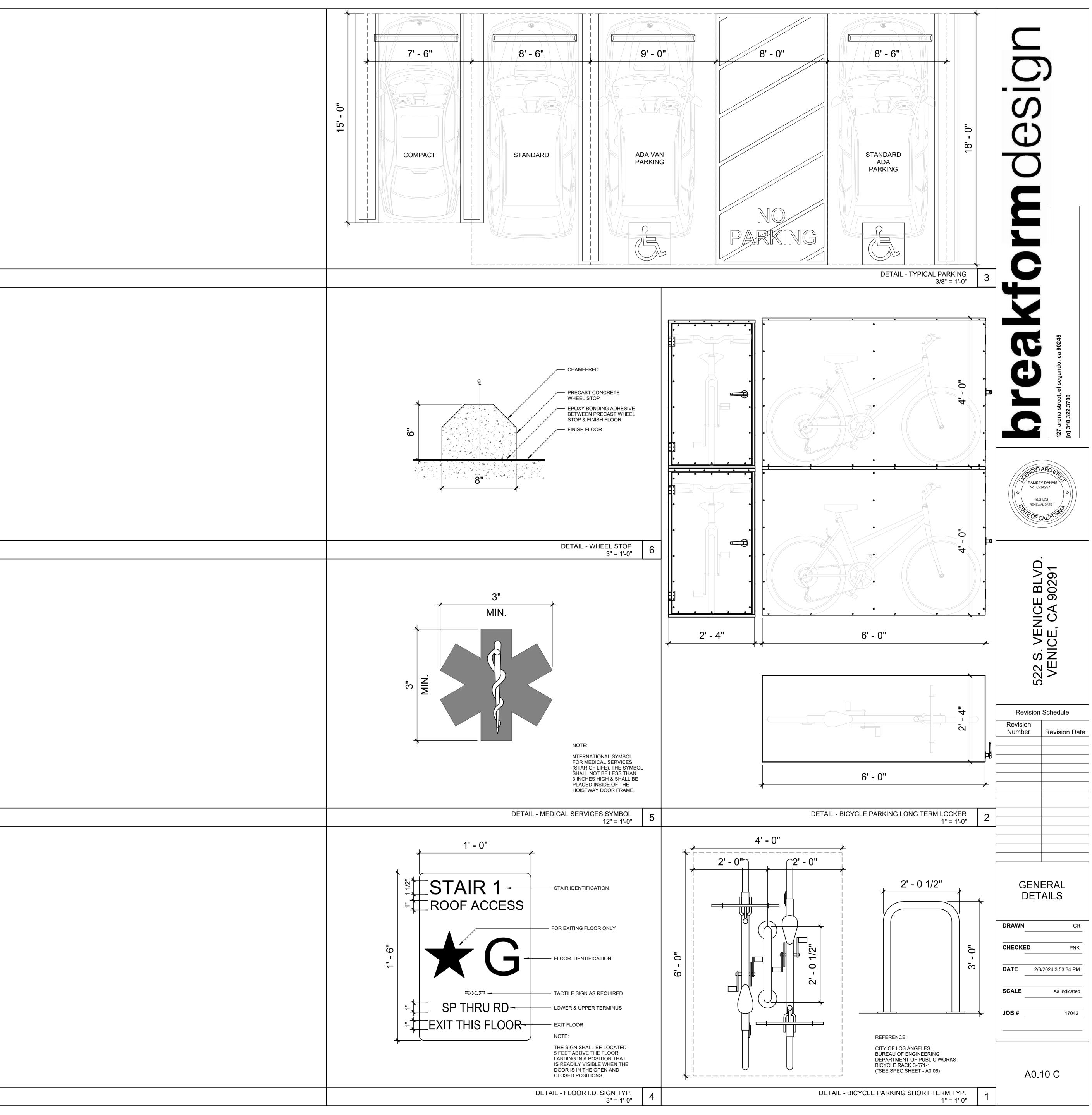


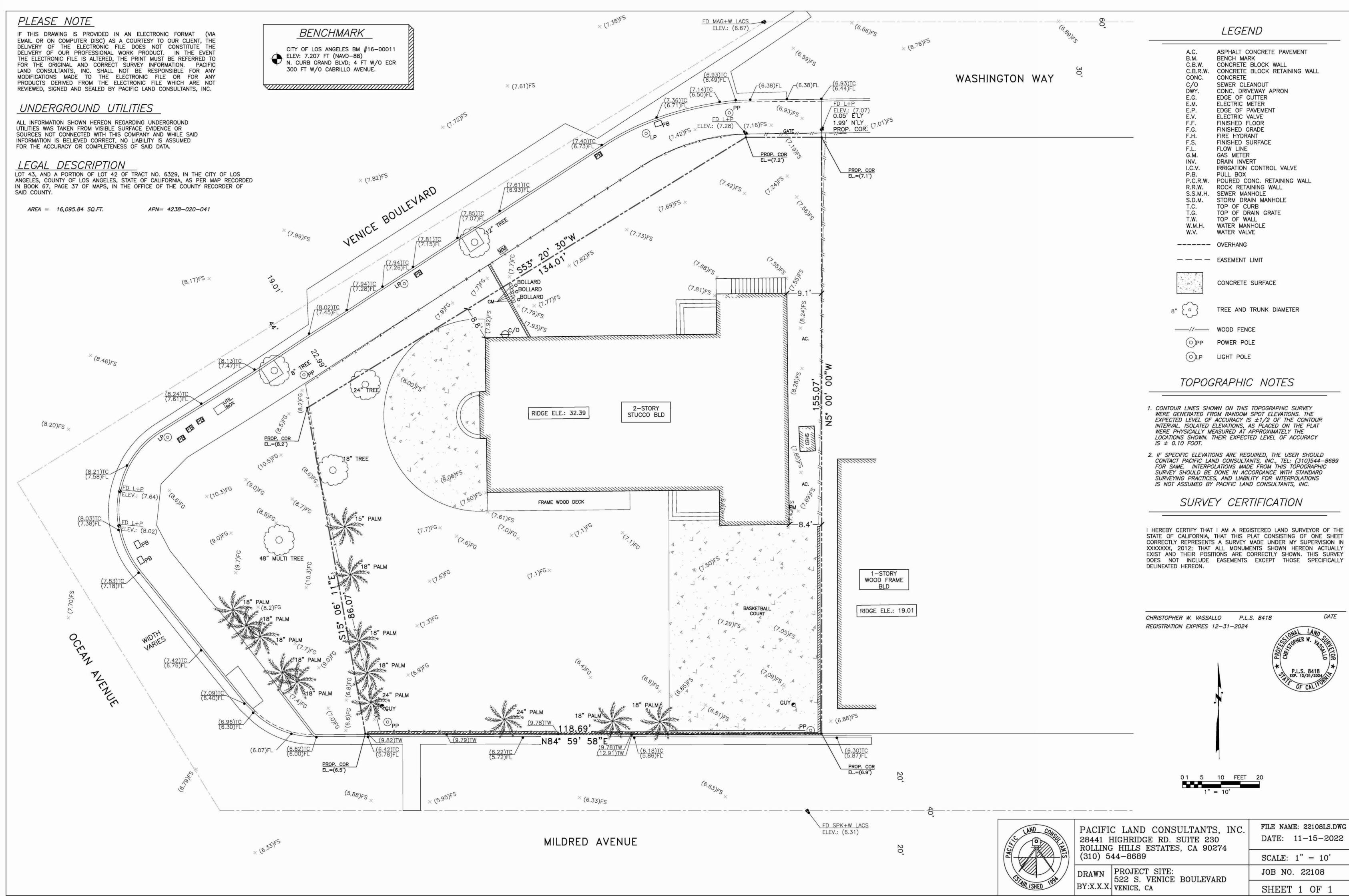


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\* FOR REFERENCE ONLY





ZONING CODE FI	LOOR AREA
FIRST FLOOR	4,635 SF 222
-INCLUDED	1,603 SF 🔲
SECOND FLOOR	4,635 SF 222
-INCLUDED	334 SF 📃
THIRD FLOOR	4,635 SF ////
-INCLUDED	334 SF
	16 176 SE



BUILDING CODE	FLOOR AREA
FIRST FLOOR	4,635 SF 222
-INCLUDED	2,235 SF 📃
SECOND FLOOR	4,635 SF ////
-INCLUDED	1,027 SF ////
THIRD FLOOR	4,635 SF ///
-INCLUDED	201 SF ///
TOTAL PROVIDED	17,368 SF



OPEN SPACE PROVIDED VS. REQUIRED			
PROVIDED		REQUIRED	
COMMON OPEN SPACE:			
	317 SF		
	467 SF	25 UNITS @ < 3 HABITABLE ROOMS (100 S.F.) (25 UNITS)(100 S.F.) =	
PRIVATE OPEN SPACE			
TOWARDS CLCULATION		0 UNITS @ 3 HABITABLE ROOMS (125 S.F.)	
BASED ON ZONING		(0 UNITS)(125 S.F.) =	
CODE 12.21G.2.b.2:			
		0 UNITS @ > 3 HABITABLE ROOMS (175 S.F.)	
25 UNITS x 50 SF =	1,250 SF	(0 UNITS)(175 S.F.) =	
TOTAL	2,034 SF	TOTAL	

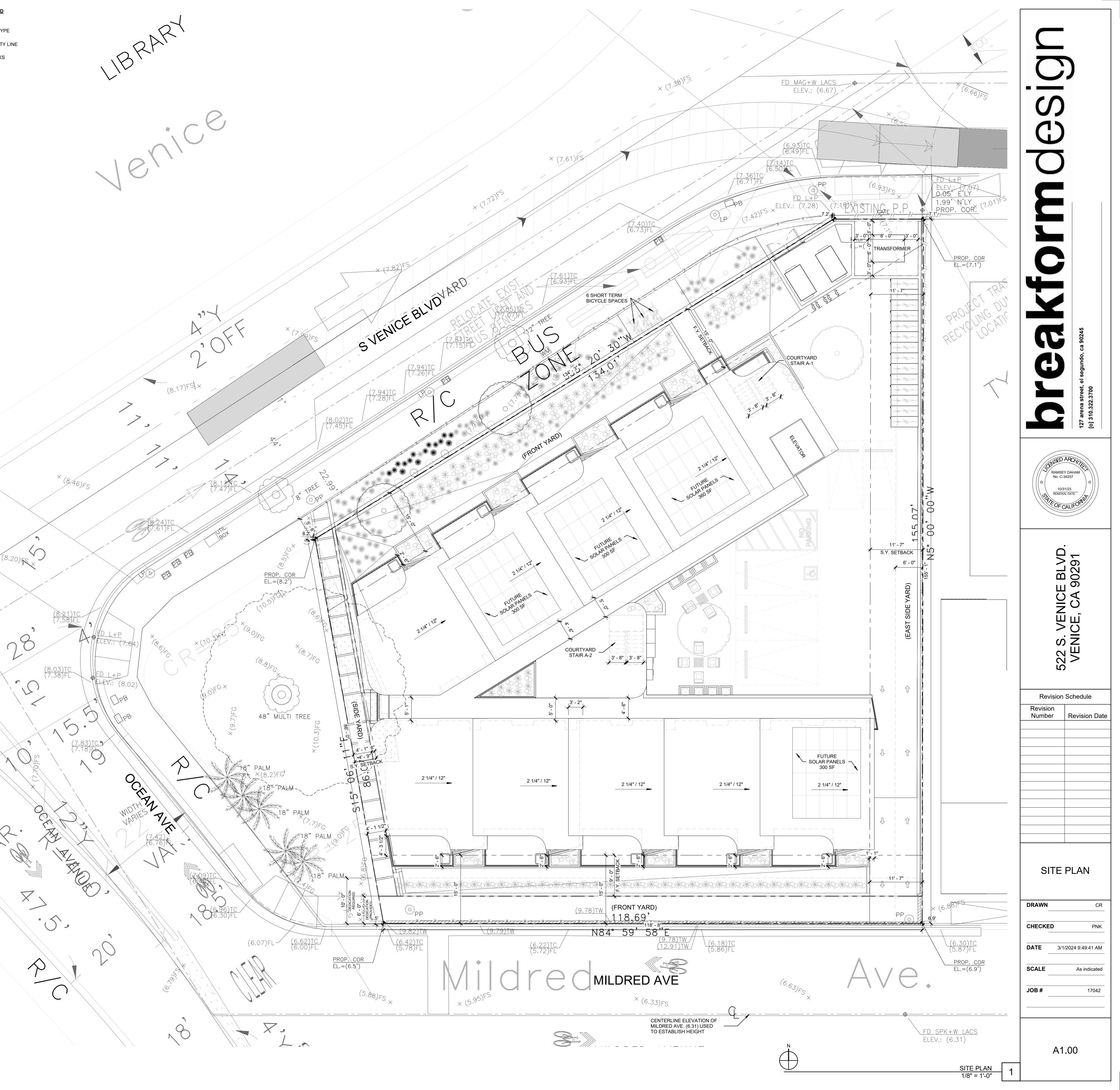
	COMMON OPEN SP	PACE TREE COUNT	
PROVIDED		REQUIRED	
ON SITE	(N) 2 TREES	1 TREE PER EVERY 4 UNITS	
IN PARKWAY OFF OCEAN AVE.	(E) 8 TREES	26 UNITS / 4 =	7 TREES
OFF VENICE BLVD.	(E) 2 TREES (N) 4 TREES		
TOTAL	16 TREES	TOTAL	7 TREES



GENERAL NOTES:	SITE PLAN LEGEND
1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.	FLOOR TYP
<ol> <li>BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.</li> <li>NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A</li> </ol>	
HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED.	SETBACKS
5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.	
6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.	
<ol> <li>ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.5.</li> <li>THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT</li> </ol>	
ISTALLATIONOF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. 9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV	
CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.	
<ol> <li>10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS.</li> <li>11. ALL DOORS 4" FROM WALL U.O.N.</li> </ol>	
12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:	
<ul> <li>A. VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE</li> <li>B. PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN &amp; SCHOOLS PROGRAM.</li> <li>C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.</li> <li>D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION.</li> </ul>	
13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.	
14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.	
15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)	
16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)	
17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.	
<ol> <li>18. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIS IS REQUIRED).</li> <li>19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3).</li> </ol>	
20. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).	
21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).	<u>_</u>
22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.	5
23.WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC). 24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2).	$\sim$
25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT	
FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000). (R314.6.2). 26. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS	
OBTAINED. (R315.2.2). 27. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).	
28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.	
29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.	
30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'.	
31. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD.	
32. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. 33. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16	
OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407)	(8
34. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4) 35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER,	
BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1) 36. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE	
WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2) 37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C	
ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4)	
38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3.	24
39. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR REQUIRED.	
40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.	
41. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.	
42. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9) GARAGE / CARPORT:	
1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)	
2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEHICLES SHALL BE SLOPED TO A DRAIN	
OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201) FIRE-RESISTANCE RATED CONSTRUCTION:	
1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)	
<ol> <li>IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)</li> </ol>	2.2
<ol> <li>THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(D))</li> </ol>	$\bigcirc$
4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.	-
5. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNAL. (R314)	
<ol> <li>AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE SWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERYLEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)</li> <li>ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINIATED.</li> </ol>	7,
7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED. BUILDING ENVELOPE:	
<ol> <li>PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.</li> </ol>	

 PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7 DAYS OF THE GRAFFITI BEING APPLIED. (6306)

 BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)



ASSEMBLY TYPES

WAL	LS	FLOOF	<u>35</u>
$\langle 1 \rangle$	2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10)	A-1	CONC FLOOR PER STRC. W/ WOOD FINISH (9/A0.10)
2>	2x6 PLUMBING WALL ASSM. (2/A0.10)	A-2>	CONC FLOOR PER STRC. W/ TILE FINISH (10/A0.10)
3	1-HR 2x6 INTERIOR WALL ASSM. (3/A0.10)	(A-3)	CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (11/A0.10)
4	1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.10)	B-1	WOOD JOIST PER STRC. W/ WOOD FINISH (12/A0.10)
5	x (5/A0.10)	B-2	WOOD JOIST PER STRC. W/ TILE FINISH (13/A0.10)
6	4" CONC. PER STRC. (6/A0.10)	R-1	WOOD JOIST W/ WOOD DECK PER SPEC. (14/A0.10)
$\langle \overline{7} \rangle$	8" CONC. RETAINING WALL PER STRC. (7/A0.10)	R-2>	WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (15/A0.10)

## FLOOR PLAN LEGEND

FIRST FLOOR IS LOCATED AT AN ELEVATION C
PER THE FEMA FLOOD ZONE REQUIREMENTS

L OI

0+

A3.51 1

Lo

 $\smile$ 

)FG

18"

∕∕∖`G

(6.62)TC

× (8. >)<sub>FC</sub>

MULTI TREE

OCEAN

A E E

- PAL-M--

te 18" PALM

(8.2'

 $\swarrow$  .

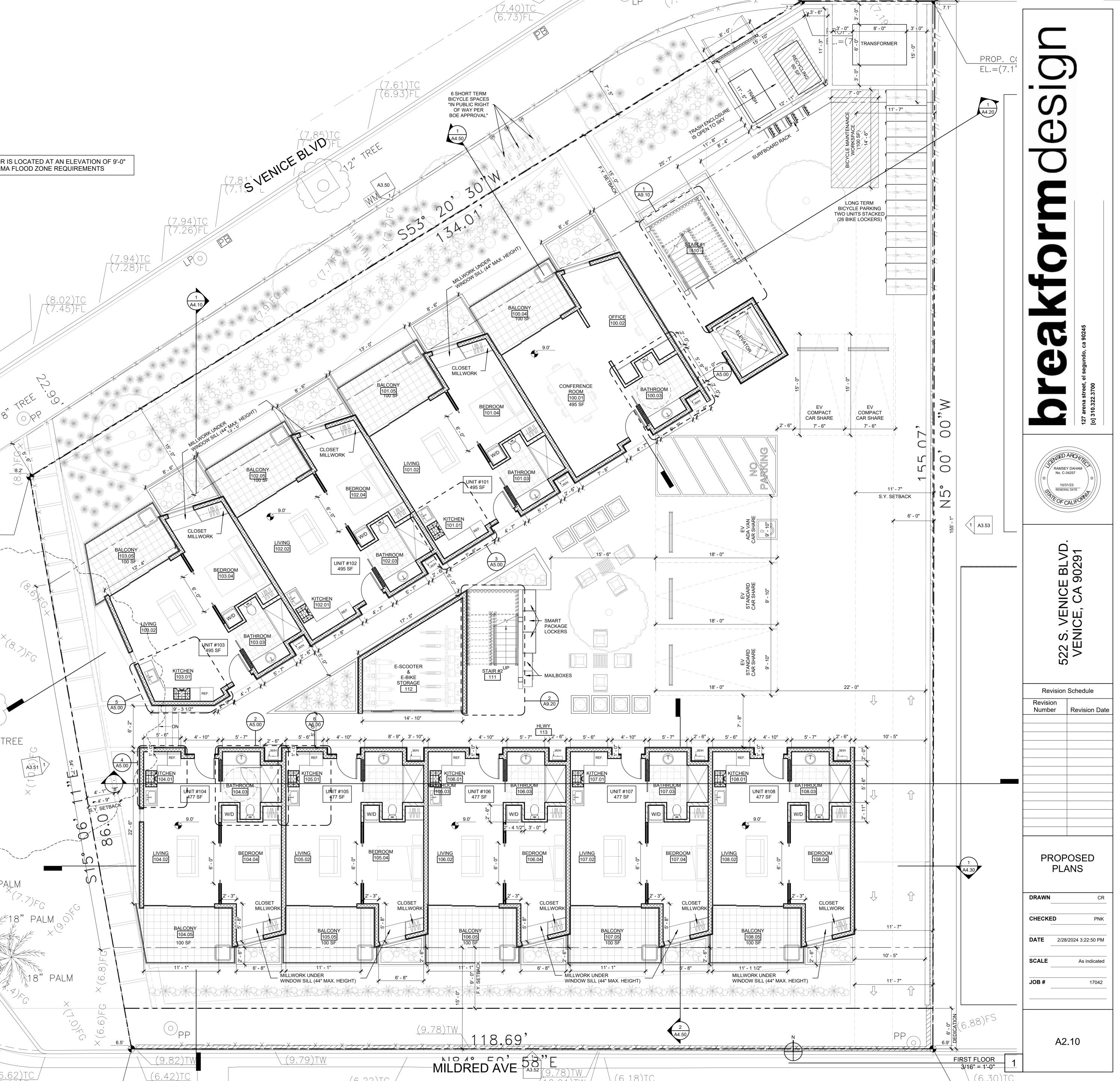
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<u>)P. COR</u> =(8.2')

₅×	FLOOR TYPE	
X	WINDOW TAG (A0.10 - SCHEDULE)	
XXX	DOOR TAG (A0.08, A0.09 - SCHEDULE)	
\$	WALL TYPE	
<u> </u>	ELEVATION MARKER	
	PROPERTY LINE	
$\rightarrow - \rightarrow -$	ACCESSIBLE ROUTE	
	1 HR	
	2 HR	
SD	SMOKE DETECTOR	
CM	CARBON MONOXIDE	
S S	EXHAUST (ENERGY STAR, HUMIDISTAT CONTROLLED, DUCTED TO EXTERIOR) NFPA - 14 CLASS - I STANDPIPE	
ILLUMINATED EXIT SIGN		
	KEYNOTE LEGEND	
(1)	KEYNOTE LEGEND MAILBOXES DETAIL: A0.11C	
(1) (2)	MAILBOXES	
Ċ	MAILBOXES DETAIL: A0.11C	
2	MAILBOXES DETAIL: A0.11C -	
2 3	MAILBOXES DETAIL: A0.11C - OCCUPANT LOAD SIGN STONE COUNTERTOP SHORT TERM BICYCLE PARKING	
2 3 4	MAILBOXES DETAIL: A0.11C - OCCUPANT LOAD SIGN STONE COUNTERTOP	
2 3 4 5	MAILBOXES DETAIL: A0.11C - OCCUPANT LOAD SIGN STONE COUNTERTOP SHORT TERM BICYCLE PARKING SPEC: A0.04D, DETAIL: 1/A0.10C LONG TERM BICYCLE PARKING LOCKERS (TWO UNIT STACKED BIKE LOCKERS)	
2 3 4 5 6	MAILBOXES DETAIL: A0.11C  OCCUPANT LOAD SIGN STONE COUNTERTOP SHORT TERM BICYCLE PARKING SPEC: A0.04D, DETAIL: 1/A0.10C LONG TERM BICYCLE PARKING LOCKERS (TWO UNIT STACKED BIKE LOCKERS) SPEC: A0.04D, DETAIL: 2/A0.10C	
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2 3 4 5 6 7 8	MAILBOXES DETAIL: A0.11C – OCCUPANT LOAD SIGN STONE COUNTERTOP SHORT TERM BICYCLE PARKING SPEC: A0.04D, DETAIL: 1/A0.10C LONG TERM BICYCLE PARKING LOCKERS (TWO UNIT STACKED BIKE LOCKERS) SPEC: A0.04D, DETAIL: 2/A0.10C STAIRWAY IDENTIFICATION SIGN FLOOR LANDING NUMBER (4/A0.16)	
2 3 4 5 6 7 8 9	MAILBOXES DETAIL: A0.11C - OCCUPANT LOAD SIGN STONE COUNTERTOP SHORT TERM BICYCLE PARKING SPEC: A0.04D, DETAIL: 1/A0.10C LONG TERM BICYCLE PARKING LOCKERS (TWO UNIT STACKED BIKE LOCKERS) SPEC: A0.04D, DETAIL: 2/A0.10C STAIRWAY IDENTIFICATION SIGN FLOOR LANDING NUMBER (4/A0.16) MEDICAL SERVICES SYMBOL (5/A0.16)	

FENCES, PLANTERS, AND RETAINING WALLS SHALL NOT EXCEED A HEIGHT OF 6 FT. ABOVE THE NATURAL GROUND LEVEL IN THE REQUIRED SIDE YARD. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5

NOTES:



#### ASSEMBLY TYPES

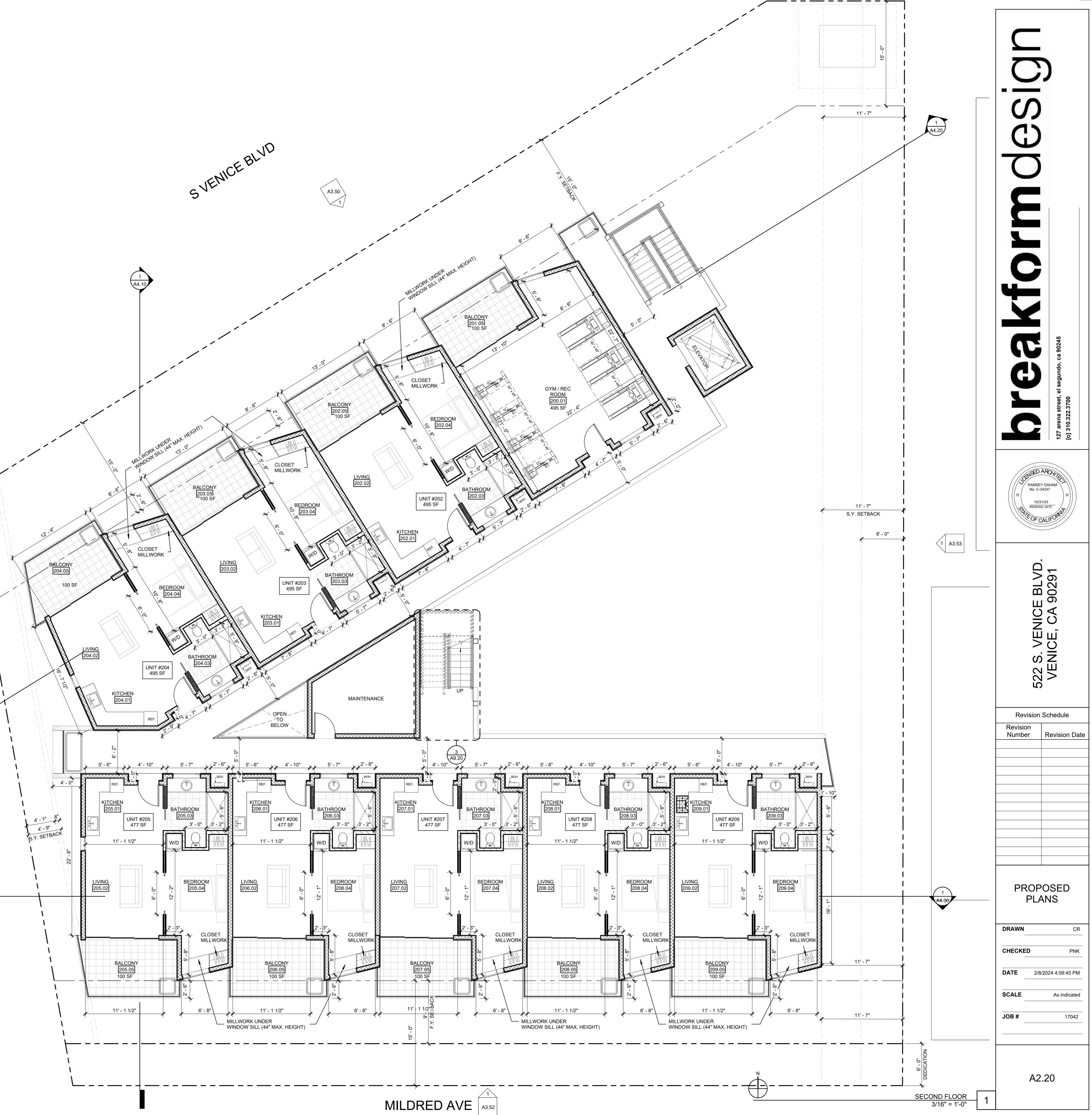
WALLS		FLOORS		
$\langle 1 \rangle$	2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10)	A-1	CONC FLOOR PER STRC. W/ WOOD FINISH (9/A0.10)	
2>	2x6 PLUMBING WALL ASSM. (2/A0.10)	A-2>	CONC FLOOR PER STRC. W/ TILE FINISH (10/A0.10)	
3>	1-HR 2x6 INTERIOR WALL ASSM. (3/A0.10)	A-3>	CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (11/A0.10)	
4>	1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.10)	B-1	WOOD JOIST PER STRC. W/ WOOD FINISH (12/A0.10)	
5	x (5/A0.10)	B-2>	WOOD JOIST PER STRC. W/ TILE FINISH (13/A0.10)	
6	4" CONC. PER STRC. (6/A0.10)	R-1	WOOD JOIST W/ WOOD DECK PER SPEC. (14/A0.10)	
$\langle \gamma \rangle$	8" CONC. RETAINING WALL PER STRC. (7/A0.10)	R-2	WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (15/A0.10)	

### FLOOR PLAN LEGEND

	FLOOR PLAN LEGEND
, - X - ^	FLOOR TYPE
X	WINDOW TAG (A0.10 - SCHEDULE)
XXX	DOOR TAG (A0.08, A0.09 - SCHEDULE)
$\sim$	WALL TYPE
<u> </u>	ELEVATION MARKER
	PROPERTY LINE
$\rightarrow - \rightarrow -$	ACCESSIBLE ROUTE
	1 HR
	2 HR
SD	SMOKE DETECTOR
CM	CARBON MONOXIDE
	EXHAUST (ENERGY STAR, HUMIDISTAT CONTROLLED, DUCTED TO EXTERIOR)
S	NFPA - 14 CLASS - I STANDPIPE
$\bigotimes$	ILLUMINATED EXIT SIGN
	KEYNOTE LEGEND
1	MAILBOXES DETAIL: A0.11C
2	-
3	OCCUPANT LOAD SIGN
(4)	STONE COUNTERTOP
5	SHORT TERM BICYCLE PARKING SPEC: A0.04D, DETAIL: 1/A0.10C
6	LONG TERM BICYCLE PARKING LOCKERS (TWO UNIT STACKED BIKE LOCKERS) SPEC: A0.04D, DETAIL: 2/A0.10C
7	STAIRWAY IDENTIFICATION SIGN
8	FLOOR LANDING NUMBER (4/A0.16)
9	MEDICAL SERVICES SYMBOL (5/A0.16)

(10) NFPA 72 OCCUPANT NOTIFICATION SYSTEM

OCEAN AVE A3.51 1



#### ASSEMBLY TYPES

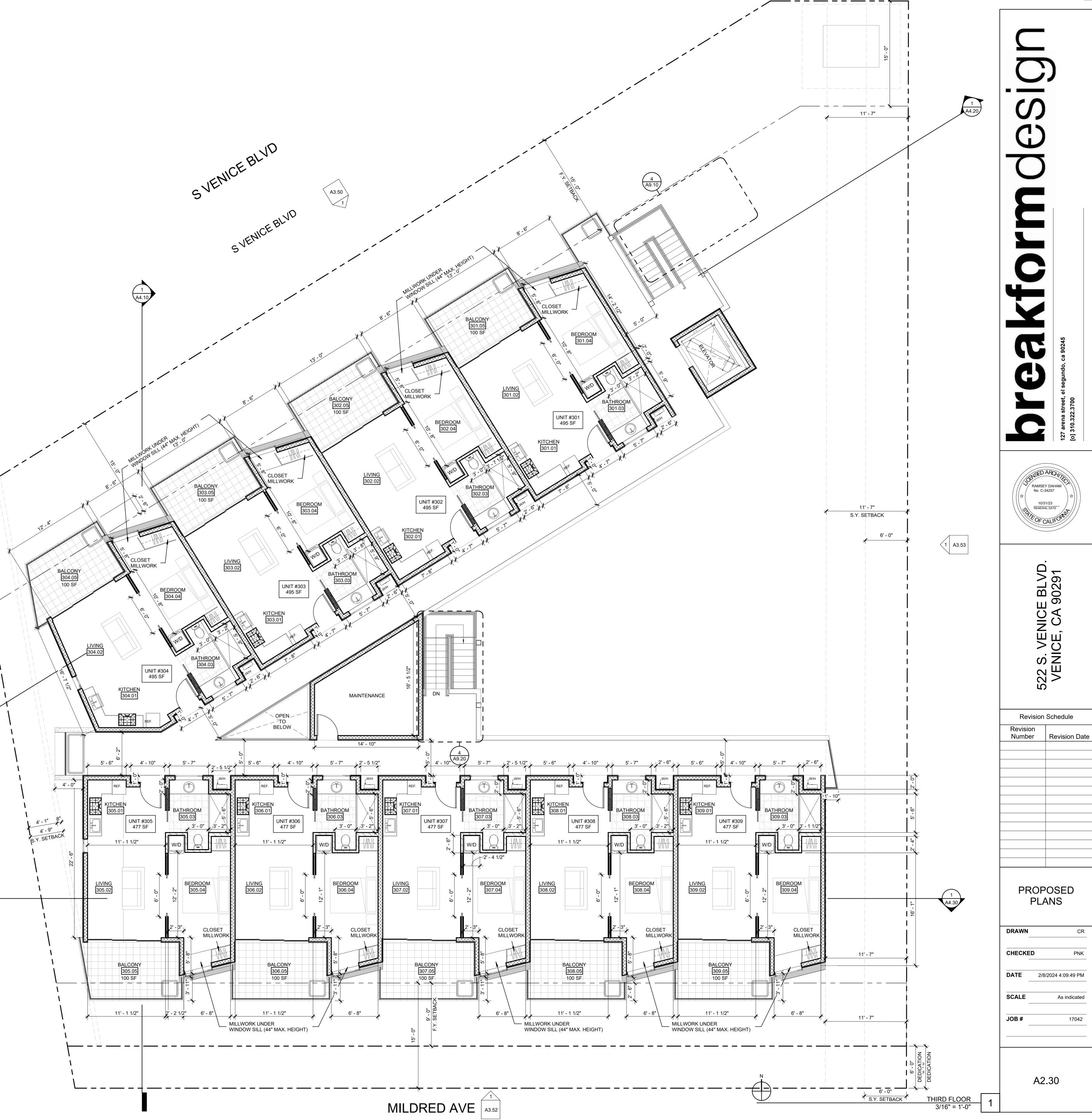
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5	x (5/A0.10)	B-2>	WOOD JOIST PER STRC. W/ TILE FINISH (13/A0.10)	
6	4" CONC. PER STRC. (6/A0.10)	R-1	WOOD JOIST W/ WOOD DECK PER SPEC. (14/A0.10)	
$\langle \gamma \rangle$	8" CONC. RETAINING WALL PER STRC. (7/A0.10)	R-2	WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (15/A0.10)	

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	PROPERTY LINE
$\rightarrow - \rightarrow -$	ACCESSIBLE ROUTE
	1 HR
	2 HR
SD	SMOKE DETECTOR
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	EXHAUST (ENERGY STAR, HUMIDISTAT CONTROLLED, DUCTED TO EXTERIOR)
<b>S</b> →	NFPA - 14 CLASS - I STANDPIPE
$\langle \mathbf{X} \rangle$	ILLUMINATED EXIT SIGN
	KEYNOTE LEGEND
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5	SHORT TERM BICYCLE PARKING SPEC: A0.04D, DETAIL: 1/A0.10C
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$\overline{\mathbf{T}}$	STAIRWAY IDENTIFICATION SIGN
8	FLOOR LANDING NUMBER (4/A0.16)
(9)	MEDICAL SERVICES SYMBOL (5/A0.16)

(10) NFPA 72 OCCUPANT NOTIFICATION SYSTEM

OCEAN AVE A3.51 1



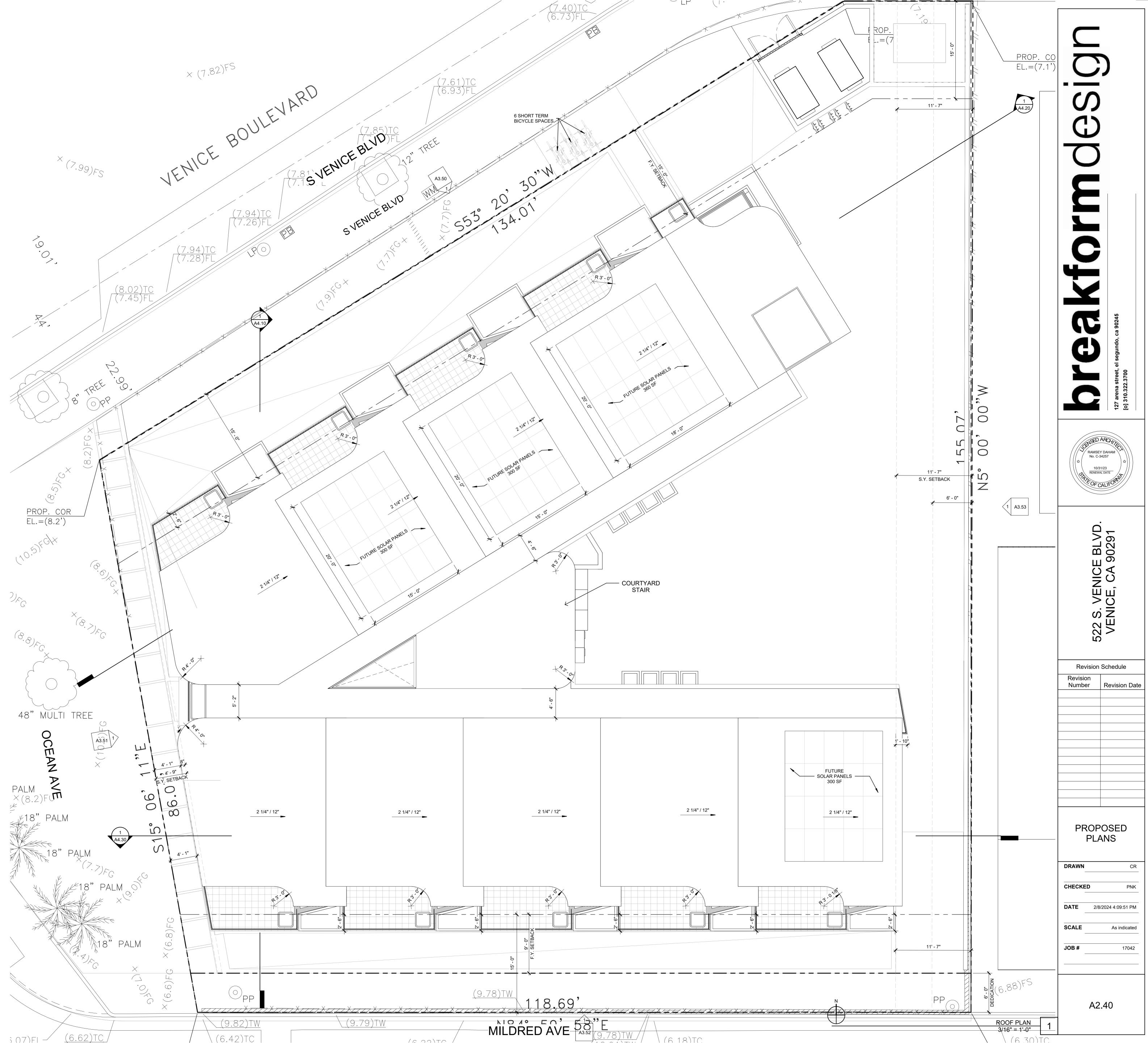
AS	SEMBLY	TYPES

WAL	LS	FLOOF	<u>RS</u>
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3>	1-HR 2x6 INTERIOR WALL ASSM. (3/A0.10)	(A-3)	CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (11/A0.10)
4	1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.10)	(B-1)	WOOD JOIST PER STRC. W/ WOOD FINISH (12/A0.10)
5	x (5/A0.10)	B-2	WOOD JOIST PER STRC. W/ TILE FINISH (13/A0.10)
6	4" CONC. PER STRC. (6/A0.10)	R-1	WOOD JOIST W/ WOOD DECK PER SPEC. (14/A0.10)
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FLOOR PLAN LEGEND

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(8)	FLOOR LANDING NUMBER (4/A0.16)
9	MEDICAL SERVICES SYMBOL (5/A0.16)
(10)	NFPA 72 OCCUPANT NOTIFICATION SYSTEM

FUTURE SOLAR ZONE AREA				
PROVIDED		REQUIRED		
SOLAR AREA 1	360 SF	≥ 15% OF ROOF AREA		
SOLAR AREA 2	300 SF	8,160 SF x .15 =	1,224 SF	
SOLAR AREA 3	300 SF	(ROOF AREA) x (15 %)		
SOLAR AREA 4	300 SF			
TOTAL	1,260 SF	TOTAL	1,224 SF	



	<u>GENERAL NOTES:</u>	
	1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.	
	2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BU	JILDING.
	3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTE HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.	M, MUST BE CONTROLLED BY A
	4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED.	
	5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.	
	6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.	
•	7. ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.5.	······································
	8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SI ISTALLATIONOF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.	PACE(S) RESERVED TO PERMIT
	9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S)	RESERVED FOR FUTURE EV

CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE. 10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS. 11. ALL DOORS 4" FROM WALL U.O.N. 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

#### VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM. D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION.

13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004. 14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY

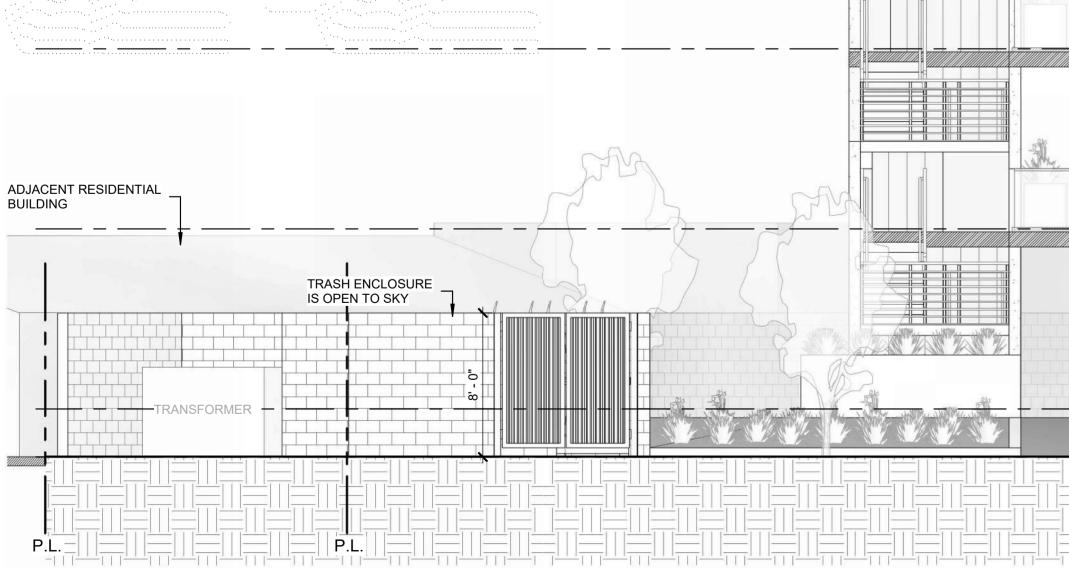
MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES. 15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC) 16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B) 17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM: FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE. A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.

18: AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING

19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3). 20, KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD

PERMIS IS REQUIRED).

WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).



21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER

23.WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC).

CONSUMPTION.

OBTAINED. (R315.2.2).

INCH GYPSUM BOARD.

24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2). 25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT

FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000). (R314.6.2). 26. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS

27. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).

28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE. 29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B)

THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT. 30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN

CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC' 31. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2

32. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. 33. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407)

34. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4) 35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1) 36. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2) 37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C. ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4)

38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4,1.2 OR 610.4.1.3.

39. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR REQUIRED. 40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV

CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

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INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. 42. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9) GARAGE / CARPORT:

1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND. SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R30 2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEHICI OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)

FIRE-RESISTANCE RATED CONSTRUCTION:

1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BO AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE, (R302.1 2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A

DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. I THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)

3. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SEC (R313, 12.21A17(D))

4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION. 5. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLI STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO TH WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RE SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNAL. (R314)

6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED

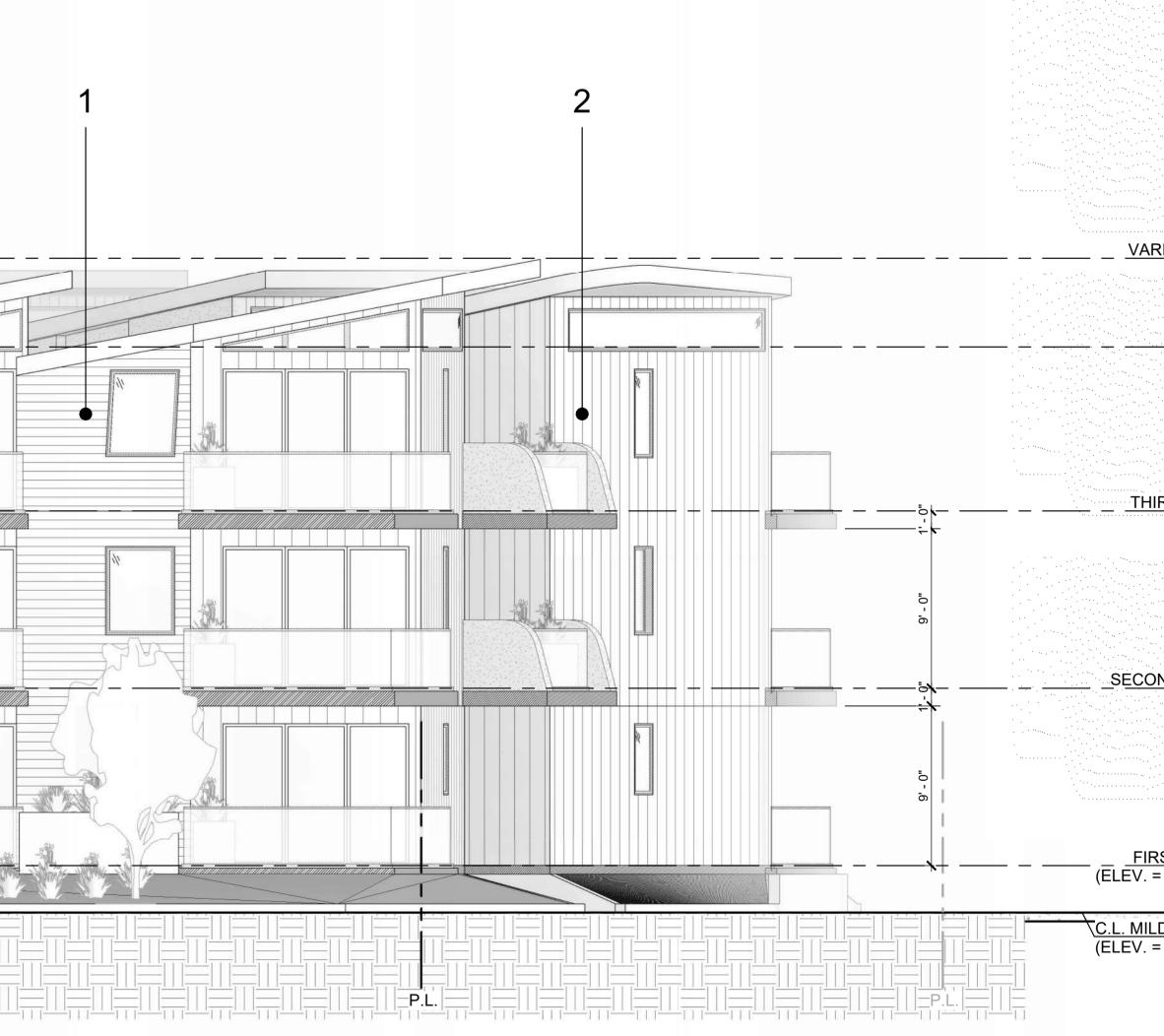
SWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERYLEVEL OF A DWELLING UNI 7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED.

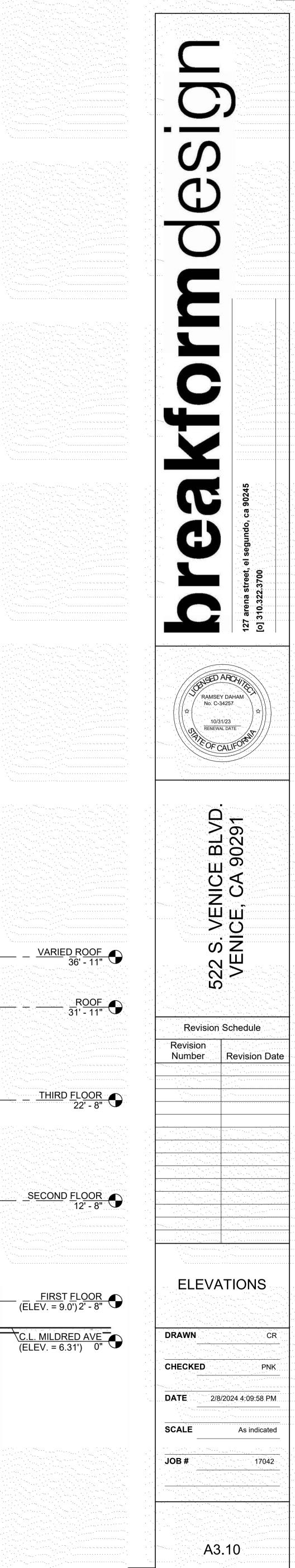
BUILDING ENVELOPE:

1. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPEC AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1. 2. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCE

BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE THE GRAFFITI BEING APPLIED. (6306) 3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)

	ELEVATI	<u>ON LEGEND</u>	
E(S) RESERVED FOR FUTURE EV RED EV CAPABLE.	1	1x6 WHITE WASH CEDAR T&G HORIZONTAL	
ND SPACE(S) RESERVED TO PERMIT	2	STANDING SEAM	
VED LABELING AGENCY NAME,	3	STUCCO WHITE	
AND SELF-CLOSING AND	4	LT GRAY FLASHING	
(R302.5.1)		PROPERTY LINE (PL)	
HICLES SHALL BE SLOPED TO A DRAIN		1 HR	and the second
BOTH VERTICAL AND HORIZONTAL)		2 HR	
02.11) F A FLOOR/CEILING ASSEMBLY, ET. DRAFTSTOPPING SHALL DIVIDE	(X) (XXX)	WINDOW TAG DOOR TAG	
ECTION R313.3 OR NFPA13D.	<b>O X'-X''</b>	ELEVATION MARKER	
SLEEPING ROOM, AND ON EACH THAT ACTUATION OF ONE ALARM RECEIVE THEIR PRIMARY POWER			
CH FUEL-BURNING APPLIANCES		IS LOCATED AT BASE FLOOD ELEVATION FLOOD ELEVATION FLOOD ZONE REQUIREMENT	
JNIT INCLUDING BASEMENTS. (R315)			
PER SECTION R317.1 BY THE USE PECIES, PRODUCT, PRESERVATIVE			
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LACED IN A POSITION THAT IS	•••••••••••••••••••••••••••••••••••••••		





NORTH ELEVATION 3/16" = 1'-0"

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			<u>GEN</u>	<u>ERA</u>	L NOTE	<u>:S:</u>

- 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.
- 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. 3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A
- HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED.
- 5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP. 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.
- ···· 7.· ALL DIMENSIONS TO FRAMING LINE: COORDINATE WITH WALL TYPES ON A0.5.
- 8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATIONOF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- 9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
- 10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS. 11. ALL DOORS 4" FROM WALL U.O.N.

WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

- 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
- VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
- D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION
- 13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004. 14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE
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- POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B) 17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE. A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.
- 18: AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIS IS REQUIRED).
- 19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3). 20, KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD

21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER

23.WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC).

CONSUMPTION.

OBTAINED. (R315.2.2).

INCH GYPSUM BOARD.

24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2). 25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT

FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000): (R314.6.2).... 26. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS

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28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE. 29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B)

THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT. 30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE

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32. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.

33. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC: A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407) 34. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS: (4.304.4)

35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1). 36. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2) 37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C.

ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER, (4.305.4) 38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL

COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4,1.2 OR 610.4.1.3. 39. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF

THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR REQUIRED. 40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV

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INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. 42. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY, SUCH LABEL SHALL STATE THE APPROV PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9) GARAGE / CARPORT:

1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES J SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK 2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEI OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)

FIRE-RESISTANCE RATED CONSTRUCTION:

1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS ( AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R3 2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE (

DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)

3. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH S (R313, 12.21A17(D))

4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION. 5. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SI WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNAL. (R:

6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WH ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVID

SWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERYLEVEL OF A DWELLING 7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED.

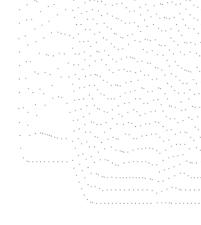
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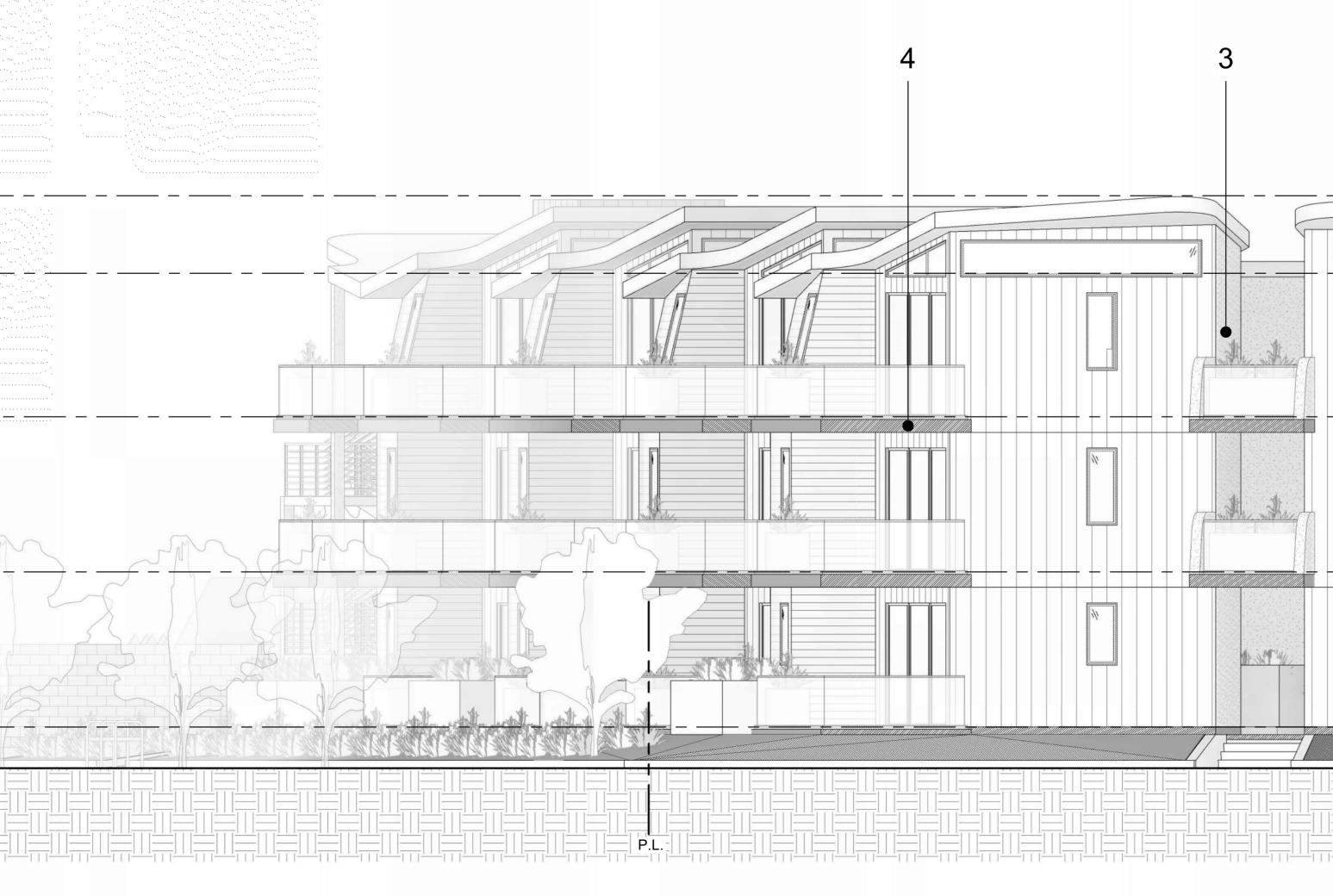
1. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

2. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMO THE GRAFFITI BEING APPLIED. (6306) 3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION P

PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)

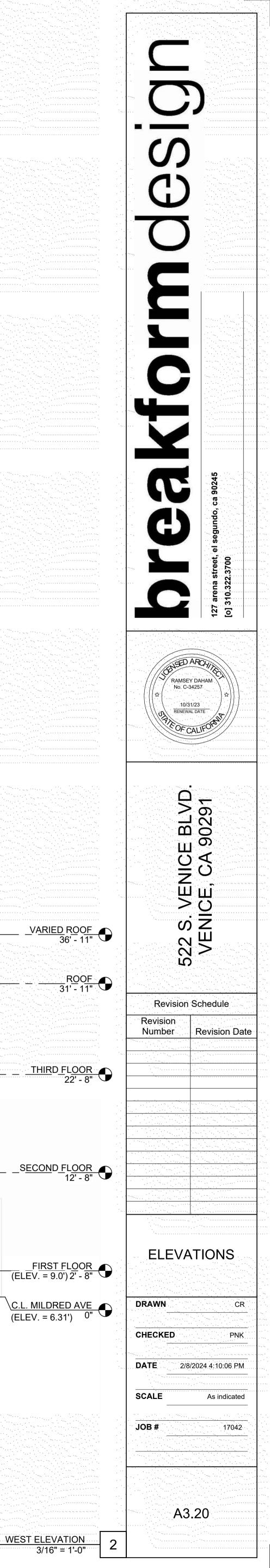






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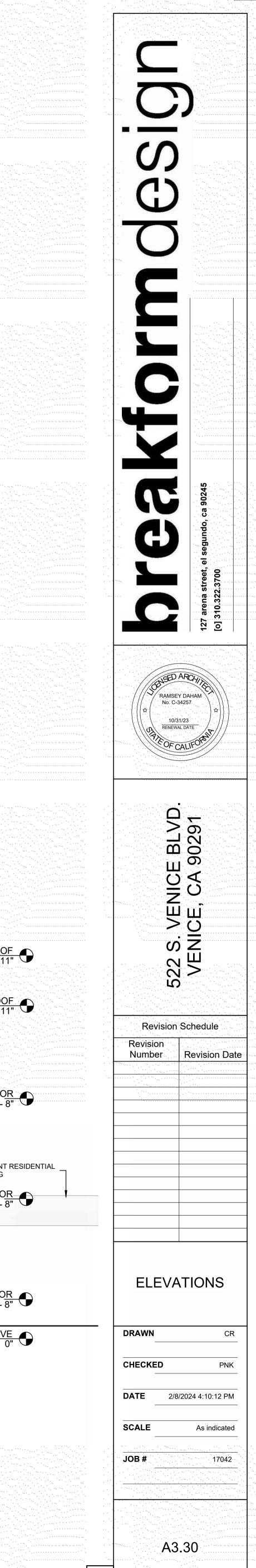
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			<u>ROOF</u> 31' - 11" ①
			T <u>HIRD FLOOR</u>
		<u>م</u>	ADJACENT RESIDENTI BUILDING
			SECOND FLOOR
			FIRST FLOOR (ELEV. = 9.0') 2' - 8"
			C.L. MILDRED AVE
			(ELEV. = 6.31') 0" 🛡

SOUTH ELEVATION

3/16" = 1'-0"

- P.L.



GENERAL NOTE	<u>S:</u>	

- 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.
- 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. 3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A
- HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED.
- 5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.
- 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.
- ···· 7.· ALL DIMENSIONS TO FRAMING LINE: COORDINATE WITH WALL TYPES ON A0.5.
- 8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATIONOF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
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- 10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS.
- 11. ALL DOORS 4" FROM WALL U.O.N. 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

PERMIS IS REQUIRED).

WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

- VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
- D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION
- 13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004. 14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY
- MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES. 15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING: THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC) 16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING
- POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B) 17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.
- 18: AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING
- 19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3). 20, KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD

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21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER

23.WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC).

CONSUMPTION.

OBTAINED. (R315.2.2).

INCH GYPSUM BOARD.

24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2). 25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000): (R314.6.2)....

26. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS

27. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).

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THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT. 30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'

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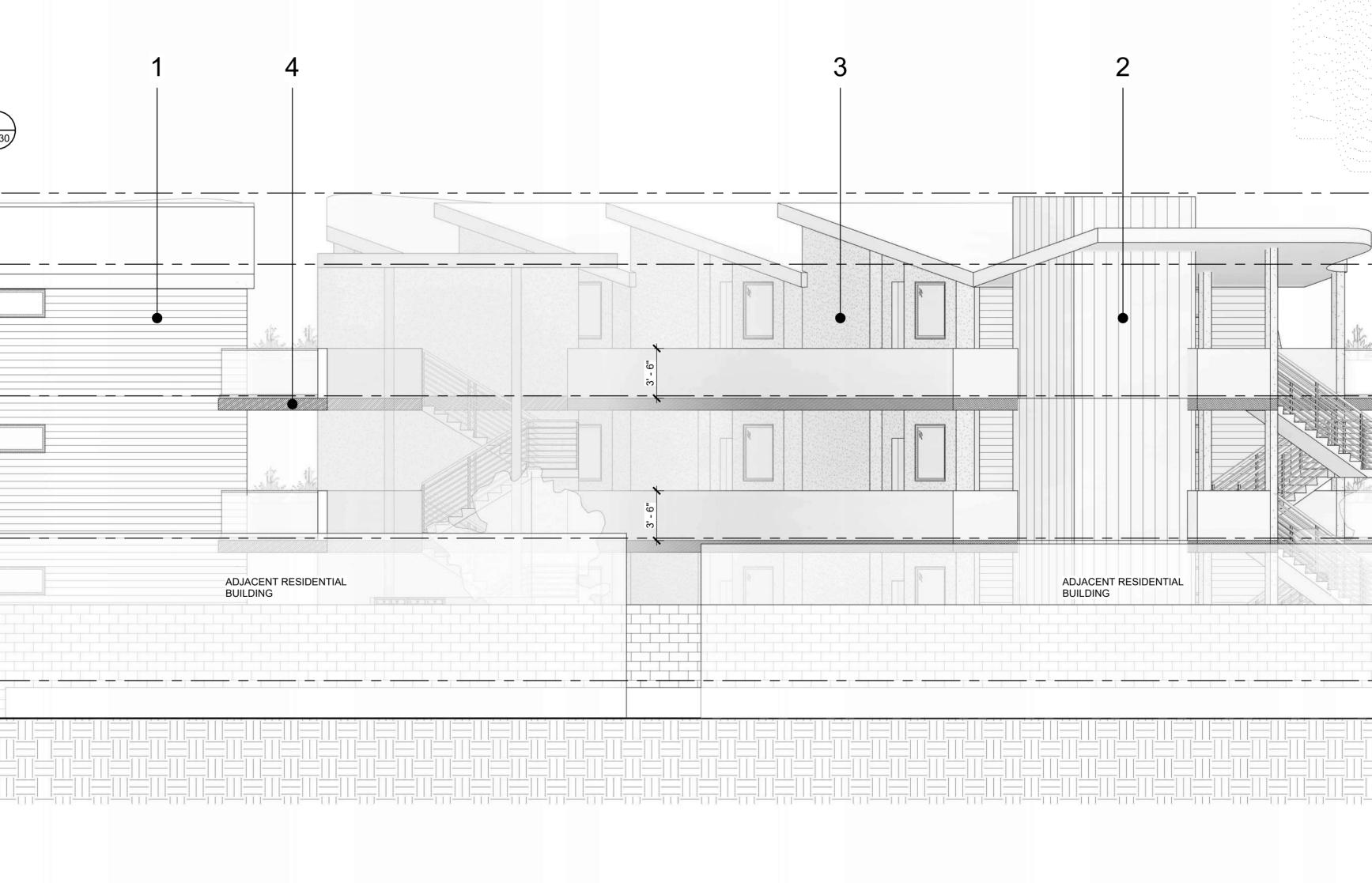
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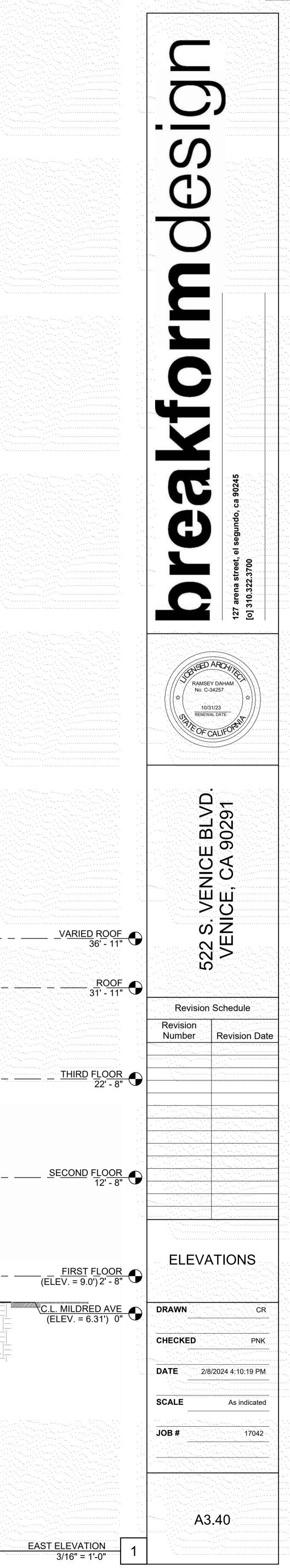
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ADJACENT RESIDENTIAL BUILDING

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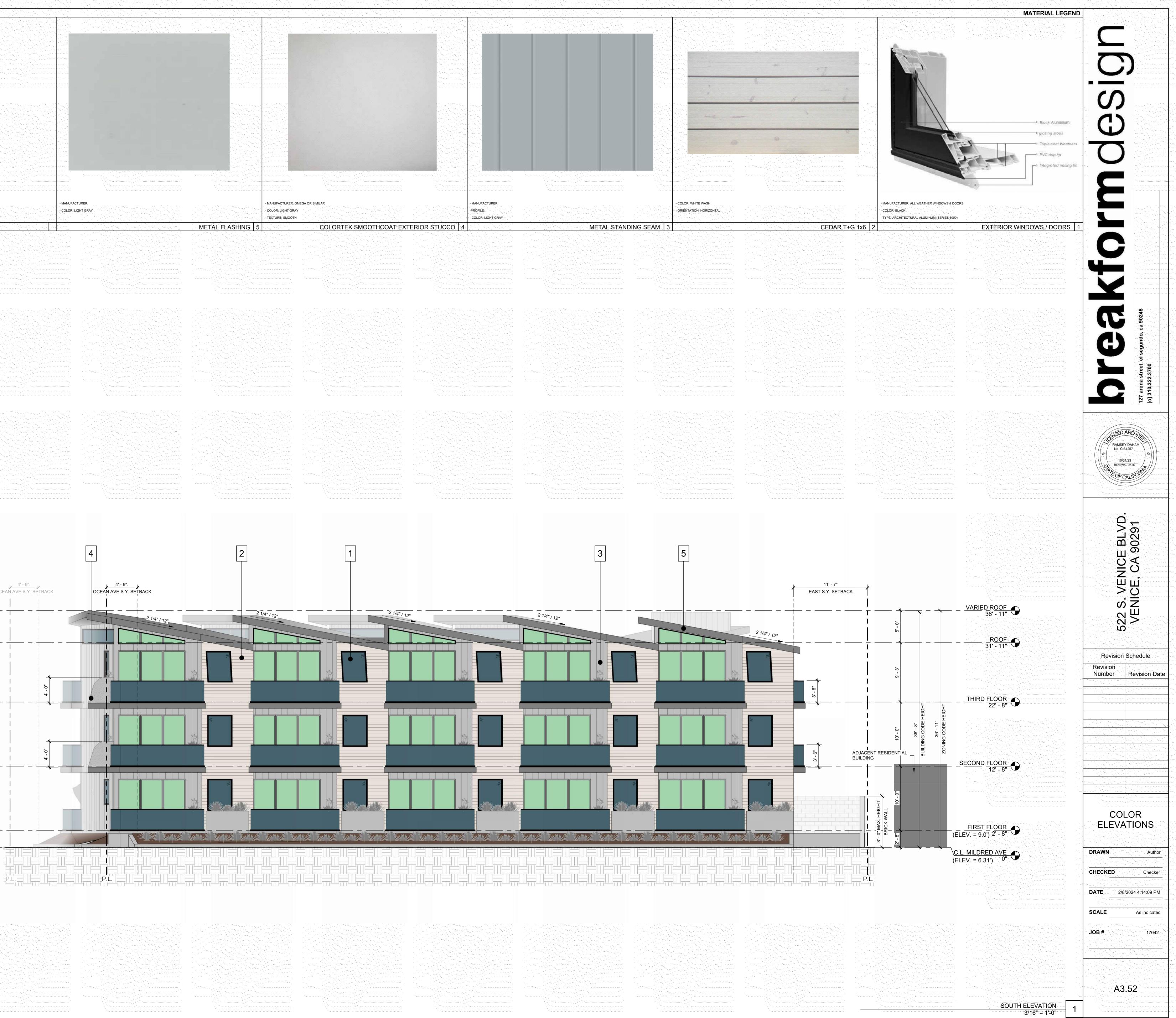


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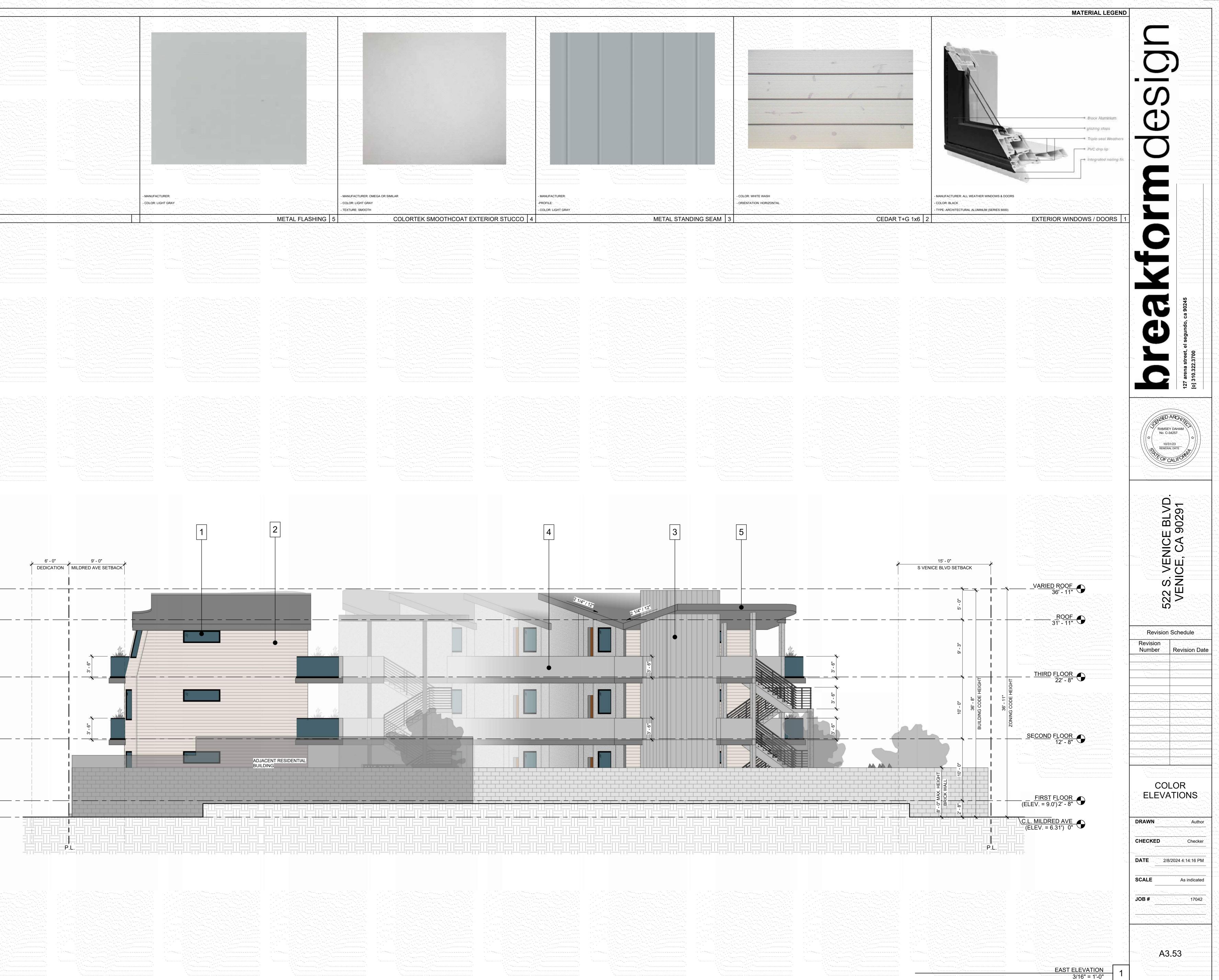
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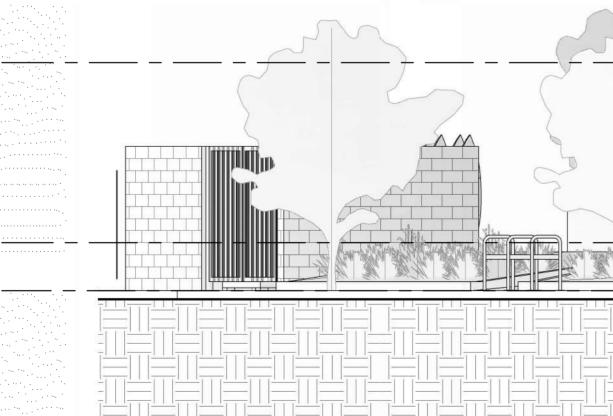


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- 11. ALL DOORS 4" FROM WALL U.O.N.
- 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
- VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
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- 17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM: FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.
- 18: AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIS IS REQUIRED).
- 19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3). 20, KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD



21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER

23.WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC).

CONSUMPTION.

OBTAINED. (R315.2.2).

INCH GYPSUM BOARD.

24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2). 25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT

FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000): (R314.6.2).... 26. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS

27. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).

28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE. 29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B)

THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT. 30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN

CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SQLAR ELECTRIC' 31. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2

32. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. 33. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC: A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407)

34. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS: (4.304.4) 35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1). 36. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2) 37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C.

ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4) 38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL

COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4, 1.2 OR 610.4.1.3. 39. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF

THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR REQUIRED. 40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV.

CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY 41. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCI

INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. 42. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE AP PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9) GARAGE / CARPORT:

1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINU SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES TH 2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PAR OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)

FIRE-RESISTANCE RATED CONSTRUCTION:

1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENIN AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. 2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE

DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)

3. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WI (R313, 12.21A17(D))

4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION. 5. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTE WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNAL

6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN ARE INSTALLED AND IN DWELLING UNITS. THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PRO

SWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERYLEVEL OF A DWELL 7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED.

BUILDING ENVELOPE:

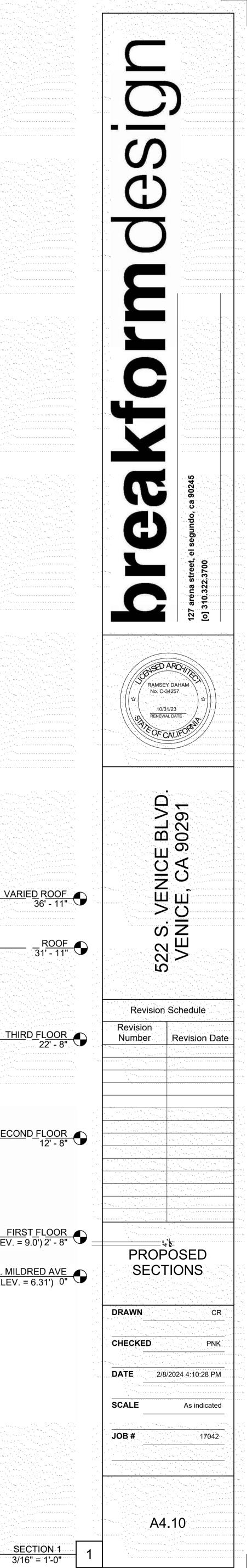
. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIF OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR 1 AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

2. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOOF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO F THE GRAFFITI BEING APPLIED. (6306) 3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATIO

PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)

BEDROOM 304.04 BEDROOM 204.04 BEDROOM 103.04 LIVING 103.02 

		SSEMBLY TYPES			SECTION LEGEND	2
BLY MARKED EV CAPABLE. RCUIT AND SPACE(S) RESERVED TO PERMIT	WALL ASSM. (1/A0.10)		<u>S</u> CONC FLOOR PER STRC FINISH (9/A0.10) CONC FLOOR PER STRC			
APPROVED LABELING AGENCY NAME,	ASSM. (2/A0.10)	A-3	CONC FLOOR PER STRC FINISH (10/A0.10) CONC FLOOR PER STRC CONC. FINISH (11/A0.10)	C. W/ POLISHED		N MARKER
NUTES AND SELF-CLOSING AND THICK. (R302.5.1)	ASSM. (4/A0.10)	(B-2)	WOOD JOIST PER STRC. FINISH (12/A0.10) WOOD JOIST PER STRC.		EXISTING	
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NINGS (BOTH VERTICAL AND HORIZONTAL) CE. (R302.11)	PER STRC. (7/A0.10)		ROOFING PER SPEC. (15			
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WITH SECTION R313.3 OR NFPA13D.						
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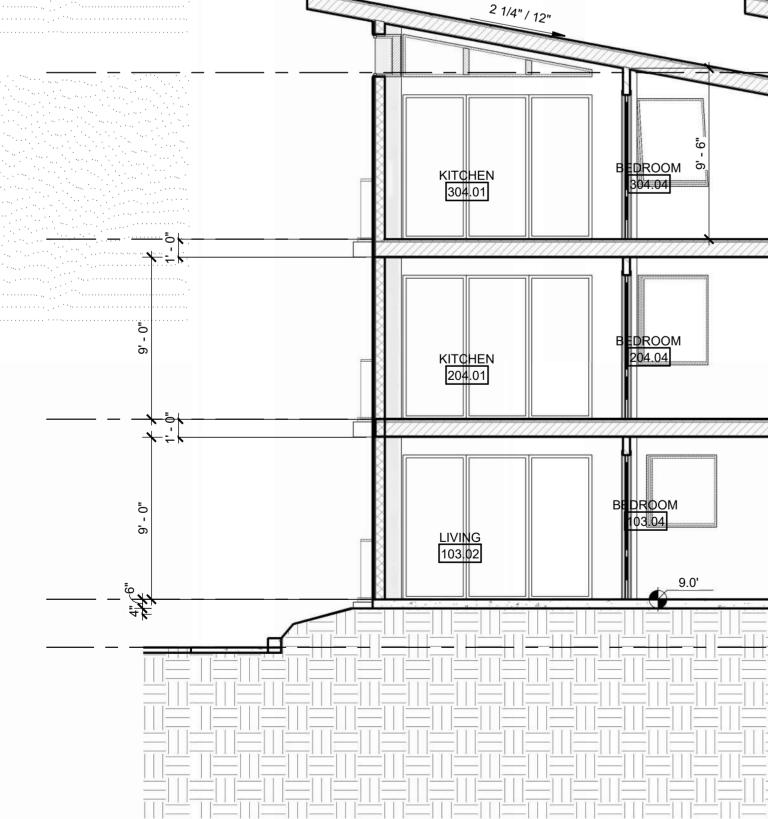


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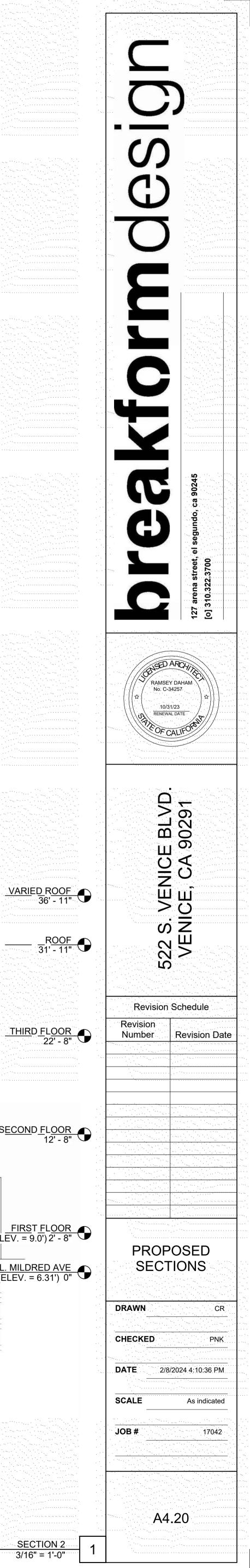
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- 16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B) 17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER
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- 18: AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170, 158) (SEPARATE PLUMBING PERMIS IS REQUIRED).
- 19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3). 20, KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD



		ASSEMBLY TYPES
21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).	40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.	WALLS       FLOORS         (1)       2x4 & 2x6 INTERIOR         (1)       2x4 & 2x6 INTERIOR
22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. 23.WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC).	41. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. 42. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME.	WALL ASSM. (1/A0.10)       FINISH (9/A0.10)       2 HR         2x6 PLUMBING WALL       A-2       CONC FLOOR PER STRC. W/ TILE         ASSM. (2/A0.10)       FINISH (10/A0.10)       2 HR
24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2).	42. UNIT SKILLIGHTS SHALL DE LADELED DT A LA CITT AFFROVED LADELING AGENCT. SUCH LADEL SHALL STATE THE AFFROVED LADELING AGENCT NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9) GARAGE / CARPORT:	3       1-HR 2x6 INTERIOR WALL       A3       CONC FLOOR PER STRC. W/ POLISHED       A-X       ELEVATION MARKER         ASSM. (3/A0.10)       CONC. FINISH (11/A0.10)       CONC. FINISH (11/A0.10)       PROPERTY LINE         4       1-HR 2x6 EXTERIOR WALL       B-1       WOOD JOIST PER STRC. W/ WOOD       PROPERTY LINE
25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000): (R314.6.2). 26. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING	1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)	ASSM. (4/A0.10) 5 x (5/A0.10) FINISH (12/A0.10) B WOOD JOIST PER STRC. W/ TILE FINISH (13/A0.10)
20. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EACEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2).	2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)	(6)     4" CONC. PER STRC. (6/A0.10)     (10)     WOOD JOIST W/ WOOD DECK PER SPEC. (14/A0.10)
27. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).	FIRE-RESISTANCE RATED CONSTRUCTION: 1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)	8" CONC. RETAINING WALL PER STRC. (7/A0.10) ROOFING PER SPEC. (15/A0.10)
28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.	2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE	
29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT. 30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE	THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12) 3. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (P342.12.21413(D))	
SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'.	(R313, 12.21A17(D)) 4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.	
<ol> <li>STALE STALE STALE STALE STALE STALE STALE STALE HAVE WALLS, UNDER-STALE SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD.</li> <li>ALL INTERIOR AND EXTERIOR STALE STALE STALE BE ILLUMINATED.</li> </ol>	5. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNAL. (R314)	
33. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407)	6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE	FIRST FLOOR IS LOCATED AT AN ELEVATION OF 9'-0" PER THE FEMA FLOOD ZONE REQUIREMENTS
34. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4) 35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER.	SWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERYLEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315) 7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED.	
BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1) 36. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE	BUILDING ENVELOPE:	
WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2) 37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C. ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4)	OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA UI FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA UI.	
38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4,1.2 OR 610.4.1.3.	<ol> <li>PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7 DAYS OF THE GRAFFITI BEING APPLIED. (6306).</li> </ol>	
39. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR REQUIRED.	3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)	
40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.		
2 1/4" / 12"	2 1/4% /	
ته BEDROOM ته 304.04 303.02 BEDROOM LIVING 303.04 1200.00	BEDROOM LIVING BEDROOM	
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GENERAL NOTES:	

- 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.
- 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. 3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A
- HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED.
- 5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP. 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.
- ···· 7.· ALL DIMENSIONS TO FRAMING LINE: COORDINATE WITH WALL TYPES ON A0.5.
- 8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATIONOF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- 9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
- 10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS.
- 11. ALL DOORS 4" FROM WALL U.O.N. 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

PERMIS IS REQUIRED).

- VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
- D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION

DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.

WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

- 13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004. 14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE
- CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES. 15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC) 16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING
- POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B) 17, FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL.
- 18: AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING
- 19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3).

20, KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD

LIVING 309.02 LIVING 308.02 LIVIN 307.0 LIVINC 209.0 BEDROOM 206.04 LIVING 2 208.02 BEDROOM 207.04 LIVING 207.02 LIVING 206.02 LIVING 205.02 LIVINC 108.0 B<u>EDROO</u>N LIVING 105.02 LIVING 104.02 LIVING 106.02 BE<u>DROO</u>M 

21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A

22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER

25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT

26. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING

UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH

SECTION R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS

27. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE

29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B)

30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE

SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN

31. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2

33. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16

35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER,

36. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE

37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C.

38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL

39. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF

40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV.

OF 2014 LABC: A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407)

BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1).

THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR REQUIRED.

CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER

NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2).

28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000): (R314.6.2)....

THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).

CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SQLAR ELECTRIC'

34. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS: (4.304.4)

WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2)

ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER, (4.305.4)

COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4, 1.2 OR 610.4.1.3.

CONSUMPTION.

OBTAINED. (R315.2.2).

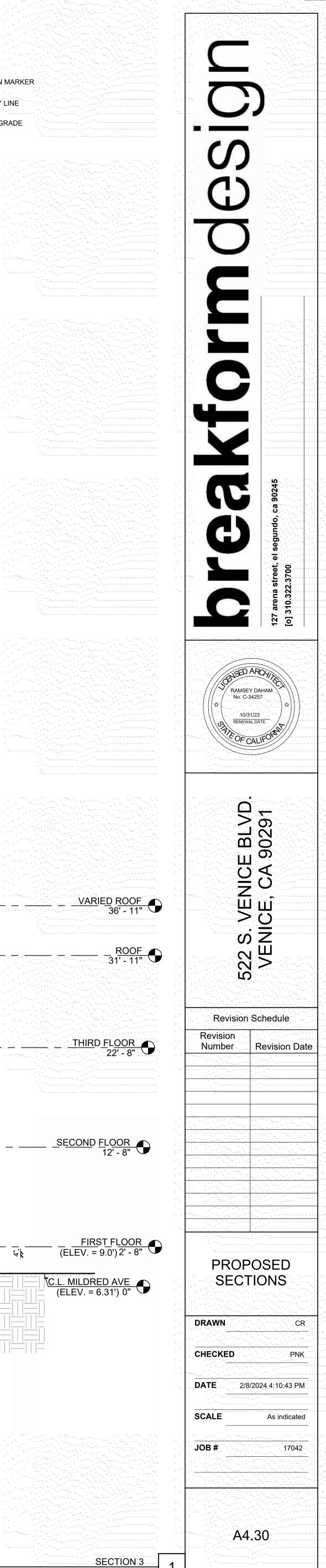
INCH GYPSUM BOARD.

23.WATER HEATER MUST BE STRAPPED TO WALL, (SEC. 507.3, LAPC).

THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.

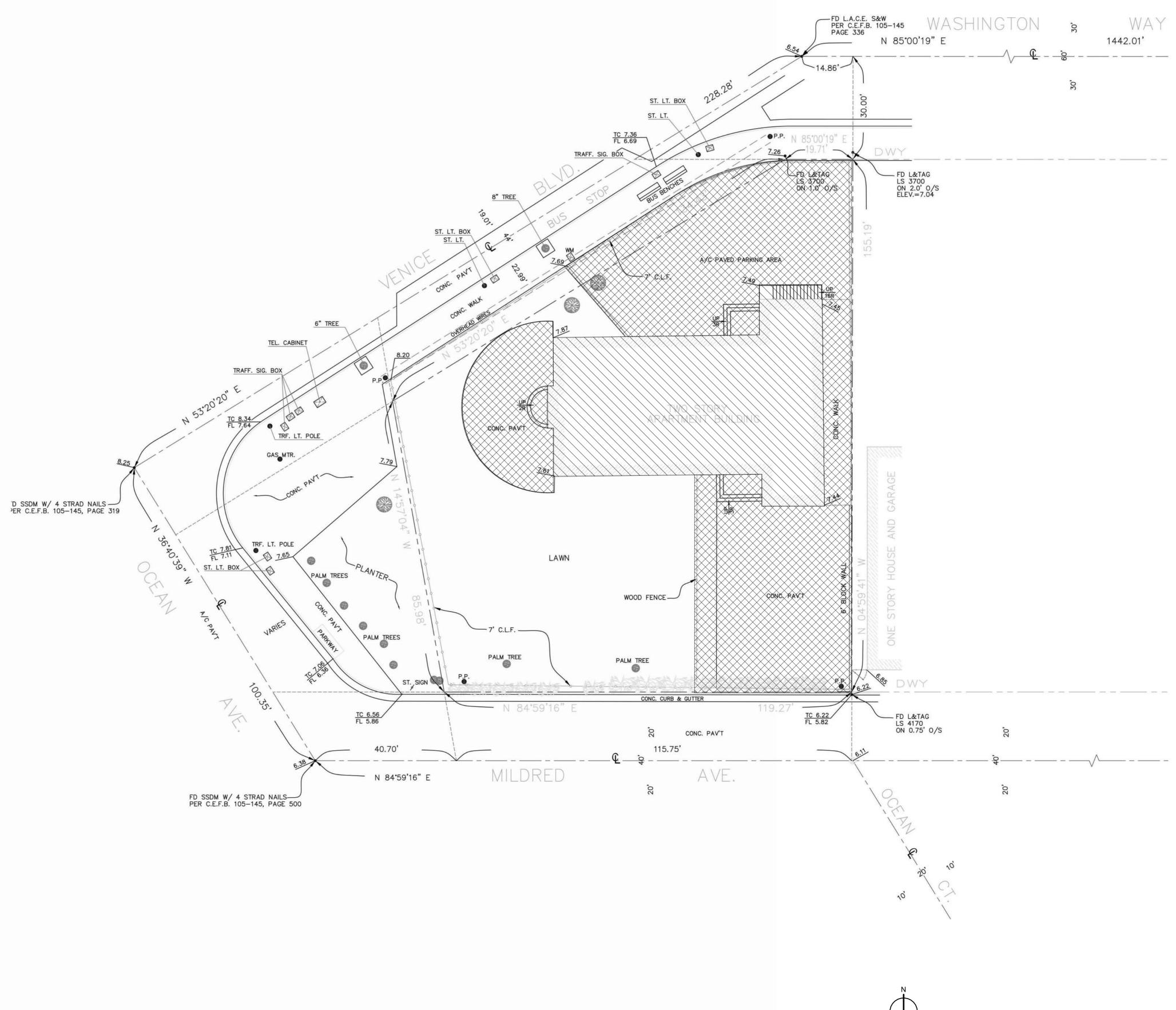
32. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.

	<u>ASSEMBL</u>	<u>(TYPES</u>	SECTION LEGEND
40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.	WALLS	FLOORS	
41. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT. INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.	2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10)	CONC FLOOR PER STRC. W/ WOOD FINISH (9/A0.10)	——————————————————————————————————————
42. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)	2 2x6 PLUMBING WALL ASSM. (2/A0.10) 3 1-HR 2x6 INTERIOR WALL	CONC FLOOR PER STRC. W/ TILE FINISH (10/A0.10) CONC FLOOR PER STRC. W/ POLISH	
GARAGE / CARPORT:	ASSM. (3/A0.10)	CONC. FINISH (11/A0.10) WOOD JOIST PER STRC. W/ WOOD	
1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)	ASSM. (4/A0.10)	FINISH (12/A0.10)	EXISTING GRADE
2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)	(5/A0.10)	R-D WOOD JOIST W/ WOOD DECK PER	Тал
FIRE-RESISTANCE RATED CONSTRUCTION:	8" CONC. RETAINING WALL PER STRC. (7/A0.10)	SPEC. (14/A0.10) WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (15/A0.10)	
1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)			
2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)			
3. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(D))			
4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.			
5. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNAL. (R314)			
6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES	PER THE FEMA FLOOD	ED AT AN ELEVATION OF 9'-0" ZONE REQUIREMENTS	
ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE SWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERYLEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)			
7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED.			
BUILDING ENVELOPE:			
OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.			
2. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7 DAYS OF			
THE GRAFFITI BEING APPLIED. (6306) 3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS			
PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)		*******	*
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		은 BEDROOM -	
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3/16" = 1'-0"

DEMO NOTES:		<u>GRE</u>
1. ANY DEMOLITION DRAWINGS AND NO CONVENIENCE AND INFORMATION ONLY		1. A
REPRESENT THE COMPREHENSIVE STAT THE EXISTING STATE OF THE BUILDING( SYSTEMS.		2. TE Shai
		3. PF
2. CONTRACTOR TO COORDINATE AND \ ALL ALTERATION PLANS.	/ERIFY ALL DEMOLITION WITH	COP REQ
3. FOLLOWING DEMOLITION, ALL EXISTIN	NG DIMENSIONS AND	4. AT
CONDITIONS ARE TO BE CHECKED BY TH		HEA
CONFORMANCE WITH THE REQUIREMEN		SHA
CONSTRUCTION. ANY INCONSISTENCIES		RED
CONDITIONS ARE TO BE SUBMITTED TO		DEB
PRIOR TO THE COMMENCEMENT OF WO	RK.	5. VC
4. CONTRACTOR TO REMOVE ALL DEMO	LISHED MATERIALS AND ITEMS	FOR
FROM THE SITE IN ACCORDANCE WITH A		
CODES AND REGULATIONS.		6. W
		7. W
5. CONTRACTOR SHALL TAKE SPECIAL C		USE
ELEMENTS THAT ARE TO REMAIN. ANY I USED MUST BE STORED AND PROTECTE	· · · · · · · · · · · · · · · · · · ·	8. SL
USED MUST BE STORED AND PROTECTE	ED AS REQUIRED FOR RE-USE.	WAS
6. CONTRACTOR SHALL TAKE ALL NECES	SSARY PRECAUTIONS TO	
ENSURE THE SAFETY OF THE EXISTING	STRUCTURE.	9. PF
		CON
7. CONTRACTOR SHALL PROVIDE, EREC		OVE
TEMPORARY BARRIERS AND GUARDS, A AND BRACING AS REQUIRED BY ALL CIT		FOR BUIL
AND BRACING AS REQUIRED BY ALL CIT	FAND STATE REGULATIONS.	DUIL
		10. T
DEMO ALL BUILDINGS & FOUNDATIONS		* FO
DEMO EXISTING SITE WORK		



## REEN BUILDING STANDARDS NOTES:

A MINIMUM OF 50% OF NONHAZRDOUS CONSTRUCTION WASTE IS TO BE RECYCLED

TESTING AND ADJUSTING OF NEW SYSTEMS INSTALLED TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 5.701.1 ALL BE REQUIRED

PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND OPIES OF GUARANTIES/ WARRANTIES FOR EACH SYSTEM. O&M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA EQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF EATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS HALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO EDUCE THE AMOUNT OF DUST, WATER AND EBRIS WHICH MAY ENTER THE SYSTEM

VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 5.504.4 AND TABLES 4.504.1, 5.504.4.2, 5.504.4.3 AND 5.504.4.5 DR: ADHESIVES, SEALANTS, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.

WASTE WATER FIXTURES SHALL COMPLY WITH THE STANDARDS LISTED IN CGC TABLE 5.303.6 AND 5.712.3.5. WHERE LANDSCAPE IRRIGATION IS A PART OF THE ADDITION OR TENANT IMPROVEMENT, LANDSCAPE IRRIGATION WATER SE SHALL HAVE WEATHER BASED CONTROLLERS. CGC 5.712.4.3.1.

SUBMIT TO THE ENGINEERING DEPARTMENT A CONSTRUCTION ASTE MANAGEMENT PLAN THAT OUTLINES THE ITEMS LISTED IN CGC SECTION 5.713.8.1.1

## PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED

ONTRACTOR, ARCHITECT OR ENGINEER IS RESPONSIBLE OF THE /ERALL CONSTRUCTION AND MUST COMPLETE AND SIGN THE CITYAPPROVED GREEN BUILDING STANDARDS CERTIFICATION ORM OR OTHER DOCUMENTATION REQUIRED BY THE CITY AND GIVEN TO THE BUILDING DEPARTMENT OFFICIAL PRIOR TO JILDING FINAL APPROVAL TO BE FILED WITH THE APPROVED PLANS.

). THIS PROJECT IS NOT LOCATED WITHIN A CNEL OF 65 OR GREATER.

FOR REFERENCE ONLY



DEMO PLAN 1/16" = 1'-0"

## PLANTING NOTES

1. QUANTITIES GIVEN FOR PLANT MATERIALS SPECIFIED FOR "ON CENTER" SPACING ARE SHOWN FOR CONVENIENCE ONLY AND ARE 14. ALL PLANTING AREAS SHALL BE LOOSENED TO A DEPTH OF 8". APPLY 4 C.Y. OF ORGANIC AMENDMENT AND 15 LBS. SUBORDINATE TO THE SPACING GIVEN. VERIFY AND SUPPLY SUFFICIENT NUMBER OF PLANTS TO FULFILL SPACING REQUIREMENTS. OF 10-10-10 FERTILIZER PER 1000 S.F. AND BLEND WITH THE TOP 6" OF SOIL. THIS AMENDMENT IS FOR BIDDING PURPOSES, AND

2. ALL HEADER AND BAMBOO ROOT BARRIERS SHALL BE LOCATED BY THE ARCHITECT ON SITE. 3. CONTRACTOR SHALL INSTALL PLANT MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS AND DETAILS.

4. CONTRACTOR SHALL PROVIDE A MAINTENANCE PERIOD OF NOT LESS THAN 90 DAYS COMMENCING AT THE DATE OF FINAL

ACCEPTANCE. SUCH MAINTENANCE SHALL INCLUDE ALL CARE PERTAINING TO ALL WORK INSTALLED AS PART OF THESE CONTRACT DOCUMENTS. 5. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.

6. THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED.

7. REMOVE ALL DEBRIS, WEEDS, EXCESS MATERIAL AND ROCKS LARGER THAN 1" IN DIAMETER FROM PLANTING AREAS PRIOR TO PREPARATION & AGAIN PRIOR TO PLANTING.

8. SEE DETAILS AND SPECIFICATIONS FOR STAKING METHOD, PLANT PIT DIMENSIONS, SOIL PREPARATION, AND BACKFILL REQUIREMENTS.

9. ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

10. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.

11. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.

12. GROUNDCOVER PLANTING SHALL BE CONTINUOUS UNDER ALL TREES AND SHRUBS. GROUNDCOVER SHALL BE PLANTED ACCORDING TO SPACING ON PLANT LEGEND.

13. TREES SHALL BE LOCATED A MINIMUM OF 5' FROM WALLS, OVERHEADS, WALKS, HEADERS, AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTORS LIEABILITY TO RELOCATE THE MATERIALS.





DASYLIRON SPP. / DESERT SPOON



HARDSCAPE ...

DATE\_\_\_\_\_

MAINTENANCE.

IRRIGATION NOTES

LEX CRENATA / BOX-LEAVED HOLLY

BE ON A SEPARATE VALVE.

TREE PROTECTION SPECIFICATIONS

1.01 TREE PROTECTION

I. ALL TREES THAT OCCUR WITHIN THE AREA OF WORK, AS SHOWN ON THE PLANS, AND NOT SPECIFICALLY DESIGNATED FOR REMOVAL, SHALL BE PROTECTED BY THE FOLLOWING MEANS:

A. DETERMINING THE TREE PROTECTION ZONE (TPZ) - THE RADIUS (NOT THE DIAMETER) OF THE TPZ, MEASURED FROM THE OUTSIDE OF THE TREE TRUNK, SHALL BE CALCULATED BY RECREATION AND PARKS (RAP) FORESTRY ACCORDING TO THE FOLLOWING:

 SINGLE TRUNK TREES - MULTIPLY THE TRUNK DIAMETER IN INCHES, MEASURED 4.5' ABOVE GRADE, BY 1.5 FEET. 2. MULTI TRUNK TREES - MULTIPLY THE SUM OF THE DIAMETERS OF ALL TRUNKS IN INCHES, MEASURED 4.5' ABOVE GRADE, BY 1.5 FEET.

B. ONCE DETERMINED, THE TPZ IS TO BE CLEARLY SHOWN ON ALL PLANS, INCLUDING CONCEPT PLANS, FOR DISCUSSION PURPOSES, INCLUDING AT THE RAP CAPITAL IMPROVEMENTS MEETINGS.

C. BEYOND THE TPZ, THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROTECTING ALL TREES WITHIN THE BOUNDARIES OF THE CONSTRUCTION ZONE, INCLUDING VEHICULAR ACCESS AREAS LEADING TO THE CONSTRUCTION ZONE, LAY DOWN AREAS, AND ANY OTHER AREAS IMPACTED BY CONSTRUCTION ACTIVITIES. ANY DAMAGE TO TREES IN THESE AREAS SHALL ALSO BE SUBJECT TO THE SAME MONETARY OR REPLACEMENT REQUIREMENTS SPECIFIED IN SECTION II BELOW. ANY NECESSARY ROOT CUTTING IN THIS AREA MUST BE CONFIRMED WITH EITHER THE RAP OR OTHER APPROVED ARBORIST. SEE ALSO THE GENERAL CONDITIONS FOR ANY DAMAGE DONE BY THE CONTRACTOR TO LANDSCAPING OR OTHER PARK AMENITIES THAT FALL OUTSIDE THE BOUNDARIES OF THE CONSTRUCTION ZONE.

D. WITHIN THE BOUNDARIES OF THE CONSTRUCTION ZONE (INCLUDING THE TPZ), THE CONTRACTOR SHALL BE RESPONSIBLE FOR MITIGATING CONSTRUCTION-RELATED DUST ACCUMULATION ON ALL TREES BY SPRAYING THE TRUNKS, LIMBS, AND FOLIAGE WITH WATER TO A MAXIMUM HEIGHT OF 30 FEET DURING THE MONTHS OF APRIL THROUGH NOVEMBER, AT MONTHLY INTERVALS.

E. WITHIN THE TPZ, THE CONTRACTOR SHALL ADHERE TO THE FOLLOWING REQUIREMENTS, INCLUDING, BUT NOT LIMITED TO:

1. NO STOCKPILING OR STORAGE OF ANY MATERIAL, DEBRIS, OR SOIL. 2. NO STORAGE OF ANY CONSTRUCTION EQUIPMENT.

3. PALM TREES - 5' FROM THE BASE OF THE TRUNK.

- 3. NO VEHICULAR ACCESS. 4. NO CUTTING OF ROOTS.
- 5. NO DISTURBANCE OF SOIL OR GRADE CHANGES. 6. NO OBJECTS OF ANY KIND TO BE ATTACHED TO TREE TRUNKS.

F. THE CONTRACTOR SHALL INSTALL A 5' HIGH TEMPORARY CHAIN LINK FENCE WITH ONE PEDESTRIAN ACCESS GATE ALONG THE BOUNDARY OF THE TPZ. SEE 5' HIGH TREE PROTECTION FENCE DETAIL AT THE END OF THE DOCUMENT.

G. THE CONTRACTOR SHALL PROVIDE ONE SIGN PER EACH 20 LINEAL FT. OF FENCE BORDERING THE TPZ INDICATING THAT FENCING SHALL NOT BE REMOVED. SEE SIGN DETAIL THAT IS INCLUDED AS PART OF THE TEMPORARY CHAIN LINK DETAIL.

H. NO WORK IS PERMITTED WITHIN THE TPZ WITHOUT THE APPROVAL OF EACH OF THE FOLLOWING: 1) THE PROJECT LANDSCAPE ARCHITECT, 2) THE PROJECT MANAGER, AND 3) RAP FORESTRY STAFF. ANY WORK AUTHORIZED WITHIN THE TPZ MUST BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF A RAP ARBORIST AND UNDER THE SUPERVISION OF A MONITORING ARBORIST. A MONITORING ARBORIST MUST BE: 1) AN ISA CERTIFIED ARBORIST OR A REGISTERED CONSULTING ARBORIST, WITH VERIFIABLE EXPERIENCE IN PROTECTING TREES DURING CONSTRUCTION; 2) APPROVED BY RAP FORESTRY. THE MONITORING ARBORIST SHALL BE HIRED AND PAID BY THE CONTRACTOR.

I. IRRIGATION TO ALL TREES NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE KEPT IN OPERATION FOR THE DURATION OF THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING ALL IMPACTED TREES IF NECESSITATED BY TEMPORARY SHUTDOWNS TO EXISTING IRRIGATION SYSTEMS. TREES ARE TO BE IRRIGATED DEEPLY AND INFREQUENTLY SO THAT SOIL MOISTURE IS DETECTABLE AT A MINIMUM DEPTH OF 18" USING A SOIL PROBE.

J. UPON JOB COMPLETION, CONTRACTOR SHALL REMOVE ALL ITEMS INSTALLED TO PROTECT TREES DURING THE CONSTRUCTION PROCESS.

K. ANY OF THE FOLLOWING SOUTHERN CALIFORNIA NATIVE TREE SPECIES FALL UNDER ORDINANCE NO. 177404 OF THE LOS ANGELES MUNICIPAL CODE:

- 1. OAKS, INCLUDING VALLEY OAK (QUERCUS LOBATA), CALIFORNIA LIVE OAK (QUERCUS AGRIFOLIA), OR ANY OTHER TREE OF THE OAK GENUS INDIGENOUS TO CALIFORNIA BUT EXCLUDING SCRUB OAK (QUERCUS DUMOSA); 2. SOUTHERN CALIFORNIA BLACK WALNUT (JUGLANS CALIFORNICA VAR. CALIFORNICA);
- 3. WESTERN SYCAMORE (PLATANUS RACEMOSA); 4. CALIFORNIA BAY (UMBELLULARIA CALIFORNICA).
- CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE ORDINANCE FOUND AT: HTTP://CITYPLANNING.LACITY.ORG/CODE\_STUDIES/OTHER/PROTECTEDTREEORD.PDF

II. CONSEQUENCES OF VIOLATING THE TREE PROTECTION SPECIFICATIONS:

A. ANY FAILURE BY THE CONTRACTOR TO ADHERE TO THE REQUIREMENTS SPECIFIED WITHIN THESE SPECIFICATIONS WILL RESULT IN THE SUSPENSION OF ALL CONSTRUCTION ACTIVITIES, TO BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT FOR OR REPLACEMENT OF ANY TREES DAMAGED THROUGH NON-COMPLIANCE WITH THESE SPECIFICATIONS. THE CHOICE OF WHETHER THE DAMAGED TREES ARE REPLACED OR PAID FOR WILL BE DETERMINED BY RAP FORESTRY.

1. MONETARY VALUATIONS FOR DAMAGED TREES WILL BE DETERMINED BY RAP FORESTRY. 2. HOW RAP DETERMINES THE QUANTITY, SPECIES, AND LOCATION OF REPLACEMENT TREES:

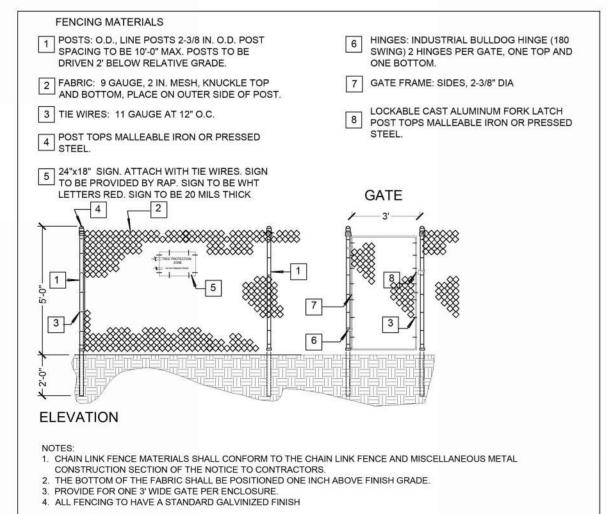
A) MEASURING THE DIAMETER OF THE TREE(S) BEING REPLACED: 1) FOR SINGLE TRUNK TREES, THE DIAMETER (DBH) IS MEASURED 4.5' ABOVE THE GROUND.

2) FOR MULTI-TRUNK TREES, THE DBH OF EACH OF THE MULTIPLE TRUNKS IS MEASURED 4.5' ABOVE THE GROUND, THEN ALL ARE SUMMED TO ARRIVE AT A SINGLE DIAMETER VALUE.

B) THE RATIO OF THE SUM OF CALIPERS (AS DEFINED BY RAP NURSERY SPECIFICATIONS) OF NEW TREES PLANTED VS. THE SUM OF THE DIAMETERS OF EXISTING TREES REMOVED SHALL BE AT LEAST 1:1. THE SPECIFIC NUMBER OF REPLACEMENT TREES WILL BE DETERMINED BY RAP FORESTRY STAFF AND THE PROJECT LANDSCAPE ARCHITECT. C) IF THE REPLACEMENT RATIO CANNOT BE ACHIEVED WITHIN THE PROJECT BOUNDARIES, THEN ONE OF THE FOLLOWING SHALL APPLY: 1) DELIVER THE TREES TO RAP FORESTRY. 2) DELIVER THE TREES TO THE NEAREST RAP SERVICE YARD.

3) PLANT THE TREES BEYOND THE PROJECT ON AN APPROVED, AREA-WIDE BASIS. D) RAP FORESTRY STAFF AND THE PROJECT LANDSCAPE ARCHITECT SHALL DETERMINE THE REPLACEMENT TREE SPECIES/PLANTING LOCATION AND SHALL ALSO ENSURE THE HEALTH/QUALITY OF THE TREES.

RP DETAIL 500.1



GRIDNO 5' HIGH TREE PROTECTION FENCE N.T.S. REFINFO

15. FOR ALL TREES AND SHURB PLANTING, THE FOLLOWING PREPARED SOIL MIX SHALL BE USED FOR BACKFILL IN THE PLANTERS. THIS MIX IS FOR BIDDING PURPOSES, AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT. SITE SOIL - 6 PARTS BY VOLUME ORGANIC AMENDMENT - 4 PARTS BY VOLUME

## IRON SULFATE - 2 LBS. PER C.Y.OF MIX

16. TURF IS NOT ALLOWED ON SLOPES GREATER THAN 25% WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE

AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. 19. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL. 20. I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE THAT COMPLYS WITH THE PERFORMANCE APPROACH.

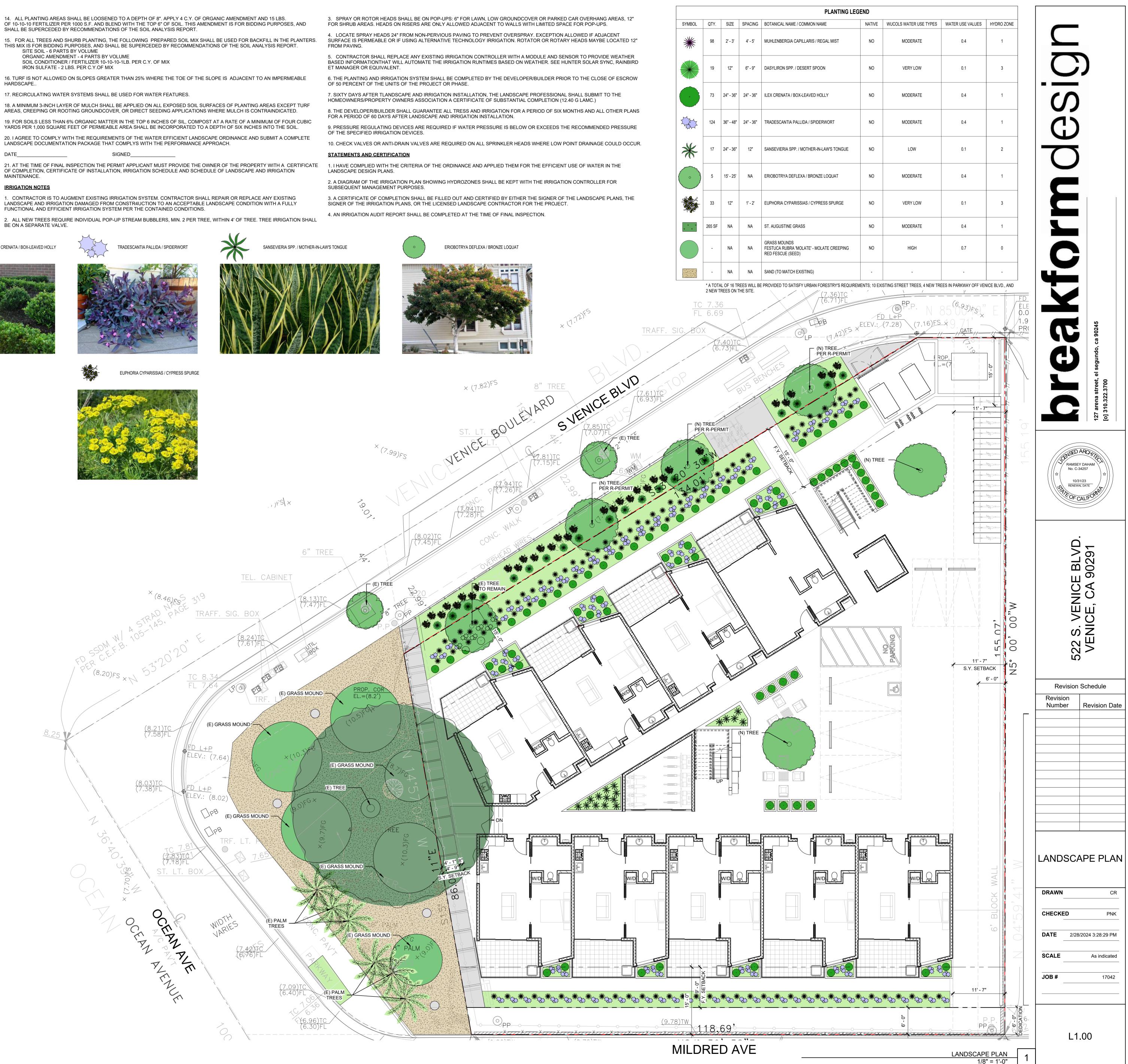
21. AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND SCHEDULE OF LANDSCAPE AND IRRIGATION

1. CONTRACTOR IS TO AUGMENT EXISTING IRRIGATION SYSTEM. CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING LANDSCAPE AND IRRIGATION DAMAGED FROM CONSTRAUCTION TO AN ACCEPTABLE LANDSCAPE CONDITION WITH A FULLY FUNCTIONAL AND EFFICIENT IRRIGATION SYSTEM PER THE CONTAINED CONDITIONS.









					PLANTING LEG	PLANTING LEGEND			
	SYMBOL	QTY.	SIZE	SPACING	BOTANICAL NAME / COMMON NAME	NATIVE	WUCOLS WATER USE TYPES	WATER USE VAL	
	₩	98	2' - 3'	4' - 5'	MUHLENBERGIA CAPILLARIS / REGAL MIST	NO	MODERATE	0.4	
		19	12"	6" - 9"	DASYLIRON SPP. / DESERT SPOON	NO	VERY LOW	0.1	
		73	24" - 36"	24" - 36"	ILEX CRENATA / BOX-LEAVED HOLLY	NO	MODERATE	0.4	
	Mar 1	124	36" - 48"	24" - 36"	TRADESCANTIA PALLIDA / SPIDERWORT	NO	MODERATE	0.4	
	*	17	24" - 36"	12"	SANSEVIERIA SPP. / MOTHER-IN-LAW'S TONGUE	NO	LOW	0.1	
	•	5	15' - 25'	NA	ERIOBOTRYA DEFLEXA / BRONZE LOQUAT	NO	MODERATE	0.4	
		33	12"	1' - 2'	EUPHORIA CYPARISSIAS / CYPRESS SPURGE	NO	VERY LOW	0.1	
	* * * *	265 SF	NA	NA	ST. AUGUSTINE GRASS	NO	MODERATE	0.4	
		-	NA	NA	GRASS MOUNDS FESTUCA RUBRA 'MOLATE' - MOLATE CREEPING RED FESCUE (SEED)	NO	HIGH	0.7	
		-	NA	NA	SAND (TO MATCH EXISTING)	-	-	-	



# breakformdesign