EJ

CNTR

COL

C.T.

CONC

**ALUM** 

ANOD

ARCH

**ASPH** 

BITUM

BLDG

BLK

A.P.

Aluminum

Anodized

**APPROX** Approximate

Access Panel

Architectural

Asphalt

Bituminous

Building

Block

Counter

Column

Concrete

Ceramic Tile

Center

Cold Water

CTSK Countersunk

**CONN** Connection

**CONST** Construction

**CONT** Continuous

**CONTR** Contractor

CORR Corridor

**Expansion Joint** 

E.W.C. Electric Water Cooler GA

Elevation

**ELEC** Electrical

**ELEV** Elevation

**EMER** Emergency

**ENCL** Enclosure

**EQUIP** Equipment

**E.W.** Each Way

**EXIST** Existing

**EQ** Equal

**E.O.S.** Edge of Slab

F.O.M.

F.O.S.

**FPRF** 

FR

FS

FTG

FUT

**FURR** 

Face of Masonry

Face of Stud

Fireproof

Frame

Full Size

Foot, Feet

Furring, Furred

Footing

Future

**MEMB** Membrane

Metal

Manufacture

Miscellaneous

Masonry Opening

Moisture Resistant

Manhole

Minimum

Mirror

Mounted

Mullion

MET

MFR

MTD

MUL

Height

**HVAC** Heating, Ventilation

Hot Water

Including

Interior

Janitor

**INSUL** Insulation

Inside Diameter

I.D.

INT

JAN

INCL

and Air Conditioning

OPP

P.D.

 $\mathsf{PL}$ 

PLMG

PLAM

PLAS

PR

Opposite

Planter Drain

Property Line

Plastic Laminate

Plumbing

Piece

Plate

**PLYWD** Plywood

Pair

R.O.

RWD

SECT

SHR

SHT

Rough Opening

Separation, Separate

Redwood

Solid Core

South

Section

Shelf

Shower

Sheet

**SCHED** Schedule



**T&G** Tongue and Groove

Telephone

Thick, Thickness

Terrazzo

Threshold

T.P.D. Toilet Paper Dispenser

Toilet

**T.O.S.** Top of Slab

T.O.P. Top of Pavement

Tempered, Temperature

T.O.C. Top of Curb

T.O.D. Top of Drain

TEL

TEMP

TER

THK

**THR** 

TOIL

W.H.

W/O

W.C.

WD

WPM

WP

Water Heater

Water Closet

Waterproof

Waterproof Membrane

Without

Wood

**W.S.P.** Wet Standpipe

WSCT Wainscot

ROOM SYMBOL

SYMBOL ROOM NUMBER

INDICATES A JOG IN THE BUILDING SECTION

— FLOOR LEVEL

ELEVATION

INTERIOR ELEVATION

SYMBOLS

3D

3H

1 BD / 1 BTH

1 BD / 1 BTH

1 BD / 1 BTH

STUDIO / 1 BTH

STUDIO / 1 BTH

673 SF

277 SF

277 SF

647 SF

MARKET RATE

MARKET RATE

AFFORDABLE

MARKET RATE

509 SF MARKET RATE

RAMSEY DAHAM

**COVER** 

**DATE** 7/26/2022 6:43:21 PM

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- 4. CONTRACTOR SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.
- 5. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
- 6. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- 7. DEBRIS REMOVAL MUST BE PERFORMED USING THE FREIGHT ELEVATOR WHEN APPLICABLE. CONTACT THE BUILDING MGMT. OFFICE TO OBTAIN SCHEDULE FOR THE USE OF THE FREIGHT ELEVATOR(S) PRIOR TO SUBMITTING BID. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE. WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
- 8. IF DIRECTED BY BUILDING MANAGEMENT, ALL DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES, (INCLUDING DOWNLIGHTS & FLUORESCENTS), & SPECIAL EQUIPMENT SHOWN TO BE REMOVED. SHALL BE CLEAN AND FREE OF DEFECTS. PROTECTED, SAVED AND REUSED AS DIRECTED HEREIN, RETURNED TO BUILDING STOCK OR DISPOSED OF.
- 9. IN PARTITIONS TO BE REMOVED, REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO THEIR
- 10. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION IN ELEVATOR LOBBY, PUBLIC CORRIDORS, RESTROOMS OR TENANT SPACES. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.
- 11. NO EXISTING SMOKE DETECTOR, PUBLIC ADDRESS SPEAKER, FIRE ALARM BOX OR SIMILAR DEVICE, INCLUDING THE ASSOCIATED WIRING SHALL BE DAMAGED DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS. NO ACTIVE SMOKE DETECTOR SHALL BE COVERED OR OTHERWISE REMOVED OR USED FOR OTHER THAN IT'S INTENDED PURPOSE.
- 12. ALL EXISTING FLOOR MOUNTED OUTLETS, WHERE NOTED TO BE REMOVED OR RELOCATED, SHALL BE CAPPED OFF TO THE NEAREST JUNCTION BOX. FILL AND LEVEL FLOOR TO ACCEPT NEW FLOOR COVERING.
- 13. ALL EXISTING CEILING TILES TO REMAIN U.O.N. ALL BROKEN, PARTIAL, STAINED, OR DAMAGED TILES SHALL BE REPLACED.
- 14. ALL EXISTING LIGHT FIXTURES SHALL BE CLEANED OF DUST, WRAPPED FOR PROTECTION & STORED FOR RE-USE.
- 15. REMOVE TO SOURCE ALL PIPES, VENTS, APPLIANCES OR DRAINS NOT BEING RE-USED.
- **16.** RE-USE OR RELOCATE ALL ABOVE CEILING DUCTWORK, DIFFUSERS, GRILLES, SPRINKLER PIPES OR OTHER EQUIPMENT, AS REQUIRED FOR PROPER DISTRIBUTION WITH NEW LAYOUT.
- 17. REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/ COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES, SERVICE OWNER OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED TO PREVENT NEW CONSTRUCTION DELAYS.
- 18. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE. SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.
- 19. CAREFULLY REMOVE ALL EXISTING WALL COVERING AT EXISTING PARTITIONS AND/OR COLUMNS, AS NOTED.
- 20. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
- 21. STAIRWAYS MUST REMAIN ACCESSIBLE AT ALL TIMES DURING DEMOLITION.
- 22. RATED WALLS SHALL NOT BE PENETRATED UNLESS THE RATING IS MAINTAINED.

# **SAFETY NOTES:**

- 1. THE CONTRACTOR SHALL SAFEGUARD THE OWNER'S PROPERTYDURING CONSTRUCTION AND SHALL REPLACE ANY DAMAGED PROPERTY OF THE OWNER TO ORIGINAL CONDITION OR BETTER.
- 2. THE CONTRACTOR SHALL PROVIDE GUEST PROTECTION FROM ALL AREAS OF WORK.
- 3. THE CONTRACTOR SHALL PROTECT ADJOINING AREAS FROM NOISE, DUST, DIRT FIRE HAZARDS, ETC.

# **CONSTRUCTION NOTES:**

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF MATCHING BUILDING LINES AND LEVELS BETWEEN NEW AND EXISTING CONSTRUCTION. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR THE LOCATION AND CONSTRUCTION OF THE WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- 2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
- 3. CONTRACTOR SHALL RELOCATE OR CAP OFF EXISTING UTILITY LINES AS REQUIRED. COORDINATE WTH ELECTRICAL AND PLUMBING DRAWINGS FOR FURTHER INFORMATION.
- 4. EXISTING CONSTRUCTION WHICH IS TO REMAIN BUT IS DAMAGED DURING, CONSTRUCTION SHALL BE REPLACED OR REPAIRED TO ORIGINAL CONDITION OR BETTER.

- 5. MATERIALS USED FOR NEW CONSTRUCTION, UNLESS SPECIFIED OR INDICATED OTHERWISE. SHALL MATCH EXISTING ADJACENT MATERIALS, CONSTRUCTION AND
- 6. NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE CITY.
- 7. THE GENERAL CONTRACTOR SHALL PROVIDE A DUMPSTER IN AN AREA DESIGNATED BY THE OWNER FOR THE PURPOSE OF COLLECTING TRASH AND SHALL PROVIDE FOR ITS REMOVAL FROM THE SITE TO A LEGAL DISPOSAL
- 8. ALL HOLES IN CONCRETE SLABS LEFT AFTER REMOVAL OF PIPES, CONDUITS, ETC., ARE TO BE FILLED WITH POR-ROCK OR SOLID CONCRETE. REFER TO ANY DETAILS WITHIN DRAWING SET FOR FURTHER INFORMATION.
- 9. THE GENERAL CONTRACTOR SHALL VERIFY SALVAGE REQUIREMENTS OF ALL FURNITURE, FIXTURES AND EQUIPMENT WITH THE OWNER TO DEMOLITION.
- 10. SURFACE CRACKS AND VOIDS SHALL BE TUCK POINTED
- 11. ALL SURFACES TO BE FINISHED SHALL BE PREPARED IN ACCORDANCE WITH FINISH MANUFACTURERS RECOMMENDATIONS.
- 12. PROVIDE ALL NECESSARY BLOCKING, BACKING, SLEEVES, AND FRAMES FOR LIGHT FIXTURES, ELECTRICAL UNITS, A/C EQUIPMENT AND OTHER ITEMS REQUIRING SAME.
- 13. PLEASE RECYCLE DEMOLITION & CONSTRUCTION WASTE. ASK ABOUT POSSIBLE DUMP SITES.
- 14. THE CONTRACTOR SHALL COMPLY W/ ALL 0.S.H.A. REQUIREMENTS.
- 15. TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED & VISIBLE WHEN THE UNIT IS GLAZED.
- 16. PENETRATIONS OF FIRE-RATED FLOORS OR FLOOR-CEILING ASSEMBLIES SHALL BE PROTECTED BY THROUGH-PENETRATION FIRE STOPS HAVING AN "F" OR "T" RATING. A "T" RATING IS REQUIRED WHERE PENETRATIONS ARE NOT CONTAINED IN THE WALL AT THE POINT THEY PENETRATE THE FLOOR OR WHERE THEY ARE LARGER THAN A 4" (IOOmm) PIPE OR 16 SQ IN (IO320mm SQ) IN AREA. UBC SEC

### **CODE NOTES:**

- 1. ALL WORK AND MATERIALS SHALL COMPLY TO THE CURRENT ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, NATIONAL ELECTRIC CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA FIRE CODE AND ALL LOCAL CODES, REGULATIONS, LAWS & ORDINANCES GOVERNING CONSTRUCTION . SECURITY IN THIS JURISDICTION.
- 2. METAL FABRICATION SHALL CONFORM TO C.B.C. AND STANDARDS OF A.S.T.M., A.I.S.C., A.W.S. AND S.S.P.C. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE CODE REGULATIONS.
- 3. DEPARTMENT OF INDUSTRIAL RELATIONS DIVISION OF INDUSTRIAL SAFETY (O.S.H.A.) REQUIREMENTS. CONTRACTOR SHALL PROVIDE OCCUPANCY SIGNAGE PER LOCAL BUILDING REQUIREMENTS AND/OR FIRE DEPARTMENT REQUIREMENTS.
- 4. OCCUPANCY SIGNAGE SHALL BE PLACED PER LOCAL CODE & FIRE DEPARTMENT REQUIREMENTS AS APPLICABLE.
- 5. ALL REQUIRED PERMITS MUST BE OBTAINED AND KEPT ON THE PREMISES AT ALL TIMES IN A LOCATION SPECIFIED BY THE CITY.

# **GENERAL NOTES:**

- 1. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY INCONSISTENCY . ERROR OR OMISSION HE MAY DISCOVER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE MEANS OF CORRECTING ANY ERROR. BEFORE OR AFTER THE START OF CONSTRUCTION, SHALL FIRST BE APPROVED BY THE ARCHITECT.
- 2. STAMPED SETS OF APPROVED PLANS SHALL BE PROVIDED FOR ALL WORK. THE CONTRACTOR SHALL MAINTAIN IN, GOOD CONDITION, COMPLETE SETS OF STAMPED AND APPROVED PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THEY ARE TO BE UNDER THE CARE OF THE GENERAL CONTRACTOR OR HIS SUPERINTENDENT IN A LOCATION SPECIFIED BY THE CITY.
- 3. THE ARCHITECT WILL REVIEW ALL SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.
- 4. THE ARCHITECT MAKES NO GUARANTEE FOR PRODUCTS NAMED BY TRADE NAME OR MANUFACTURER.
- 5. REFERENCES OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWIING OR
- 6. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- 7. THE CONTRACTOR SHALL NOT BREAK SETS FOR TRADE BIDDING, ERRORS IN BIDDING AS A RESULT OF THIS PRACTICE ARE NOT THE RESPONSIBILITY OF THE OWNER OR THE ARCHITECT.
- 8. THE CONTRACTOR SHALL REFER TO AND CROSS-CHECK DETAILS, DIMENSIONS, NOTES, AND ALL REQUIREMENTS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH THE EXISTING SITE CONDITIONS AND SPECIFICATIONS.
- 9. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE FOLLOWING IS REQUIRED FROM THE AGENT OF THE OWNER, a) AN AUTHORIZATION LETTER FROM THE OWNER TO PULL PERMITS. THE FOLLOWING IS REQUIRED FROM THE CONTRACTOR AGENT:- b) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND FOLLOWING LANDLORD'S RULES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO PROVIDING INSURANCE CERTIFICATES PER LANDLORD'S CRITERIA. c) CERTIFICATE OF WORKERS COMPENSATION INSURANCE MADE OUT TO THE CONTRACTORS STATE LICENSE BOARD. d) COPY OF THE

CITY BUSINESS TAX REGISTRATION CERTIFICATE OR NEWLY

10. THE CONTRACTOR SHALL PROVIDE A LIST OF SUBCONTRACTORS TO THE OWNER FOR REVIEW PRIOR TO SIGNING THE OWNER / CONTRACTOR AGREEMENT

PAID RECEIPT FOR ONE. e) NOTARIZED LETTER OF

AUTHORIZATION FOR AGENTS OF CONTRACTOR.

- 11. ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC., TO MAKE THE SEVERAL PIECES COME TOGETHER PROPERLY AND FIT OR BE RECEIVED BY WORK OF OTHER TRADES.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY BRACING OR SHORING AS REQUIRED OR PORTION THEREOF DURING CONSTRUCTION.
- 13. THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER, AND TOILET FACILITIES AS REQUIRED AND SHALL INSTALL THEM IN ACCORDANCE TO LOCAL CODES. CONTRACTOR MAY USE OWNERS FACILITIES UPON WRITTEN AUTHORIZATION FROM OWNER'S REPRESENTATIVE.
- 14. THE GENERAL CONTRACTOR AND HIS ASSOCIATES. SUBCONTRACTORS, ETC., MUST MAINTAIN THE SPACE, ACCESS AREAS, ETC., CLEAN AT ALL TIMES AND SWEEP DUST, CLEAN, ETC., EVERY DAY AT THE END OF WORKING
- 15. IT S THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DELIVER THE JOB COMPLETELY CLEAN.
- 16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR, ND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.

#### **FIRE SAFETY NOTES:**

- 1. THE GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A WITHIN A 75-FOOT TRAVEL DISTANCE.
- 2. THE GENERAL CONTRACTOR SHALL PROVIDE ANY ADDITIONAL FIRE EXTINGUISHERS AS REQUIRED BY THE LOCAL FIRE DEPARTMENT FIELD INSPECTOR.
- 3. THE GENERAL CONTRACTOR SHALL PROVIDE PLANS FOR REVISION OF THE FIXED FIRE PROTECTION EQUIPMENT AND SHALL SUBMIT THEM TO THE LOCAL JURISDICTION AS REQUIRED AND TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- 4. THE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWNGS AND SPECIFICATIONS FOR REVISION TO FIXED FIRE PROTECTION EQUIPMENT AND SUBMITTAL OF PLANS TO THE FIRE MARSHALL AS REQUIRED FOR APPROVAL PRIOR TO INSTALLATION.

## **LADBS GENERAL REQUIREMENTS:**

- 1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- 2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- 3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- 4. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- 5. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- 6. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- 7. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
- 8. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)
- 9. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)
- 10. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
- 11. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
- 12. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS. REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- 13. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.
- 14. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- 15. FOR EXISTING POOL ON SITE, PROVIDE ANTIENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL.TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL. 9AB0 NO. 2977. (3162B)

### LADBS ADDITIONAL NOTES:

**GARAGE/CARPORTS** 

- 1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES. OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1).
- 2. DUCT PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENING INTO THE GARAGE (R302.5.2)
- 3. OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALL SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3)
- 4. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)

## **FIRE PROTECTION**

- 1. AND APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STOREY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STOREY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)
- 2. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

### MEANS OF EGRESS

- 1. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE EXTERIOR OF THE DWELLING AT THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. (R311.1)
- 2. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS. UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (R302.7)
- ILLUMINATED. (R303.7) 4. PROVIDE 42" HIGH GUARDS WITH MAXIMUM 4" CLEAR

3. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE

SPACING OPENING BETWEEN RAILS. (R312) 5. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE

MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4

## **INTERIOR ENVIRONMENT**

INCH. (2407)

- 1. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE
- 2. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68 DEGREE FAHRENHEIT AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)

# **BUILDING ENVELOPE**

- 1. PROVIDE A CLASS A, B OR C FIRE-RETARDANT ROOF **COVERING PER SECTION R902..1**
- 2. GLAZING IN THE FOLLOWING SECTIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):
  - A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.
  - **B.** GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
  - C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
  - 1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
  - 2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE
  - 3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE 4) ONE OR MORE WALKING SURFACES WITHIN 36
  - **D.** GLAZING IN RAILINGS.

INCHES HORIZONTALLY OF THE GLAZING

- E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALING SURFACE.
- F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AN IN A STRAIGHT LINE, OF THE WATER'S EDGE.

**G.** GLAZING WHERE THE BOTTOM EXPOSED EDGE

THE PLANE OF THE ADJACENT WALKING SURFACE

OF THE GLAZING IS LESS THAN 36 INCHES ABOVE

OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AN RAMPS. H. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM

- 3. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6
- 4. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).
- 5. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USED OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA
- 6. PROVIDE ANTI GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS, EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED.
- 7. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)
- 8. DAMPPROFFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED (R406.1)
- 9. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R609.4

## SECURITY REQUIREMENTS

- 1. SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8FT, OF THE UTILITY POLE OR SIMILAR STRUCTURES. (6707)
- 2. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR. (6708)
- 3. SLIDING GLASS DOORS PANELS SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.1
- 4. METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. (6711)
- 5. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. (6712)
- 6. IN GROUP B, F, M, AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 IN. BUT LESS THAN 48 IN, SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES (6714)
- 7. GLAZED OPENINGS WITHIN 40" OF THE REQUIRED LOCKING DEVICE OF THE DOOR, WHEN THE DOOR IS IN THE CLOSED AND LOCKED POSITION AND WHEN THE DOOR IS OPENABLE FROM THE INSIDE WITHOUT USE OF KEY, SHALL BE FULLY TEMPERED GLASS PER SECTION 2406, OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO SLIDE GLASS DOORS WHICH CONFORM TO THE PROVISIONS OF SECTION 6710 OR TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN
- THER GREATEST DIMENSIONS. (6715.3) 8. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY.
- 9. OTHER OPENABLE WINBDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN GROUP B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED
- 10. SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICES. A DEVICE SHALL BE INSTALLED IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR

STEEL HASPS. (6715.2)

TWO INCHES IN ANY DIMENSION.

- PARTIALLY OPEN POSITION. 6715.1 11. SLIDING GLASS WINDOWS SASH SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.2
- 12. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRCLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS
- 13. ALL OTHER OPENINGSMUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION.
- 14. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW

PORTS IN THE DOOR OR ADJOINING WALL. (6706)

- 15. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. (6709.1) DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB, OR JOINED BY RABBET TO THE JAMB. (6709.4)
- 16. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. (6709.5, 6709.7)

17. PROVIDE DEAD BOLTS WITH HARDENED INSERTS;

DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, M AND S OCCUPANCIES). (6709.2)

18. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". (6709.2)

- 19. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 INCH THICK WITH SHAPED PORTIONS OF THE PANELS NOT LESS THAN 1/4 INCH THICK, AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN 1 3/8 INCHES AND 3 INCHES IN WIDTH. (6709.1 ITEM 2)
- 20. SLIDING GLASS DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVAL OF THE MOVING PANEL FROM THE TRACK WHILE IN THE CLOSED POSITION. (6710)

# **GENERAL NOTES:**

- 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.
- 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- 3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE
- 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED.
- 5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.
- 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.
- 7. ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.12.

8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO

INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. 9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE

SPACE(S) RESERVED FOR FUTURE EV CHARCHING AS EV

CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE

- PERMANENT AND VISIBLY MARKED EV CAPABLE. 10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS.
- 11. ALL DOORS 4" FROM WALL U.O.N.
- 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
  - A. VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE B. PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM.
  - C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.

D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC

HEALTH'S SPECIFICATION. 13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004. ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.

14. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR

DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC) **15.** FOR ONE- AND TWO-FAMILY DWELLINGS, ANY

PERMANENTLY INSTALLED OUTDOOR IN-GROUND

SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED. 16. A COPY OF THE CONSTRUCTION DOCUMENTS OR A

COMPARABLE DOCUMENT INDICATING THE INFORMATION

SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A

COMVER HAVING A MANUAL OR POWER-OPERATED REEL

- FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT. 17. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL
- 18. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY

BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR

ELECTRIC'.

SEWER. (4.305.4)

REQUIRED.

ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4) 19. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1)

20. WATER USED IN THE BUILDING FOR WATER CLOSETS,

URINALS, FLOOR DRAINS, AND PROCESS COOLING AND

HEATING SHALL COME FROM CITY-RECYCLE WATER IF

AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2) 21. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND CONSTRUCTED

IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE

22. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3.

23. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT

CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED

EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE.

BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR

PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM

## FIRE-RESISTANCE RATED CONSTRUCTION:

- 1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
- 2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE

INTO APPROXIMATELY EQUAL AREAS. (R302.12)

## **GREEN BLDG NOTES:**

1. WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED.

2. NEW MECHANICALLY VENTILATED BUILDINGS SHALL PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH A MERV 13 FILTER FOR OUTSIDE AND RETURN AIR. FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.

3. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY THE BUILDING INSPECTOR.

4. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J2011, ANSI/ACCA 29-D-2014 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 3 MANUAL S-2014.

> RAMSEY DAHAM No. C-34257

> > 10/31/23

RENEWAL DATE

**REVISIONS** 

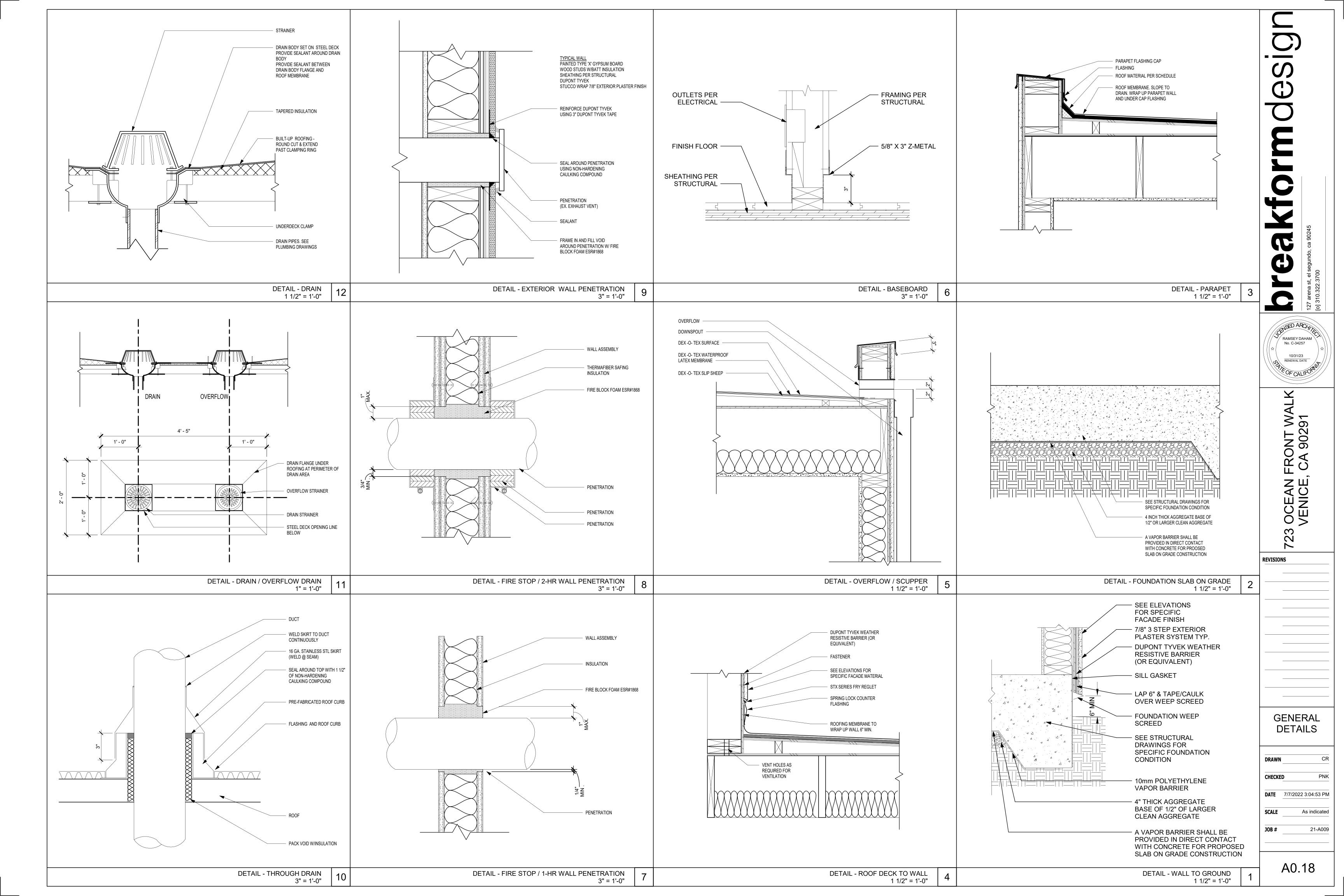
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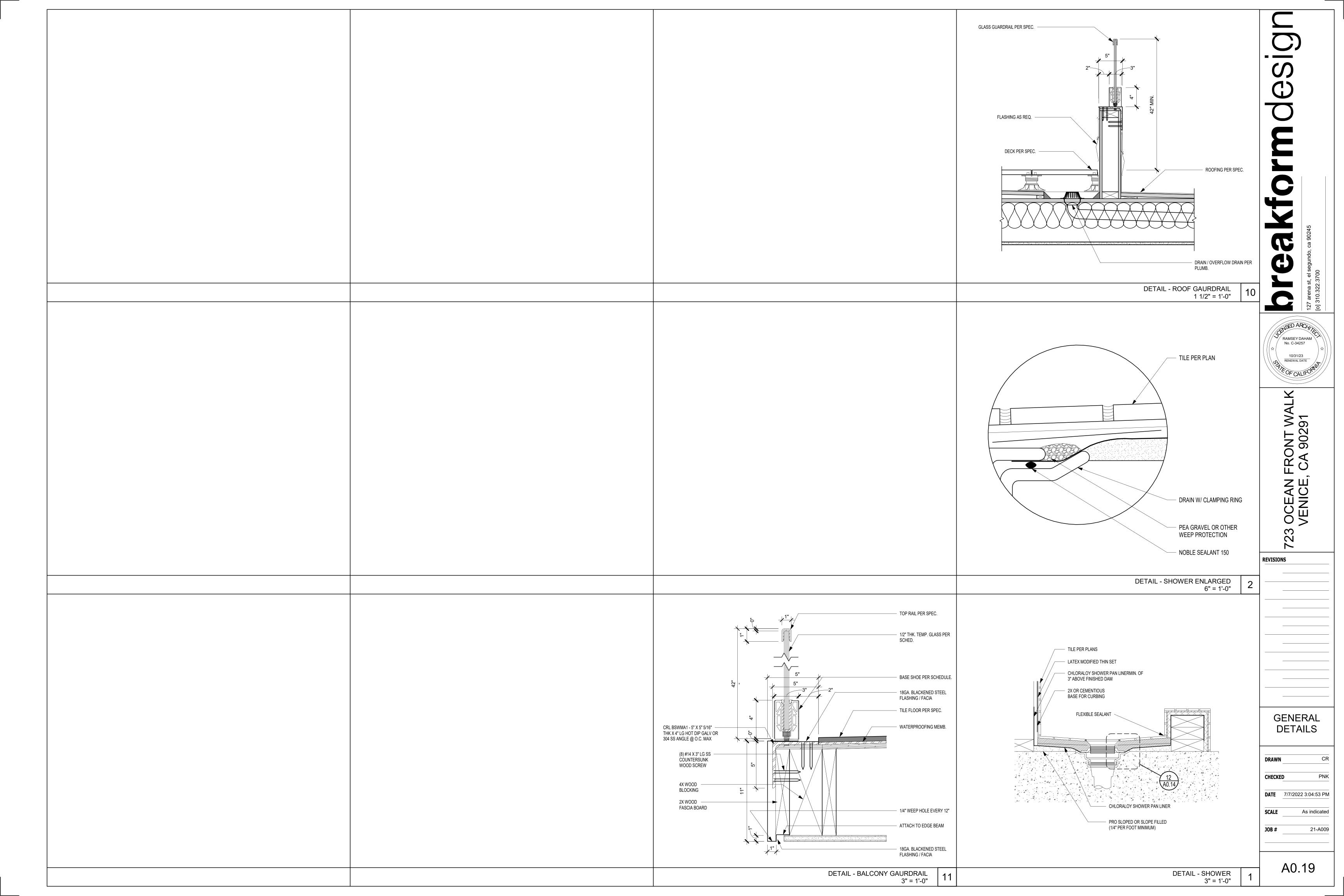
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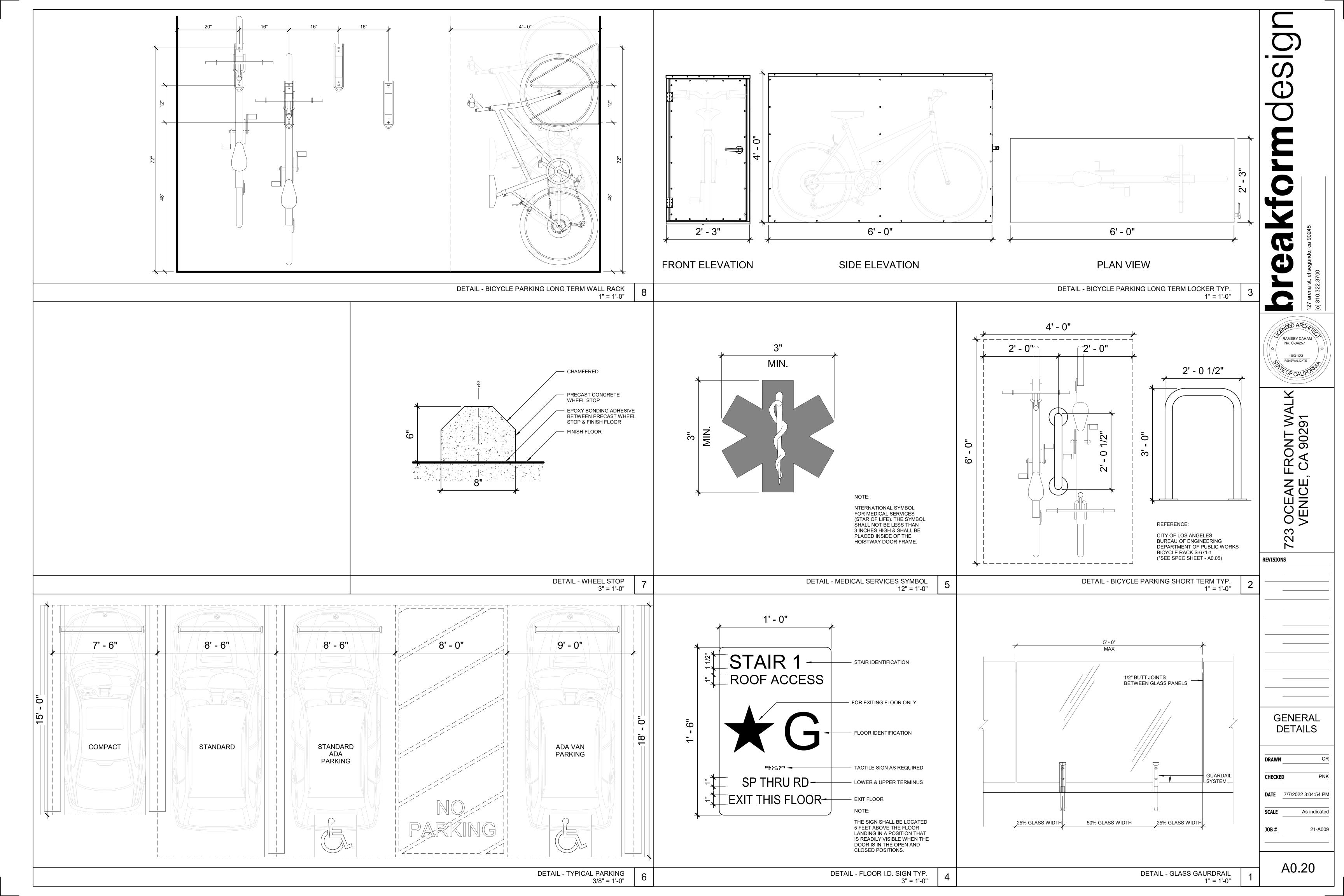
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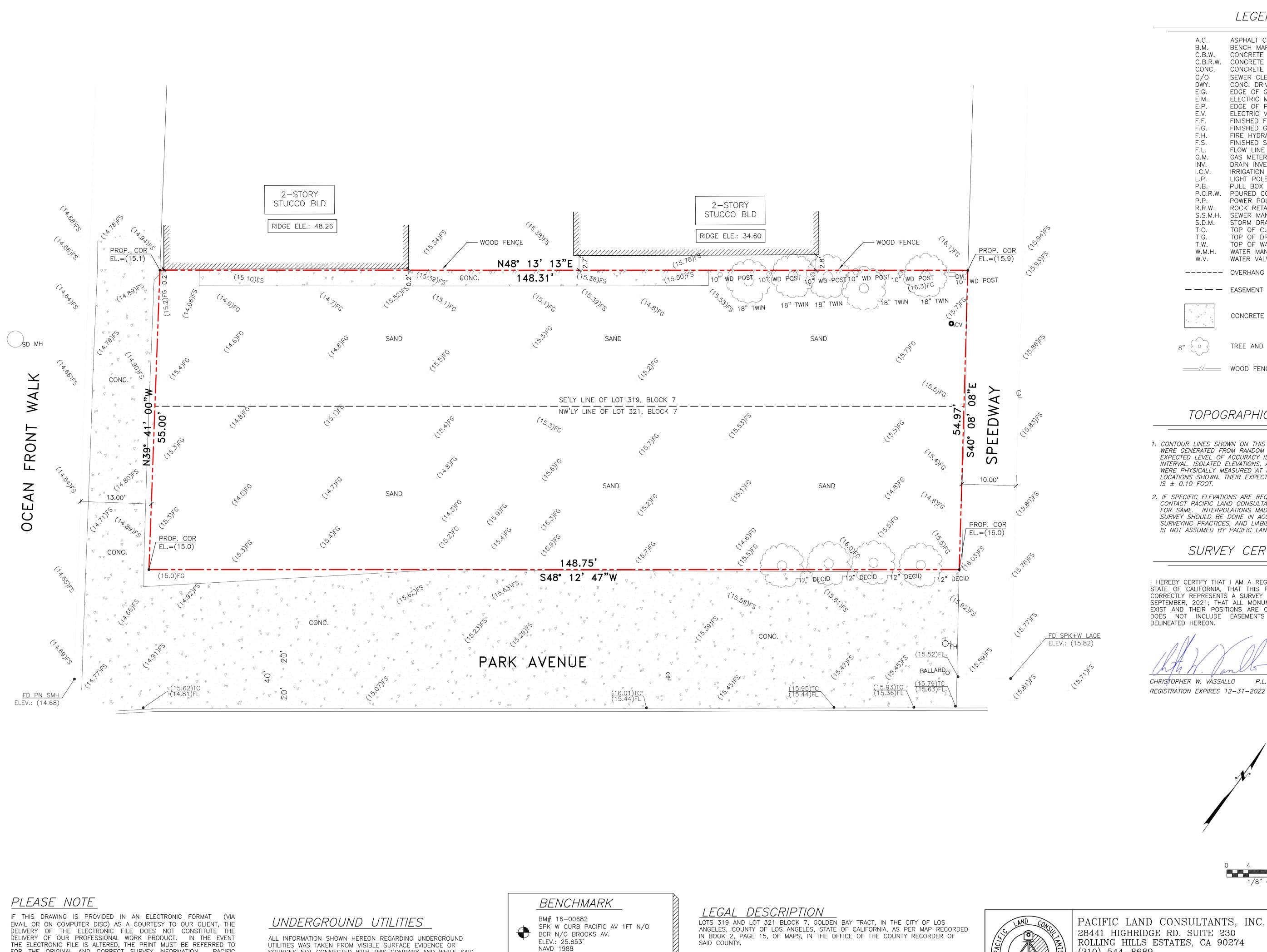
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LEGEND

ASPHALT CONCRETE PAVEMENT

BENCH MARK C.B.W. CONCRETE BLOCK WALL C.B.R.W. CONCRETE BLOCK RETAINING WALL CONC. CONCRETE SEWER CLEANOUT CONC. DRIVEWAY APRON E.G. EDGE OF GUTTER ELECTRIC METER EDGE OF PAVEMENT ELECTRIC VALVE FINISHED FLOOR FINISHED GRADE FIRE HYDRANT F.S. FINISHED SURFACE F.L. FLOW LINE GAS METER DRAIN INVERT IRRIGATION CONTROL VALVE LIGHT POLE PULL BOX P.C.R.W. POURED CONC. RETAINING WALL POWER POLE ROCK RETAINING WALL S.S.M.H. SEWER MANHOLE STORM DRAIN MANHOLE TOP OF CURB TOP OF DRAIN GRATE TOP OF WALL W.M.H. WATER MANHOLE WATER VALVE

— — — EASEMENT LIMIT

TREE AND TRUNK DIAMETER

CONCRETE SURFACE

\_\_\_\_//\_\_\_ WOOD FENCE

# TOPOGRAPHIC NOTES

- 1. CONTOUR LINES SHOWN ON THIS TOPOGRAPHIC SURVEY WERE GENERATED FROM RANDOM SPOT ELEVATIONS. THE EXPECTED LEVEL OF ACCURACY IS  $\pm 1/2$  OF THE CONTOUR INTERVAL. ISOLATED ELEVATIONS, AS PLACED ON THE PLAT WERE PHYSICALLY MEASURED AT APPROXIMATELY THE LOCATIONS SHOWN. THEIR EXPECTED LEVEL OF ACCURACY
- 2. IF SPECIFIC ELEVATIONS ARE REQUIRED, THE USER SHOULD CONTACT PACIFIC LAND CONSULTANTS, INC., TEL: (310)544-8689 FOR SAME. INTERPOLATIONS MADE FROM THIS TOPOGRAPHIC SURVEY SHOULD BE DONE IN ACCORDANCE WITH STANDARD SURVEYING PRACTICES, AND LIABILITY FOR INTERPOLATIONS IS NOT ASSUMED BY PACIFIC LAND CONSULTANTS, INC.

# SURVEY CERTIFICATION

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS PLAT CONSISTING OF ONE SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN SEPTEMBER, 2021; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN. THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY

CHRISTOPHER W. VASSALLO P.L.S. 8418

10/01/21

DATE

4 8 FEET 16

FILE NAME: 21099LS.DWG

SCALE: 1/8" = 1'-0'

DATE: 9-19-2021

JOB NO. 21099

SHEET 1 OF

SITE SURVEY

DRAWN CHECKED

**EXISTING** 

RAMSEY DAHAM

10/31/23

RENEWAL DATE

FRONT WALI CA 90291

OCEAN VENICE,

23

**REVISIONS** 

No. C-34257

**DATE** 7/26/2022 6:43:22 PM

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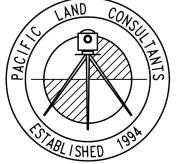
21-A009

FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. PACIFIC LAND CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY PACIFIC LAND CONSULTANTS, INC.

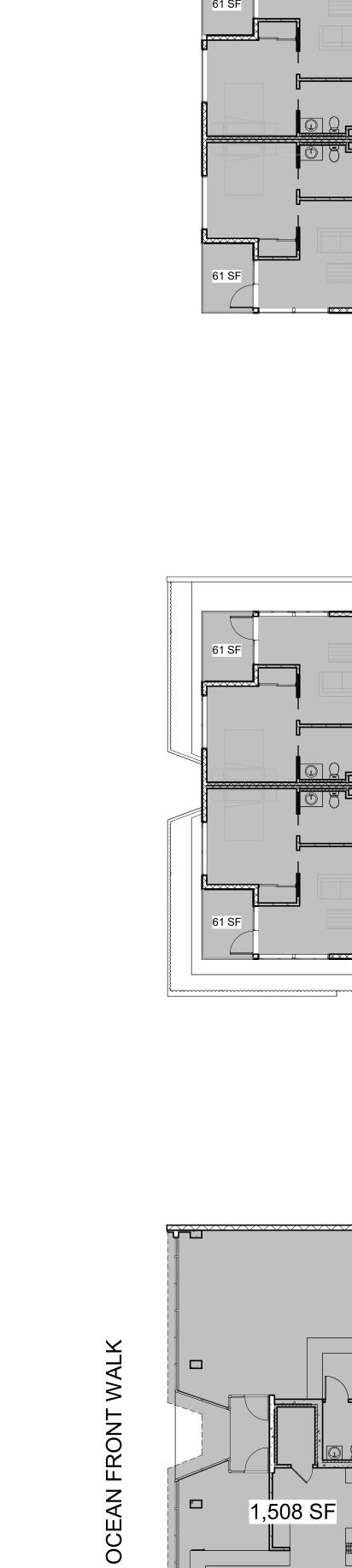
SOURCES NOT CONNECTED WITH THIS COMPANY AND WHILE SAID INFORMATION IS BELIEVED CORRECT, NO LIABILITY IS ASSUMED FOR THE ACCURACY OR COMPLETENESS OF SAID DATA.

AREA = 8,162.40 SQ.FT.

APN= 4286-028-017



28441 H	C LAND CONSULTANTS, INC. HIGHRIDGE RD. SUITE 230 HILLS ESTATES, CA 90274 44-8689
DRAWN	PROJECT SITE:



ZONING CODE FLOOR AREA

1,567 SF 363 SF

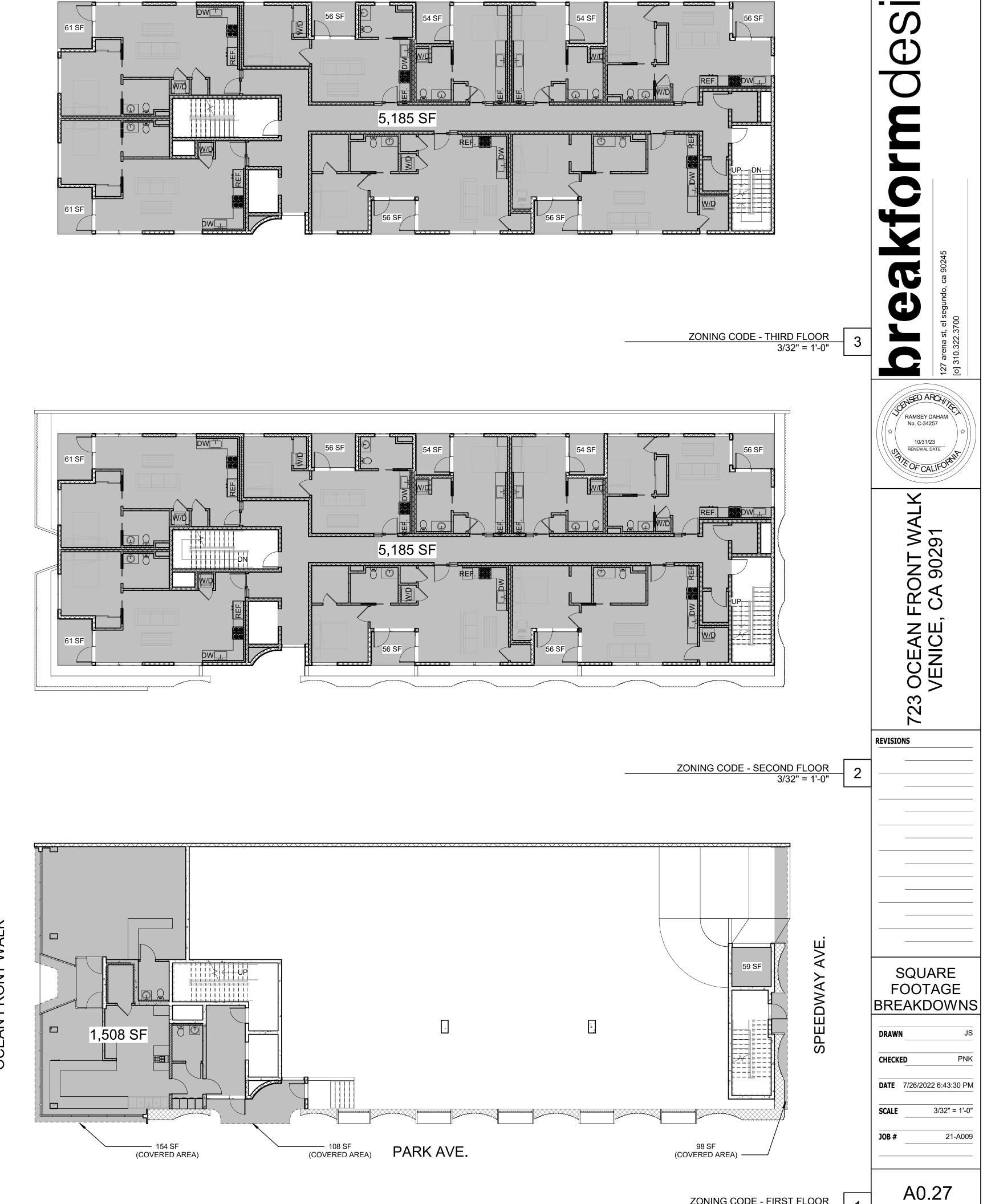
5,185 SF 455 SF

5,185 SF 455 SF

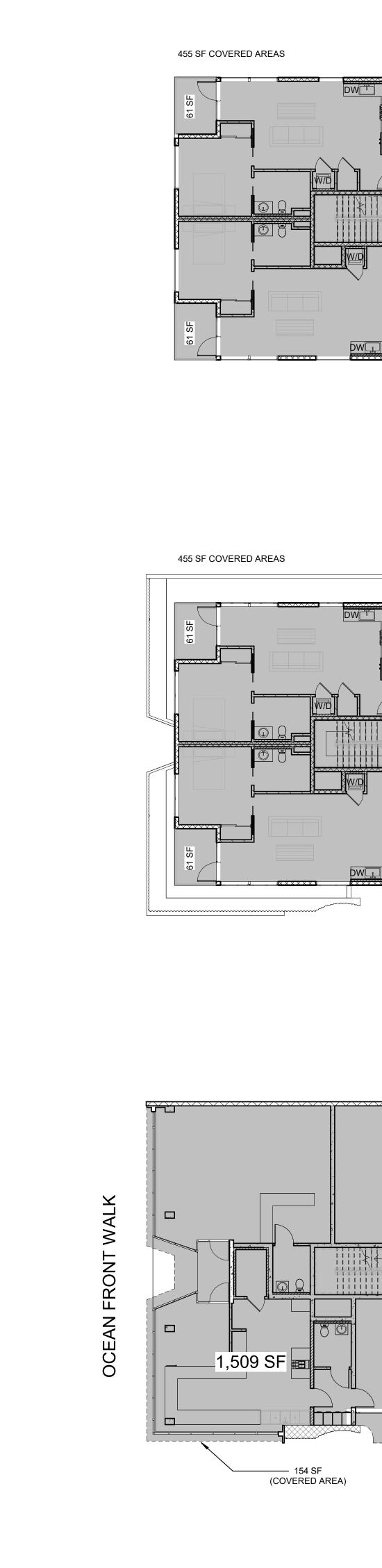
13,210 SF

FIRST FLOOR COVERED

TOTAL PROVIDED



ZONING CODE - FIRST FLOOR 3/32" = 1'-0"



**BUILDING CODE FLOOR AREA** 

FIRST FLOOR

SECOND FLOOR

THIRD FLOOR

TOTAL PROVIDED

7,465 SF

6,021 SF

6,021 SF

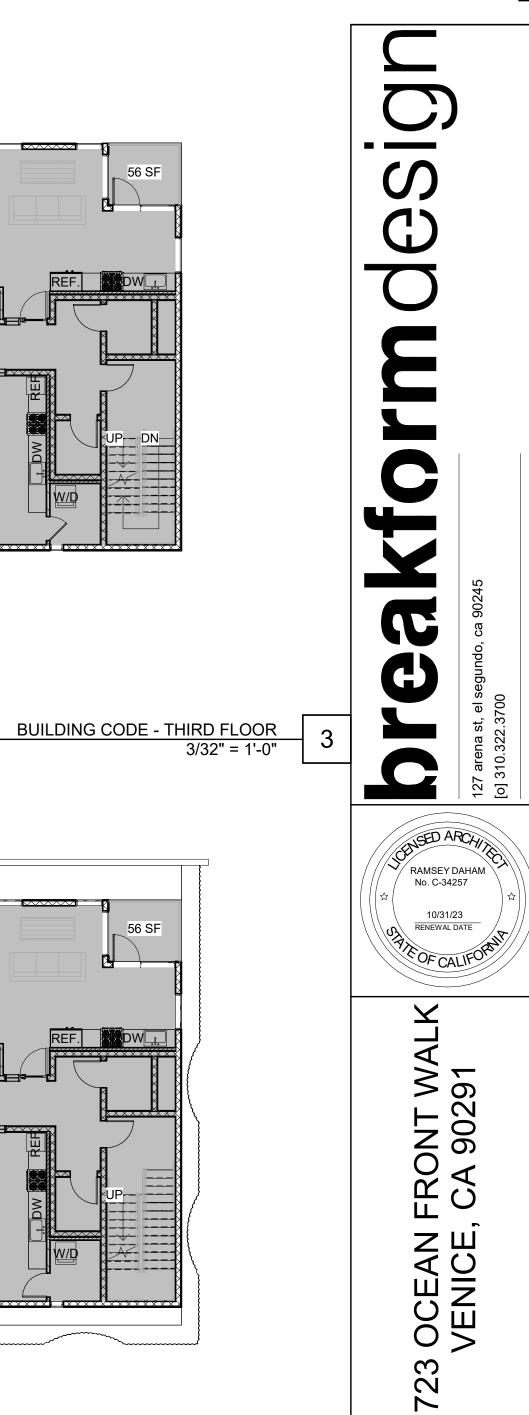
19,507 SF

5,566 SF

5,566 SF

5,596 SF

108 SF (COVERED AREA) PARK AVE.



REVISIONS

BUILDING CODE - SECOND FLOOR
3/32" = 1'-0"

SQUARE FOOTAGE BREAKDOWNS DRAWN

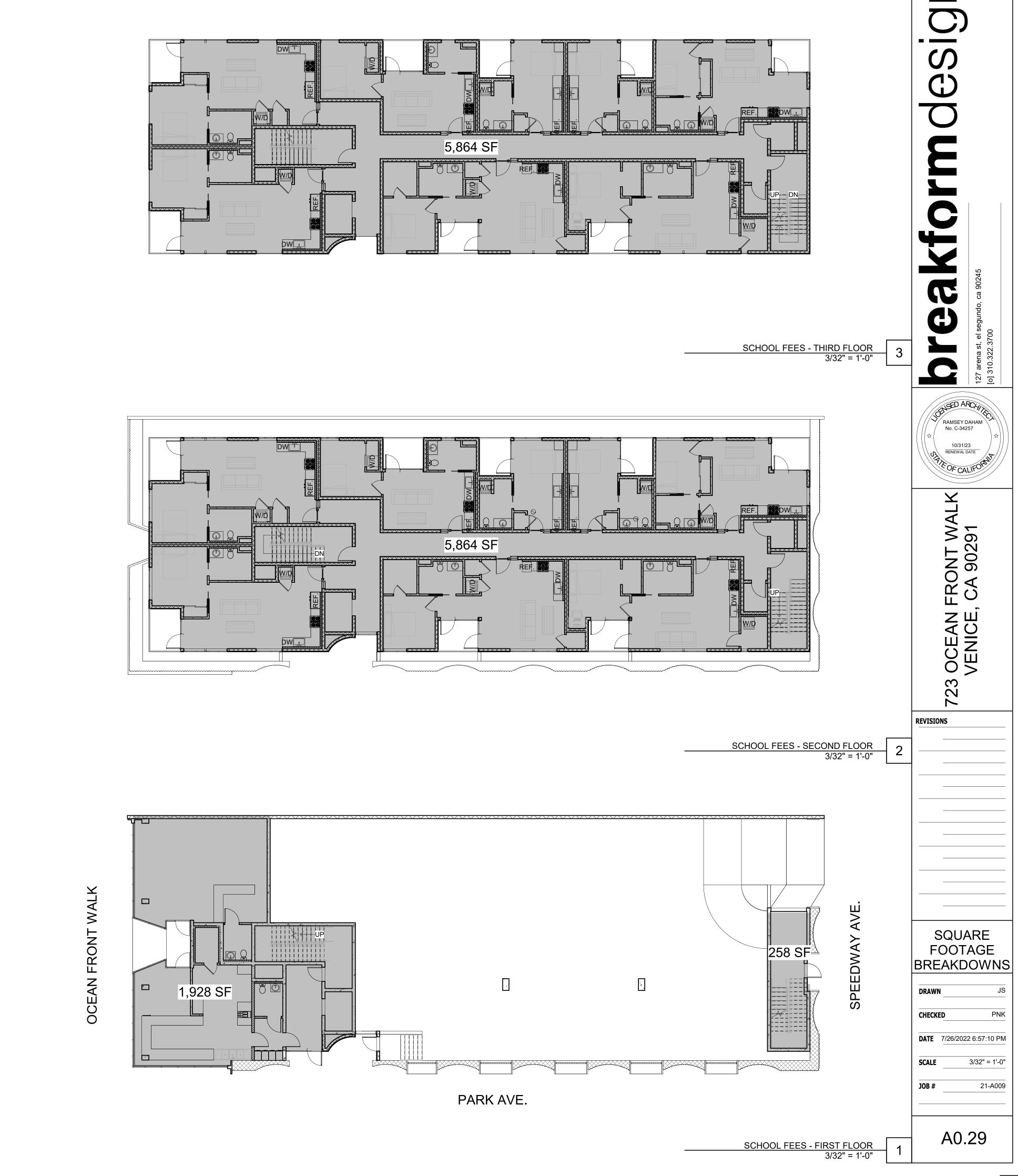
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**DATE** 7/26/2022 6:55:57 PM 3/32" = 1'-0" 21-A009

A0.28

BUILDING CODE - FIRST FLOOR 3/32" = 1'-0"

SPEEDWAY AVE.



SCHOOL FEES FLOOR AREA

FIRST FLOOR 2,186 SF

SECOND FLOOR 5,864 SF

THIRD FLOOR 5,864 SF

TOTAL PROVIDED 13,914 SF





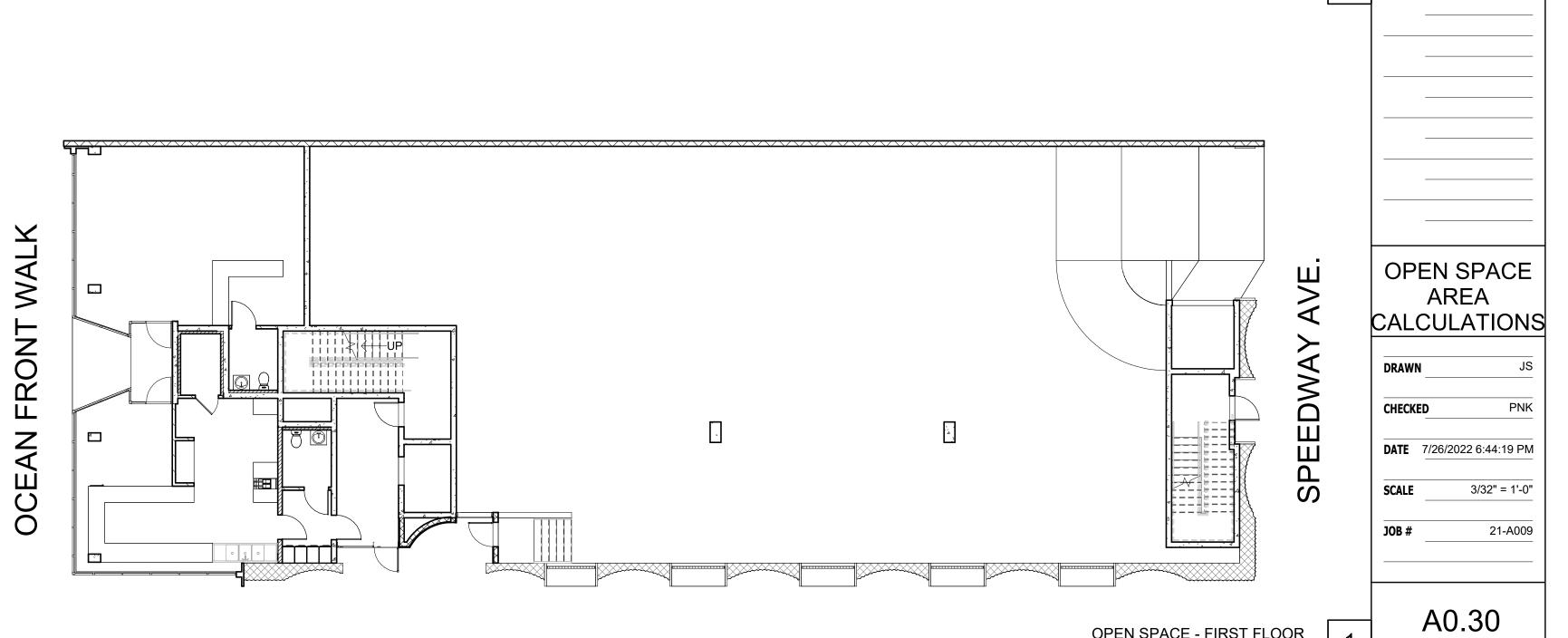
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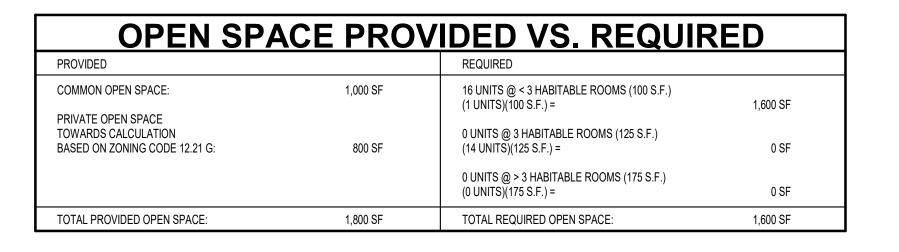
> 10/31/23 RENEWAL DATE

723 OCEAN FRONT WALK VENICE, CA 90291

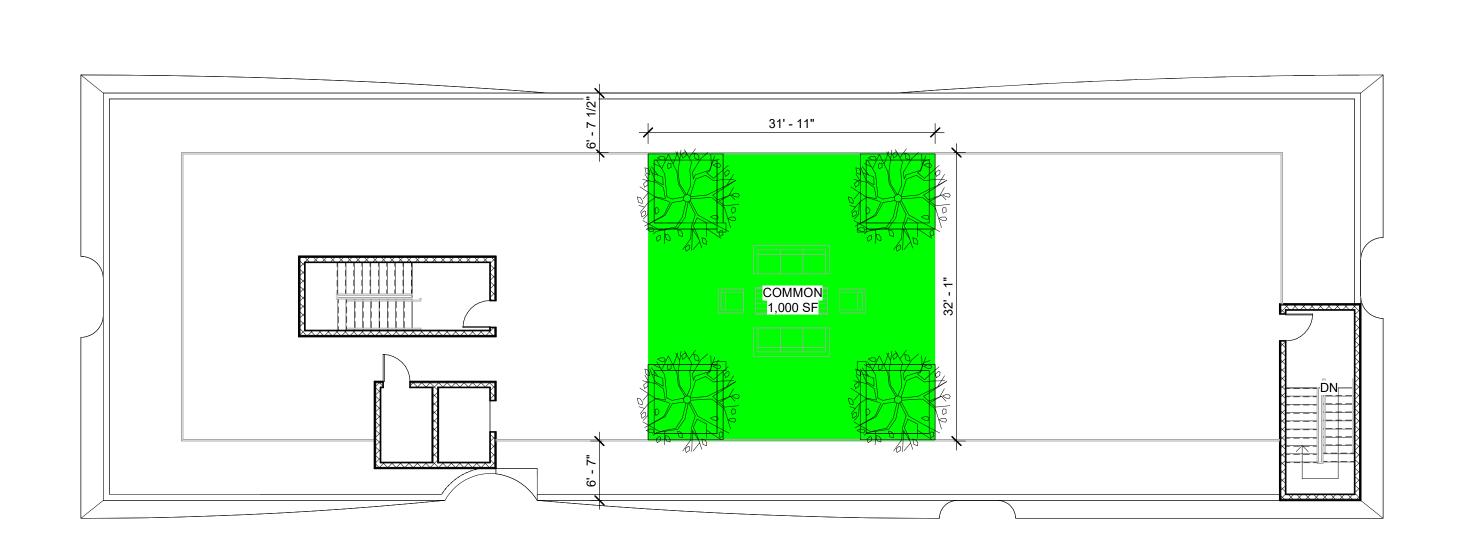
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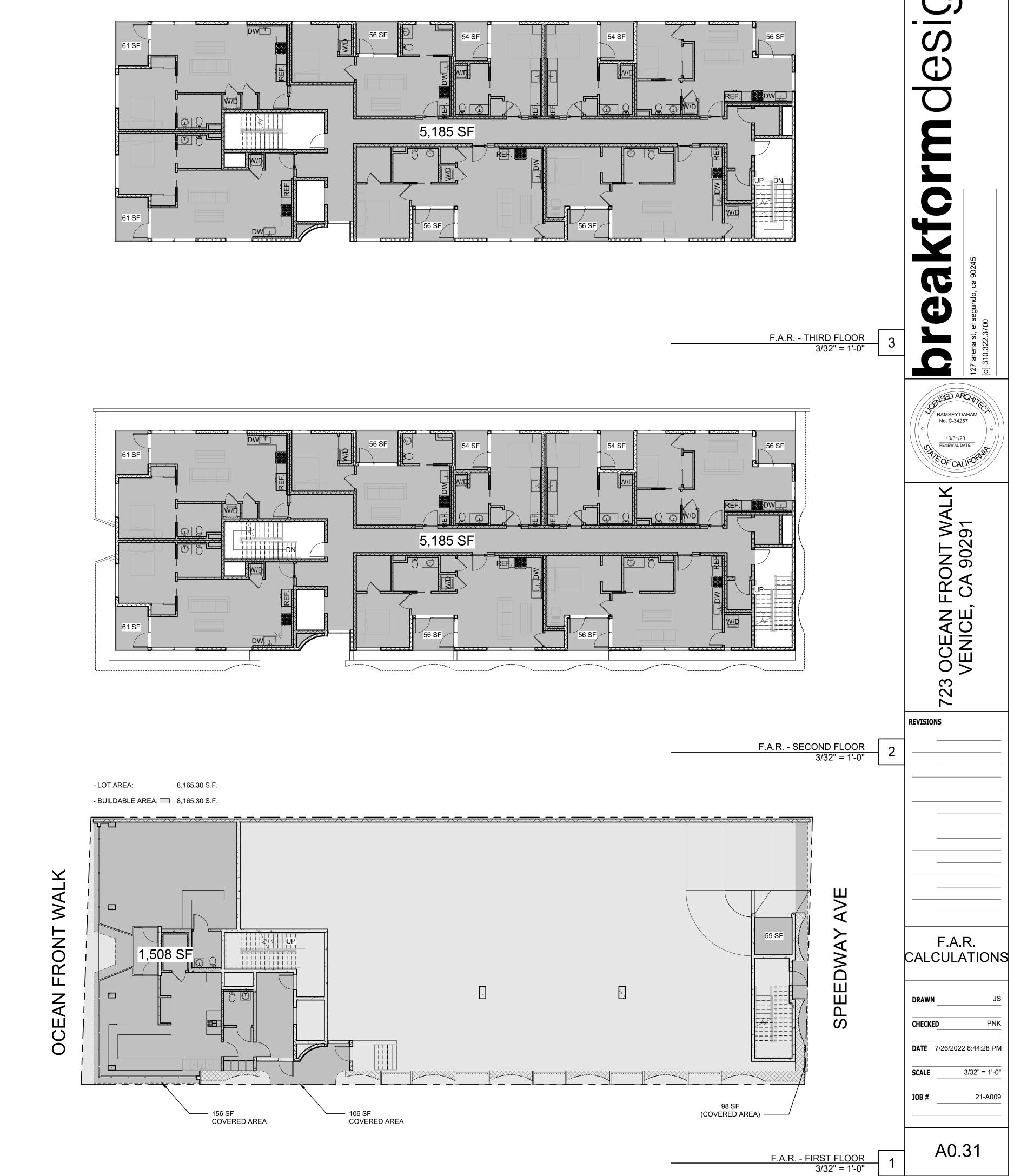
OPEN SPACE - FIRST FLOOR 3/32" = 1'-0"





COMMON OPEN SPACE TREE COUNT				
PROVIDED		REQUIRED		
ON SITE	4 TREES	1 TREE PER EVERY 4 UNITS		
		16 UNITS / 4 =	4 TREES	
ON SIDEWALK	0 TREES			
TOTAL	4 TREES	TOTAL	4 TREES	





F.A.R. CALCULATIONS

THIRD FLOOR -COVERED

TOTAL PROVIDED

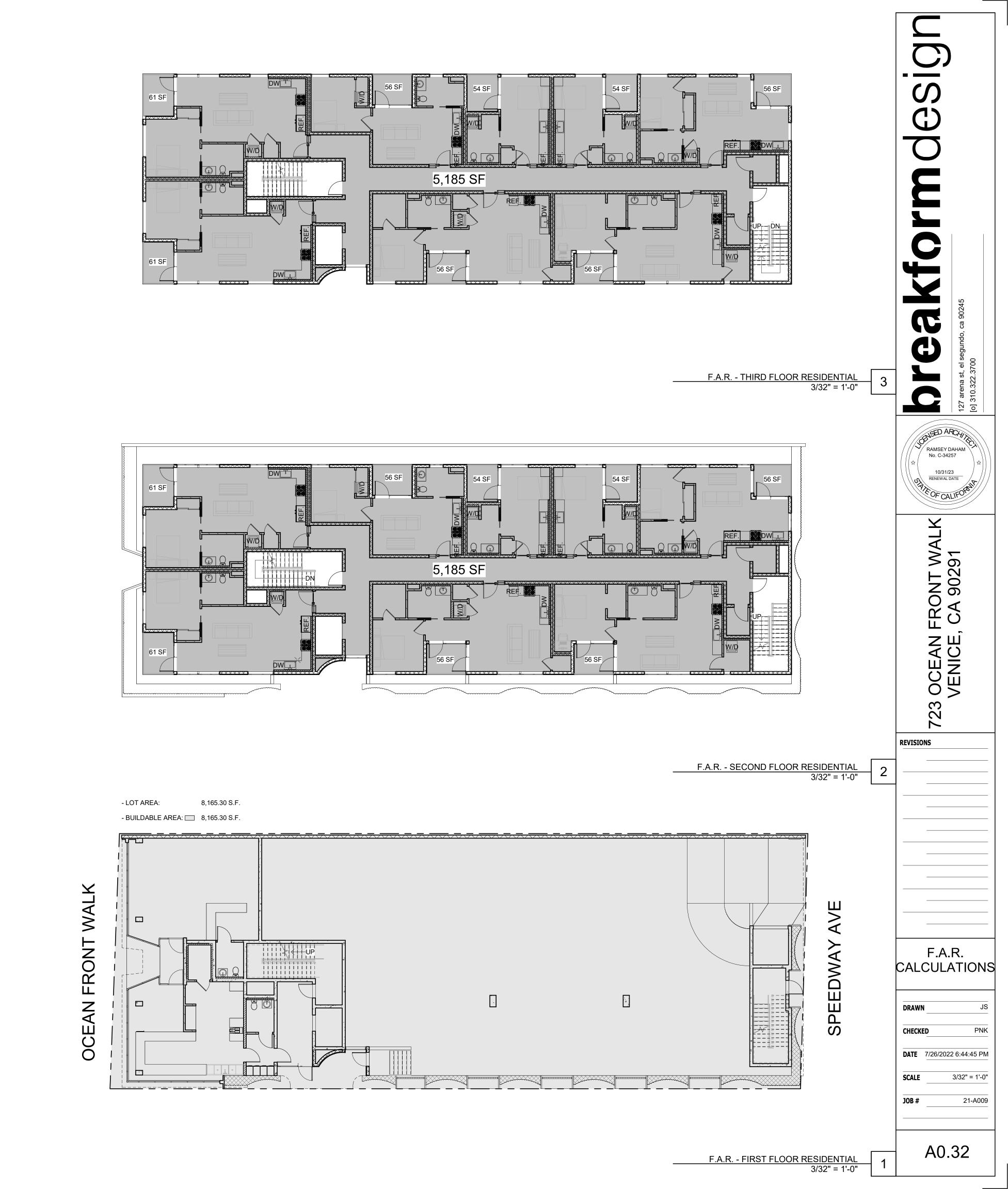
1,567 SF 363 SF

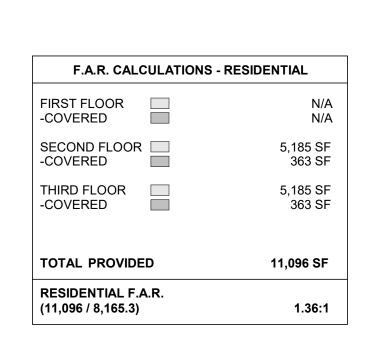
5,185 SF 455 SF

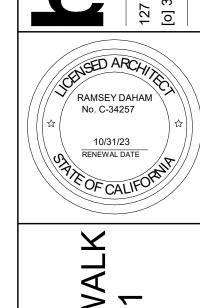
5,185 SF 455 SF

13,210 SF

3/32" = 1'-0" 21-A009







723 OCEAN FRONT WALK VENICE, CA 90291 REVISIONS

ROOF ACCESS STRUCTURES

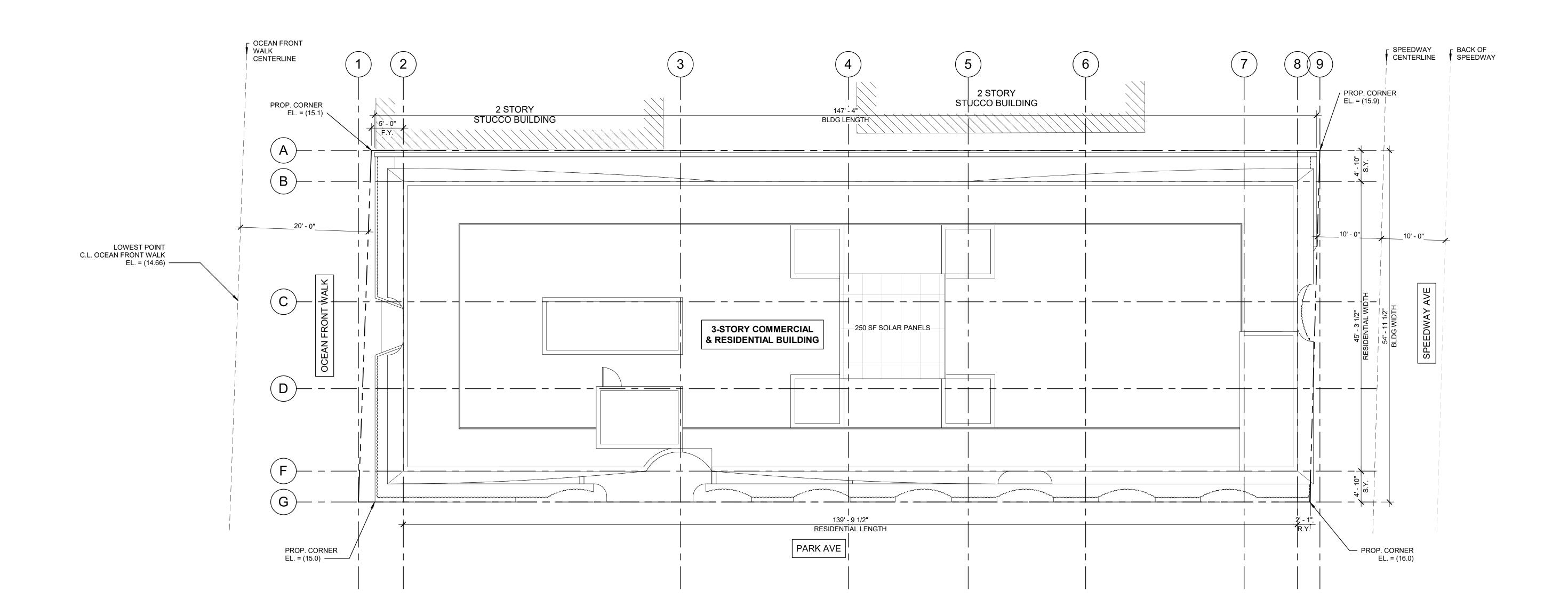
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**DATE** 7/26/2022 6:44:45 PM 3/32" = 1'-0" 21-A009

A0.33

~X FLOOR TYPE WINDOW TAG (SEE PAGE A0.11 FOR SCHEDULE) DOOR TAG — - — - — 1 HR (SEE PAGE A0.10 FOR SCHEDULE) WALL TYPE X'-X" ELEVATION MARKER SMOKE DETECTOR CARBON MONOXIDE — PROPERTY LINE **EXHAUST** (GENERAL NOTES #2,3) — — — ACCESSIBLE ROUTE EXTERIOR WALL (SEE <u>WALL TYPES</u> FOR SPECIFICS) 6' - 0" WOOD FENCE INTERIOR WALL 3' - 6" WOOD FENCE (SEE WALL TYPES FOR SPECIFICS) NONE STRUCTURAL INTERIOR WALL MASTER BEDROOM POWDER ROOM

BEDROOM CLOSET MASTER BATHROOM WALK IN CLOSET BATHROOM LAUNDRY ROOM LIVING ROOM BALCONY **EN** ENTRY KITCHEN DINING ROOM



No. C-34257 10/31/23 1 OF CALIFORNY RENEWAL DATE

SCHISED ARCHITECT

RAMSEY DAHAM

723 OCEAN FRONT WALK VENICE, CA 90291

**REVISIONS** 

PROPOSED SITE PLAN

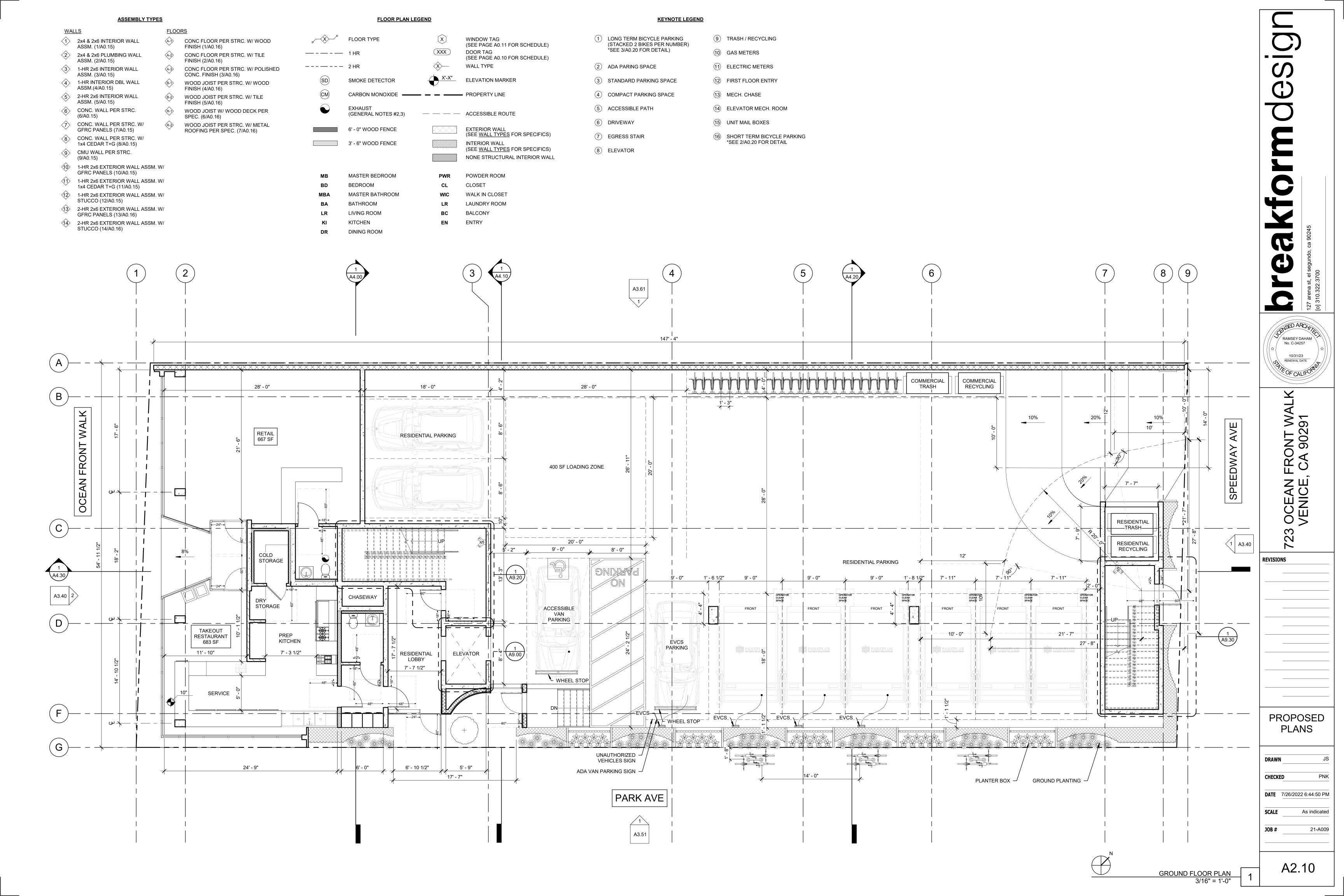
DRAWN CHECKED

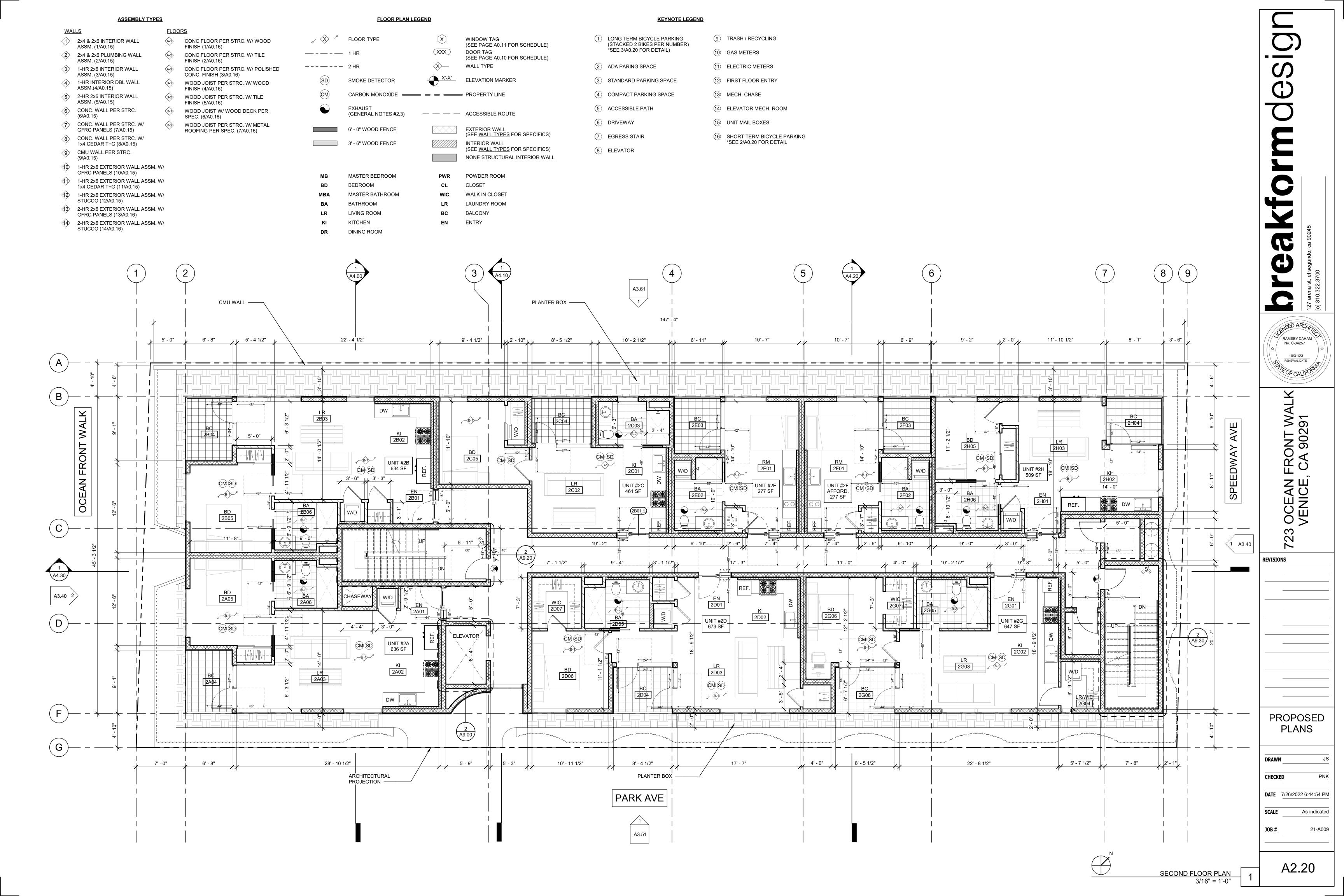
**DATE** 7/26/2022 6:44:47 PM

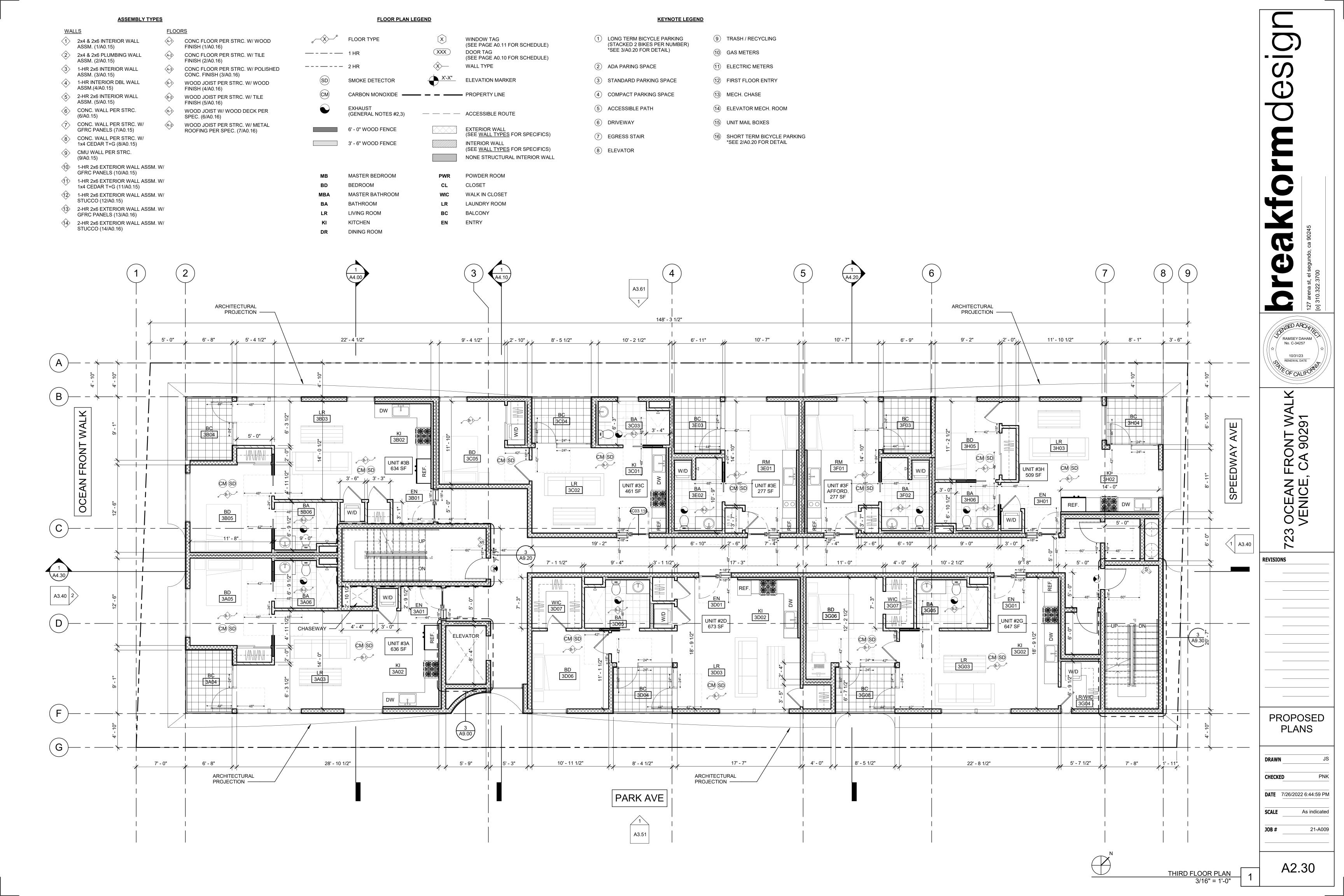
SCALE As indicated 21-A009 JOB#

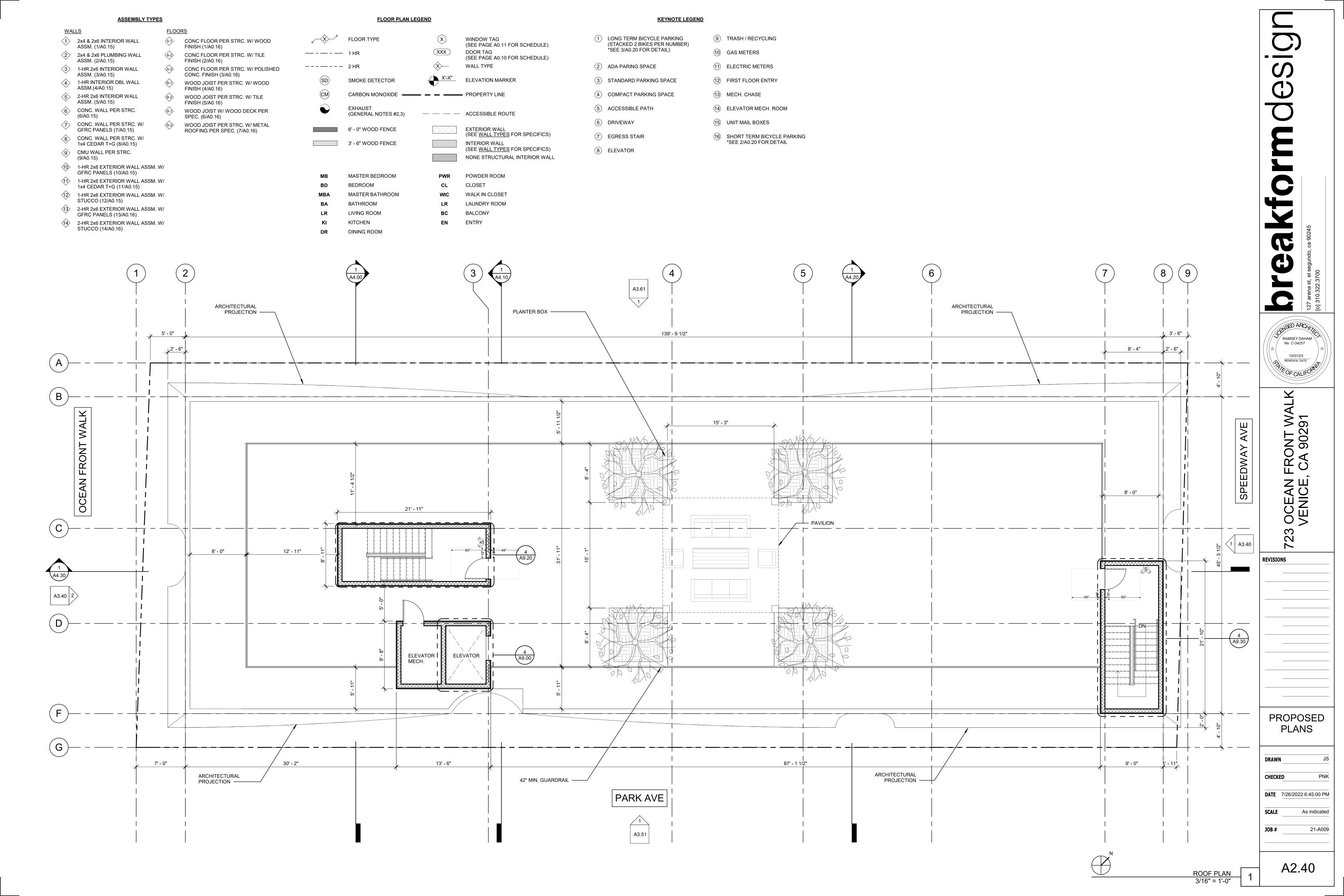
PROPOSED SITE PLAN
1/8" = 1'-0"

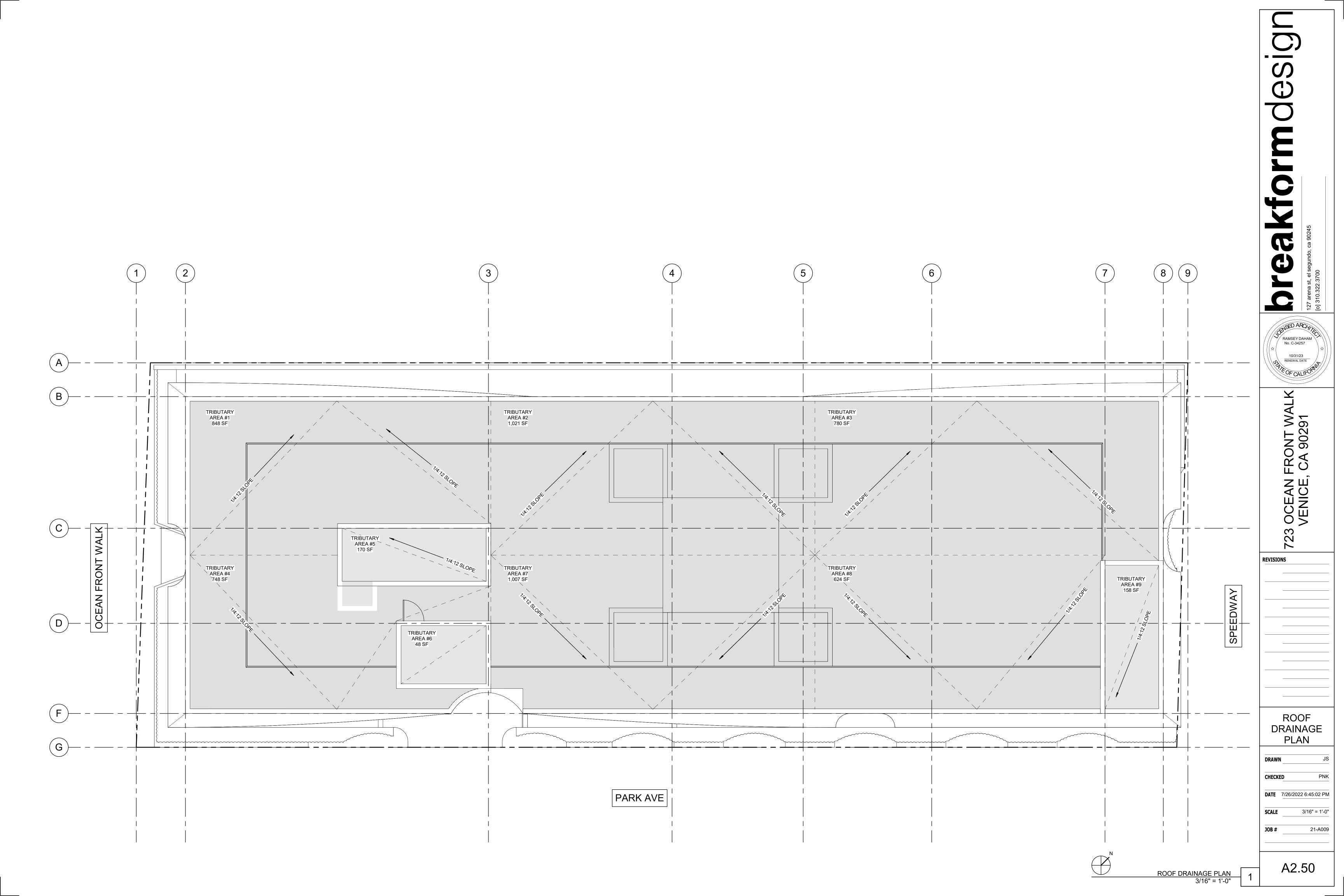
A1.00

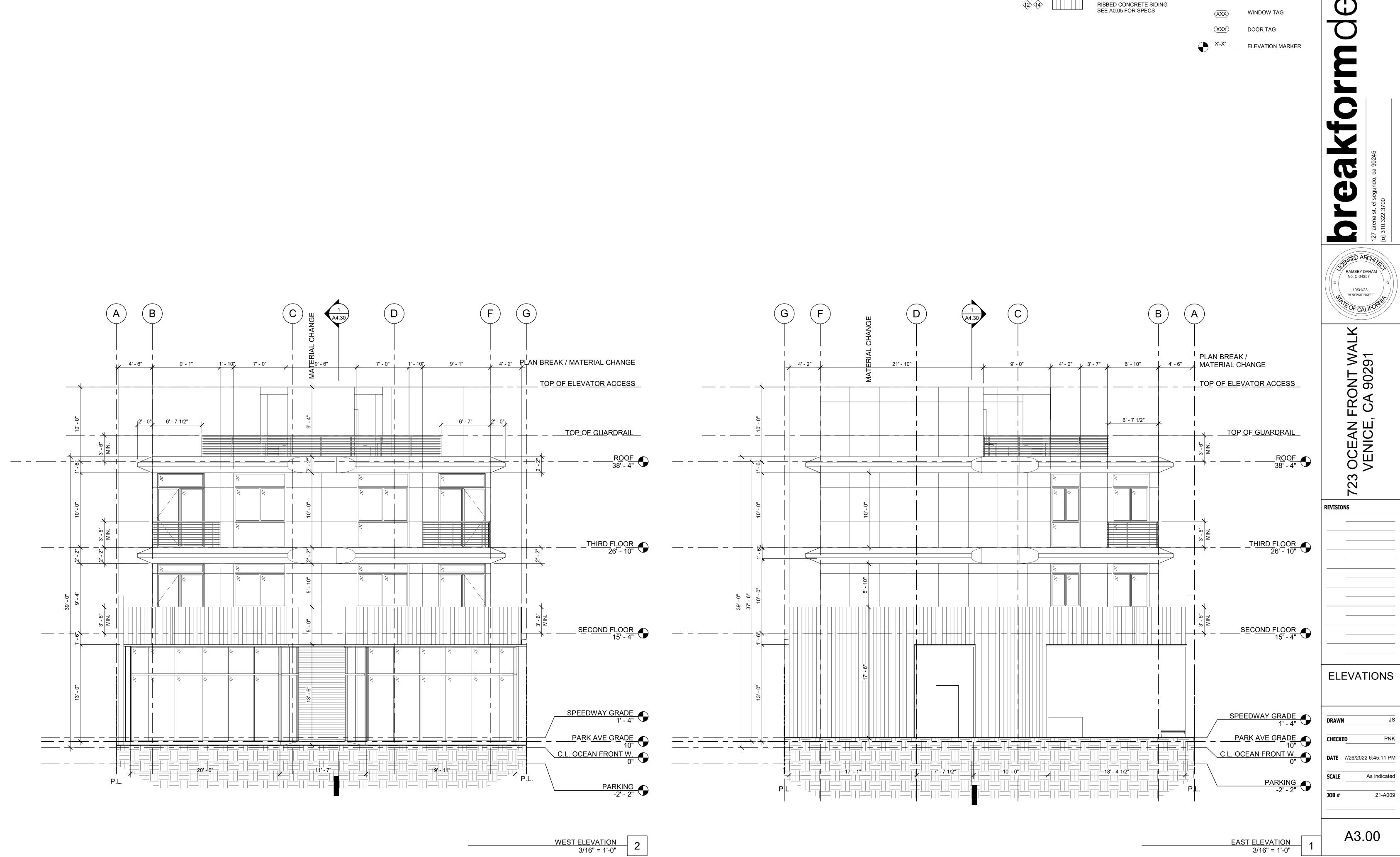












<u>TAG</u>

**ELEVATION LEGEND** 

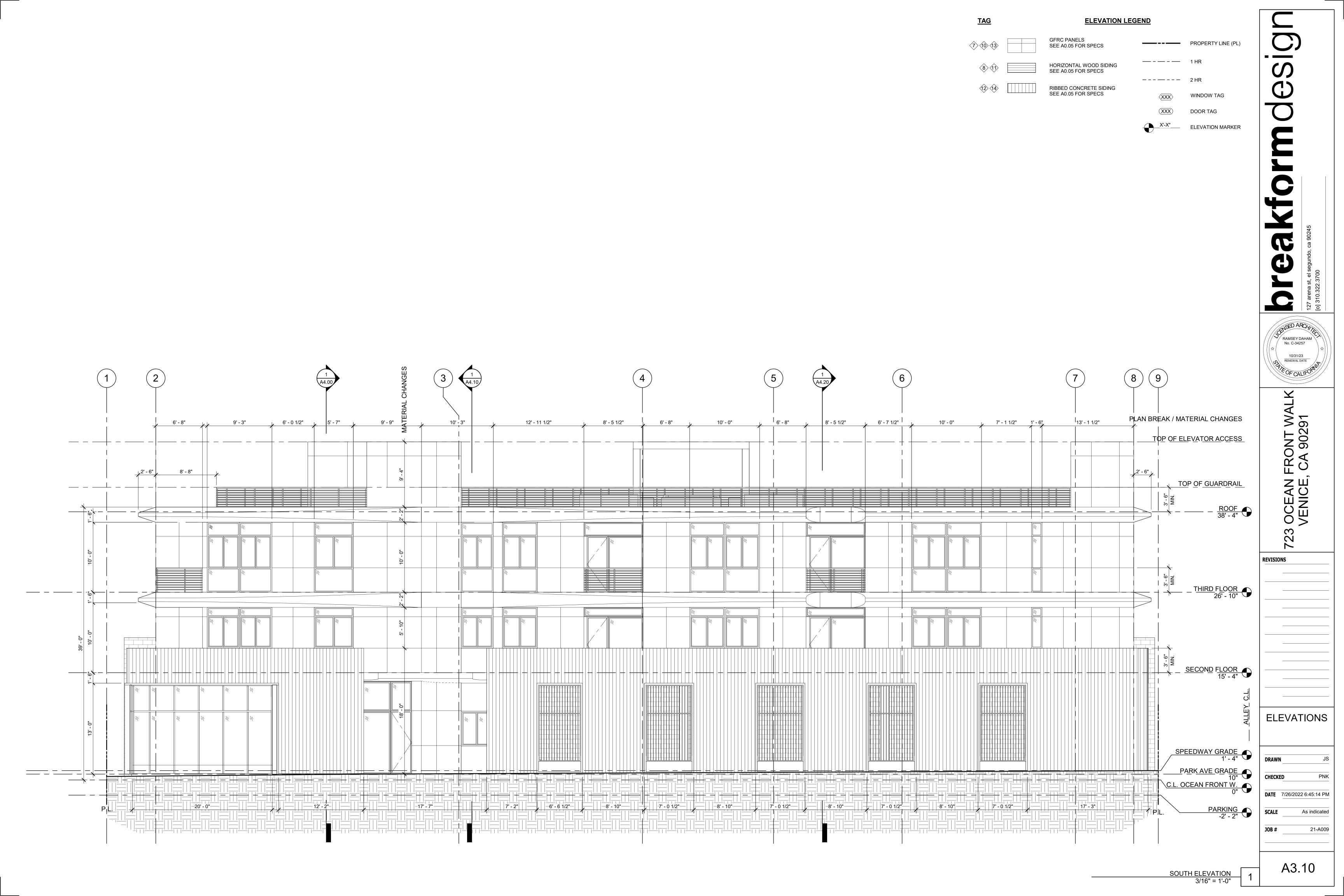
PROPERTY LINE (PL)

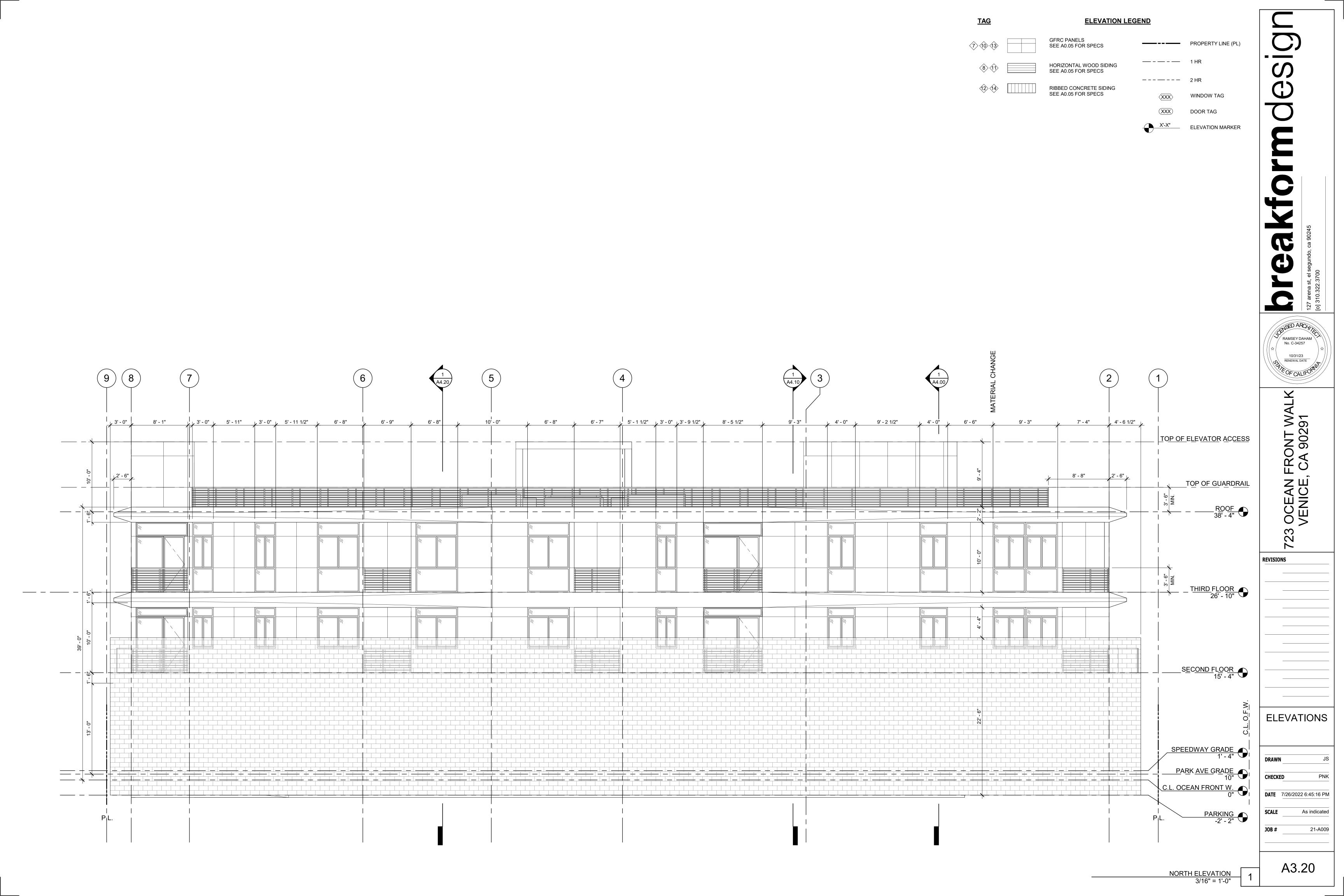
— - — - — 1 HR

--- 2 HR

GFRC PANELS SEE A0.05 FOR SPECS

HORIZONTAL WOOD SIDING SEE A0.05 FOR SPECS







<u>TAG</u>

**ELEVATION LEGEND** 

PROPERTY LINE (PL)

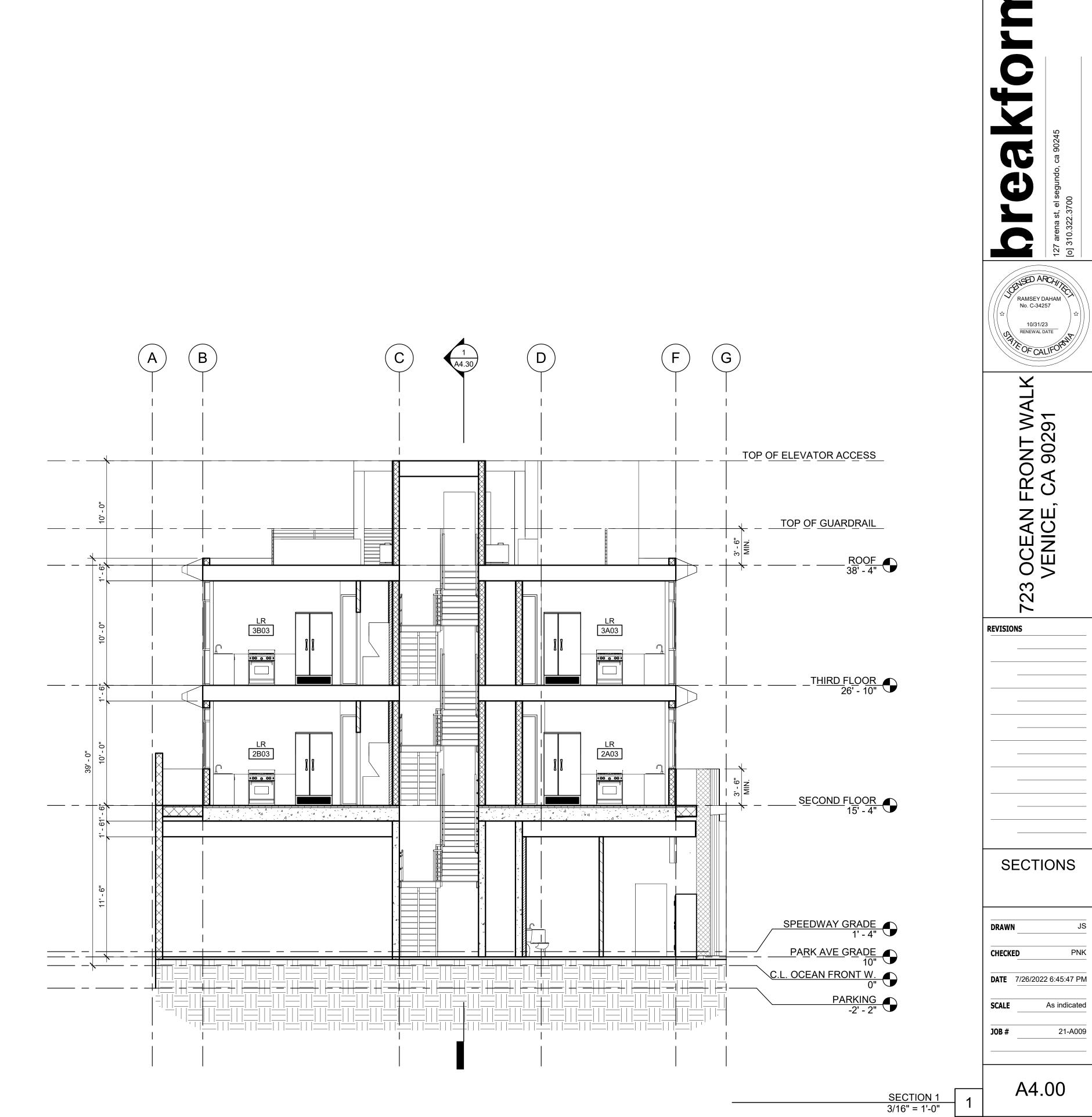
— - — - — 1 HR

GFRC PANELS SEE A0.05 FOR SPECS

HORIZONTAL WOOD SIDING







SECTION LEGEND

X'-X" ELEVATION MARKER

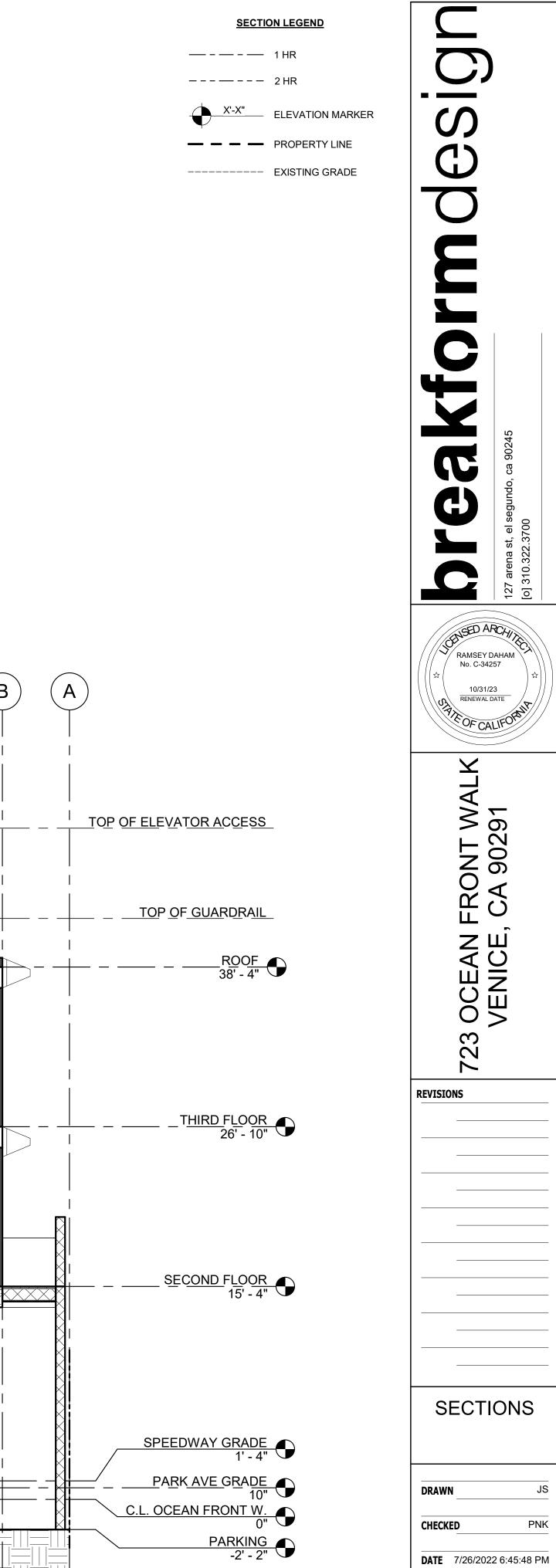
— — — PROPERTY LINE

---- EXISTING GRADE

— - — - — 1 HR

---- 2 HR

As indicated 21-A009

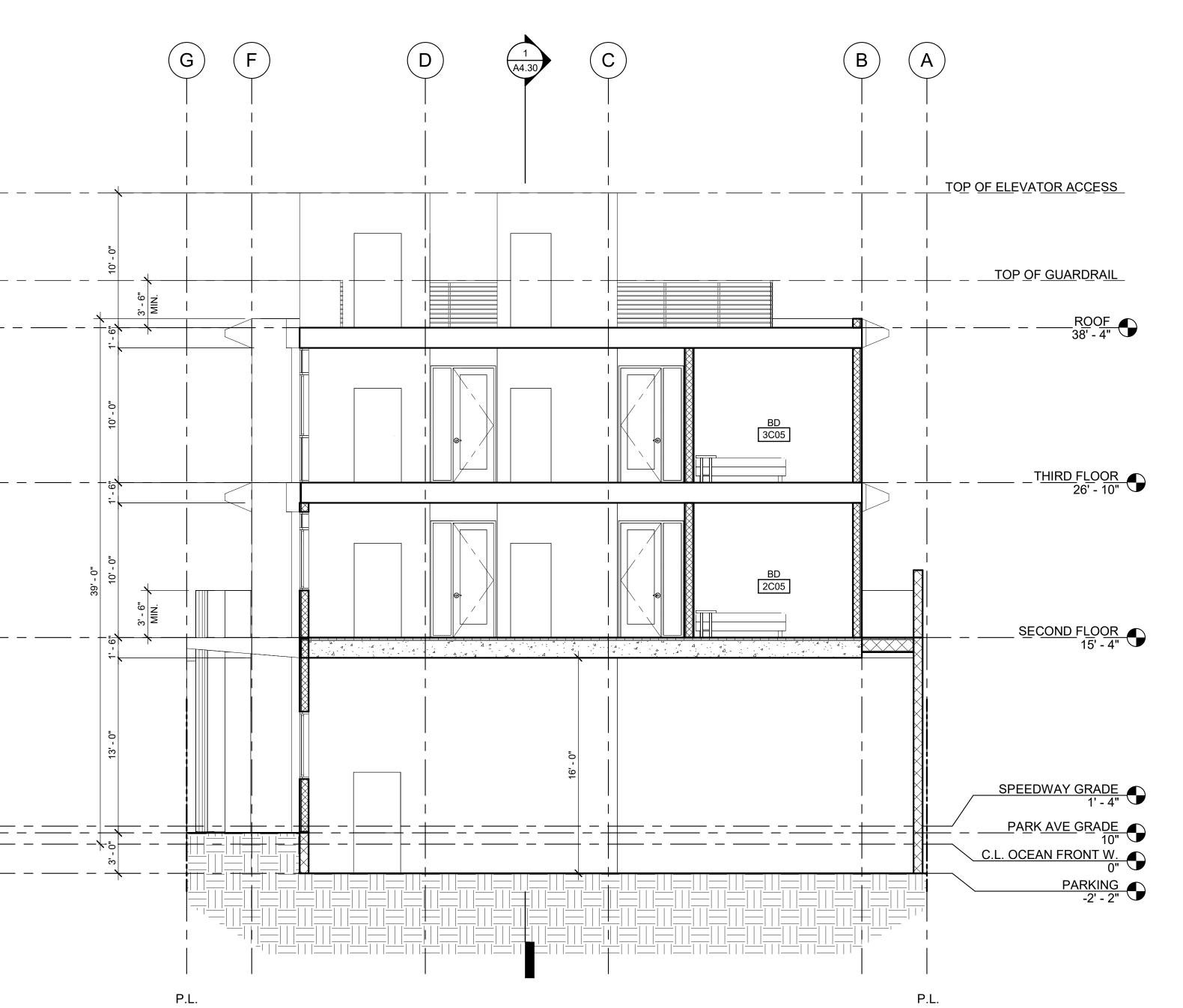


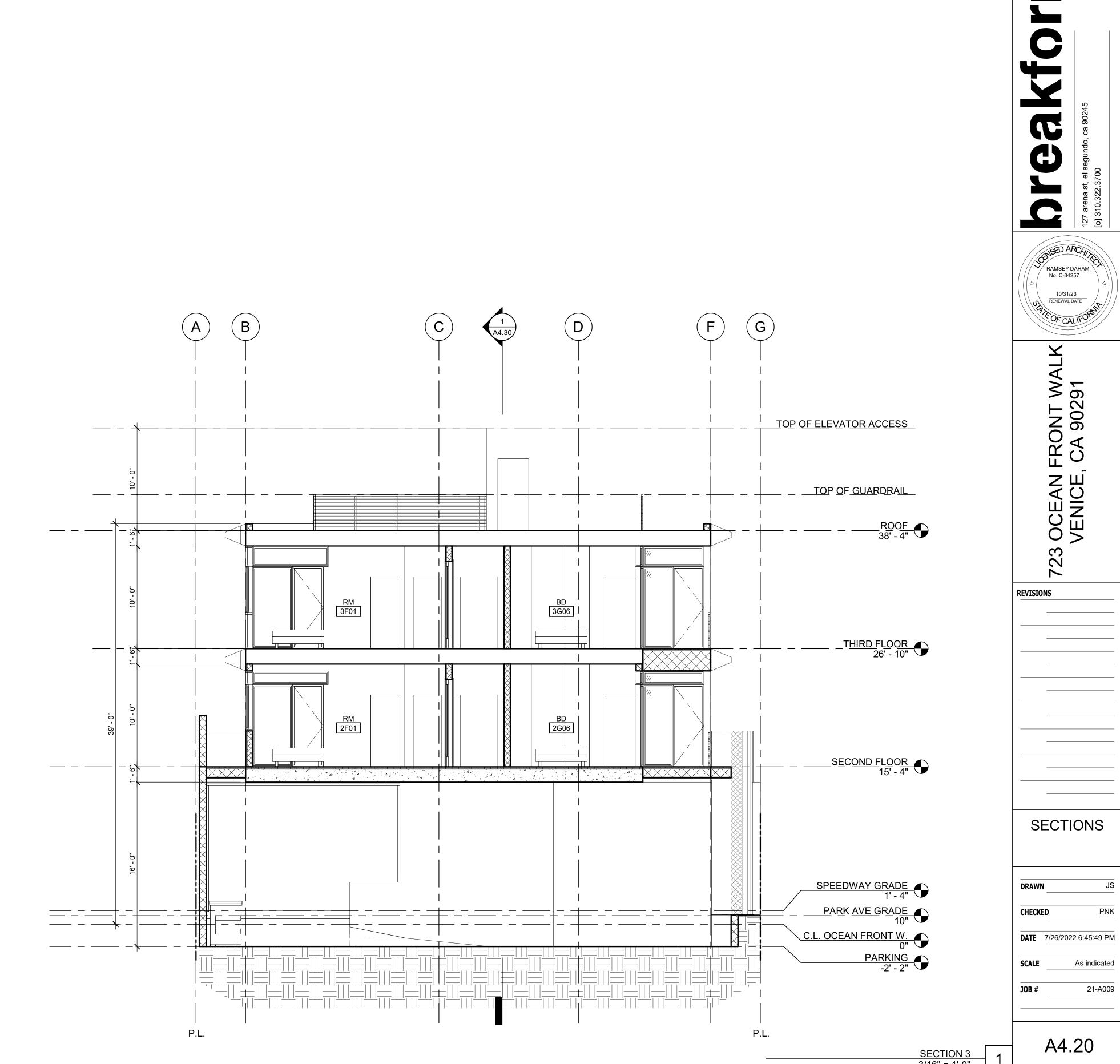
As indicated

A4.10

JOB#

SECTION 2 3/16" = 1'-0" 21-A009





SECTION LEGEND

X'-X" ELEVATION MARKER

— — — PROPERTY LINE

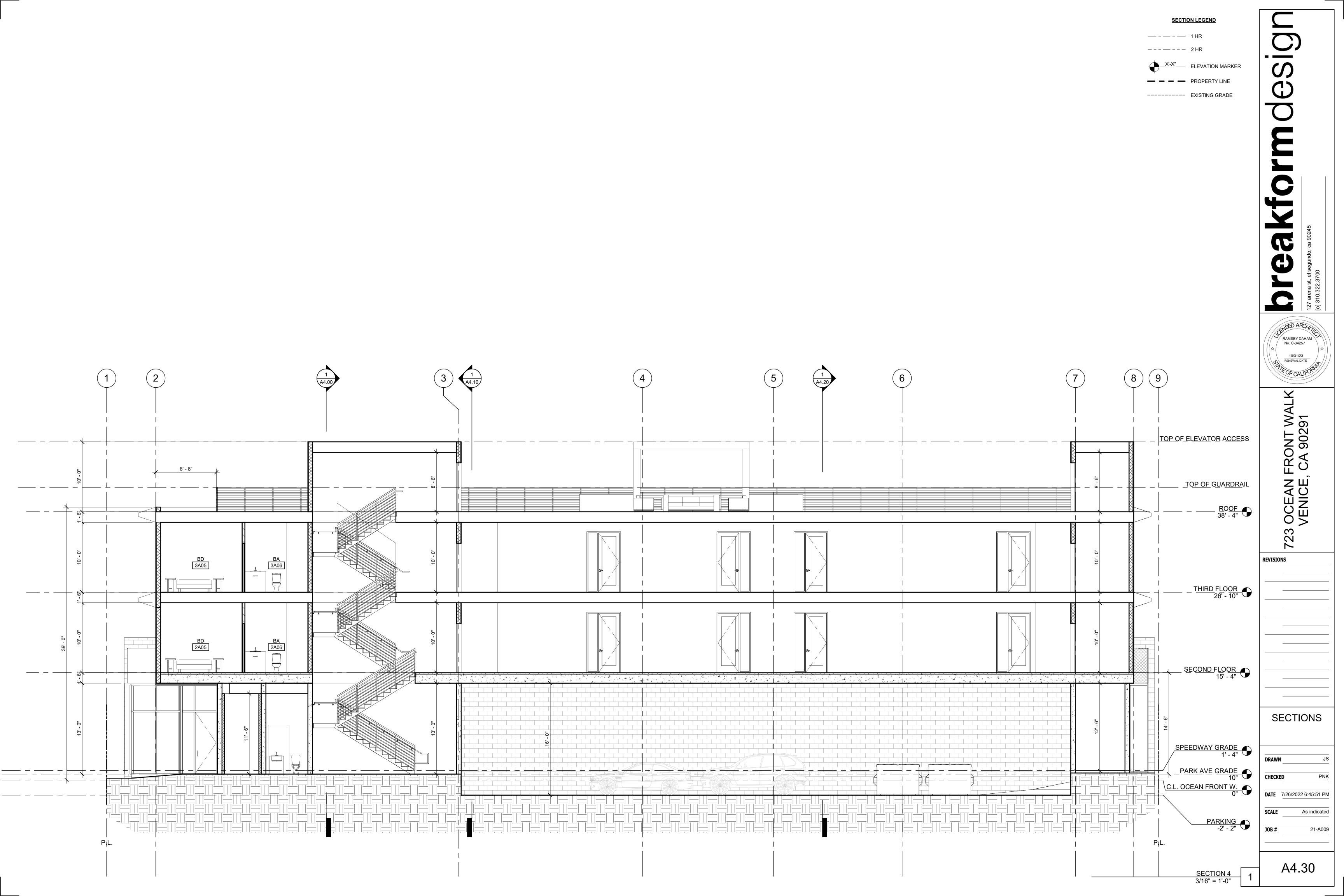
---- EXISTING GRADE

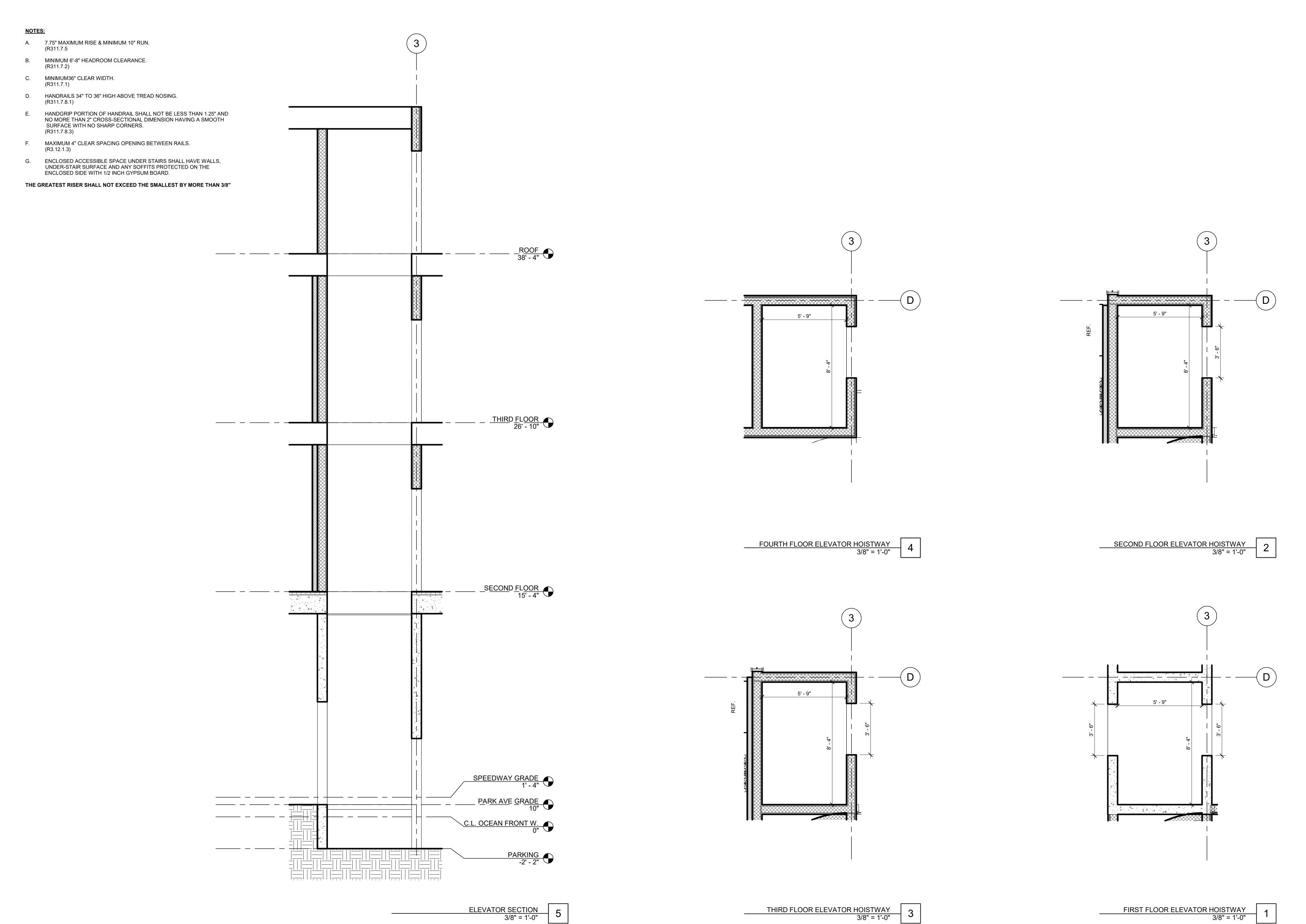
— - — - — 1 HR

---- 2 HR

As indicated 21-A009

SECTION 3 3/16" = 1'-0"





10/31/23 RENEMBY DEPT. 10/31/322.3700

723 OCEAN FRONT WAL VENICE, CA 90291

REVISIONS

'ERTICAL

VERTICAL CIRCULATION

DRAWN J

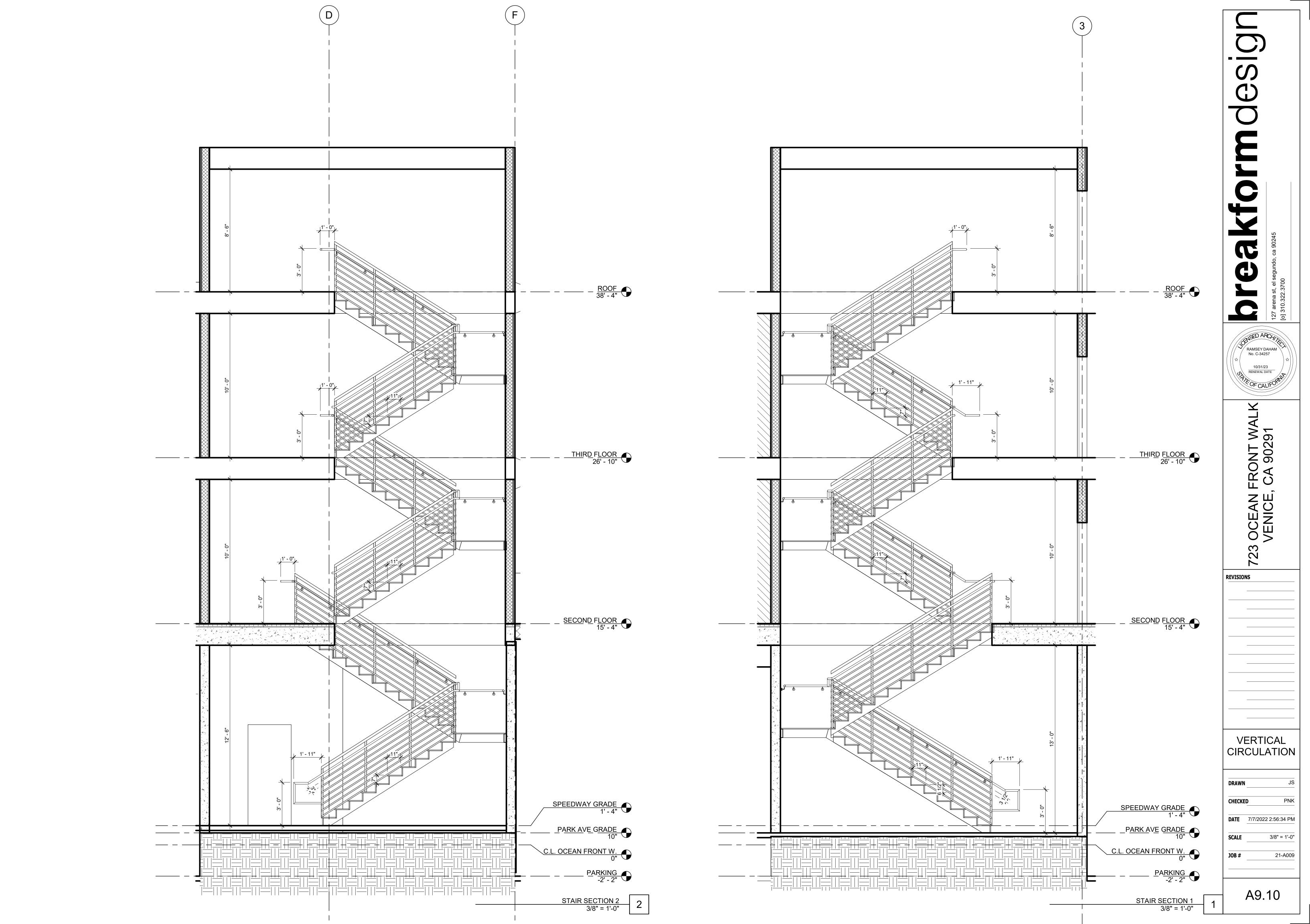
DATE 7/7/2022 2:56:33 PM

SCALE 3/8" = 1'-0"

3/8" = 1'-0"

B # 21-A009

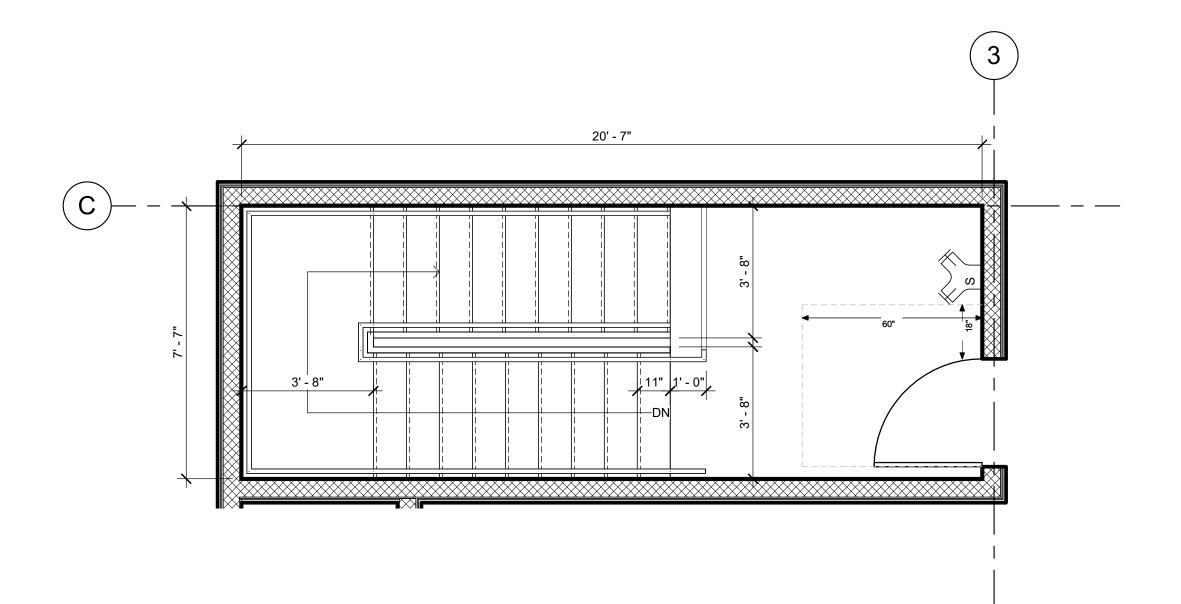
A9.00

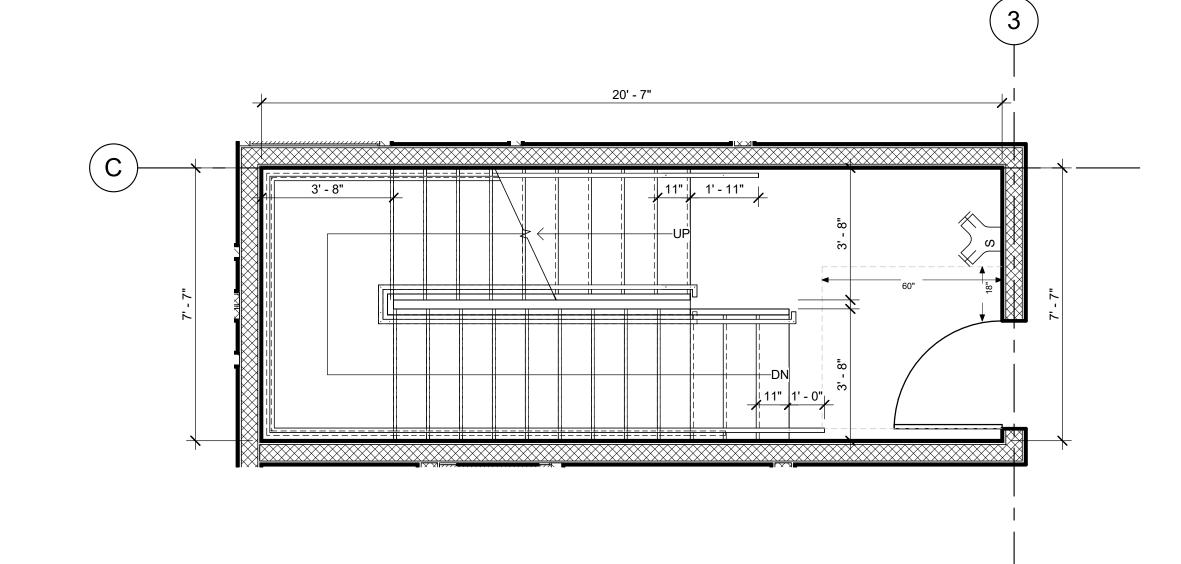


# NOTES:

- A. 7.75" MAXIMUM RISE & MINIMUM 10" RUN. (R311.7.5
- B. MINIMUM 6'-8" HEADROOM CLEARANCE. (R311.7.2)
- C. MINIMUM36" CLEAR WIDTH. (R311.7.1)
- D. HANDRAILS 34" TO 36" HIGH ABOVE TREAD NOSING. (R311.7.8.1)
- E. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. (R311.7.8.3)
- F. MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS. (R3.12.1.3)
- G. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD.

THE GREATEST RISER SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8"

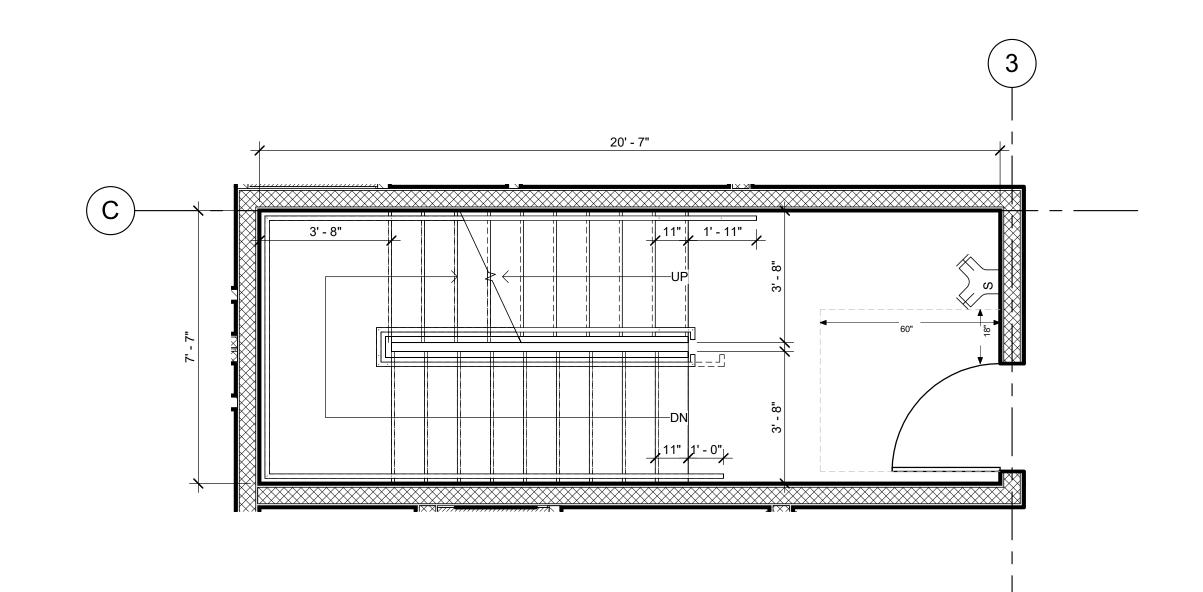


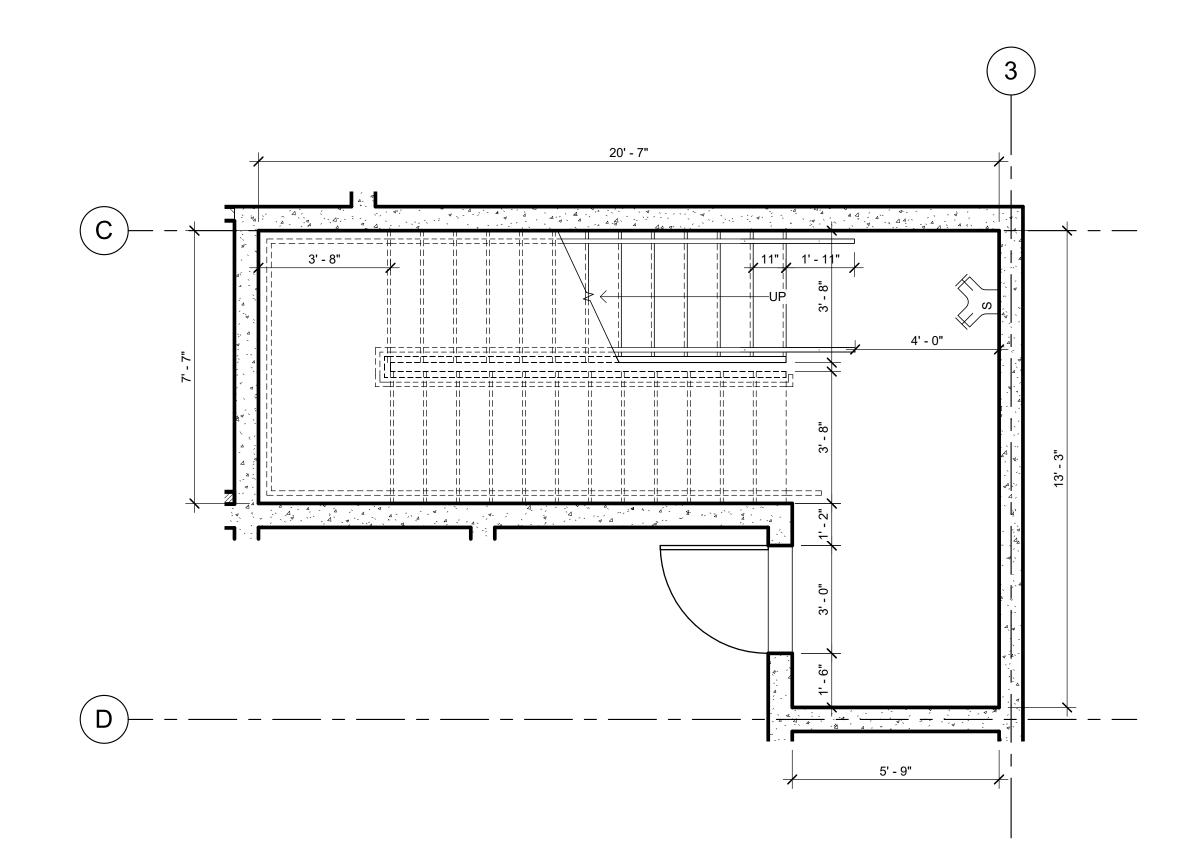


ROOF STAIR 1



FIRST FLOOR STAIR 1 3/8" = 1'-0"





RAMSEY DAHAM No. C-34257

10/31/23 RENEWAL DATE

**REVISIONS** 

VERTICAL CIRCULATION

CHECKED

**DATE** 4/27/2022 2:36:47 PM 3/8" = 1'-0"

21-A009

A9.20

# NOTES:

- A. 7.75" MAXIMUM RISE & MINIMUM 10" RUN.
- B. MINIMUM 6'-8" HEADROOM CLEARANCE. (R311.7.2)
- C. MINIMUM36" CLEAR WIDTH. (R311.7.1)
- D. HANDRAILS 34" TO 36" HIGH ABOVE TREAD NOSING. (R311.7.8.1)
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