

	CONTACT	DWELLIN	IG UNIT MATRIX	
HIS STORE AND	OWNER: ARCHITECT: CIVIL	DWELLING UNIT #	# OF BEDROOMS	DWELLING UNIT S.F.
	PISANI PL LP.BREAKFORM DESIGNOBAN2999 OVERLAND AVE, #130109 EUCALYPTUS DR.1453 7	DO & ASSOCIATES, INC. 1A I4TH ST. STE. A MARKET RATE	1 BED / 1 BATH	485 S.F.
	Т. 310 306 3504 Т. 310 322 3700 Т. 310	A MONICA, CA 90404 821 7555 821 7491 MARKET RATE	1 BED / 1 BATH	488 S.F.
HIT DED HIT DE	LANDSCAPE ARCHITECT: STRUCTURAL ENGINEER: BREAKFORM DESIGN JOHN LABIB & ASSOCIATES	1C VERY LOW INCOME	1 BED / 1 BATH	515 S.F.
	EL SEGUNDO, CA 90245 EL SEGUNDO, CA 90245 FLOR	ENGINEER: 2A ES ENGINEERING MARKET RATE	2 BED / 2.5 BATH	1,833 S.F.
	F. 213 239 9699 LOS A	SPERANZA ST 3A NGELES, CA 90023 MARKET RATE 727 6066	3 BED / 3.5 BATH	2,025 S.F.
PROJECT PROJECT	SURVEY:SOILS ENGINEER:LAWRENCE J. SCHMAHLIRVINE GEOTECHNICAL INC.11209 HOWARD ST.145 N SIERRA MADRE BLVD SUIT 12	3B MARKET RATE	3 BED / 3.5 BATH	2,025 S.F.
	11209 HOWARD S1.       145 N SIERRA MADRE BLVD S01 12         WHITTIER, CA 90606       PASADENA, CA 91107         T. 562 908 0570       T. 626 844 6641	4A MARKET RATE	3 BED / 3.5 BATH	2,025 S.F.
	F. 323 773 1675 F. 626 604 0394	4B MARKET RATE	3 BED / 3.5 BATH	2,025 S.F.
CODE	SYMBOLS	TOTAL DWELLING UNIT S.F.		11,421 S.F.
BUILDING CODE: 2017 LABC, (TITLE 24, PART 2.5)	Матсні		GMATRIX	
BASED ON THE 2009 IRC (INCLUDES ACCESSIBILITY)         STRUCTURAL:         2017 LABC, VOL 2 (TITLE 24, PART 2, VOL 2)	AC	CENTER LINE FLOOR	ROOM	AREA
BASED ON THE 2009 IBC WITH ASCE7-05         MECHANICAL CODE:       2016 CA MECHANICAL CODE, (TITLE 24, PART 4)	BUILDING WALL SECTION SECTION	GRIDLINE PROJECTION 1 ST ABOVE/BELOW	LOBBY	307 S.F.
BASED ON THE 2009 UNIFORM PLUMBING CODE PLUMBING CODE: 2016 CA PLUMBING CODE (TITLE 24, PART 5)	INDICATES A JOG IN THE BUILDING SECTION	BREAK LINE 1 ST	STAIR A-1	130 S.F.
BASED ON THE 2009 UNIFORM PLUMBING CODE	(0,0,0) COORDINATE PROJECT GRID	REVISION SYMBOL 1 ST	STAIR A-2	130 S.F.
ELECTRICAL CODE:       2016 CA ELECTRICAL CODE (TITLE 24, PART 3)         BASED ON THE 2008 NATIONAL ELECTRIC CODE	DETAIL AREA	BUILDING ELEVATION	BIKE STORAGE	155 S.F.
ENERGY CODE: 2016 CA ENERGY CODE (TITLE 24, PART 6) 2017 L.A. CITY GREEN BUILDING CODE	ROOM SYMBOL	1 ST	RECYCLING / TRASH	70 S.F.
	DOOR SYMBOL	1 ST	GARAGE	2,433 S.F.
	BASEMENT FF + 491.0° DATUM	A3.1.2 4 ELEVATION SYMBOLS 3 RD	COMMON HALLWAY	175 S.F.
	WINDOW SYMBOL WP WORK POINT	4 TH	COMMON HALLWAY	175 S.F.
		TOTAL S.F.		3,575 S.F.
		TOTAL BUILDING S.F.	11,447 S.F. + 3,612 S.F.	= 15,016 S.F.
Ø       Diameter or Round       CONC       Concrete       F.         Ø       Perpendicular       CONST       Construction       F.         L       Perpendicular       CONST       Construction       F.         CDNT       Continuous       FL       CONTR       Continuous       FL         (E)       Existing       CONTR       Contractor       FL         AB       Anchor Bolt       C.T.       Ceramic Tile       F.         A/C       Air Conditioning       CTR       Contresunk       F.         AC       Asphaltic Concrete       CTSK       Countersunk       F.         ACT       Acoustical        FF       ACOUS       Accoustical       FF         ALT       Alter or Alternate       DE       Deep, Depth       FF         ALUM       Aluminum       D.F.       Drinking Fountain       FI         ANOD       Anodized       DIA       Diameter       FL         APPROX       Approximate       DISP       Dispenser       FL         ARCH       Architectural       DN       Down       G       G         BLG       Blocking       DS       Downspout       G       G <td>D. Floor Drain INCL Including N Foundation INSUL Insulation E. Fire Extinguisher Cab G. Fine Extinguisher Cab G. Finish Grade JAN Janitor H.C. Fire Hose Cabinet JST Joist N Finish ASH Flashing R Floor KIT Kitchen UOR Fluorescent O.C. Face of Concrete LAM Laminate O.F. Face of Finish LAV Lavatory O.M. Face of Masonry L.F. Lineal Foot O.S. Face of Stud L.H. Left Hand PRF Fireproof LKR Locker R Full Size LT Light Frame L.R. Living Room S Full Size LT Light T G Footing JRR Furring, Furred MATL Material JT Future MAX Maximum M.B. Machine Ball A Gauge MECH Mechanical ALV Galvinized Iron MFR Manufacture A Gauge MECH Mechanical ALV Galvinized Iron MFR Manufacture J. Glass, Glazing MH Manufacture M.B. Molecture M.B. Molecture M.B. Molecture M.B. Molecture M.B. Machine Ball M. Gause MIR MIR Minimum R Grade MIR MIR Minimum R Grade MIR Minimum A Grade MIR Mirror YP Gypsum MISC Miscellaneous M.D. Masterial B. Hose Bib MTD Mounted C. Hollow Core MUL Mullion CP Handware N N North DWD Hardware N N</td> <td>O.D.Outside DiameterO.F.D.Overflow DrainOFFOfficeO.H.OverhangOVHDOverheadOPNGOpeningOPPOppositePCPieceP.D.Planter DrainPLPlateP.L.Property LinePLMGPlumbingPLAMPlastic LaminatePLASPlasterPLYWDPlywoodPRPairPTPaintP.T.D.Paper Towel DispenserPTNPatitionQ.T.Quarry TileRRiserRADRadiusR.D.Roof DrainREFRefrigeratorREINFReinforced or ReinforcingREQRequiredRESILResilientREVRevisedRFGRoofingR.H.Right HandRMRoomR.O.Rough OpeningRWDRedwoodSSouthS.C.Solid CoreSCHEDScheduleSEPSeparation, SeparateSHTSheet</td> <td>SIMSimilarWSLDGSidingW/SPECSpecificationW.H.SQSquareW/OS.S.Stainless SteelW.C.SSKService SinkWDSTDStandardWPSTDStandardWPSTLSteelWPMSTORStorageWSCTSTRUCTStructrualW.S.P.SUSPSuspendedWTSWSwitchSYMSymmetricalSYSSystemTTreadT.B.Towel BarT&amp;GTop of DrainTELTelephoneTEMPTempered, TemperatureTERTerrazzoTHKThick, ThicknessTHRTrick ThicknessTRGTop of StabT.P.D.Top of SteelTVTelevisionT.O.W.Top of WallTYPTypicalUNFUnfinishedU.O.N.Unless Otherwise NotedURUrinalVERTVerticalVESTVestibuleV.I.F.Vertify in FieldVOLVolume</td> <td>West With Water Heater Without Water Closet Wood Waterproof Membrane Wainscot Wet Standpipe Weight</td>	D. Floor Drain INCL Including N Foundation INSUL Insulation E. Fire Extinguisher Cab G. Fine Extinguisher Cab G. Finish Grade JAN Janitor H.C. Fire Hose Cabinet JST Joist N Finish ASH Flashing R Floor KIT Kitchen UOR Fluorescent O.C. Face of Concrete LAM Laminate O.F. Face of Finish LAV Lavatory O.M. Face of Masonry L.F. Lineal Foot O.S. Face of Stud L.H. Left Hand PRF Fireproof LKR Locker R Full Size LT Light Frame L.R. Living Room S Full Size LT Light T G Footing JRR Furring, Furred MATL Material JT Future MAX Maximum M.B. Machine Ball A Gauge MECH Mechanical ALV Galvinized Iron MFR Manufacture A Gauge MECH Mechanical ALV Galvinized Iron MFR Manufacture J. Glass, Glazing MH Manufacture M.B. Molecture M.B. Molecture M.B. Molecture M.B. Molecture M.B. Machine Ball M. Gause MIR MIR Minimum R Grade MIR MIR Minimum R Grade MIR Minimum A Grade MIR Mirror YP Gypsum MISC Miscellaneous M.D. Masterial B. Hose Bib MTD Mounted C. Hollow Core MUL Mullion CP Handware N N North DWD Hardware N N	O.D.Outside DiameterO.F.D.Overflow DrainOFFOfficeO.H.OverhangOVHDOverheadOPNGOpeningOPPOppositePCPieceP.D.Planter DrainPLPlateP.L.Property LinePLMGPlumbingPLAMPlastic LaminatePLASPlasterPLYWDPlywoodPRPairPTPaintP.T.D.Paper Towel DispenserPTNPatitionQ.T.Quarry TileRRiserRADRadiusR.D.Roof DrainREFRefrigeratorREINFReinforced or ReinforcingREQRequiredRESILResilientREVRevisedRFGRoofingR.H.Right HandRMRoomR.O.Rough OpeningRWDRedwoodSSouthS.C.Solid CoreSCHEDScheduleSEPSeparation, SeparateSHTSheet	SIMSimilarWSLDGSidingW/SPECSpecificationW.H.SQSquareW/OS.S.Stainless SteelW.C.SSKService SinkWDSTDStandardWPSTDStandardWPSTLSteelWPMSTORStorageWSCTSTRUCTStructrualW.S.P.SUSPSuspendedWTSWSwitchSYMSymmetricalSYSSystemTTreadT.B.Towel BarT&GTop of DrainTELTelephoneTEMPTempered, TemperatureTERTerrazzoTHKThick, ThicknessTHRTrick ThicknessTRGTop of StabT.P.D.Top of SteelTVTelevisionT.O.W.Top of WallTYPTypicalUNFUnfinishedU.O.N.Unless Otherwise NotedURUrinalVERTVerticalVESTVestibuleV.I.F.Vertify in FieldVOLVolume	West With Water Heater Without Water Closet Wood Waterproof Membrane Wainscot Wet Standpipe Weight

SF CALC	S BY CODE
ZONING CODE :	
1ST FLOOR 2ND FLOOR 3RD FLOOR 4TH FLOOR	1,494 SF 1,853 SF 4,050 SF 4,050 SF
TOTAL	11,447 SF
(SEE PAGE A0.4	11 FOR BREAKDOWN)
BUILDING CODE:	
1ST FLOOR -COVERED -LOBBY -GARAGE 2ND FLOOR -COVERED 3RD FLOOR -COVERED -LOBBY 4TH FLOOR -COVERED -LOBBY	1,494 SF 288 SF 284 SF 2,433 SF 1,853 SF 28 SF 4,050 SF 513 SF 175 SF 4,050 SF 253 SF 175 SF
TOTAL	15,596 SF
(SEE PAGE A0.4	42 FOR BREAKDOWN)

YARD

THIS PROJECT IS 100% PRIVATELY FUNDED. NO TAX CREDITS OR INCENTIVES WERE RECEIVED. THIS PROJECT IS NOT PUBLIC HOUSING.

SHR SHT Shower Sheet

	SIM SLDG SPEC SQ S.S. SSK STD STL STOR STRUG SUSP SW SYM SYS
enser nforcing	T T.B. T&G T.O.C. T.O.D. TEL TEMP TER THK THR TOIL T.O.P. T.O.S. T.P.D. T.S. TV T.O.W TYP
	UNF U.O.N. UR
	VERT VEST V.I.F. VOL







PROJECT SUMMARY:	NEW 8-UNIT MULTI-FAMILY RE STORY BUILDING WITH PARK *UTILIZING INCENTIVES PER I	ING.
SCOPE OF WORK:	NEW FOUNDATION, STRUCTU CONSTRUCTION (MECHANIC/ PLUMBING) OF NEW 8 UNIT M RESIDENCES.	AL / ELECTRICAL /
PROJECT ADDRESS:	2308 PISANI PLACE, VENICE, (	CA 90291
NET LOT AREA (AFTER DEDICATIONS):	7,800 S.F.	
ZONE:	R3-1	
NUMBER OF STORIES:	FOUR (4)	
MAX HEIGHT:	41'-0" W/ VARIED ROOF, 36'-0"	' FLAT
TOTAL PARKING:	12 SPACES	
TRACT:	VENICE GATEWAY	
BLOCK:	Ν	
LOT:	14, 15	
ASSESSOR PARCEL NUMBER (APN):	4237005010	
GROSS LOT AREA:	8,000 S.F.	
BUILDABLE LOT AREA:	5,425 S.F.	
RESIDENTIAL S.F.:	11,447 S.F.	
PARKING S.F.:	2,433 S.F.	
PROJECT TOTAL S.F.:	15,016 S.F.	
NUMBER OF DWELLING UNITS:	EIGHT (8)	
OPEN SPACE S.F.:	1,615 S.F.	
CONSTRUCTION TYPE:	TYPE V-A	<u>NOTE:</u> THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITTH THE CAPABILITY T
SPRINKLER:	NFPA-13	SUPPORT VISIBLE ALARM NOTIFICATION APPLIANC IN ACCORDANCE WITH NFPA 72

# ALLOWED

		///////////////////////////////////////	
RESIDENTIAL: Common Bldg: (Lobby, common Hallways	11,421 S.F. 727 S.F. S, TRASH)	SITE BUILDABLE AREA = 16,275 (80' - 5' - 5') x (107'-6" - 15' - 15') : (LOT WIDTH - SIDE YARD SETB SET BACKS) F.A.R. ALLOWED: 3:1 (3) 5,425 = 16,275 S.F.	
TOTAL:	12,148 S.F.	TOTAL:	16,275 S.F.
		ED VS. ALLOV	
41' - 0" VARIED ROOF		30' VARIED ROOF	
36' - 0" FLAT ROOF		25' FLAT ROOF	
DENSITY	PROVIDED V	S. ALLOWED	
PROVIDED		ALLOWED	
DWELLING UNITS:	8 DWELLING UNITS	GROSS LOT AREA:	8,000 S.F.
		(GROSSLOTAREA) / 800 = 10	

PARKING		/S. REQUIRE	D	
TOTAL PROVIDED:	8 DWELLING UNITS	TOTAL ALLOWED:	10 DWELLING UNITS	
		(GROSS LOT AREA) / 800 = 1	0	

PROVIDED		REQUIRED	
TENANT PARKING: (10% PARKING REDUCTION USIN TERM BICYCLE SPACES IN LIEU	12 SPACES (5 COMPACT, 6 STANDARD, 1 ADA) IG THE BICYCLE ORDINACE (USING 4 LONG OF ONE CAR PARKING SPACE))	TENANT PARKING: 1 SPACES PER 0-1 BD UNITS 2 SPACES PER 2-3 BD UNITS 2.5 SPACES PER 4+ BD UNITS *NO GUEST SPACES REQ.* = 13 SPACES REQ. 13 SPACES - <u>10% BICYCLE REDU</u>	NOTE: PARKING REQUIRED IS CALCULATED PER; 12.22A.25, PARKING OPTION 1, AND BICYCLE REPLACEMENT. I <u>CTION</u> = 12 SPACES "UNBUNDLED"
TOTAL PROVIDED:	12 SPACES	TOTAL REQUIRED:	12 SPACES

#### **BICYCLE PARKING PROVIDED VS. REQUIRED** PROVIDED REQUIRED 16 SPACES LONG TERM BICYCLE PARKING: (ONE SPACE PER. UNIT) 8 SPACES LONG TERM BICYCLE PARKING: SHORT TERM BICYCLE PARKING: 2 SPACES 2 SPACES SHORT TERM BICYCLE PARKING: (ONE PER 10 DWELLING UNITS(MIN. 2 SPACES))

TOTAL LONG TERM PROVIDED: 16 SPACES TOTAL LONG REQ .: 8 SPACES 2 SPACES TOTAL SHORT TERM PROVIDED: 2 SPACES TOTAL SHORT TERM PROVIDED: YARD SETBACK PROVIDED VS. REQUIRED PROVIDED REQUIRED WEST SIDE YARD 7' - 0" 7' - 0" @ ALL LEVELS

			_
PISANI PL. FRONT YARD	12' - 0"		15' - 0" @ ALL LEVELS
ALLEY REAR YARD	14' - 6" FROM C.L. OF ALLEY		15' - 0" FROM C.L. OF ALLEY@ ALL LEVELS
EAST SIDE YARD	7' - 0" @ ALL LEVELS		7' - 0" @ ALL LEVELS
<b>OPEN SPACE</b>	PROVIDED	VS. R	EQUIRED
PROVIDED		REQUIRED	
OPEN SPACE BREAKDOWN:			1 BEDROOMS: 100 SF X 3 = 300 SF
COMMON OPEN SPACE:	1.415 S.F.		2 BEDROOMS: 125 SF X 1 = 125 SF 3 BEDROOMS: 175 SF X 4 = 700 SF

••••••••	.,		
USABLE PRIVATE OPEN SPACE TOWARDS CALCULATION BASED ON ZONING CODE 12.21 G:	200 S.F.		
TOTAL PROVIDED OPEN SPACE:	1,615 S.F.	TOTAL REQUIRED OPEN SPACE:	1,125 S.F.

# **INCENTIVES & WAIVERS / MODIFICATIONS**

ON- AND OFF-MENU DEVELOPMENT INCENTIVES 12.22 A 25 (F):

ALLOW A 14'-6" REAR YARD SETBACK IN LIEU OF A 15'-0" REQUIRED REAR YARD SETBACK PURSUANT TO LAMC 12.09 B 3, REPRESENTING A 3% REDUCTION IN REQUIRED REAR YARD SETBACK.

ALLOW AN 11' INCREASE IN HEIGHT TO COMPLETE A 41' MAXIMUM VARIED ROOF HEIGHT AND A 36' MAXIMUM FLAT ROOF HEIGHT PERMITTED PURSUANT TO THE VENICE COASTAL ZONE SPECIFIC PLAN SECTION 10.G.3.

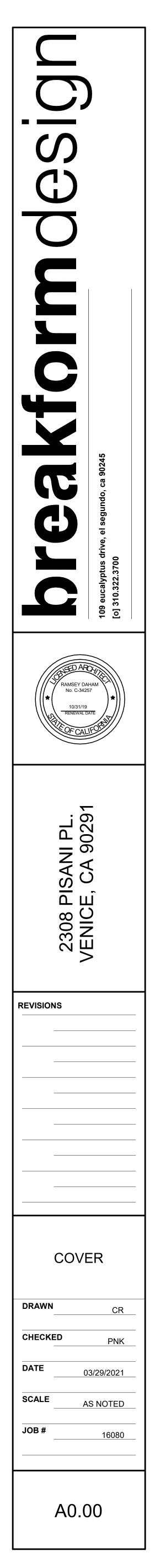
ALLOW AN 11'-11" FRONT YARD SETBACK IN LIEU OF A 15'-0" REQUIRED FRONT YARD SETBACK PURSUANT TO LAMC 12.09 B 1, REPRESENTING A 21% REDUCTION IN REQUIRED FRONT YARD SETBACK. WAIVERS OF DEVELOPMENT STANDARDS:

ALLOW THREE (3) ROOF ACCESS STRUCTURES: TWO (2) ACCESS STRUCTURES FOR ROOF STAIR AND ONE (1) ROOF ACCESS STRUCTURE FOR ELEVATOR IN LIEU OF THE SÍNGLE ROOF ACCESS STRUCTURE PÈRMITTED PURSUANT TO THE VENICE COASTAL ZONE SPECIFIC PLAN. PERMIT 7 PARKING STALLS TO BE PROVIDED AS STANDARD STALLS AND 5 SPACES TO BE PROVIDED AS COMPACT STALLS IN LIEU OF THE MINIMUM 8

STANDARD PARKING STALLS REQUIRED PURSUANT TO LAMC 12.21 A 5(C).

PERMIT 7 UNITS TO HAVE ACCESS TO PARKING STALLS IN LIEU OF 8 UNITS PER THE REQUIREMENT FOR EACH REQUIRED PARKING STALL WITHIN A PARKING AREA TO BE ACCESSIBLE PURSUANT TO LAMC 12.21 A 5(H).

Sheet	SHEET INDEX
	Sheet Name
_	ECTURAL
A0.01	
A0.02	VENICE SIGN-OFF
A0.03 A0.04	GREEN FORMS SPECS / RESEARCH REPORTS
A0.04 A0.05	SPECS / RESEARCH REPORTS
A0.05 A0.06	SPECS / RESEARCH REPORTS
A0.00	SPECS / RESEARCH REPORTS
A0.08	SPECS / RESEARCH REPORTS
A0.10	WALL & FLOOR TYPES
A0.11	DOOR SCHEDULE
A0.12	WINDOW SCHEDULE
A0.13	GENERAL DETAILS
A0.14	GENERAL DETAILS
A0.15	WINDOW DETAILS
A0.16	WINDOW DETAILS
A0.17	DOOR DETAILS
A0.18	ACCESSIBILITY NOTES
A0.19	ACCESSIBILITY DETAILS
A0.20	ACCESSIBILITY DETAILS
A0.21	TITLE 24
A0.22	TITLE 24
A0.23	
A0.24	
A0.25	EXISTING SITE SURVEY
A0.26	
A0.27	SLAB PLAN
A0.28 A0.40	SLAB PLAN OPEN SPACE & FAR BUILDABLE AREA
A0.40 A0.41	ZONING CODE SF
A0.41 A0.42	BUILDING CODE SF
A0.42	SITE PLAN
A2.10	1ST FLOOR / PARKING
A2.20	2ND FLOOR PLAN
A2.30	3RD FLOOR PLAN
A2.40	4TH FLOOR PLAN
A2.50	ROOF PLAN
A3.10	ELEVATIONS
A3.20	ELEVATIONS
A3.30	ELEVATIONS
A3.40	ELEVATIONS
A4.10	PROPOSED SECTIONS
A4.20	PROPOSED SECTIONS
A4.30	PROPOSED SECTIONS
A4.40	PROPOSED SECTIONS
A4.50	PROPOSED SECTIONS
A4.60	PROPOSED SECTIONS
A4.70	DRIVEWAY SECTIONS
A5.10	ENLARGED PLANS
A5.20 A5.30	ENLARGED PLANS ENLARGED PLANS
A5.30 A7.10	REFLECTED CEILING LEVEL 1
A7.10 A7.11	LIGHT SCHEDULE - LEVEL 1
A7.11 A7.20	REFLECTED CEILING LEVEL 2
A7.20 A7.21	LIGHT SCHEDULE - LEVEL 2
A7.30	REFLECTED CEILING LEVEL 3
A7.30	LIGHT SCHEDULE - LEVEL 3
A7.40	REFLECTED CEILING LEVEL 4
A7.41	LIGHT SCHEDULE - LEVEL 4
A9.00	VERTICAL CIRCULATION
A9.10	VERTICAL CIRCULATION
A9.20	EXTERIOR STAIRS
	DETAILS - EXTERIOR
A9.40	
A9.40 A9.50	DETAILS - DOORS & WINDOWS




# Park-It 2-Bike Racks/ 2- Ks by TreeTop Products Bike Rack/ Surface Mount/ Black

- DESCRIPTION
- Perfect solution to customize your bike parking area.

# • Capacity: 2 56

- Security: 🔗 🎸 🎸
- One of our most popular choices among parks and municipalities
- Two points of contact to stabilize & lock two bikes
- 1-7/8" OD 11-gauge round steel tubing
- Powder-coated steel in Black Onyx
- Choose surface mount or inground mount
- noose optional set of steel Surface Mount Covers to conceal mounting hardware

## CUMENTS AND INSTRUCTIONS

- Inground Mount Installation Instructions [Size: 73.6 KB]
- Inground Mount Specifications [Size: 141.8 KB]
- Surface Mount Specifications [Size: 241 KB]
- Surface Mounting Instructions [Size: 76.4 KB]

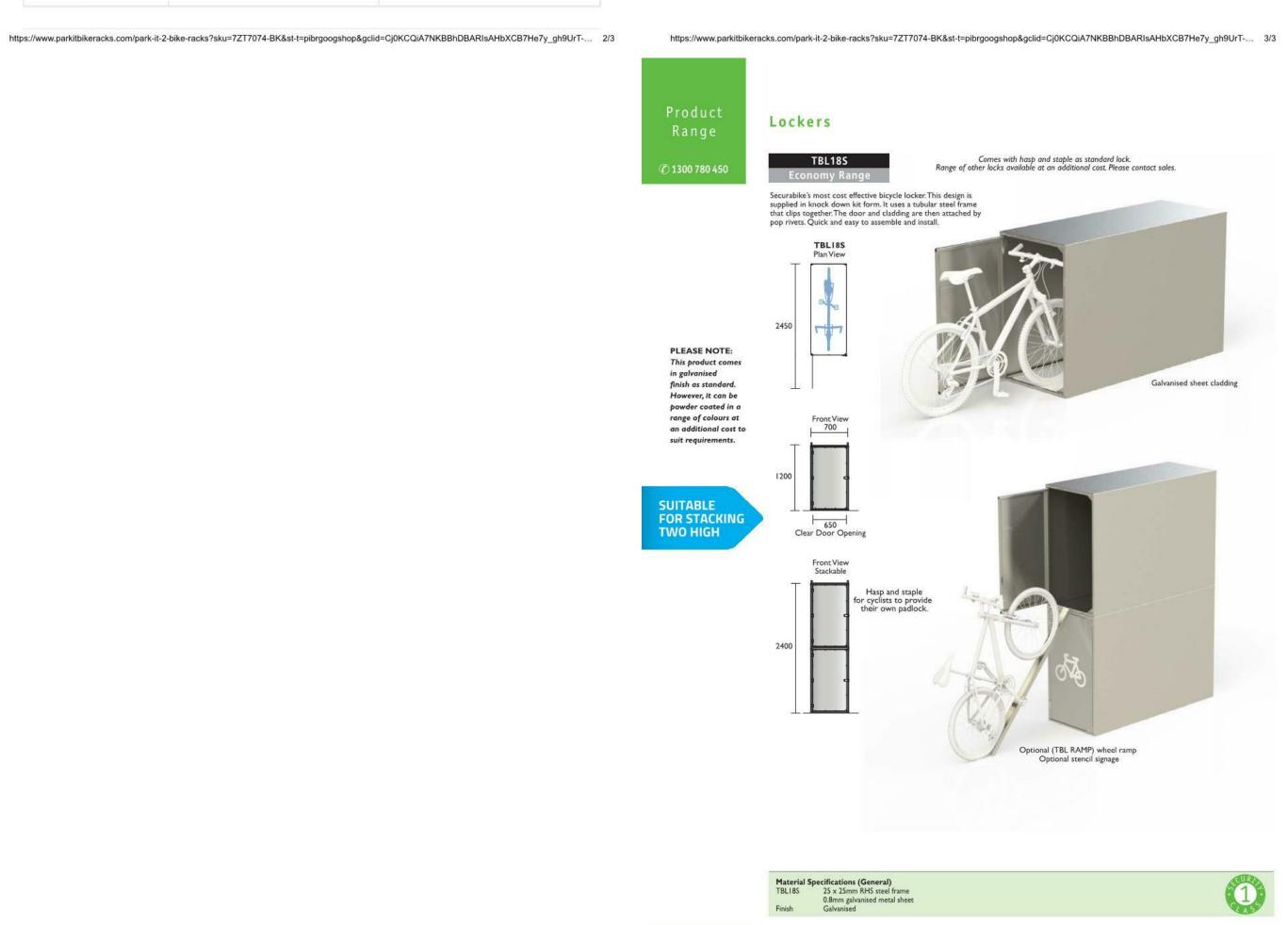
#### SPECIFICATIONS

SKU	7ZT7074	7ZT7083
Model Name	Surface Mount 2-Bike Rack - Black	Inground Mount 2-Bike Rack - Black
Material	Steel	Steel

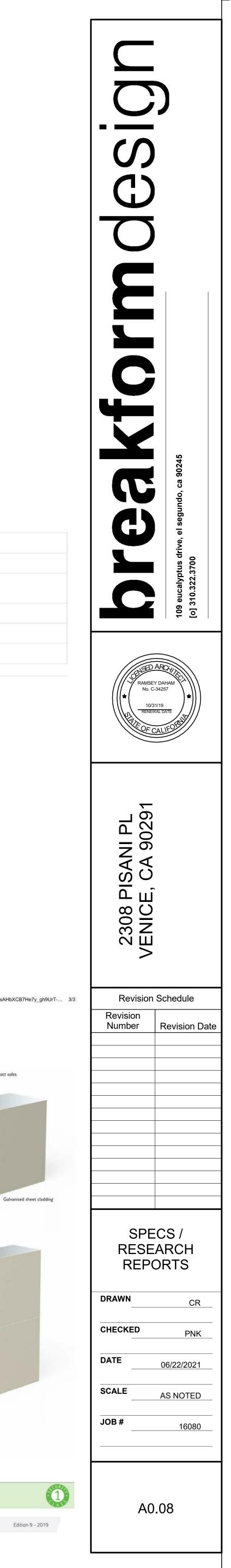
/2021	Park-It 2-Bike Racks P	ark It Bike Racks by TreeTop Produc
Mount Type	Surface Mount	Inground
Bike Capacity	2	2
Frame Tube Diameter	1 7/8"	1 7/8"
Length	22"	22"
Height	36"	36"
Weight	17.000000	18.000000



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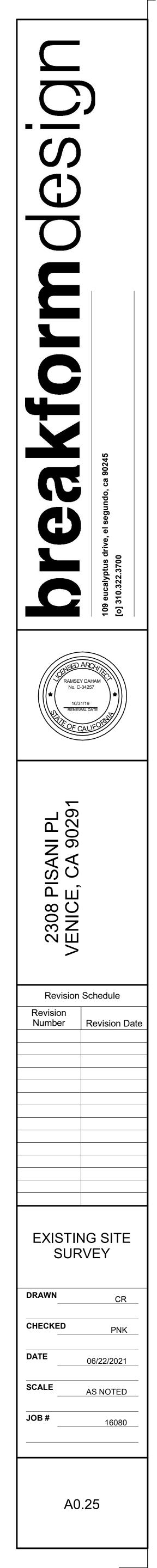
🏭 securabike.com.au



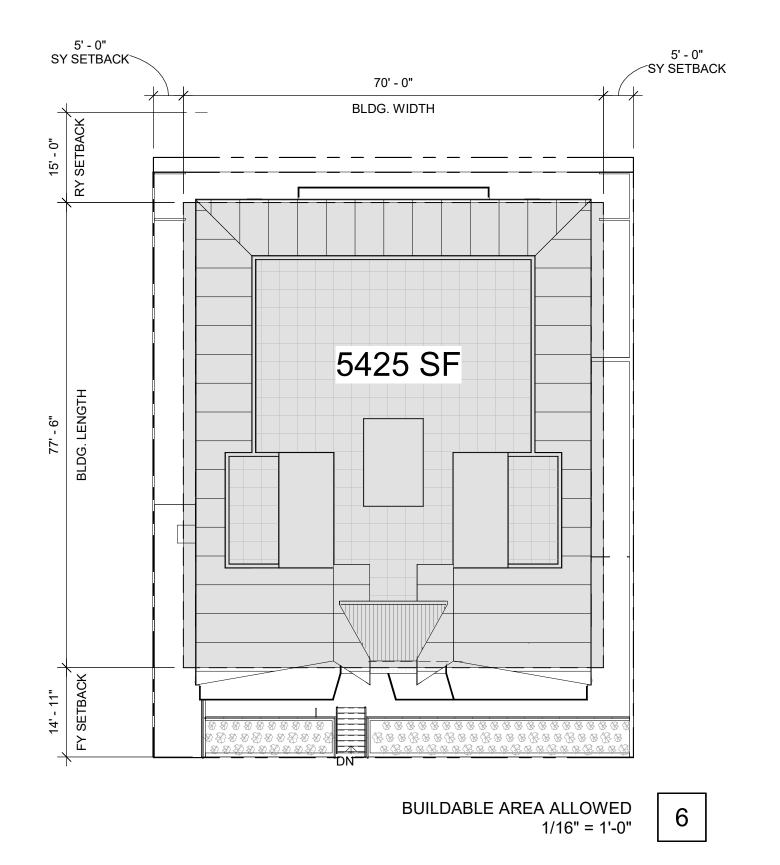


	81-94- 21	1989 1999 98884 2
	A.C IND	ICATES ASPHALT CONCRETE PAVEMENT
	C.F.O IN	NDICATES CURB FACE OUTLET (DRAINAGE)
	F.S IND	ICATES FINISHED SURFACE
	T.C IND	CATES TOP OF CURB
	F.L INDI	CATES FLOW LINE
	F.G INDICATE	ES FINISHED GRADE
	W.M INDI	CATES WATER METER
	W.I INI	DICATES WROUGHT IRON
	CONC INDICA	TES CONCRETE
		DICATES CONC. BLOCK WALL
		NDICATES POURED CONC. RETAINING WALL
	C.B.R.W I FNC INDI	NDICATES CONC. BLOCK RETAINING WALL
		ATES FINISH FLOOR
	G.B INDICA	TES GRADE BREAK
	E.M INDIC	CATES ELECTRIC METER
	G.M INDI	CATES GAS METER
	T.G INDIC	ATES TOP OF GRATE (DRAIN)
	W.I.G I	NDICATES WROUGHT IRON GATE
		DICATES PIPE INVERT
100.97		NDICATES DECIDUOUS TREE
EP	EUC IM	NDICATES EUCALYPTUS TREE
100.88 WV		INDICATES CONCRETE SURFACE
100.69 AC	(P.P.)	. INDICATES POWER POLE
100.48		
FL AC		. INDICATES LIGHT POLE
101.20 EP	40"Ø	. INDICATES TREE AND TRUNK DIAMETER
	////	. INDICATES WOOD FENCE
		. INDICATES CHAIN-LINK FENCE
		INDICATES SANITARY SEWER LINE
	TOPOGRAPHIC	NOTES
	1. CONTOUR LINES SHOWN ON TH WERE GENERATED FROM RANDO EXPECTED LEVEL OF ACCURACY INTERVAL. ISOLATED ELEVATIONS WERE PHYSICALLY MEASURED A LOCATIONS SHOWN. THEIR EXPE IS $\pm$ 0.10 FOOT.	M SPOT ELEVATIONS. THE IS ±1/2 OF THE CONTOUR , AS PLACED ON THE PLAT T APPROXIMATELY THE
	2. IF SPECIFIC ELEVATIONS ARE R CONTACT PIAL ENGINEERING, INO SAME. INTERPOLATIONS MADE SURVEY SHOULD BE DONE IN A ENGINEERING PRACTICE, AND LI IS NOT ASSUMED BY THE PREF	C., TEL: (310)379–4941 FOR FROM THIS TOPOGRAPHIC ACCORDANCE WITH STANDARD ABILITY FOR INTERPOLATIONS
	LEGAL DESC	RIPTION
	LOTS 14 & 15 IN BLOCK N OF VENIC OF LOS ANGELES, COUNTY OF LOS A	
	AREA = 8,000.85 SQ. FT.	
	SURVEY CERTI	FICATION
	I HEREBY CERTIFY THAT I AM A REGIST STATE OF CALIFORNIA, THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY MAI MARCH, 2015; THAT ALL MONUMENTS S AND THEIR POSITIONS ARE CORRECTLY NOT INCLUDE EASEMENTS EXCEPT THOS HEREON.	CONSISTING OF ONE SHEET DE UNDER MY SUPERVISION IN SHOWN HEREON ACTUALLY EXIST SHOWN. THIS SURVEY DOES
	CHRISTOPHER W. VASSALLO P.L.S. 8418 EXPIRES 12/31/20	
	LOT & TOPOGRA	PHIC SURVEY
	CLIENT	FILE NAME: DATE: $04 - 08 - 2015$ 10 - 01 - 2020(RV)
E: 1/8"=1'-0"	PISANI PLACE, LP	$\frac{10-01-2020(RV)}{SCALE: 1/8"-1'-0"}$
terrer terrer etter state atte	DRAWN DV. PROJECT SITE:	SCALE: 1/8"=1'-0"
	I PROTECT NUE	
	DRAWN BY: JAL/AP LOS ANGELES, CA 90	

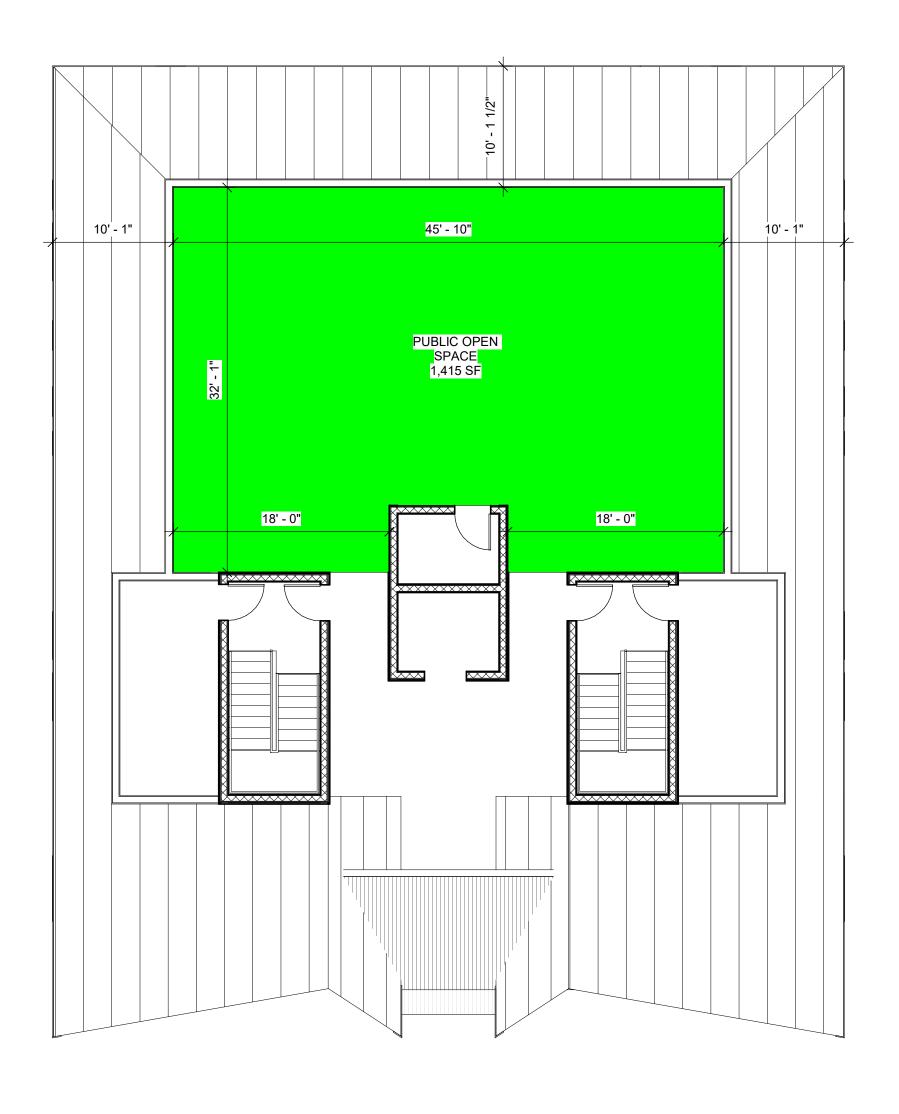
LEGEND

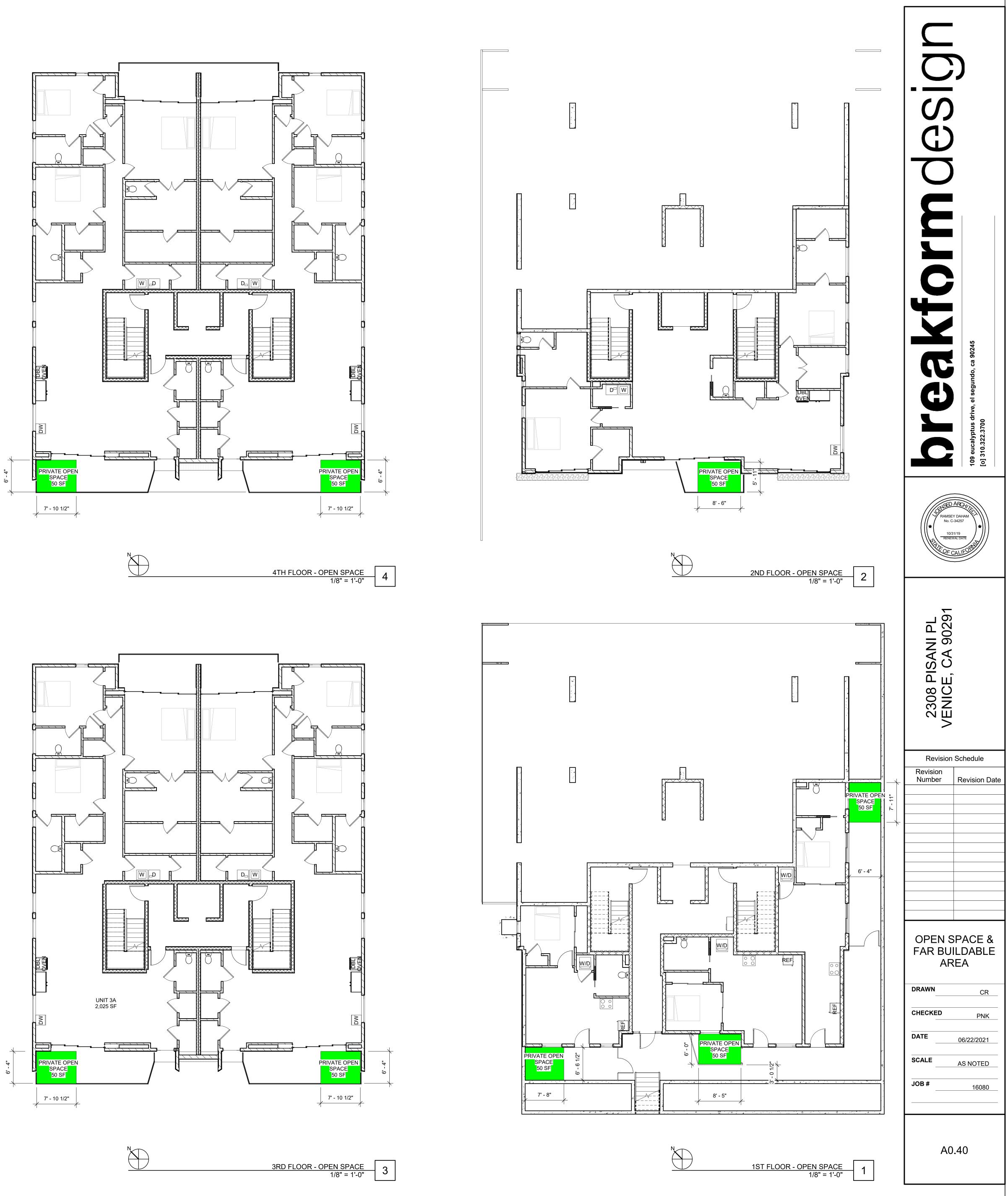


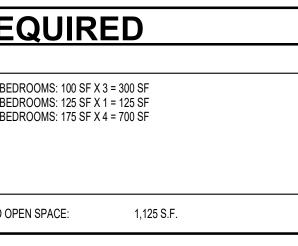
HARDSCAPE 2



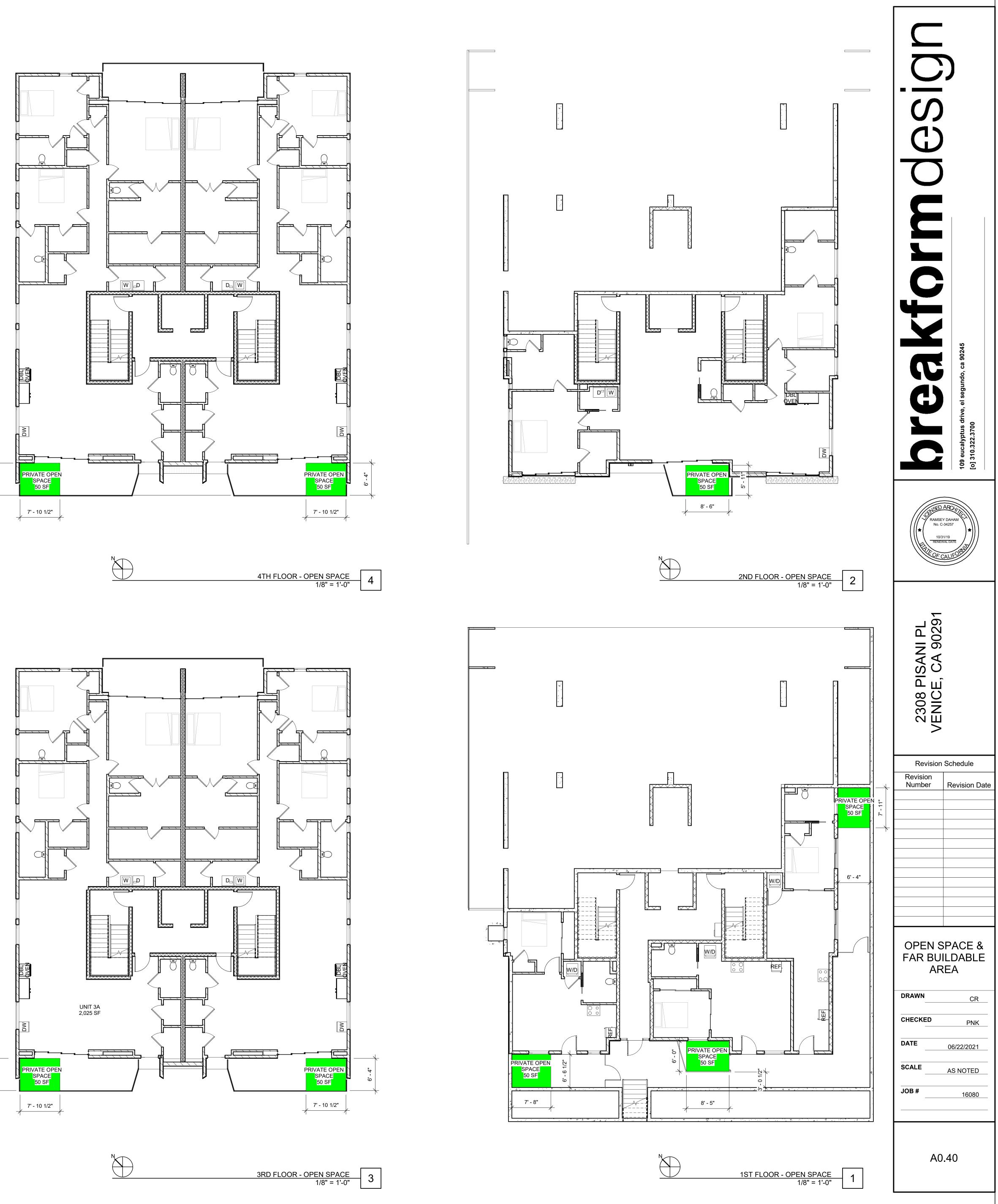
E PROVID	ED VS. RE
	REQUIRED
1,415 S.F.	(3) UNITS WITH 1 BEDI (1) UNITS WITH 2 BEDI (4) UNITS WITH 3 BEDI
200 S.F.	
1,615 S.F.	TOTAL REQUIRED OPE
	1,415 S.F. 200 S.F.







4

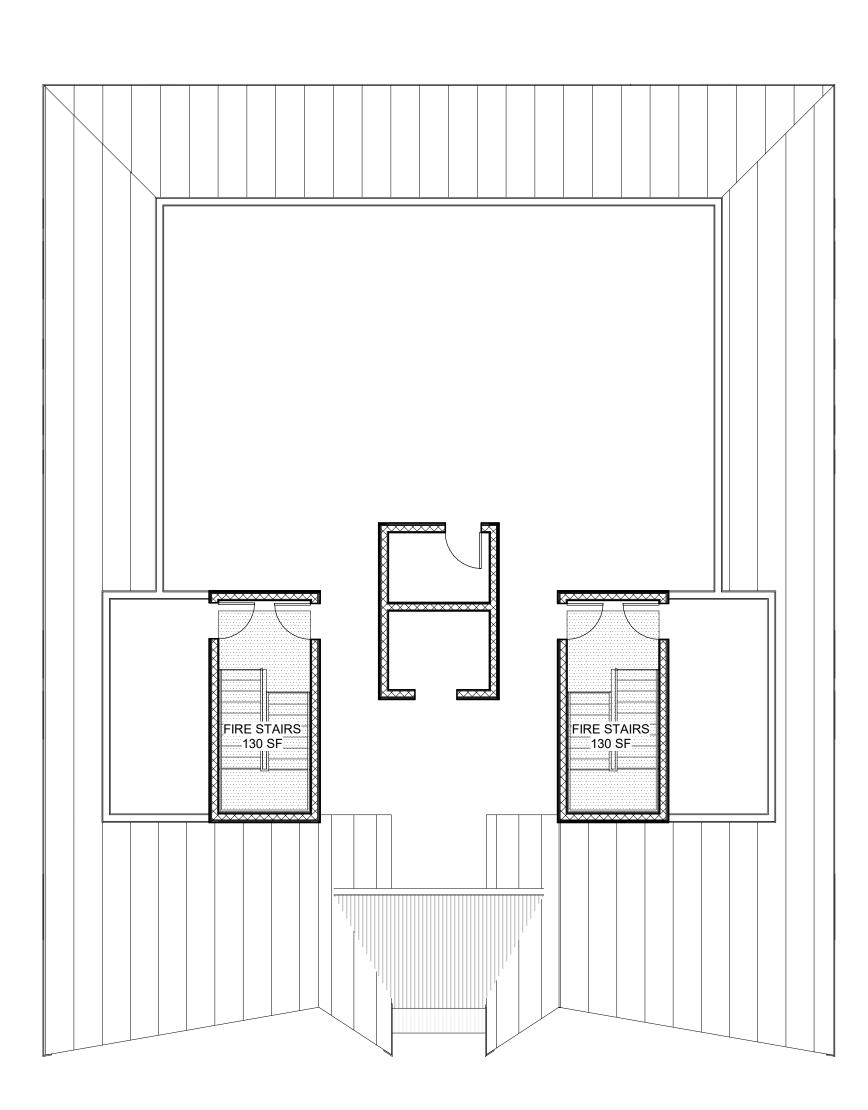


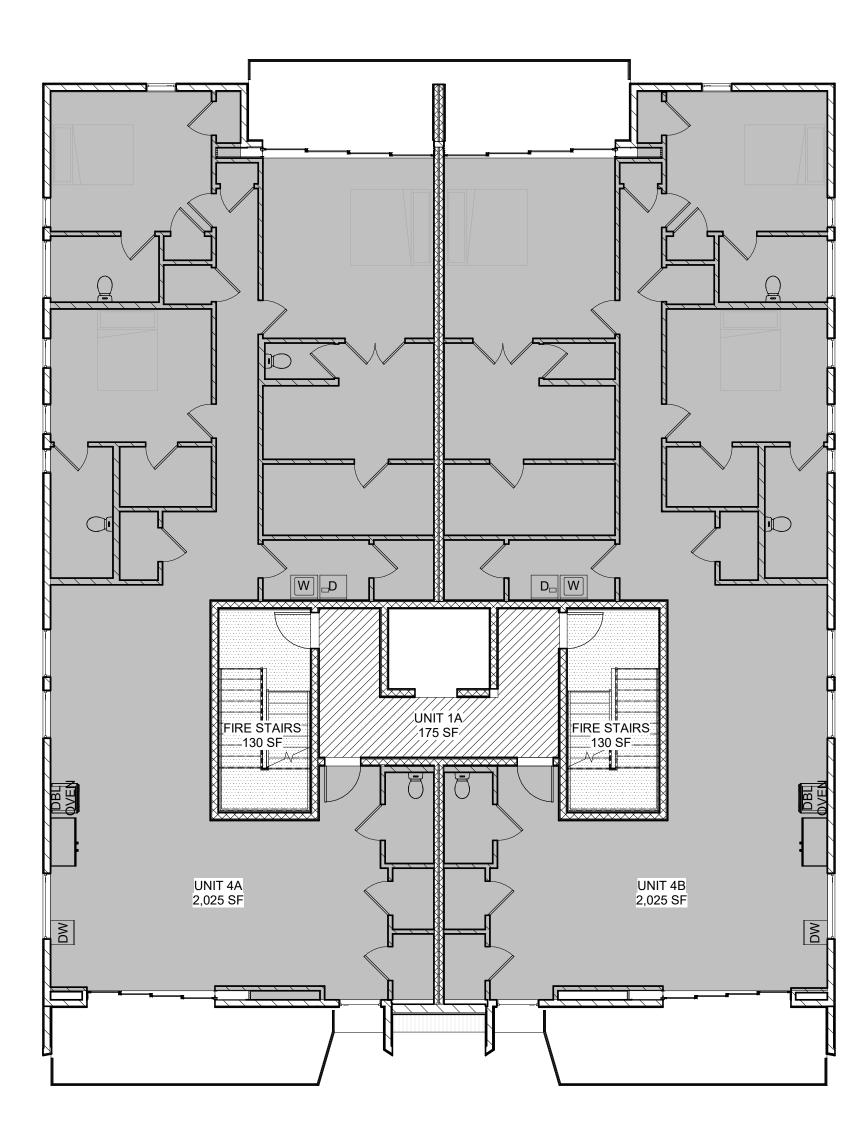
RESIDENTIAL			HATCH
DWELLING UNIT #	# OF BEDROOMS	DWELLING UNIT S.F.	
1A	1 BED / 1 BATH	485 S.F.	
1B	1 BED / 1 BATH	488 S.F.	
1C	1 BED / 1 BATH	515 S.F.	
2A	2 BED / 2.5 BATH	1,833 S.F.	
3A	3 BED / 3.5 BATH	2,025 S.F.	
3B	3 BED / 3.5 BATH	2,025 S.F.	
4A	3 BED / 3.5 BATH	2,025 S.F.	
4B	3 BED / 3.5 BATH	2,025 S.F.	
		TOTAL = 11,421 S.F.	
BUILDING MATE	RIX		
FLOOR	ROOM	AREA	
1 ST	LOBBY	307 S.F.	
1 ST	RECYCLING / TRASH	70 S.F.	
3 RD	COMMON HALLWAY	175 S.F.	
4 TH	COMMON HALLWAY	175 S.F.	

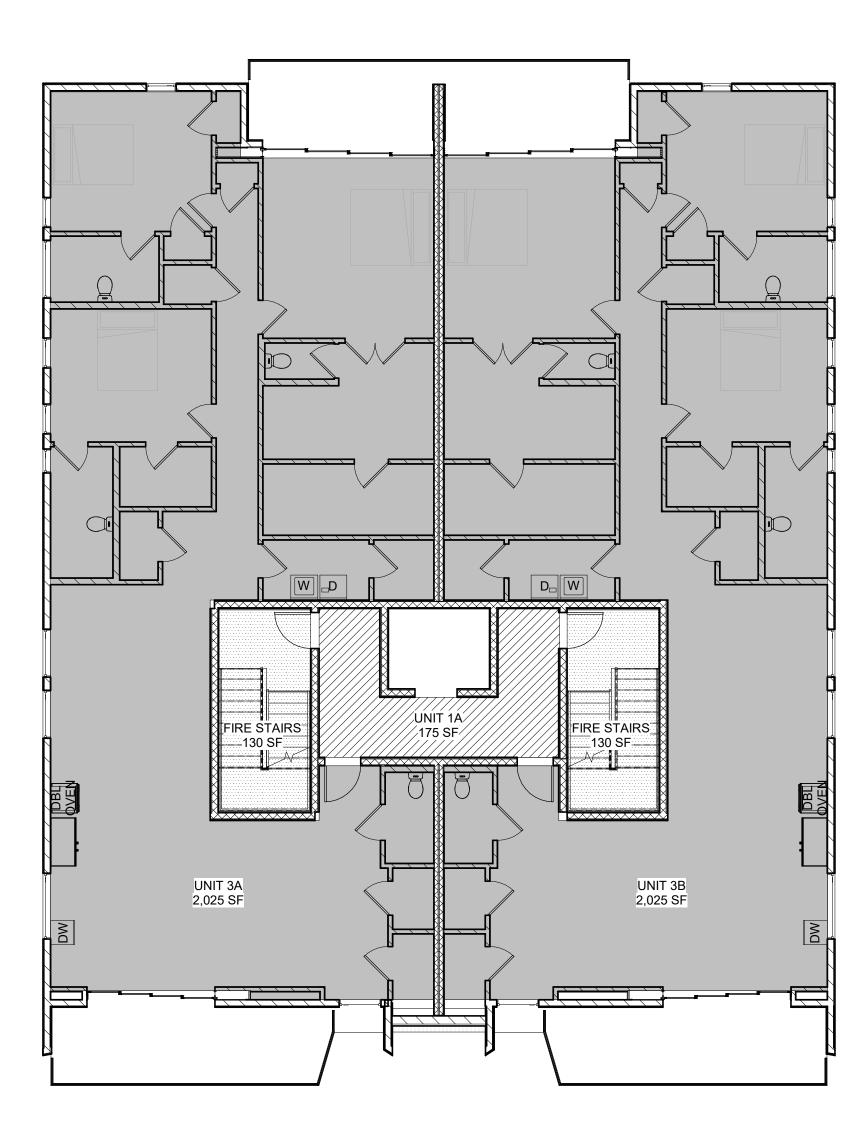
NOT COUNTED TOWARDS ZONING CODE SF

1 ST	STAIR A-1	130 S.F.	
1 ST	STAIR A-2	130 S.F.	
1 ST	BIKE STORAGE	155 S.F.	
1 ST	GARAGE	2,433 S.F.	

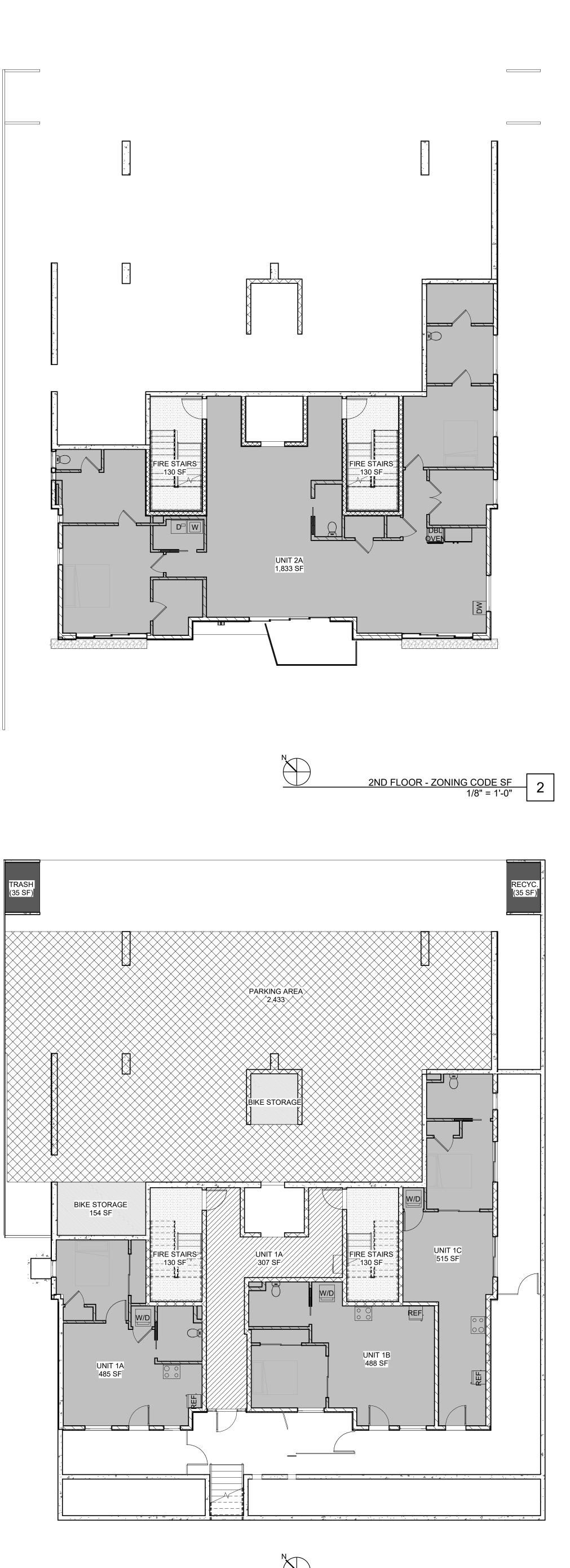
TOTAL = 727 S.F.

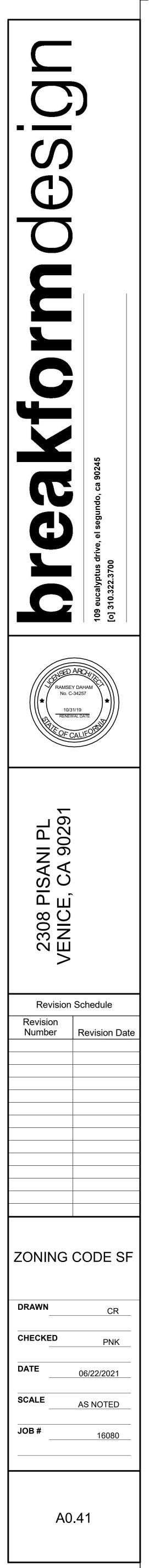






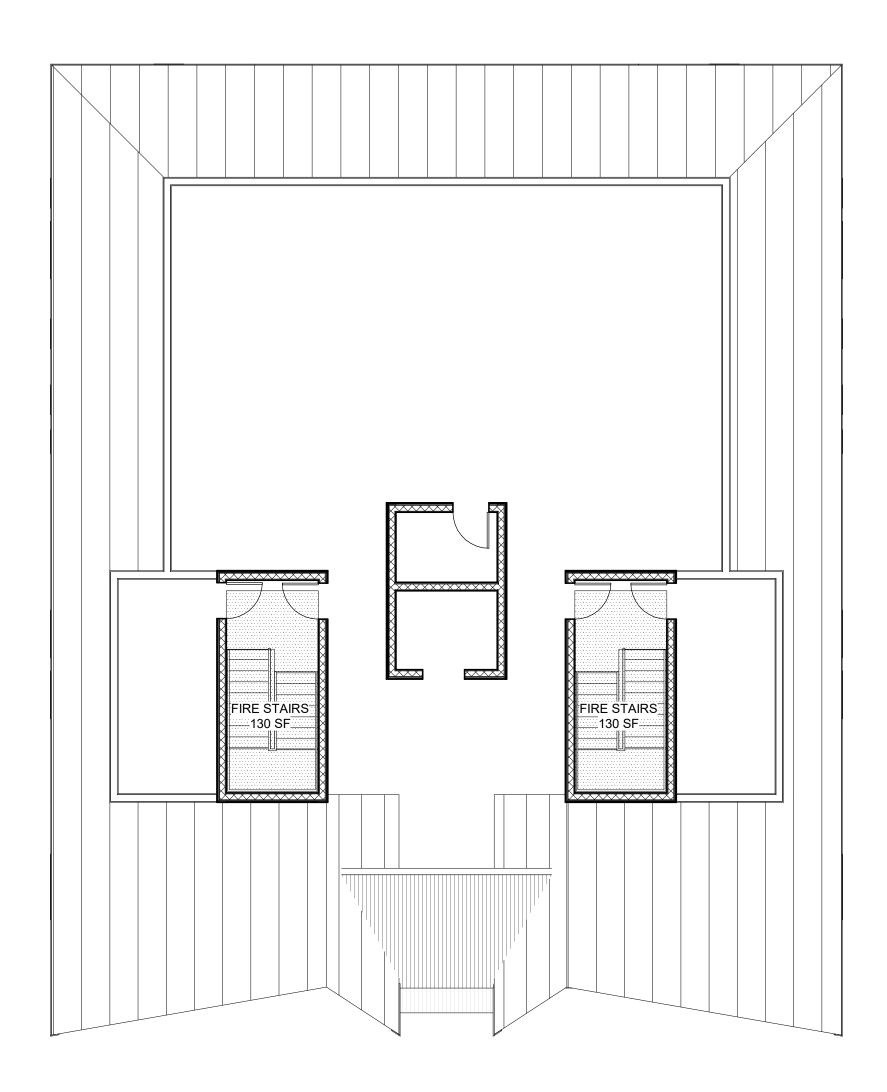


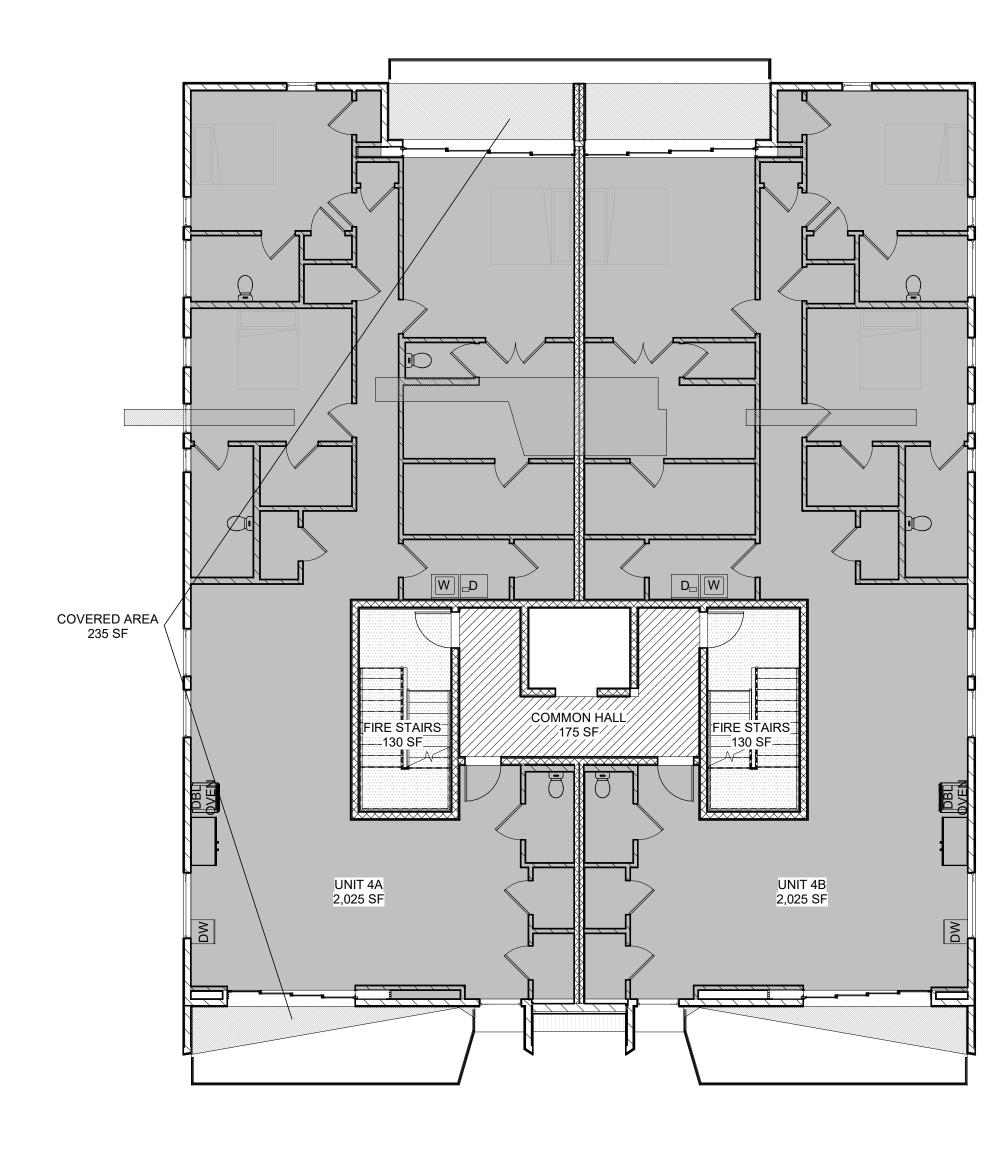


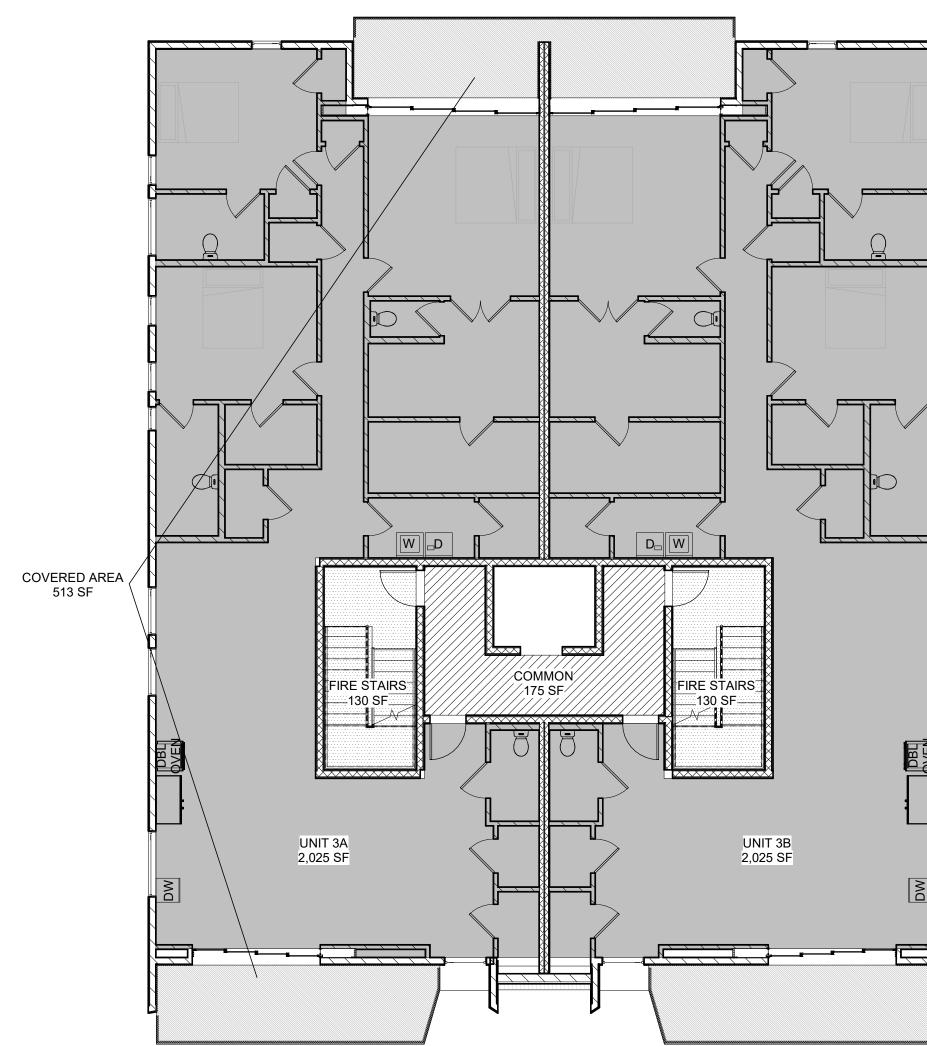


RESIDENTIAL		<u>15,578 SF</u>
ELLING UNIT #	# OF BEDROOMS	DWELLING UNIT S.F.
1A	1 BED / 1 BATH	485 S.F.
1B	1 BED / 1 BATH	488 S.F.
1C	1 BED / 1 BATH	515 S.F.
2A	2 BED / 2.5 BATH	1,833 S.F.
3A	3 BED / 3.5 BATH	2,025 S.F.
3B	3 BED / 3.5 BATH	2,025 S.F.
4A	3 BED / 3.5 BATH	2,025 S.F.
4B	3 BED / 3.5 BATH	2,025 S.F.
		TOTAL = 11,421 S.F.
BUILDING MATI	RIX	
FLOOR	ROOM	AREA
1 ST	GARAGE	2,433 S.F.
1 ST	LOBBY'S	284 S.F.
1 ST	COVERED AREA	142 S.F.
2 ND	COVERED AREA	28 S.F.
3 RD	COMMON HALLWAY	175 S.F.
3 RD	COVERED AREA	513 S.F.
4 TH	COMMON HALLWAY	175 S.F.
4 TH	COVERED AREA	235 S.F.

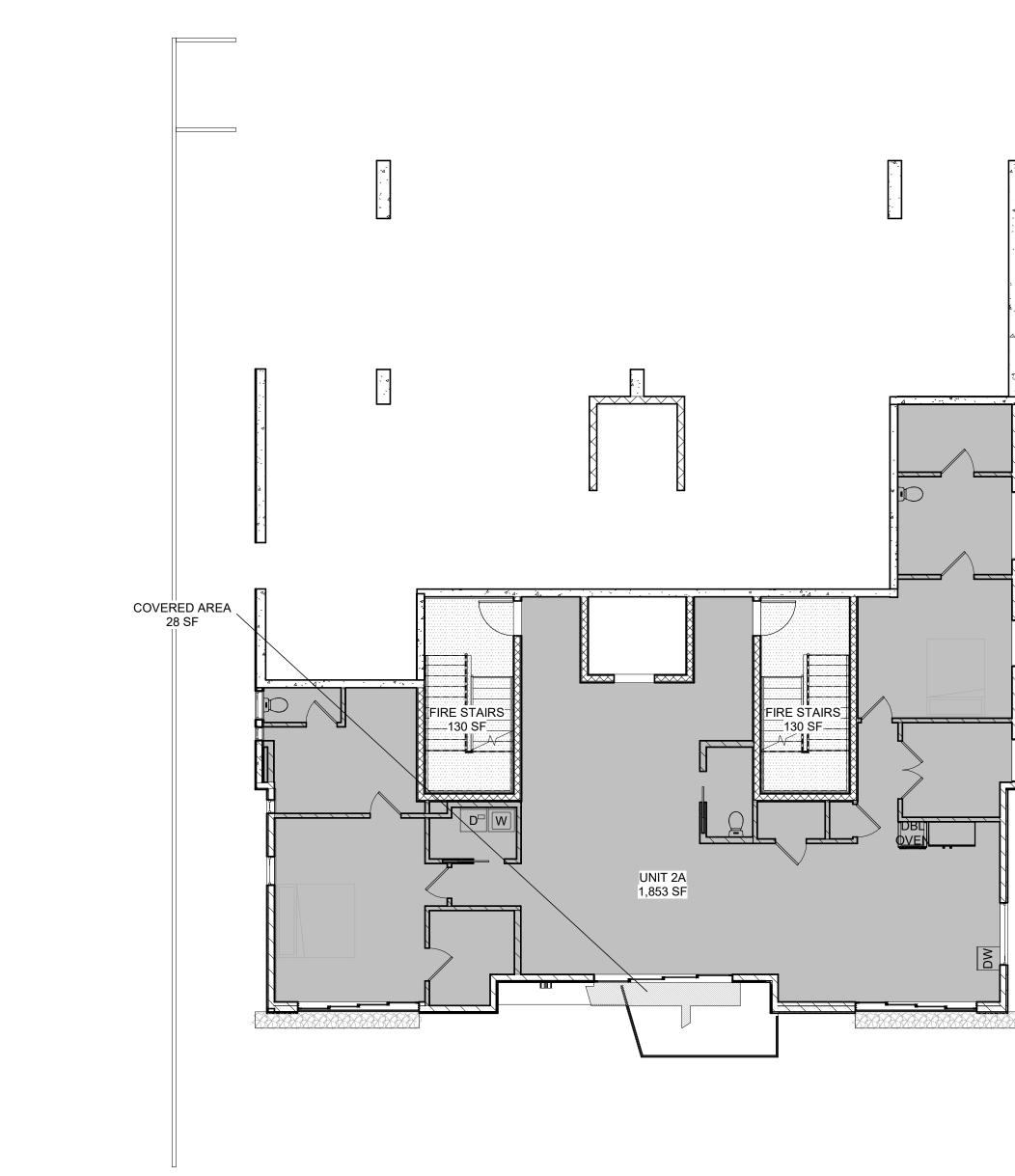
NOT COUNTED TOWARDS	BUILDING CODE SF	
1 ST	STAIR A-1	130 S.F.
1 ST	STAIR A-2	130 S.F.
1 ST	BIKE STORAGE	155 S.F.
1 ST	RECYCLING / TRASH	70 S.F.





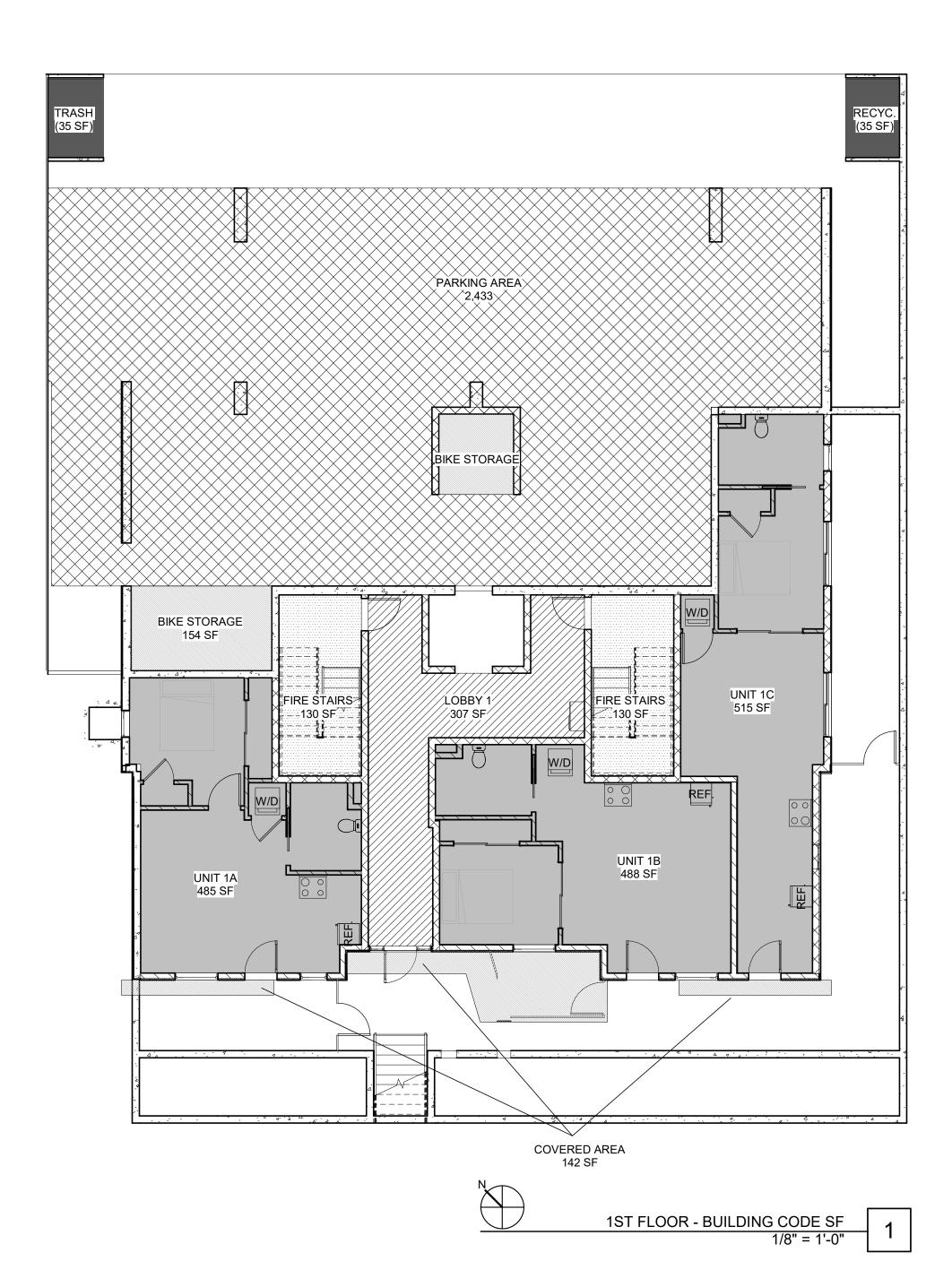


N N



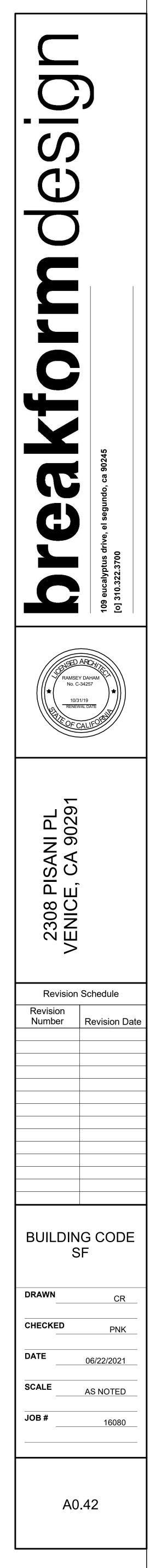
4TH FLOOR - BUILDING CODE SF 1/8" = 1'-0"

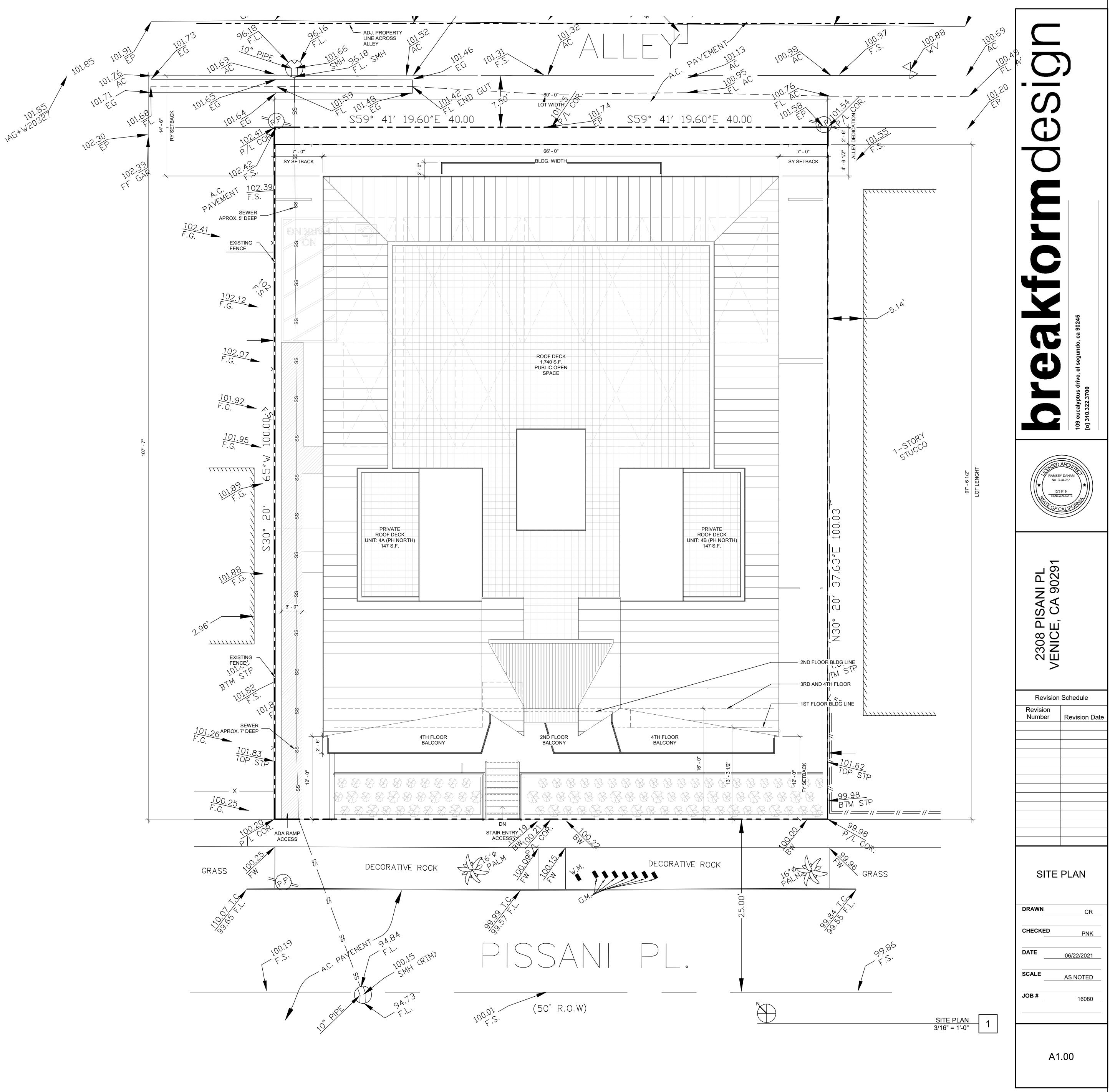




3RD FLOOR - BUILDING CODE SF 1/8" = 1'-0" 3







	ASSEMBLY	TYPES	
WAI	LS	<u>FLOO</u>	URS
$\langle 1 \rangle$	12" CONC. PER STRC.	A-1	CONC FLOOR PER STRC. W/ WOOD FINISH
2>	8" CMU PER STRC.	A-2>	CONC FLOOR PER STRC. W/ TILE FINISH
3	1HR 2X6 EXTERIOR WALL ASSM.	(A-3)	CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH
$\langle 4 \rangle$	2X6 EXTERIOR WALL ASSM.	B-1	WOOD JOIST PER STRC. W/ WOOD FINISH
5	2X4 & 2X6 INTERIOR WALL ASSM.	B-2>	WOOD JOIST PER STRC. W/ TILE FINISH
6	2X6 PLUMBING WALL ASSM.	R-1	WOOD JOIST W/ WOOD DECK PER SPEC.
$\langle 7 \rangle$	1 HR DBL. 2x4 INTERIOR WALL ASSM.	R-2>	WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC.
<b>8</b>	2 HR 2x6 VERTICAL EXIT ENCLOSURE WALL ASSM.		
$\wedge$			

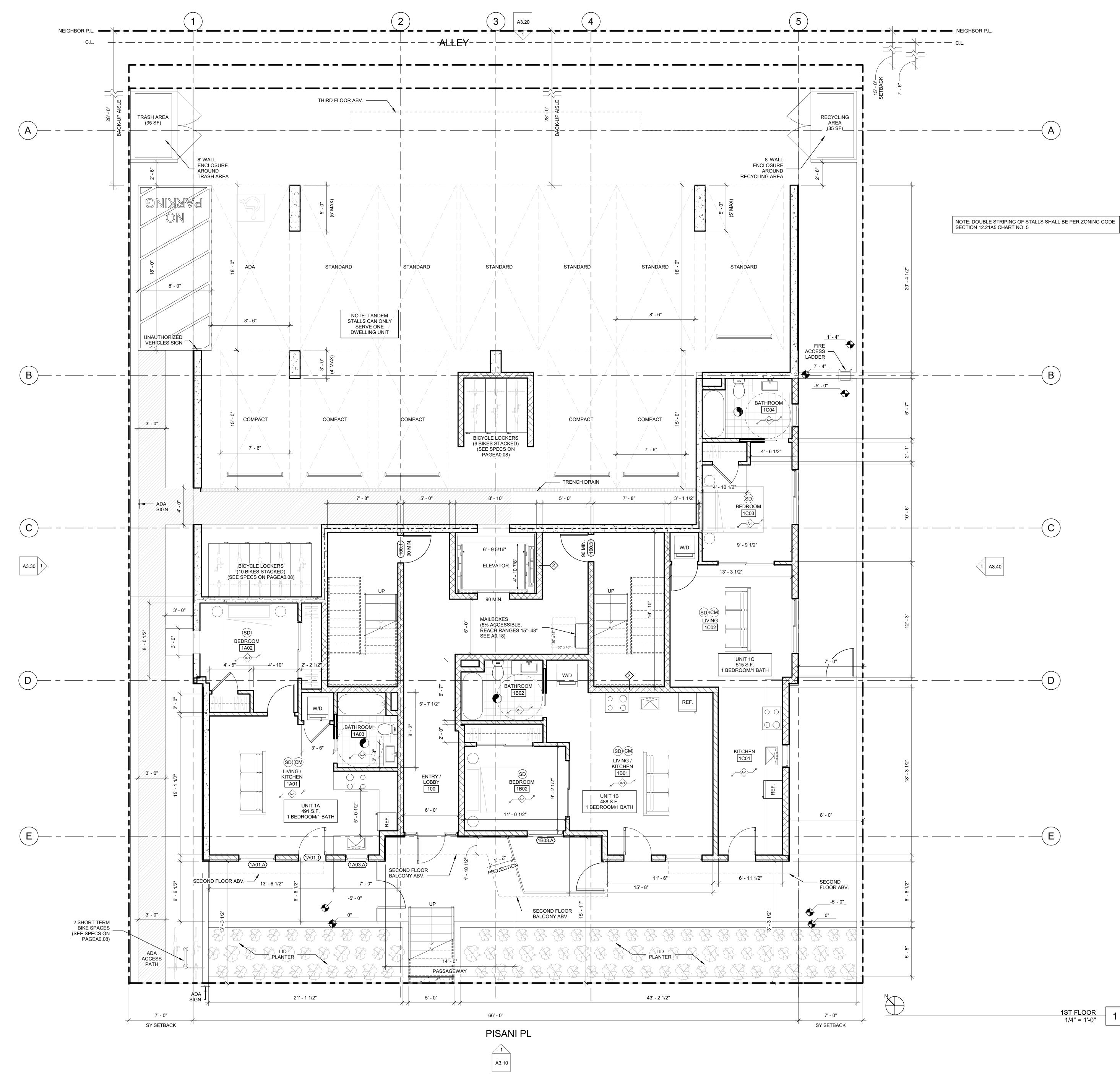
9	10" CONC. PER STRC.	

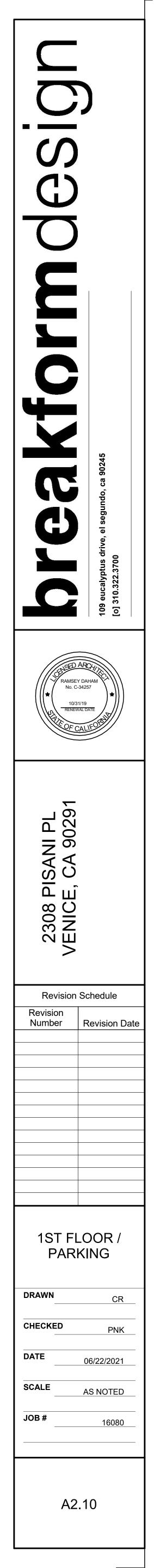
### FLOOR PLAN LEGEND

«	FLOOR TYPE
	1 HR
	2 HR
SD	SMOKE DETE
	CARBON MON
	EXHAUST (GENERAL NO
X	WINDOW TAG
XXX	DOOR TAG
×	WALL TYPE
<u>-X'-X"</u>	ELEVATION M
	PROPERTY LI

ECTOR ONOXIDE NOTES #2,3) MARKER

 $\rightarrow - \rightarrow -$  ACCESSIBLE ROUTE





1ST FLOOR 1/4" = 1'-0"

ASSEMBLY	TYPES

WAL	LS
	12" CONC. PER STRC.

- 2 8" CMU PER STRC.
- 1HR 2X6 EXTERIOR WALL ASSM.  $\langle 3 \rangle$
- $\langle 4 \rangle$  2X6 EXTERIOR WALL ASSM.
- 5 2X4 & 2X6 INTERIOR WALL ASSM.
- (6) 2X6 PLUMBING WALL ASSM.
- 1 HR DBL. 2x4 INTERIOR WALL ASSM.
- 2 HR 2x6 VERTICAL EXIT<br/>ENCLOSURE WALL ASSM.
- 9 10" CONC. PER STRC.

# FLOOR PLAN LEGEND

~×~~°	FLOOR TYPE
	1 HR
	2 HR
SD	SMOKE DETECTO
	CARBON MONOXI
	EXHAUST (GENERAL NOTES WINDOW TAG
X	
(XXX)	DOOR TAG
×	WALL TYPE
<u>- X'-X"</u>	ELEVATION MARK
	PROPERTY LINE

E DETECTOR ON MONOXIDE JST ERAL NOTES #2,3) OW TAG YPE ATION MARKER

 $\rightarrow - \rightarrow -$  ACCESSIBLE ROUTE

- FINISH
- A-2 CONC FLOOR PER STRC. W/ TILE FINISH
- CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (A-3)
- WOOD JOIST PER STRC. W/ WOOD <**B**-1⟩ FINISH
- WOOD JOIST PER STRC. W/ TILE FINISH <В-2>
- (R-1)
- WOOD JOIST W/ WOOD DECK PER SPEC. WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC.
- ΄ Α

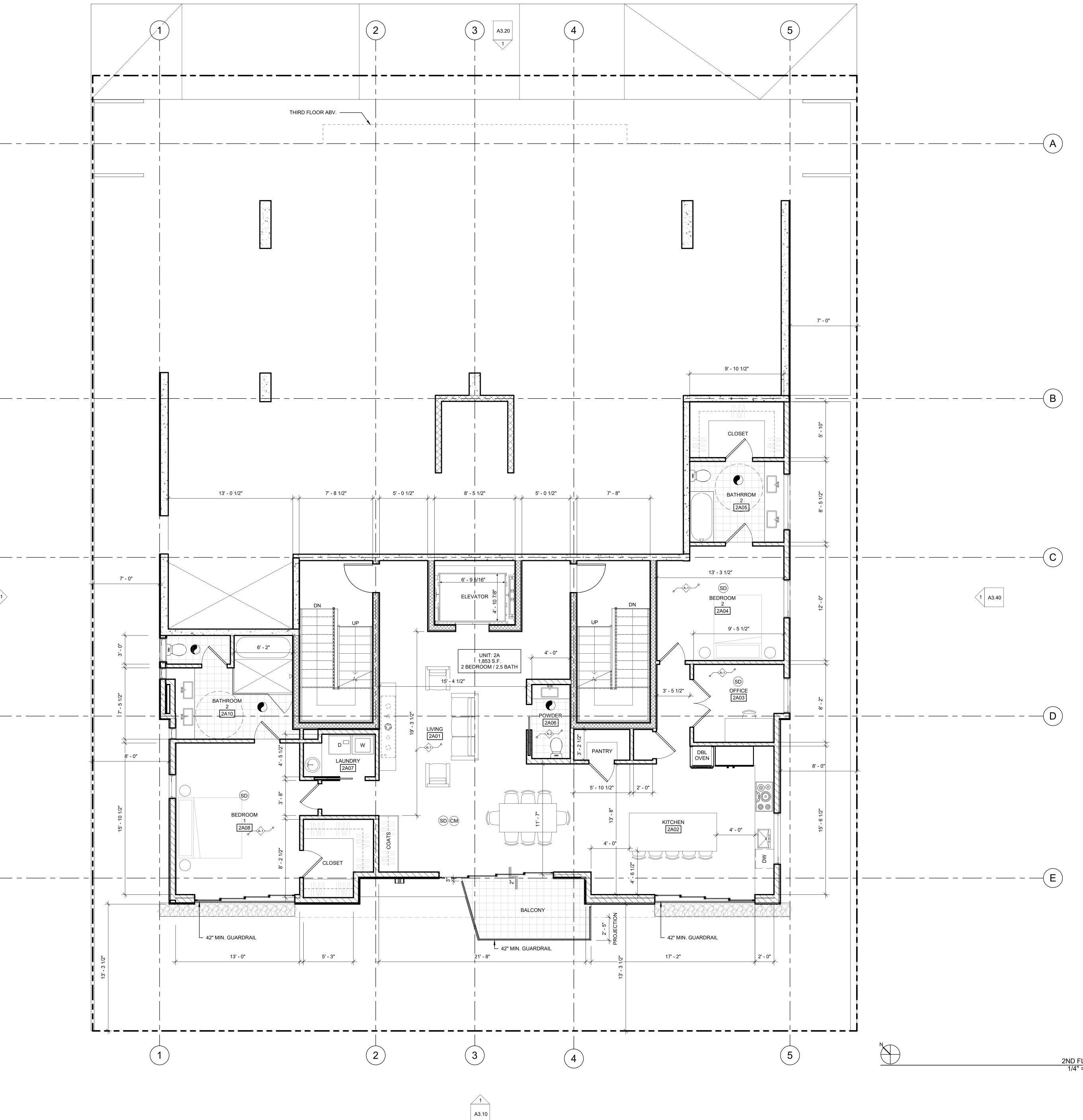
( **B** 

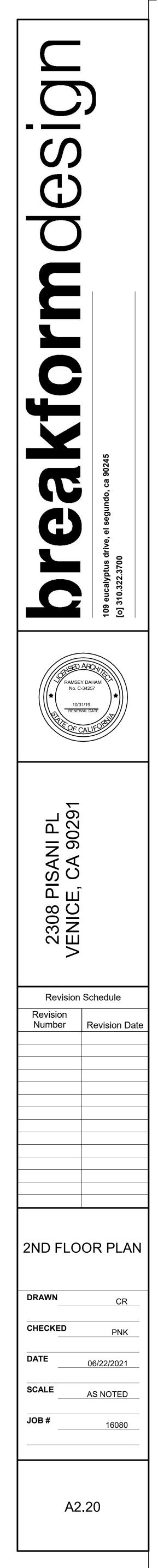
( C )

A3.30 1

(E)-

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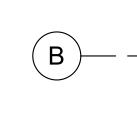


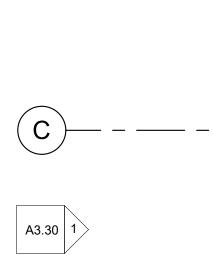
2ND FLOOR 1/4" = 1'-0"

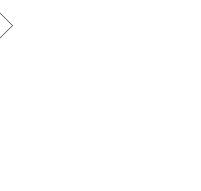
		ASSEMBLY T	YPES			, 7' -
WAL	LS		<u>FLOC</u>	<u>PRS</u>		
$\langle 1 \rangle$	12" CONC.	PER STRC.	(A-1)	CONC FLOOR PER STRC. W/ WOOD FINISH		
2>	8" CMU PE	R STRC.	A-2>	CONC FLOOR PER STRC. W/ TILE FINISH		l
$\langle 3 \rangle$	1HR 2X6 E	XTERIOR WALL ASSM.	(A-3)	CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH		
$\langle 4 \rangle$	2X6 EXTER	RIOR WALL ASSM.	B-1	WOOD JOIST PER STRC. W/ WOOD FINISH		4' - 6"
<b>5</b>	2X4 & 2X6 ASSM.	INTERIOR WALL	B-2>	WOOD JOIST PER STRC. W/ TILE FINISH		
	2X6 PLUM	BING WALL ASSM.	(R-1)	WOOD JOIST W/ WOOD DECK PER SPEC.	(A)	
$\langle 7 \rangle$	1 HR DBL. WALL ASS	2x4 INTERIOR M.	R-2	WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC.		
< <u>8</u> >		'ERTICAL EXIT RE WALL ASSM.				I I
<b>(9</b> )		PER STRC.				
	FLOOR	PLAN LEGEND				11'- 8 1/2"
6	-x-~°	FLOOR TYPE				
		1 HR				
		2 HR				م
	SD	SMOKE DETECTOR				2 C
	( <u>CM</u> )	CARBON MONOXIDE				
		EXHAUST (GENERAL NOTES #2,3)				
	X	WINDOW TAG				
(	XXX	DOOR TAG				
~	×	WALL TYPE				

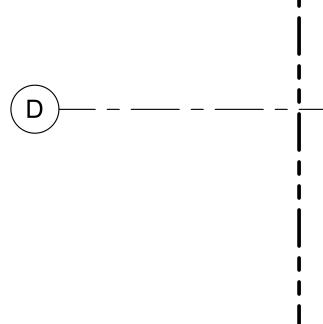
X'-X" ELEVATION MARKER

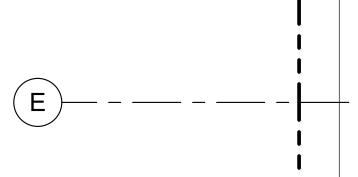
 $\rightarrow$  —  $\rightarrow$  — ACCESSIBLE ROUTE



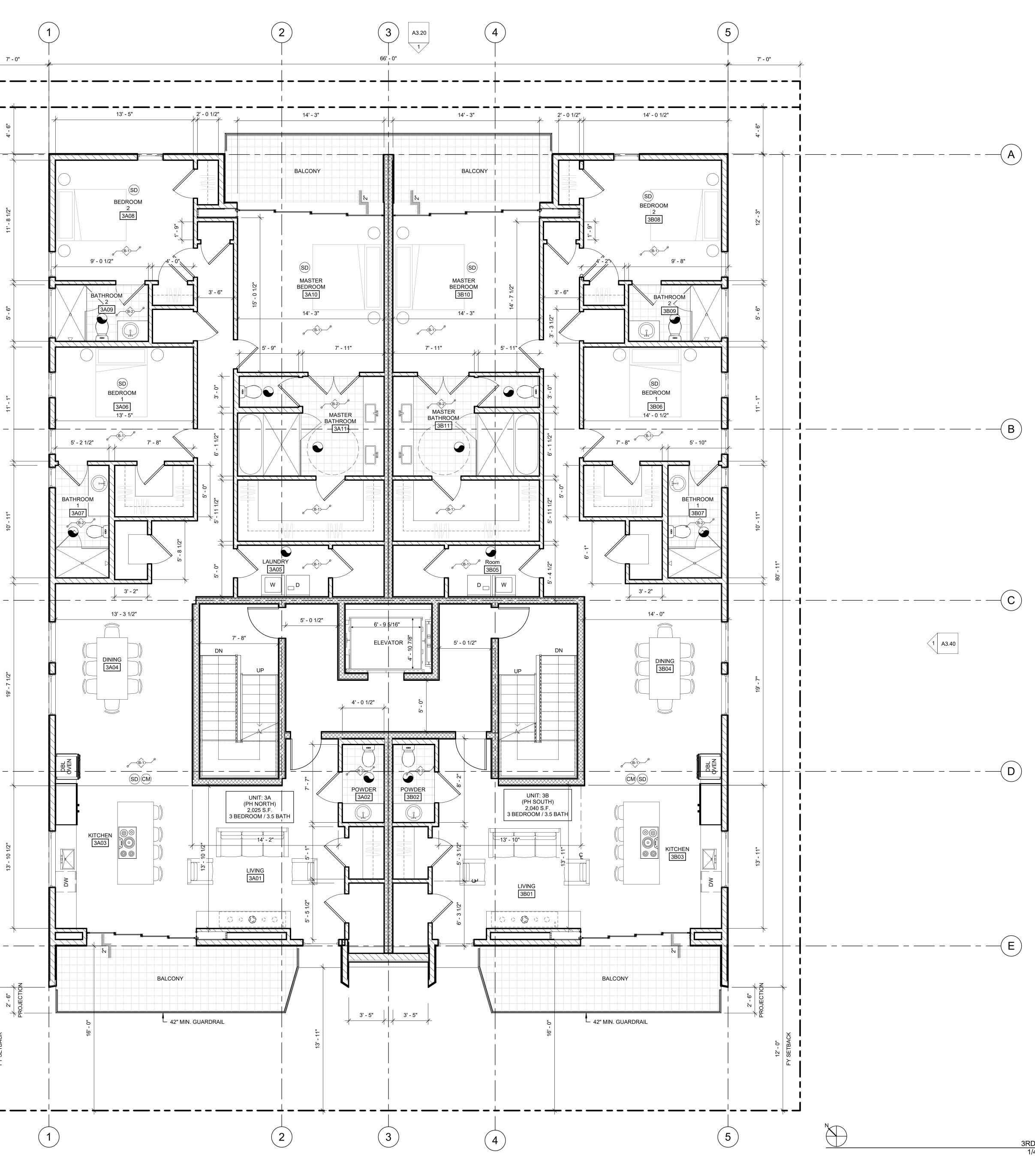




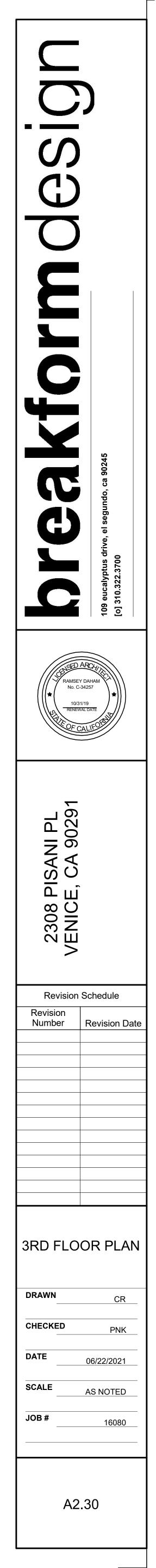




2' - 6" DJECTION



1 A3.10



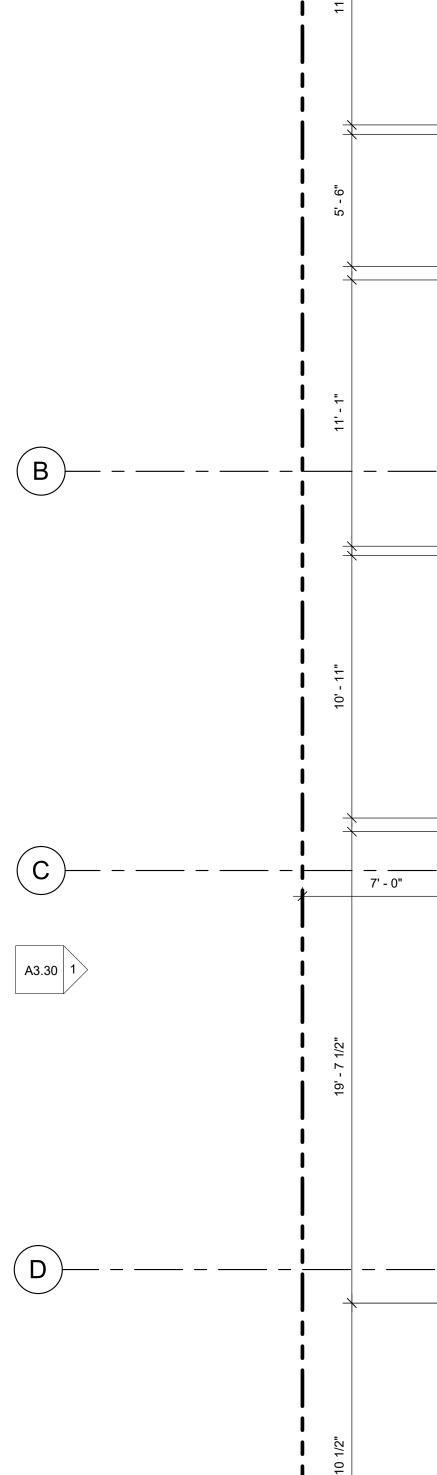
3RD FLOOR 1/4" = 1'-0"

ASSEMBLY TYPES				
WAL	LS	<u>FL00</u>	RS	
$\langle 1 \rangle$	12" CONC. PER STRC.	(A-1)	CONC FLOOR PER STRC. W/ WOOD FINISH	
2>	8" CMU PER STRC.	A-2>	CONC FLOOR PER STRC. W/ TILE FINISH	
3>	1HR 2X6 EXTERIOR WALL ASSM.	A-3>	CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH	
$\langle 4 \rangle$	2X6 EXTERIOR WALL ASSM.	B-1	WOOD JOIST PER STRC. W/ WOOD FINISH	
5	2X4 & 2X6 INTERIOR WALL ASSM.	(B-2)	WOOD JOIST PER STRC. W/ TILE FINISH	
6	2X6 PLUMBING WALL ASSM.	R-1	WOOD JOIST W/ WOOD DECK PER SPEC.	
$\langle \overline{7} \rangle$	1 HR DBL. 2x4 INTERIOR WALL ASSM.	R-2	WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC.	
8>	2 HR 2x6 VERTICAL EXIT ENCLOSURE WALL ASSM.			

### FLOOR PLAN LEGEND

9 10" CONC. PER STRC.

~ X	FLOOR TYPE
	1 HR
	2 HR
SD	SMOKE DETECTOR
	CARBON MONOXIDE
$\bigcirc$	EXHAUST (GENERAL NOTES #2,3)
X	WINDOW TAG
XXX	DOOR TAG
×	WALL TYPE
<u> </u>	ELEVATION MARKER
	PROPERTY LINE
> - > -	ACCESSIBLE ROUTE



9 -

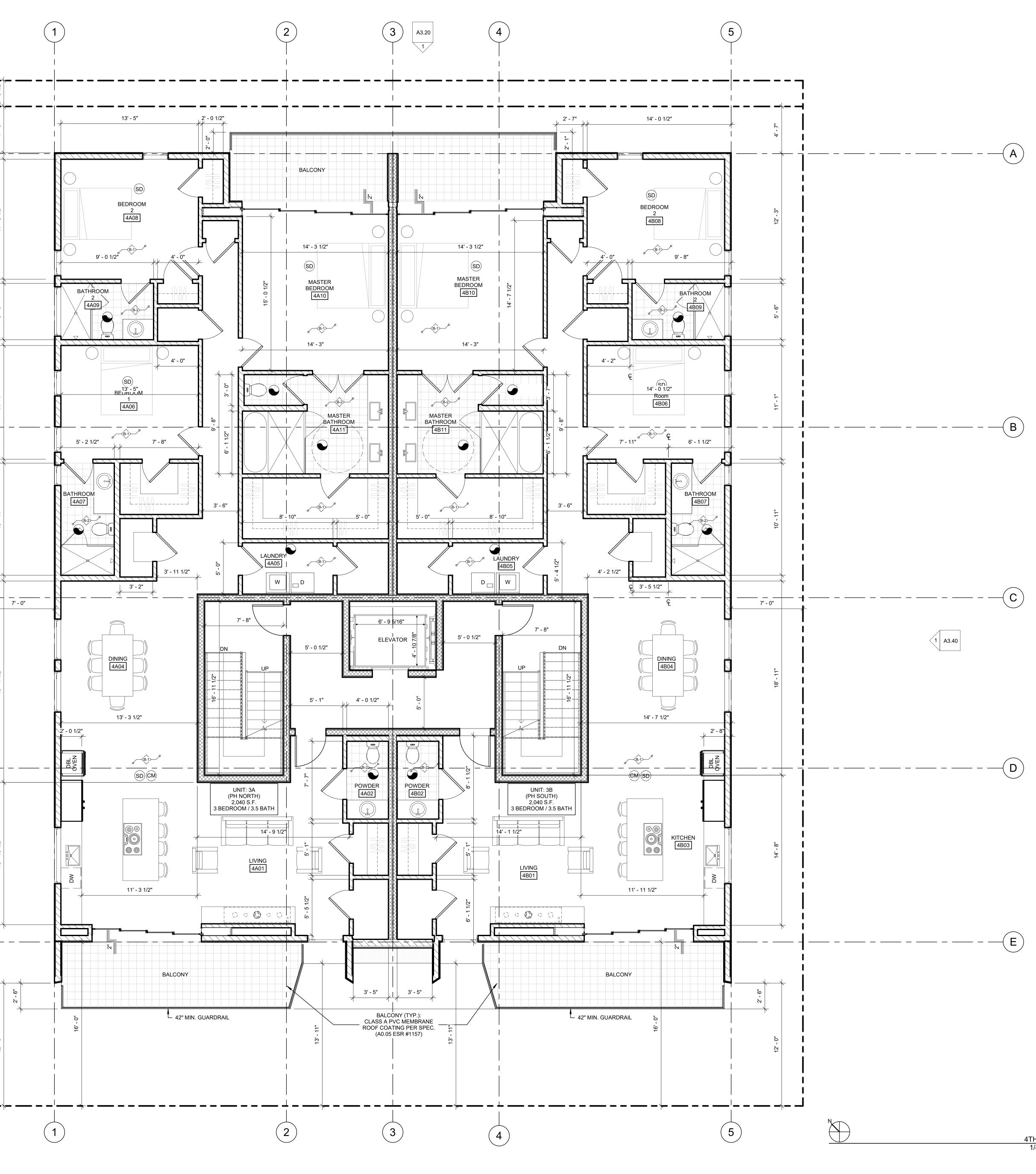
\_\_\_\_\_

( A )-

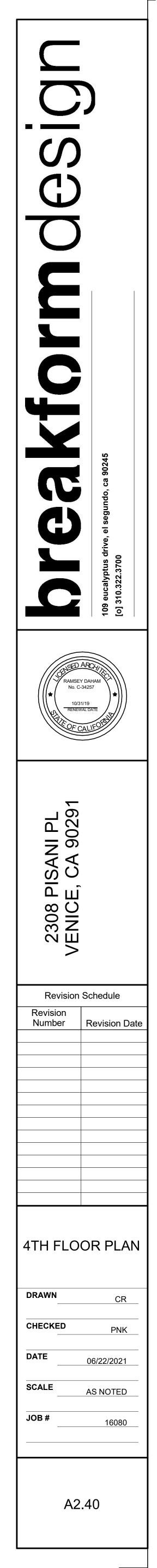
2' - 6"

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(E)— –



A3.10



4TH FLOOR 1/4" = 1'-0"

ASSEMBLY TYPES			
WAI	LLS	<u>FLOC</u>	<u>PRS</u>
$\langle 1 \rangle$	12" CONC. PER STRC.	(A-1)	CONC FLOOR PER STRC. W/ WOOD FINISH
2>	8" CMU PER STRC.	(A-2)	CONC FLOOR PER STRC. W/ TILE FINISH
$\langle 3 \rangle$	1HR 2X6 EXTERIOR WALL ASSM.	(A-3)	CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH
4	2X6 EXTERIOR WALL ASSM.	(B-1)	WOOD JOIST PER STRC. W/ WOOD FINISH
5	2X4 & 2X6 INTERIOR WALL ASSM.	B-2>	WOOD JOIST PER STRC. W/ TILE FINISH
6	2X6 PLUMBING WALL ASSM.	R-1	WOOD JOIST W/ WOOD DECK PER SPEC.
$\langle \overline{7} \rangle$	1 HR DBL. 2x4 INTERIOR WALL ASSM.	R-2	WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC.
8	2 HR 2x6 VERTICAL EXIT		

( **A** )

( B )

( C )

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(E)

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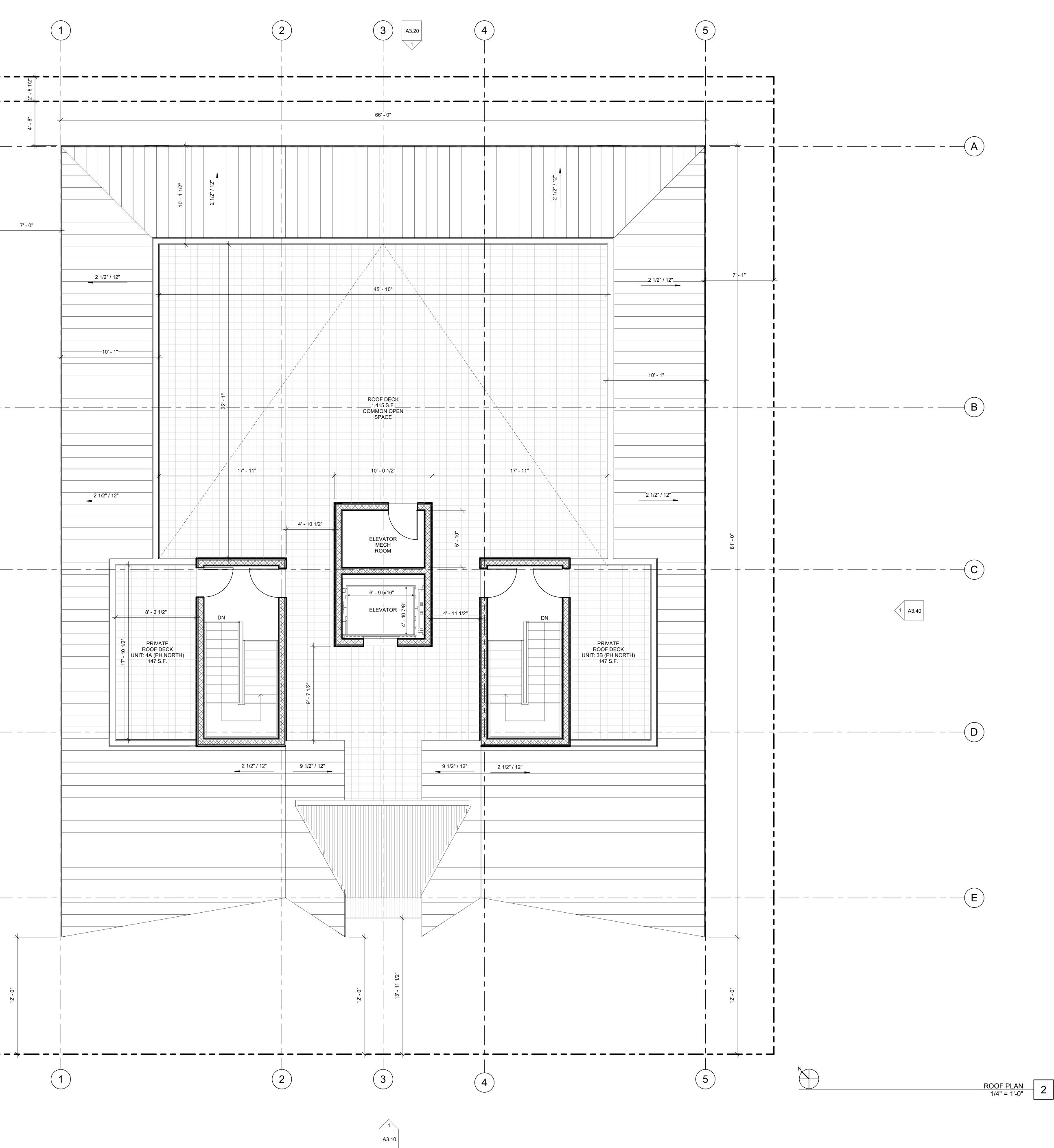
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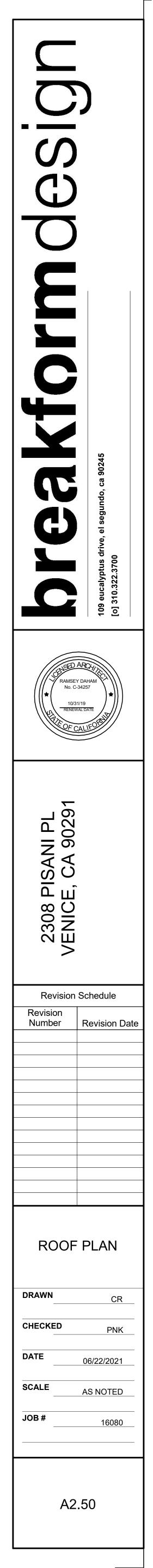
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2 HR 2x6 VERTICAL EXIT ENCLOSURE WALL ASSM. 9 10" CONC. PER STRC.

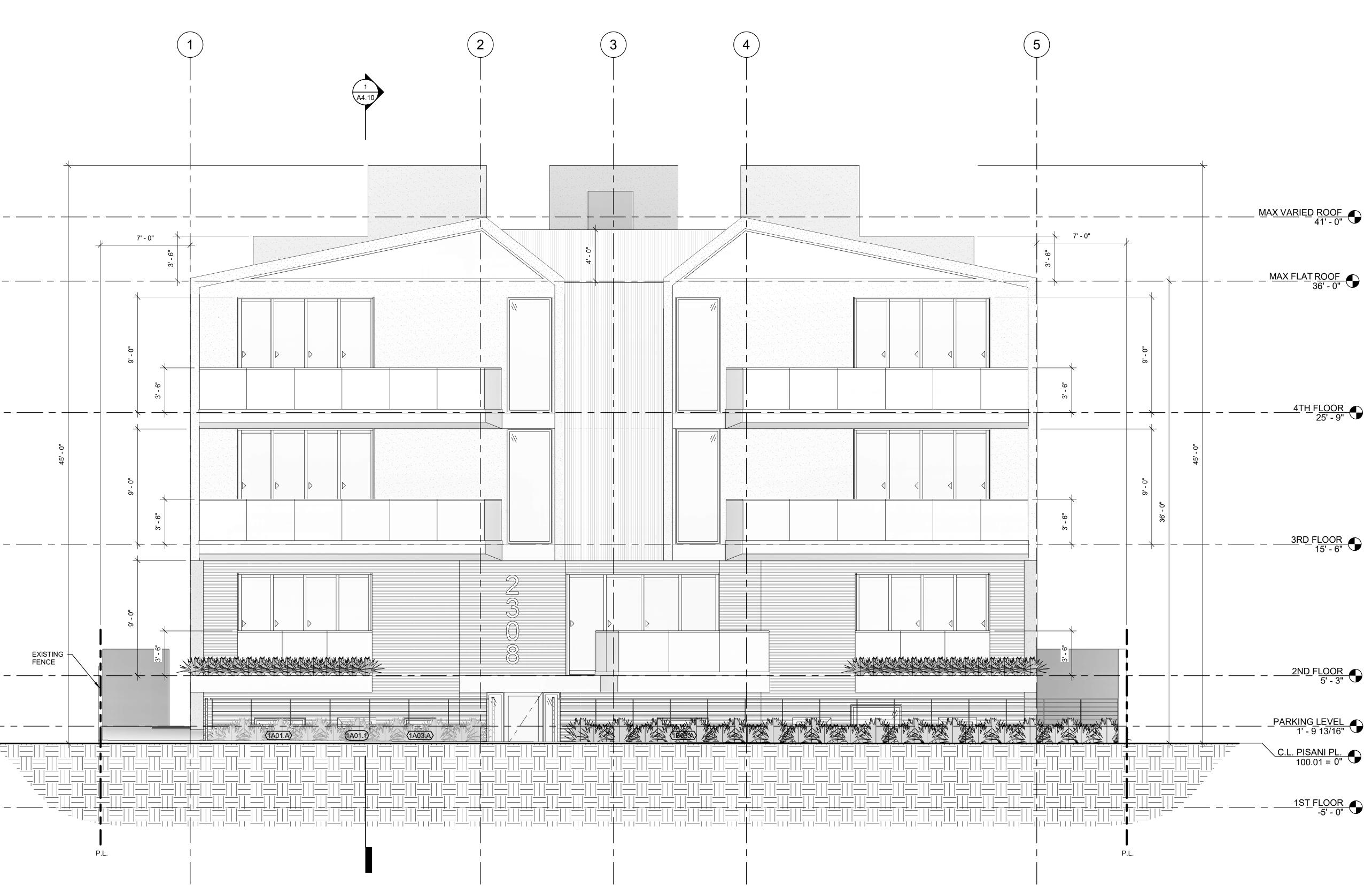
### FLOOR PLAN LEGEND

, - X - °	FLOOR TYPE
	1 HR
	2 HR
SD	SMOKE DETECTOR
	CARBON MONOXIDE
$\bigcirc$	EXHAUST (GENERAL NOTES #2,3)
X	WINDOW TAG
XXX	DOOR TAG
×	WALL TYPE
	ELEVATION MARKER
	PROPERTY LINE
$\rightarrow - \rightarrow -$	ACCESSIBLE ROUTE





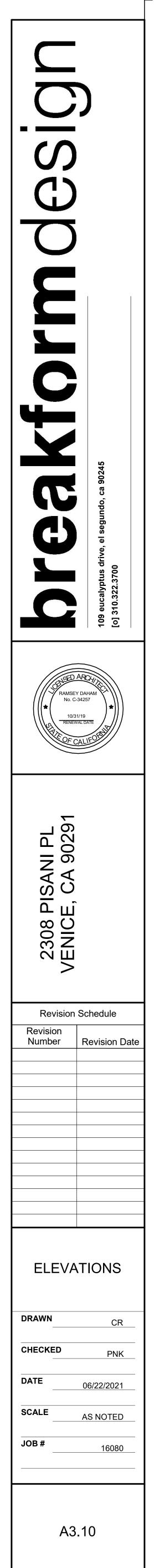
EXISTING FENCE

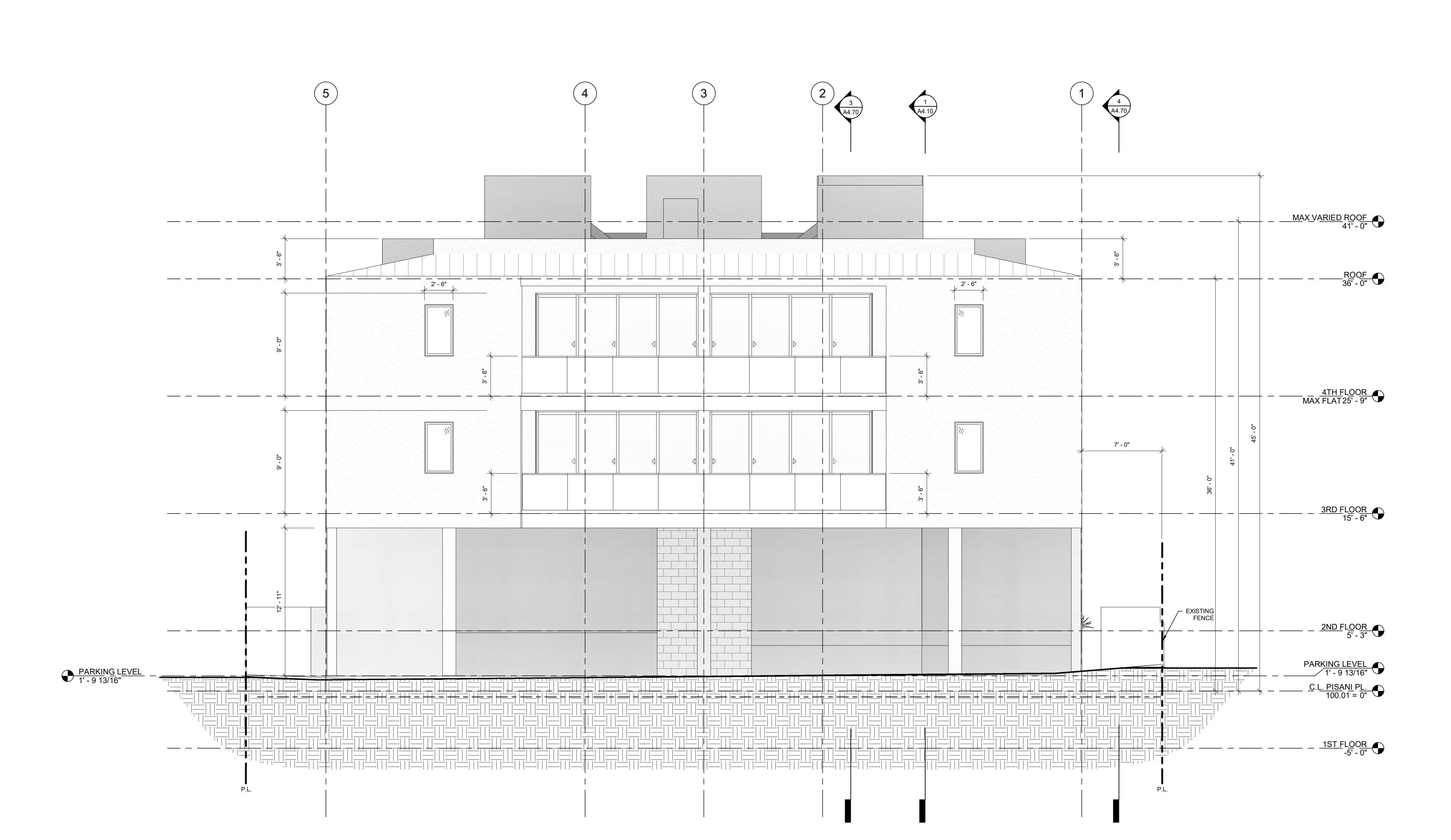


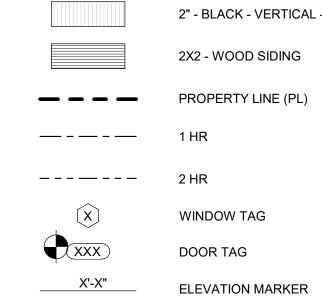
ELEVATION LEGEND		
	VERTICL STANDING SE	
$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	STUCCO	
	2" - BLACK - VERTICAL	
	2X2 - WOOD SIDING	
	PROPERTY LINE (PL)	
	1 HR	
	2 HR	
x	WINDOW TAG	
XXX	DOOR TAG	
X'-X"	ELEVATION MARKER	

## DING SEAM ROOF

RTICAL - METAL PANEL

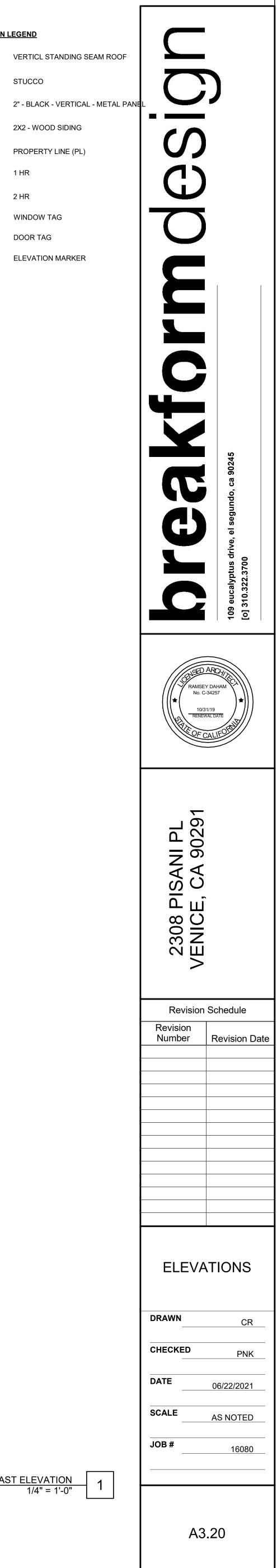


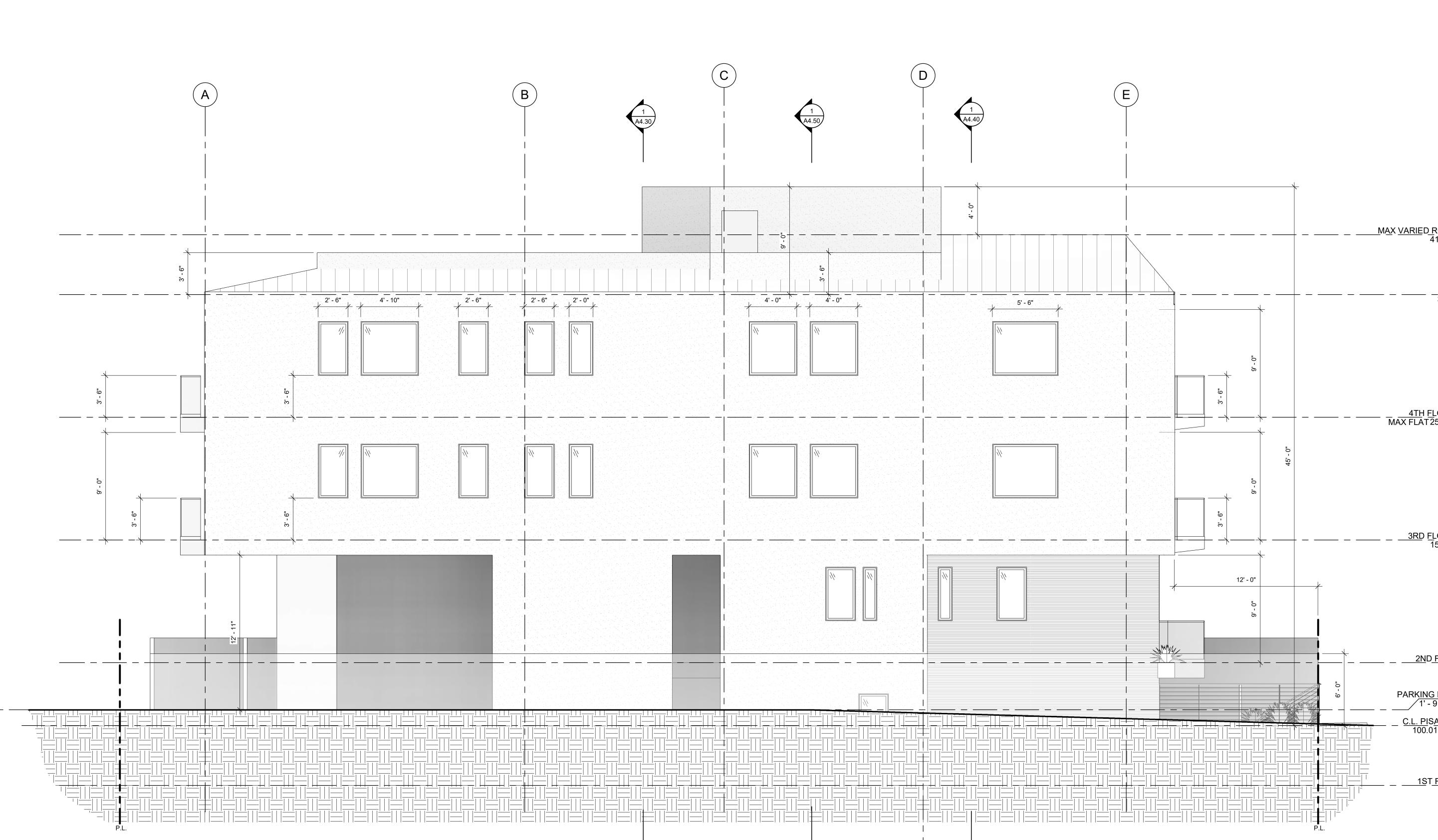




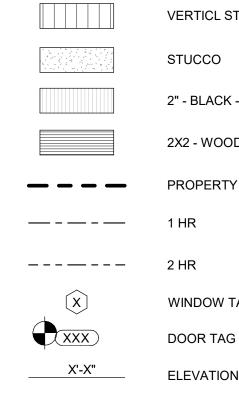
WINDOW TAG DOOR TAG

ELEVATION LEGEND

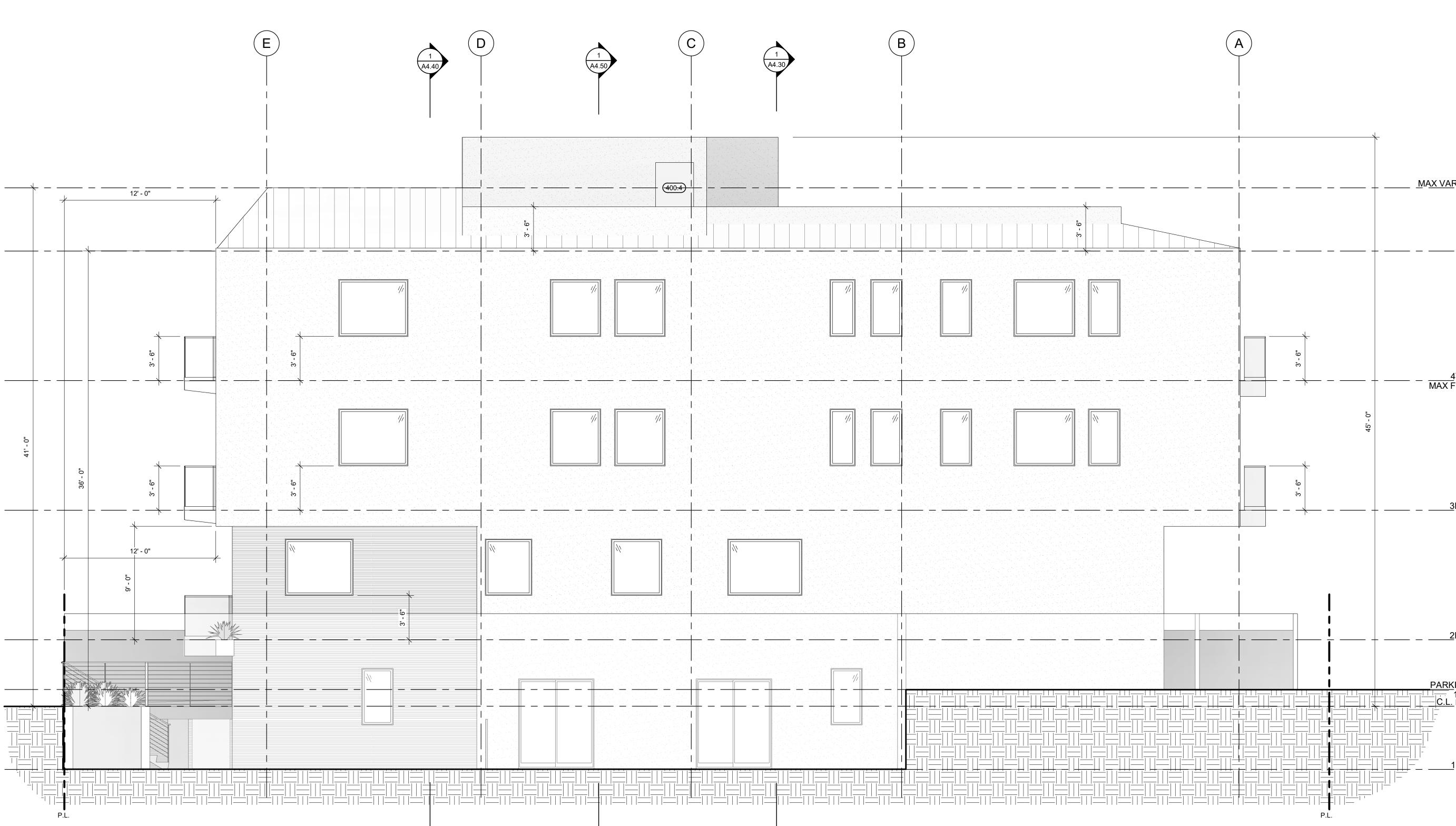




ELEVATION LEGEND



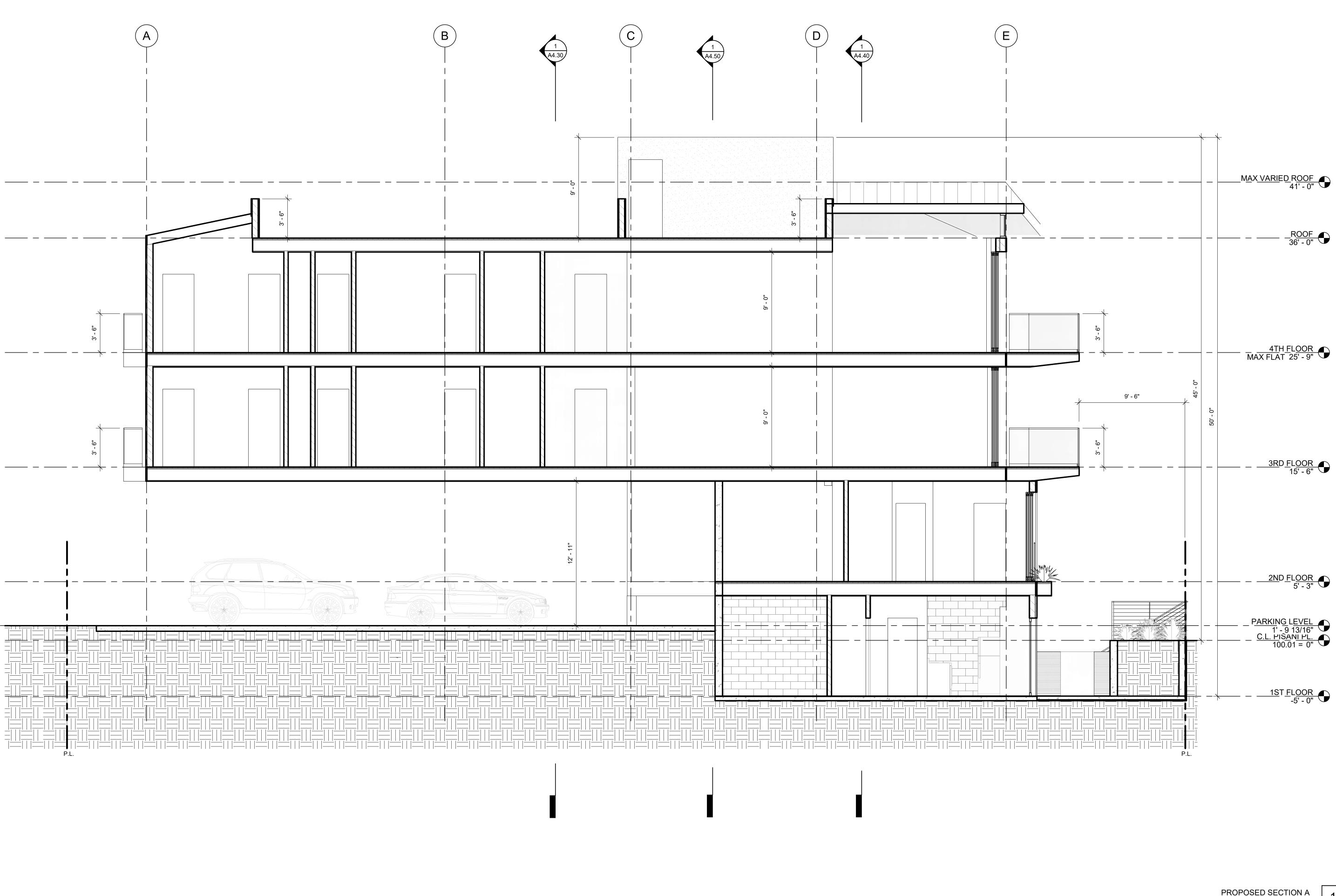
STANDING SEAM ROOF K - VERTICAL - METAL PANEL NOD SIDING TY LINE (PL) / TAG AG ON MARKER ROOF 41' - 0"	TOB eucalyptus drive, el segundo, ca 90245 [o] 310.322.3700
ROOF 36' - 0"	10/31/19 RENEWAL DATE
LOOR 25' - 9"	2308 PISANI PL VENICE, CA 90291
LOOR 15' - 6"	Revision Schedule Revision Number Revision Date
<u>9 FLOOR</u> 5' - 3"	
<u>G LEVEL</u> 9 13/16" GANI PL. 01 = 0"	
- FL <u>OOR</u> -5' - 0"	ELEVATIONS
	DRAWNCRCHECKEDPNKDATE06/22/2021SCALEAS NOTEDJOB #16080
<u>VATION</u> " = 1'-0"	A3.30



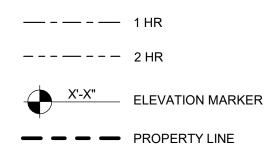
ELEVATION LEGEND		
	VERTICL ST	
$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	STUCCO	
	2" - BLACK -	
	2X2 - WOOD	
	PROPERTY	
<u> </u>	1 HR	
	2 HR	
X	WINDOW TA	
XXX	DOOR TAG	
X'-X"	ELEVATION	

PROPOSED SOUTH ELEVA 1/4" =

STANDING SEAM ROOF K - VERTICAL - METAL PANEL DD SIDING TY LINE (PL) TAG G DN MARKER ARIED ROOF ATH FLOOR ATH ATH ATH ATH ATH ATH ATH ATH ATH ATH	CENCLEYAINON
<u>1ST FLOOR</u> -5' - 0"	DRAWN <u>CR</u> CHECKED <u>PNK</u>
/ <u>ATION</u> ' = 1'-0"	DATE



## SECTION LEGEND

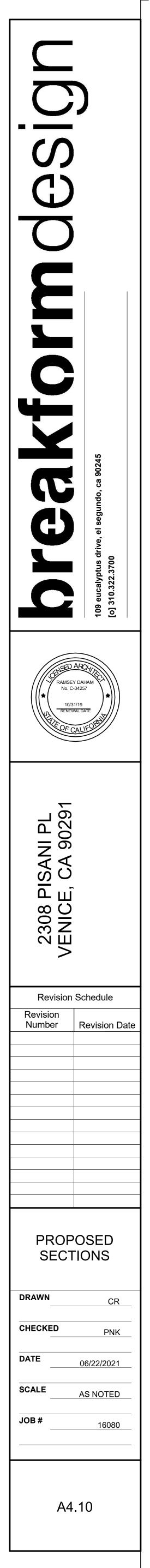


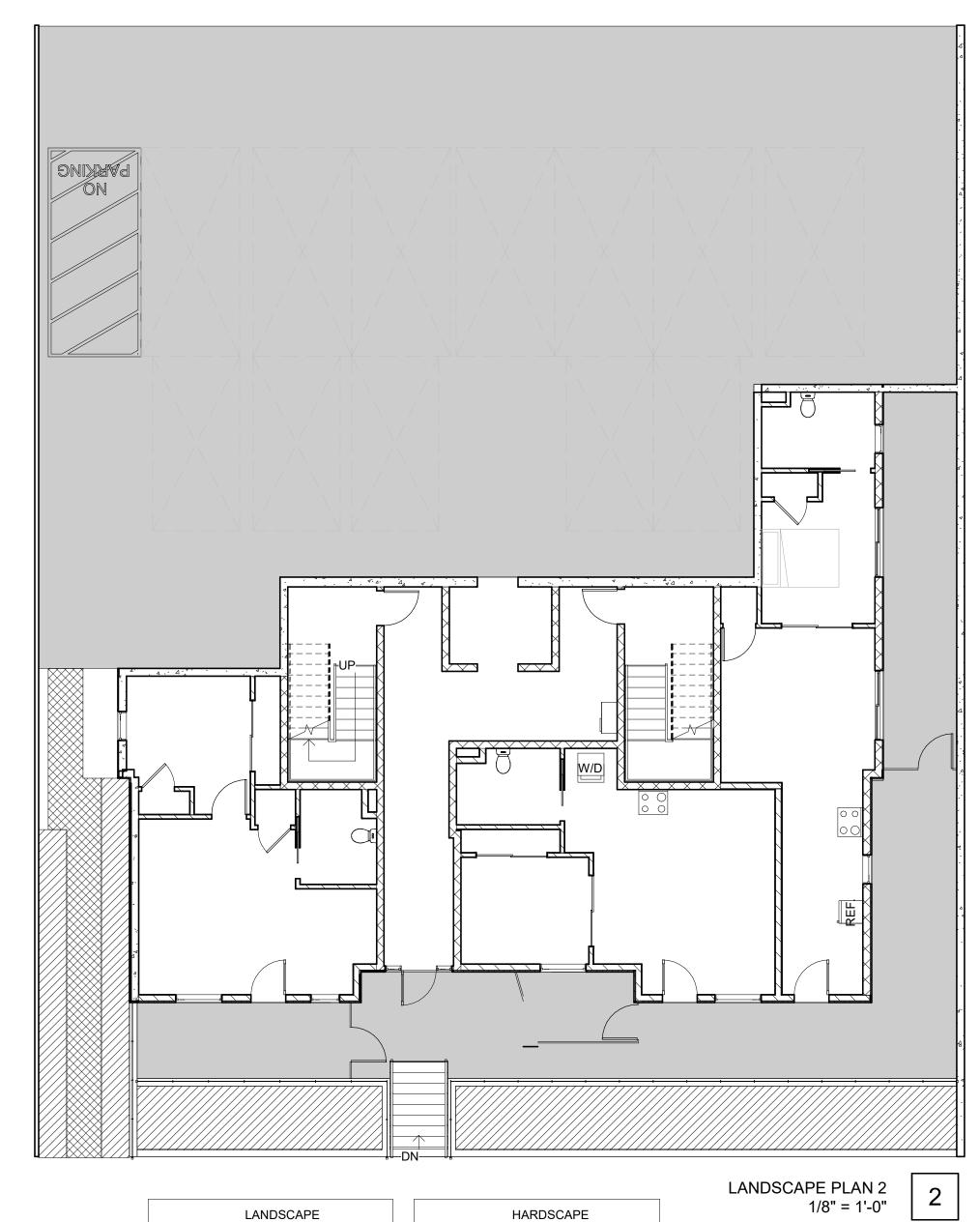
PROPOSED SECTION A 1/4" = 1'-0" 4

<u>3RD FLOOR</u> 15' - 6"

PARKING L<u>EVEL</u> 1' - 9 13/16" <u>C.L. PIŠANI PL.</u> 100.01 = 0"

<u>1ST FLOOR</u> -5' - 0"





	LANDSCAPE	
TURF AR	EA	
	REA	ļ
TOTAL		ļ

SCAPE	
	0 S.F.
	500 S.F.
	500 S.F.

	HARDSCAPE	
		134 S.F.
-	IMPERVIOUS	4,403 S.F.
	TOTAL	4,537 S.F.

PLANTIN	NG LEG	END						
SYMBOL	QTY.	SIZE	SPACING	BOTANICAL NAME / COMMON NAME	NATIVE	WUCOLS WATER USE TYPES	WATER USE VALUES	HYDRO ZONE
	59	1' - 1.5'	12"	CAREX OSHIMENSIS CVS.	NO	MED	0.5	2
$\square$	25	N/A	18"- 24" SPREADING	DICHONDRA ARGENTEA	NO	MED	0.5	2
+	2	15'- 25'	N/A	CERCIS SILIQUASTRUM	NO	MED	0.4	2
	6	5'- 15'	5'- 15'	BUXUS SEMPERVIRENS	NO	MED	0.4	2
	14	2'- 3'	1'- 2'	LAVANDULA SPP.	NO	LOW	0.3	1
	3	4'- 6'	2'- 3'	EUCOMIS PALLIDIFLORA SSP. POLE-EVANSII	NO	MED	0.5	2
	14	36" - 48"	24" - 36"	TRADESCANTIA PALLIDA / SPIDERWORT	NO	MED	0.4	2
A.A.A.A.A.A.A.A.A.A.A.A.A.A.A.A.A.A.A.	33	24" - 36"	24" - 36"	ILEX CRENATA / BOX-LEAVED HOLLY	NO	MED	0.4	2
	11	6'- 8'	4'	HYDRANGEA PANICULATA HYBRIDS	NO	MED	0.4	1

CAREX OSHIMENSIS CVS.





EUCOMIS PALLIDIFLORA SSP. POLE-EVANSII TRADESCANTIA PALLIDA / SPIDERWORT



HYDRANGEA PANICULATA HYBRIDS



CERCIS SILIQUASTRUM



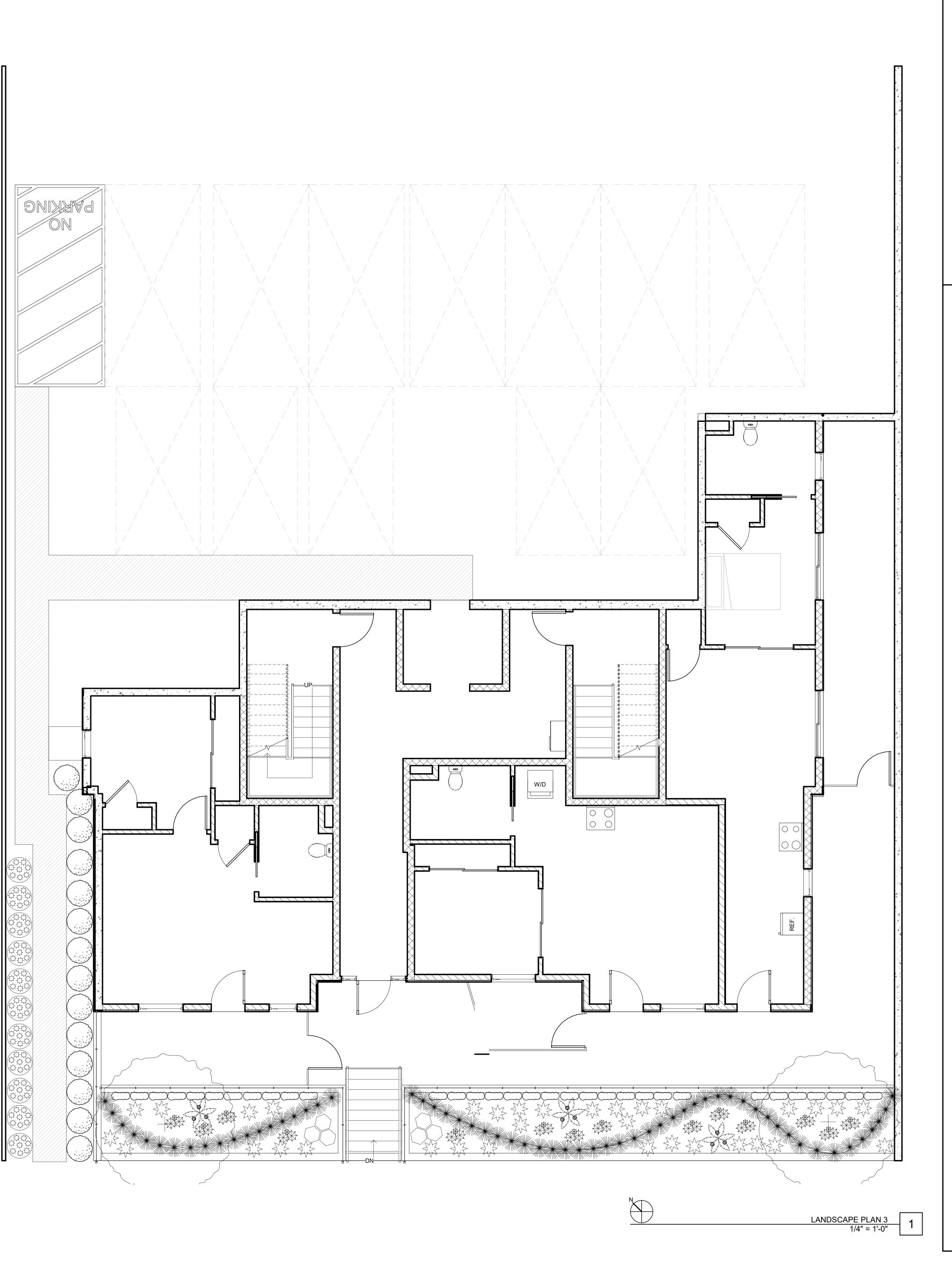


BUXUS SEMPERVIRENS



ILEX CRENATA / BOX-LEAVED HOLLY A.





	PROJECT SUMMARY:	NEW 8-UNIT MULTI-FAMILY RESID STORY BUILDING WITH PARKING *UTILIZING INCENTIVES PER LAM
	SCOPE OF WORK:	NEW FOUNDATION, STRUCTURE, CONSTRUCTION (MECHANICAL / PLUMBING) OF NEW 8 UNIT MULT RESIDENCES.
	PROJECT ADDRESS:	2308 PISANI PLACE, VENICE, CA
	NET LOT AREA (AFTER DEDICATIONS):	7,800 S.F.
	ZONE: NUMBER OF STORIES:	R3-1 FOUR (4)
	MAX HEIGHT:	41'-0" W/ VARIED ROOF, 36'-0" FLA
	TOTAL PARKING: TRACT:	12 SPACES VENICE GATEWAY
	BLOCK:	N
	LOT: ASSESSOR PARCEL NUMBER (APN):	14, 15 4237005010
	GROSS LOT AREA:	4237003010 8,000 S.F.
	BUILDABLE LOT AREA:	5,425 S.F.
	RESIDENTIAL S.F.: PARKING S.F.:	11,447 S.F. 2,433 S.F.
	PROJECT TOTAL S.F.:	15,016 S.F.
	NUMBER OF DWELLING UNITS: OPEN SPACE S.F.:	EIGHT (8) 1,615 S.F.
	CONSTRUCTION TYPE:	TYPE V-A
	SPRINKLER:	NFPA-13
1. QU SHOW AND S 2. AL SITE. 3. CC SPEC 4. CC COMI ALL C	TING NOTES JANTITIES GIVEN FOR PLANT MATERIALS S VN FOR CONVENIENCE ONLY AND ARE SU SUPPLY SUFFICIENT NUMBER OF PLANTS L HEADER AND BAMBOO ROOT BARRIERS ONTRACTOR SHALL INSTALL PLANT MATEF FIFICATIONS, DRAWINGS AND DETAILS. ONTRACTOR SHALL PROVIDE A MAINTENAL MENCING AT THE DATE OF FINAL ACCEPT/ CARE PERTAINING TO ALL WORK INSTALLE JMENTS.	BORDINATE TO THE SPAC TO FULFILL SPACING REQ SHALL BE LOCATED BY T RIAL IN ACCORDANCE WIT NCE PERIOD OF NOT LESS ANCE. SUCH MAINTENANC
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diami 8. se Prep	EMOVE ALL DEBRIS, WEEDS, EXCESS MAT ETER FROM PLANTING AREAS PRIOR TO F EE DETAILS AND SPECIFICATIONS FOR ST ARATION, AND BACKFILL REQUIREMENTS LL PLANT MATERIALS SHALL BE APPROVEI	PREPARATION & AGAIN PR AKING METHOD, PLANT PI
INSTA 10. F	ALLATION.	
11. C		
••••	CONTRACTOR SHALL NOTIFY LANDSCAPE	PROJECT OBSERVATION S
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