

/Users/leilaerniaz/Dropbox/2021/Projects/2106 Oceanfront Walk Residence/2106 Archited Drawing Files/2106 Oceanfront Residence COASTAL/2106

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<p>PERMITTING REQUIREMENTS</p> <p>SEPARATE PERMITS SHALL BE ISSUED FOR THE FOLLOWING:</p> <ol style="list-style-type: none"> OSHA REQUIRED SHORING SEWER CAP SOLAR PANELS RETAINING WALLS PROPERTY LINE BLOCK WALLS DEMOLITION 		
<p>SPECIAL REQUIREMENTS</p> <ol style="list-style-type: none"> The building shall be equipped with an automatic residential fire sprinkler system in accordance with section R313.3.3 or NFPA 13D (R313, 12.21A17(a)) The Sprinkler System shall be approved by Plumbing Division prior to installation. 		
<p>AREA MAP</p> 	<p>SECURITY REQUIREMENTS</p> <ol style="list-style-type: none"> All entry doors to dwelling units or guest rooms shall be arranged so that the occupant has a view of the area immediately outside the door without opening the door. Such a view may be provided by a door viewer, through windows located in the vicinity of the door or through view ports in the door or adjoining wall. (6706) Screens, barricades, or fences made of a material which would preclude human climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8 feet of the utility pole or similar structure. (6707) Wood flush type doors shall be 1 3/8" thick minimum with solid core construction. 91.6709.1 - Door stops of in swinging doors shall be of one piece construction with the jamb or joined by rabbet to the jamb. (6709.4) Every door in a security opening for an apartment house shall be provided with a light bulb (60 watt min.). At a max. height of 8 feet on the exterior. (6708) All pin type hinges accessible from the outside shall have non removable hinge pins. Hinges shall have a min. 1/4" dia. steel jamb stop with 1/4" min. protection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2 1/2" long. (6709.5, 6709.7) Provide dead bolt bolts with hardened inserts, deadlocking latch with key operated locks on the exterior Doors must be operable from the inside without a key, special knowledge or special effort (latch not required in B, F and S occupancies). (6709.2) Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8", and hook shaped or an expanding lug deadbolt shall have a min. throw of 3/4". (6709.2) Wood panels type doors must have at least 9/16" thick with shaped portions not less than 1/4" thick and individual panels must be no more than 300 sq. in. in area. Mullions shall be considered a part of the adjacent panels except mullions not over 18" long may have an overall width of not less than 2". Siles and rails shall be of solid lumber in thickness with overall dimension of not less than 1 3/8" and 3" in width. (91.6709.1 Item 2) Sliding doors shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially closed position. (6710) Sliding glass doors shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in Sect. 6717.1. Metal or wooden overhead doors or sliding doors shall be secured with a cylinder lock, pad lock with a min. 9/32" dia. hardened steel shackle and bolted, hardened steel hosps, metal slide board, bolt or equal device unless secured electrically operated. (6711) Provide metal guides at top and bottom of metal accordion grate or grille type doors and cylinder locks or pad locks. Cylinder guards shall be installed on all cylinder locks when over the cylinder projects beyond the face of the door or otherwise is accessible to gripping tools. (6712) In B, F, M and S occupancies, panels of glazing with at least one dimension greater than 5" but less than 48", shall be constructed of tempered or approved burglary - resistant material or protected with metal bars or grills (6714) Glazed openings within 40" of the door lock when the door is in the closed position, shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens or grills having a max. opening of 2". The provisions of this section shall not apply to view ports or windows which do not exceed 2" in their greatest dimension. (6713) Louvered windows shall be protected by metal bars or grills with openings that have at least one dimension of 6" or less, which are constructed to preclude human entry. (6715.3) Other operable windows shall be provided with substantial locking devices. In B, F, M and S occupancies, such devices shall be glide bars, bolts, cross bars, and / or padlocks with a min. 9/32" hardened steel shackles and bolted hardened steel hosps. (6715.2) Sliding windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. (6715.1) Sliding windows shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in Sect. 6717.2. Any release for metal bars, grills, grates or similar devices constructed to preclude human entry that are installed shall be located on the inside of the adjacent room and at least 24" from the closest opening through such metal bars, grills, grates or similar devices that exceed 2" in any dimension. (91.6715.4) All other openings must be protected by metal bars or grills with openings of not less than 6" in one dimension (91.6716) 	<p>PLAN CHECK CORRECTION NOTES</p>



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PROJECT LOG:
11/27/2022: Schematic Design
03/15/2022: Design Development 1
05/01/2022: CDP PRELIM Review
07/20/2022: CDP Resubmittal

Oceanfront Walk Residence
4819 Oceanfront Walk, Marina Del Rey, CA 90292

TITLE SHEET
T1.0

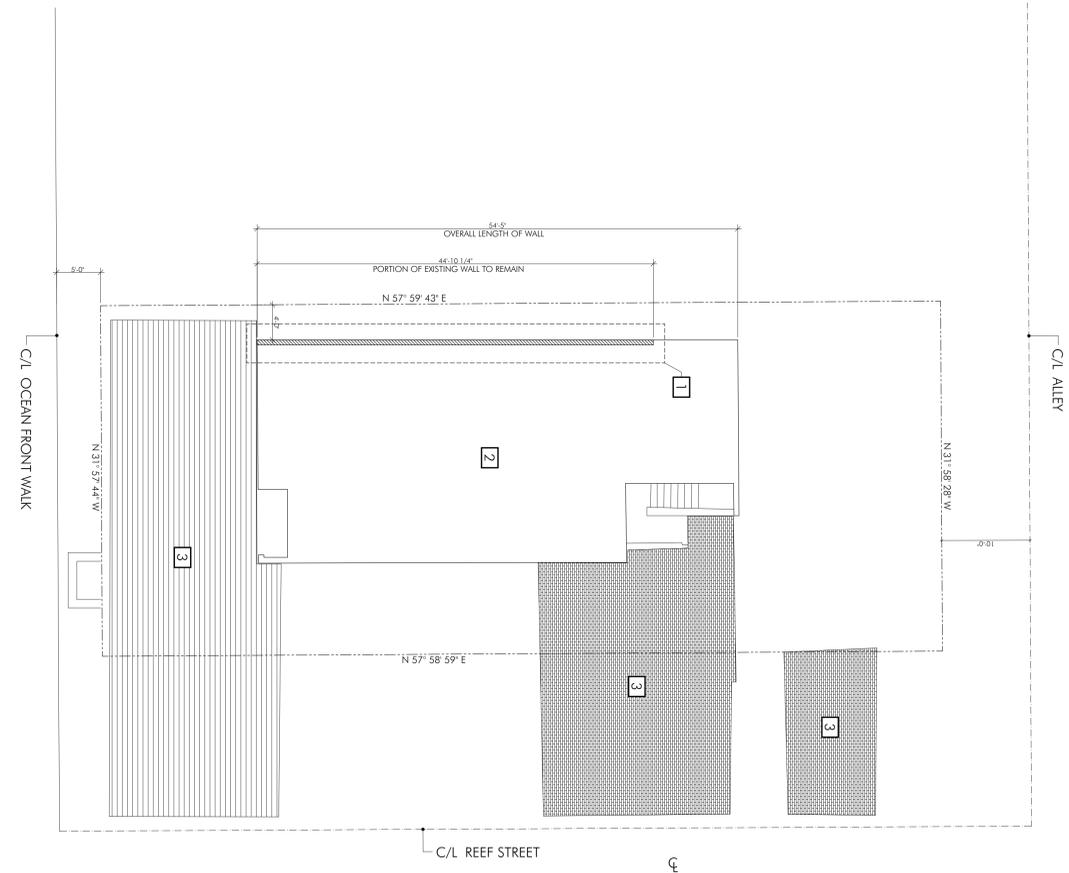
09/27/22
Oceanfront Walk Residence #2106

PROJECT LOG:

11/27/2022: Schematic Design
03/15/2022: Design Development 1
05/01/2022: CDP PRELIM Review
07/20/2022: CDP Resubmittal

DEMOLITION NOTES:

- WHERE NOTED ON THE DEMOLITION PLAN, EXISTING WALLS ARE TO REMAIN. ALL FRAMING MEMBERS AND EXTERIOR SHEETING SHALL REMAIN IN PLACE AND PROPER CARE SHALL BE MADE TO MAINTAIN THEIR CONDITION THROUGHOUT THE LIFE OF THE CONSTRUCTION PROCESS. ALL INTERIOR FINISHES AND MECHANICAL SYSTEMS ARE TO BE REMOVED AS A PART OF THE DEMOLITION PROCESS.
- EXCEPT WHERE NOTED ON THE DEMOLITION PLAN AS KEYNOTE 1, THE REMAINING SINGLE DWELLING STRUCTURE SHALL BE REMOVED AS A PART OF THE DEMOLITION PROCESS. PROPER CARE SHALL BE MADE TO PROTECT ALL PERSONS WORKING ON THE JOB SITE.
- UNLESS INDICATED AS OTHER ALL EXISTING SITE IMPROVEMENTS ARE TO BE REMOVED. ALL DEBRIS SHALL BE REMOVED AND TRANSPORTED AS PER THE TERMS OF THE BUILDING PERMIT.



FLOOR PLAN SYMBOLS

<p>Whole House Exhaust Fan, see T1.0 for cfm Calculation and T1.14 for Cut Sheet</p> <p>Exhaust Fan</p> <p>Wall Tags, see T1.5a and T1.5b for Wall Schedule</p> <p>For Details see A9.0 and A9.1</p> <p>H Window Heads J Window Jamb S Window Sills P Parapet R Guard Rails F Site Walls and Fences K Skylights</p>	<p>Sim Similar</p> <p>T.P Top of Parapet</p> <p>T.S Top of Slope</p> <p>U Step(s) Up</p> <p>D Step(s) Down</p> <p>Area Drain</p> <p>Entry</p> <p>Combo Smoke / CO Detector</p> <p>KITCHEN</p> <p>Room Label with Room Number</p> <p>Finish Floor Material</p>	<p>1 000 Door Label</p> <p>A 000 Window Label</p> <p>Roof Drain from Floor above</p> <p>Roof Drain</p> <p>Interior Elevation Tag, see A5.0 to A5.5</p> <p>Crawl Space Vent below, 30" x 15" see T1.0 for Calculation</p> <p>Crawl Space Access Location, minimum 18" x 24"</p>
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FLOOR PLAN NOTES

- The panel or sub-panel shall provide capacity to install a 40 Ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch over-current protective device.
- The service panel or sub-panel circuit directory shall identify the over-current protective device space(s) reserved for future EV charging as EV CAPABLE. The raceway termination location shall be permanent and visibly marked EV CAPABLE.
- Where symbol is provided in the plan, the exhaust fan shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building.
- Fans NOT functioning as a component of a whole house ventilation system must be controlled by a humidity control.
- All exposed concrete flat work shown shall be uncolored smooth cement finish to achieve a SRI of 0.5 min.
- Vehicular access doors shall comply with section R609.4.
- The main Services Panel shall have a min. busbar rating of 200 amps.
- The main electrical Service Panel shall have a reserved space to allow for installation of a double pole circuit breaker for a future solar electrical installation. The reserved space shall be positioned at the opposite (load) end from the input feeder location or main circuit location and shall be permanently marked as "For Future Solar Electric"
- All interior and exterior stairways shall be illuminated (R303.7 & R303.8)
- For Wall Schedule see T1.5a and T1.5b

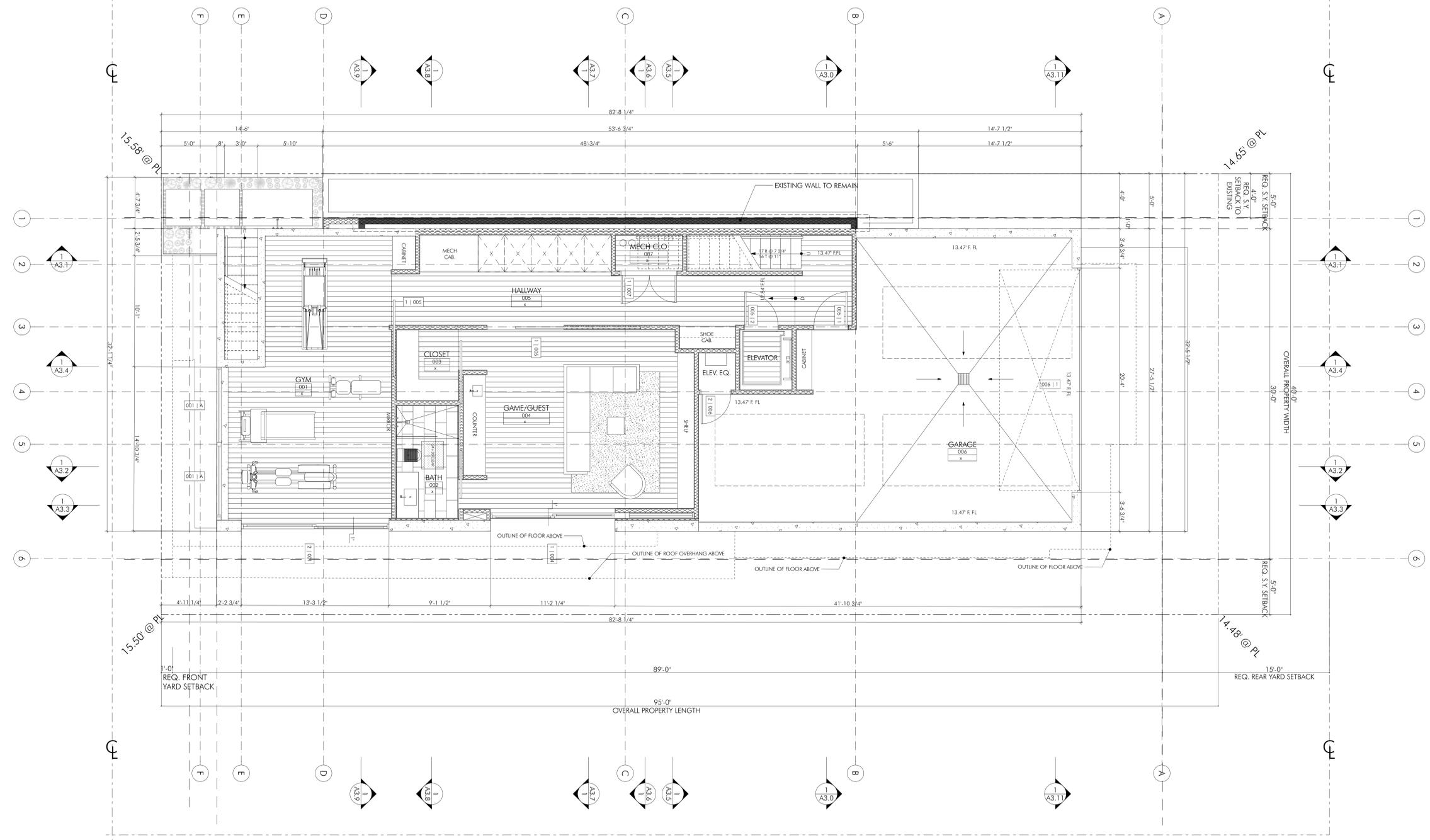
DEMOLITION PLAN

1/8" = 1' - 0"

A1.0a

08/17/22
Oceanfront Walk Residence #2106

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FLOOR PLAN DATA :

FLOOR AREA: 1,283.00 SQ. FT. R3 OCCUPANCY (ZONING)
FLOOR AREA: 2,173.00 SQ. FT. R3 OCCUPANCY (BUILDING)

FLOOR PLAN SYMBOLS

	Whole House Exhaust Fan, see T1.0 for cfm Calculation and T1.14 for Cut Sheet		Exhaust Fan		Wall Tags, see T1.5a and T1.5b for Wall Schedule		H Window Heads		J Window Jamb		S Window Sills		P Parapet		R Guard Rails		F Site Walls and Fences		K Skylights												
	KITCHEN Room Label with Room Number Finish Floor Material		Similar		Top of Parapet		Top of Slope		Step(s) Up		Step(s) Down		Area Drain		Entry		Combo Smoke / CO Detector		Door Label		Window Label		Roof Drain from Floor above		Roof Drain		Interior Elevation Tag, see A5.0 to A5.5		Crawl Space Vent (below, 30" x 15" see T1.0 for Calculation)		Crawl Space Access Location, minimum 18" x 24"

FLOOR PLAN NOTES

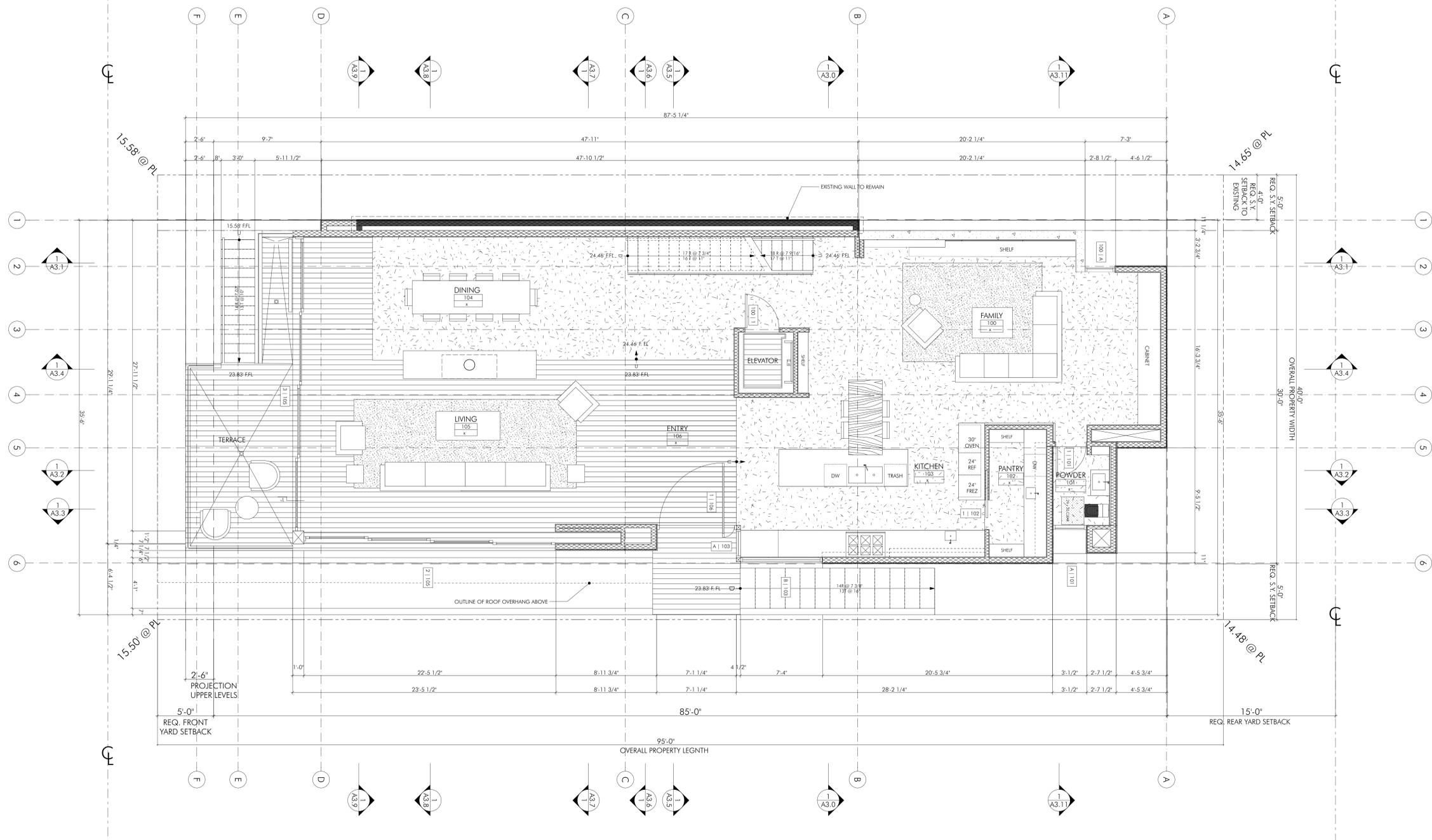
- The panel or sub-panel shall provide capacity to install a 40 Ampere minimum dedicated branch circuit and (space(s)) reserved to permit installation of a branch over-current protective device.
- The service panel or sub-panel circuit directory shall identify the over-current protective device space(s) reserved for future EV charging as EV CAPABLE. The raceway termination location shall be permanent and visibly marked EV CAPABLE.
- Where symbol is provided in the plan, the exhaust fan shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building.
- Fans NOT functioning as a component of a whole house ventilation system must be controlled by a humidity control.
- All exposed concrete flat work shown shall be uncolored smooth cement finish to achieve a SRI of 0.3 min.
- Vehicular access doors shall comply with section R609.4.
- The main Services Panel shall have a min. busbar rating of 200 amps.
- The main electrical Service Panel shall have a reserved space to allow for installation of a double pole circuit breaker for a future solar electrical installation. The reserved space shall be positioned at the opposite (load) end from the input feeder location or main circuit location and shall be permanently marked as "For Future Solar Electric"
- All interior and exterior stairways shall be illuminated (R303.7 & R303.8)
- For Wall Schedule see T1.5a and T1.5b

GROUND FLOOR PLAN

1/4" = 1' - 0"

A1.1

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REEF STREET

FLOOR PLAN DATA :

FLOOR AREA: 1,927.00 SQ. FT. R3 OCCUPANCY (ZONING)
FLOOR AREA: 2,726.00 SQ. FT. R3 OCCUPANCY (BUILDING)

FLOOR PLAN SYMBOLS

	Whole House Exhaust Fan, see T1.0 for cfm Calculation and T1.14 for Cut Sheet		Exhaust Fan		Wall Tags, see T1.5a and T1.5b for Wall Schedule		H Window Heads		J Window Jamb		S Window Sills		P Parapet		R Guard Rails		F Site Walls and Fences		K Skylights												
	KITCHEN Room Label with Room Number Finish Floor Material		Similar		T.P Top of Parapet		T.S Top of Slope		U Step(s) Up		D Step(s) Down		Area Drain		Entry		Combo Smoke / CO Detector		Door Label		Window Label		Roof Drain from Floor above		Roof Drain		Interior Elevation Tag, see A5.0 to A5.5		Crawl Space Vent below, 30" x 15" see T1.0 for Calculation		Crawl Space Access Location, minimum 18" x 24"

FLOOR PLAN NOTES

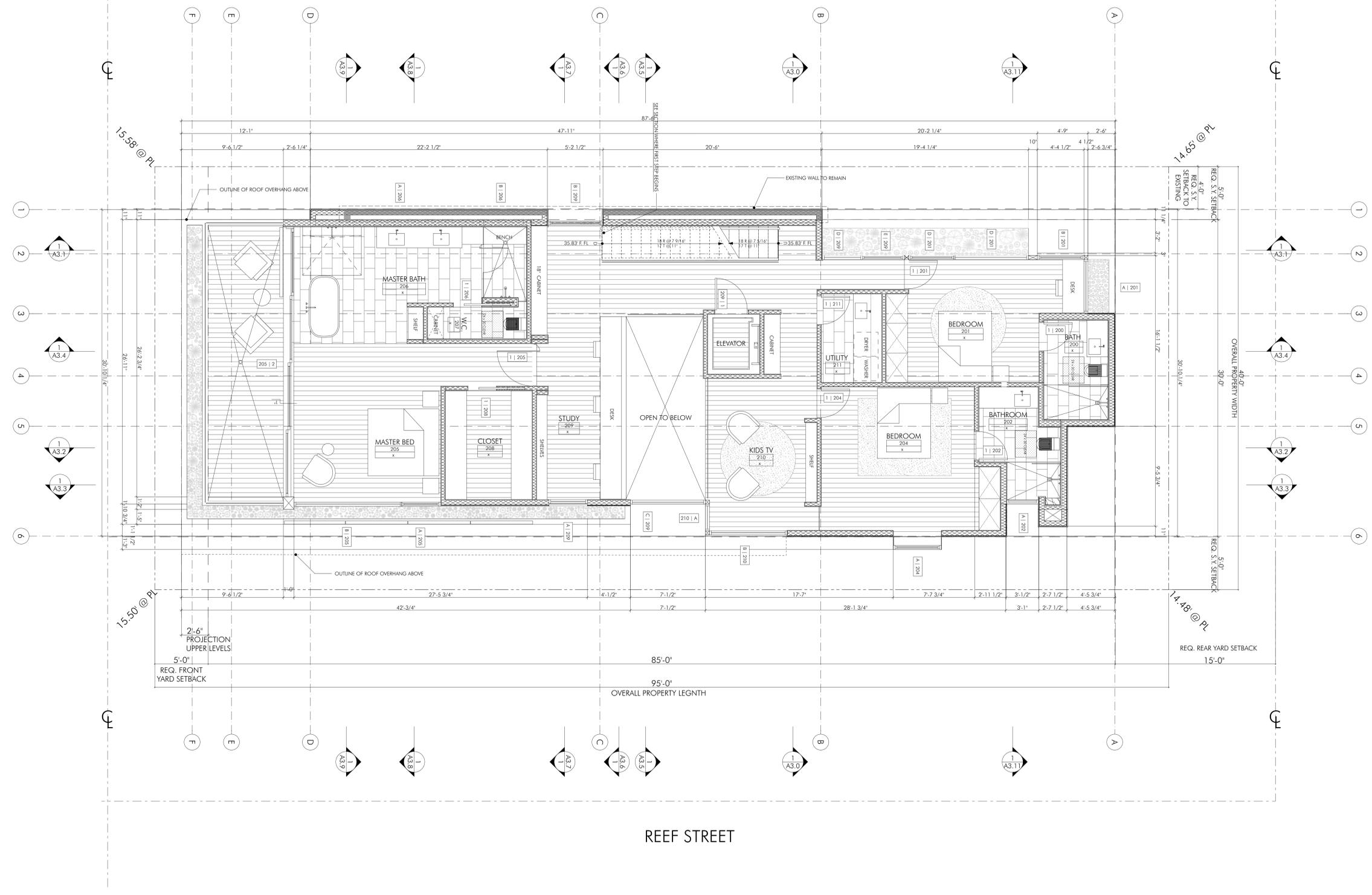
- The panel or sub-panel shall provide capacity to install a 40 Ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch over-current protective device.
- The service panel or sub-panel circuit directory shall identify the over-current protective device space(s) reserved for future EV charging as EV CAPABLE. The raceway termination location shall be permanent and visibly marked EV CAPABLE.
- Where symbol is provided in the plan, the exhaust fan shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building.
- Fans NOT functioning as a component of a whole house ventilation system must be controlled by a humidity control.
- All exposed concrete flat work shown shall be uncolored smooth cement finish to achieve a SRI of 0.5 min.
- Vehicular access doors shall comply with section R609.4.
- The main Services Panel shall have a min. busbar rating of 200 amps.
- The main electrical Service Panel shall have a reserved space to allow for installation of a double pole circuit breaker for a future solar electrical installation. The reserved space shall be positioned at the opposite (load) end from the input feeder location or main circuit location and shall be permanently marked as "For Future Solar Electric"
- All interior and exterior stairways shall be illuminated (R303.7 & R303.8)
- For Wall Schedule see T1.5a and T1.5b

SECOND FLOOR PLAN

1/4" = 1' - 0"

A1.2

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FLOOR PLAN DATA :
FLOOR AREA: 1,841.00 SQ. FT. R3 OCCUPANCY (ZONING)
FLOOR AREA: 2,202.00 SQ. FT. R3 OCCUPANCY (BUILDING)

FLOOR PLAN SYMBOLS

	Whole House Exhaust Fan, see T1.0 for cfm Calculation and T1.14 for Cut Sheet		Exhaust Fan		Wall Tags, see T1.5a and T1.5b for Wall Schedule		H Window Heads		J Window Jamb		S Window Sills		P Parapet		R Guard Rails		F Site Walls and Fences		K Skylights
	KITCHEN		Room Label with Room Number		Finish Floor Material		Door Label		Window Label		Roof Drain from Floor above		Roof Drain		Interior Elevation Tag, see A5.0 to A5.5		Crawl Space Vent below, 30" x 15" see T1.0 for Calculation		Crawl Space Access Location, minimum 18" x 24"

- FLOOR PLAN NOTES**
- The panel or sub-panel shall provide capacity to install a 40 Ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch over-current protective device.
 - The service panel or sub-panel circuit directory shall identify the over-current protective device space(s) reserved for future EV charging as EV CAPABLE. The raceway termination location shall be permanent and visibly marked EV CAPABLE.
 - Where symbol is provided in the plan, the exhaust fan shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building.
 - Fans NOT functioning as a component of a whole house ventilation system must be controlled by a humidity control.
 - All exposed concrete flat work shown shall be uncolored smooth cement finish to achieve a SRI of 0.3 min.
 - Vehicular access doors shall comply with section R609.4.
 - The main Services Panel shall have a min. busbar rating of 200 amps.
 - The main electrical Service Panel shall have a reserved space to allow for installation of a double pole circuit breaker for a future solar electrical installation. The reserved space shall be positioned at the opposite (load) end from the input feeder location or main circuit location and shall be permanently marked as "For Future Solar Electric".
 - All interior and exterior stairways shall be illuminated (R303.7 & R303.8)
 - For Wall Schedule see T1.5a and T1.5b

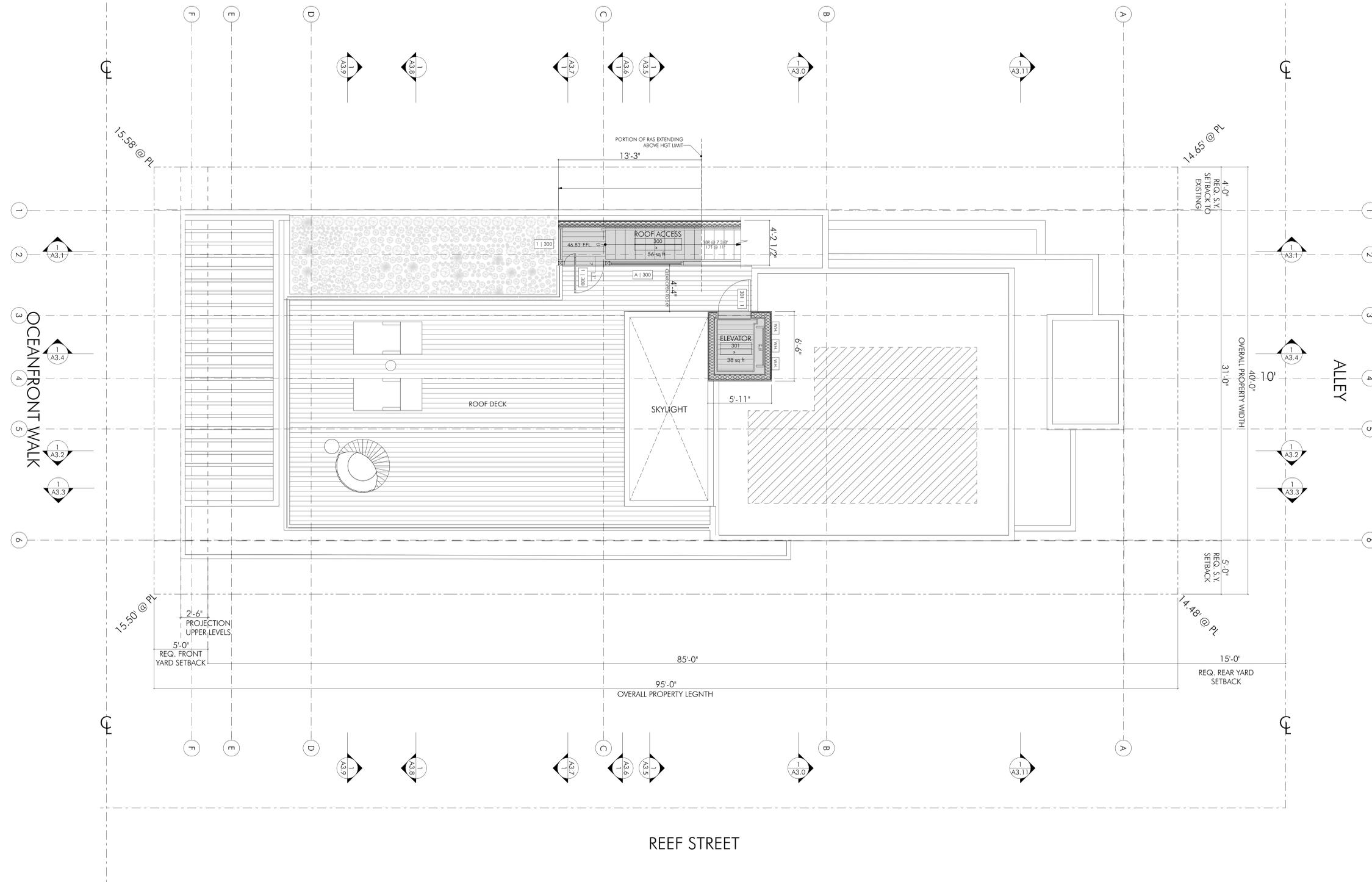
SECOND FLOOR PLAN

1/4" = 1' - 0"

A1.3

08/17/22
Oceanfront Walk Residence #2106

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FLOOR PLAN DATA :
FLOOR AREA: 105.00 SQ. FT. R3 OCCUPANCY (ZONING)
FLOOR AREA: 215.00 SQ. FT. R3 OCCUPANCY (BUILDING)

FLOOR PLAN SYMBOLS

	Whole House Exhaust Fan, see T1.0 for cfm Calculation and T1.14 for Cut Sheet		Exhaust Fan		Wall Tags, see T1.5a and T1.5b for Wall Schedule		H Window Heads		J Window Jamb		S Window Sills		P Parapets		R Guard Rails		F Site Walls and Fences		K Skylights
	Similar		Top of Parapet		Top of Slope		Step(s) Up		Step(s) Down		Area Drain		Entry		Combo Smoke / CO Detector		Room Label with Room Number		Finish Floor Material
	Door Label		Window Label		Roof Drain from Floor above		Roof Drain		Interior Elevation Tag, see A5.0 to A5.5		Crawl Space Vent below, 30" x 15" see T1.0 for Calculation		Crawl Space Access Location, minimum 18" x 24"						

FLOOR PLAN NOTES

- The panel or sub-panel shall provide capacity to install a 40 Ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch over-current protective device.
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- Where symbol is provided in the plan, the exhaust fan shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building.
- Fans NOT functioning as a component of a whole house ventilation system must be controlled by a humidity control.
- All exposed concrete flat work shown shall be uncolored smooth cement finish to achieve a SRI of 0.5 min.
- Vehicular access doors shall comply with section R609.4.
- The main Services Panel shall have a min. busbar rating of 200 amps.
- The main electrical Service Panel shall have a reserved space to allow for installation of a double pole circuit breaker for a future solar electrical installation. The reserved space shall be positioned at the opposite (load) end from the input feeder location or main circuit location and shall be permanently marked as "For Future Solar Electric".
- All interior and exterior stairways shall be illuminated (R303.7 & R303.8)
- For Wall Schedule see T1.5a and T1.5b

Oceanfront Walk Residence
4819 Oceanfront Walk, Marina Del Rey, CA 90292

ROOF DECK PLAN

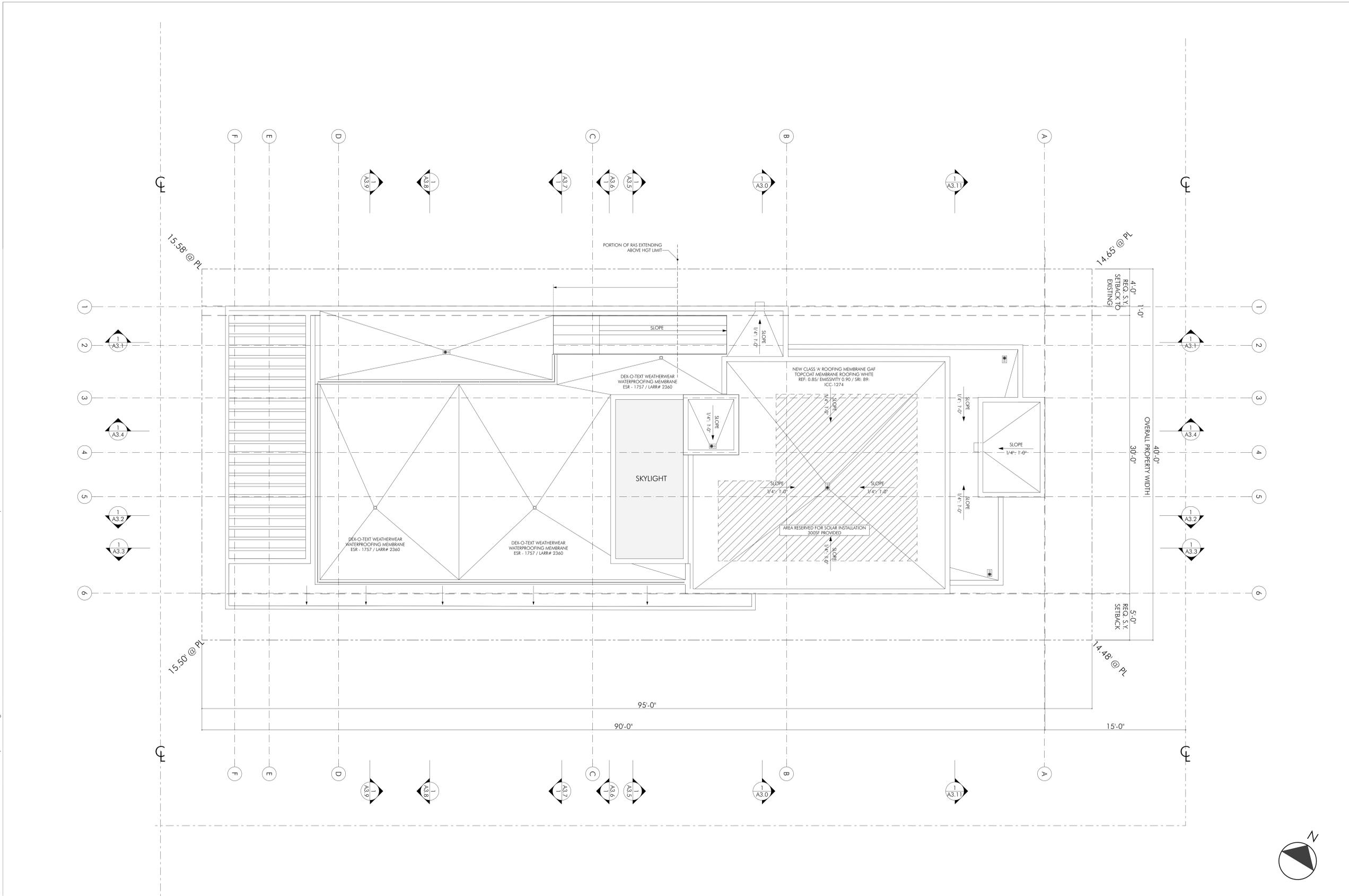
1/4" = 1' - 0"

A1.4

08/17/22

Oceanfront Walk Residence #2106

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FLOOR PLAN SYMBOLS

	Whole House Exhaust Fan, see T1.0 for cfm Calculation and T1.14 for Cut Sheet		Exhaust Fan		Wall Tags, see T1.5a and T1.5b for Wall Schedule		H Window Heads		J Window Jamb		S Window Sills		P Parapet		R Guard Rails		F Site Walls and Fences		K Skylights
	KITCHEN		Room Label with Room Number		Finish Floor Material		Door Label		Window Label		Roof Drain from Floor above		Roof Drain		Interior Elevation Tag, see A5.0 to A5.5		Crawl Space Vent (allow, 30" x 15" see T1.0 for Calculation)		Crawl Space Access Location, minimum 18" x 24"

FLOOR PLAN NOTES

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- Where symbol is provided in the plan, the exhaust fan shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building.
- Fans NOT functioning as a component of a whole house ventilation system must be controlled by a humidity control.
- All exposed concrete flat work shown shall be uncolored smooth cement finish to achieve a SRI of 0.3 min.
- Vehicular access doors shall comply with section R609.4.
- The main Services Panel shall have a min. busbar rating of 200 amps.
- The main electrical Service Panel shall have a reserved space to allow for installation of a double pole circuit breaker for a future solar electrical installation. The reserved space shall be positioned at the opposite (load) end from the input feeder location or main circuit location and shall be permanently marked as "For Future Solar Electric".
- All interior and exterior stairways shall be illuminated (R303.7 & R303.8)
- For Wall Schedule see T1.5a and T1.5b

PROJECT LOG:

- 11/27/2022: Schematic Design
- 03/15/2022: Design Development 1
- 05/01/2022: CDP PRELIM Review
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ROOF PLAN

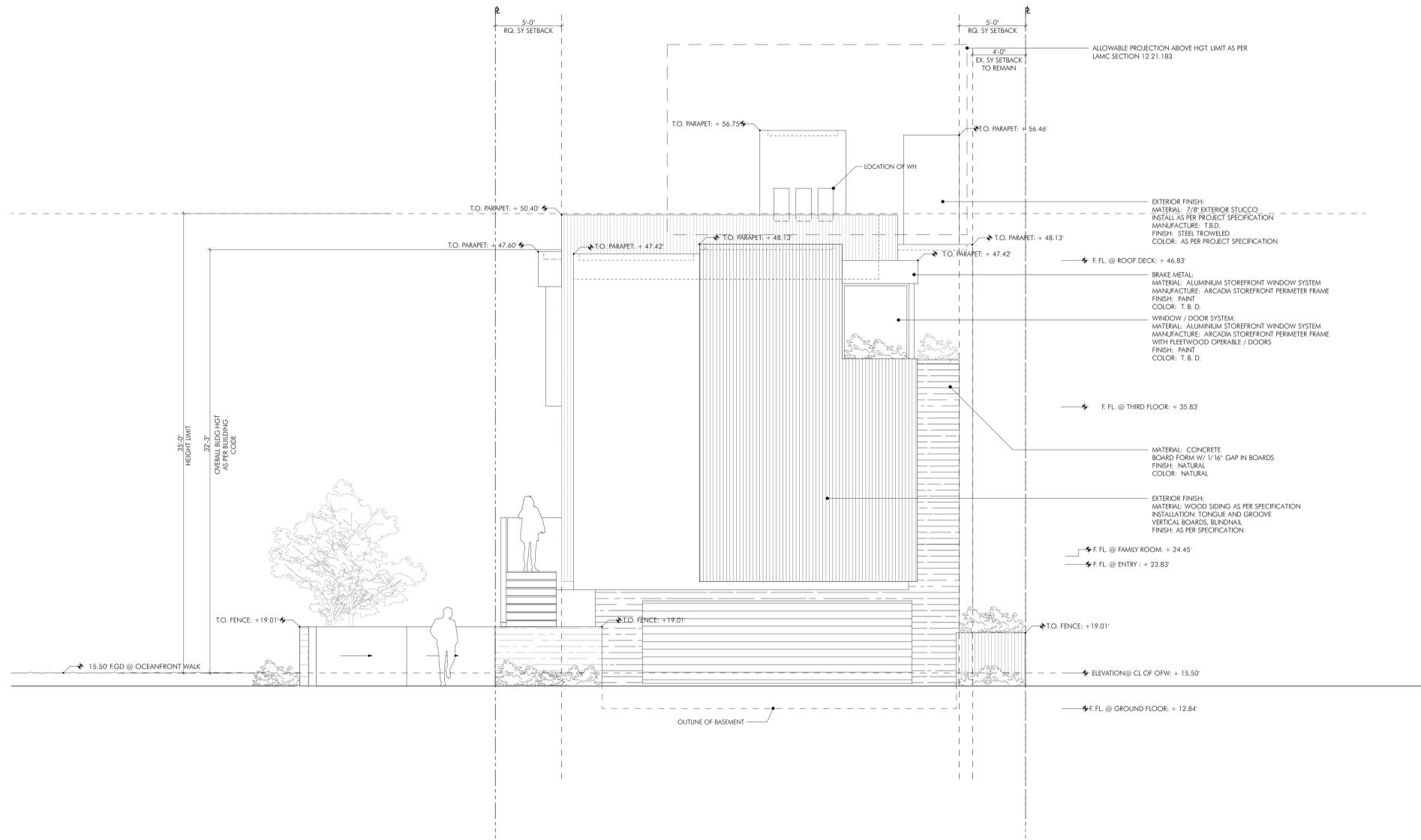
1/4" = 1' - 0"

A1.5

08/17/22

PROJECT LOG:

11/27/2022: Schematic Design
03/15/2022: Design Development 1
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Oceanfront Walk Residence
4819 Oceanfront Walk, Marina Del Rey, CA 90292

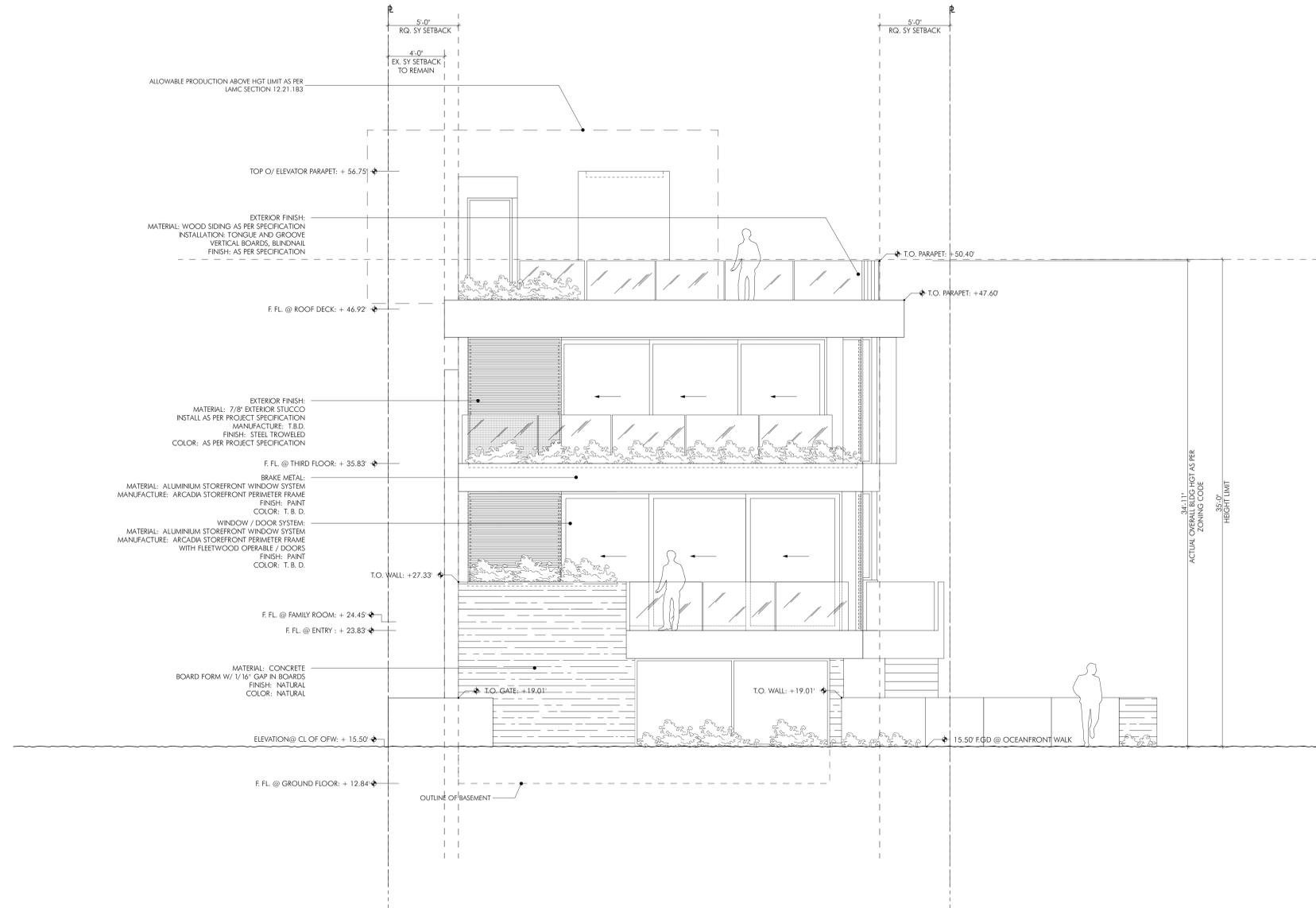
EAST
ELEVATION

1/4" = 1' - 0"

A2.0

08/17/22

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PROJECT LOG:

11/27/2022: Schematic Design
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Oceanfront Walk Residence
4819 Oceanfront Walk, Marina Del Rey, CA 90292

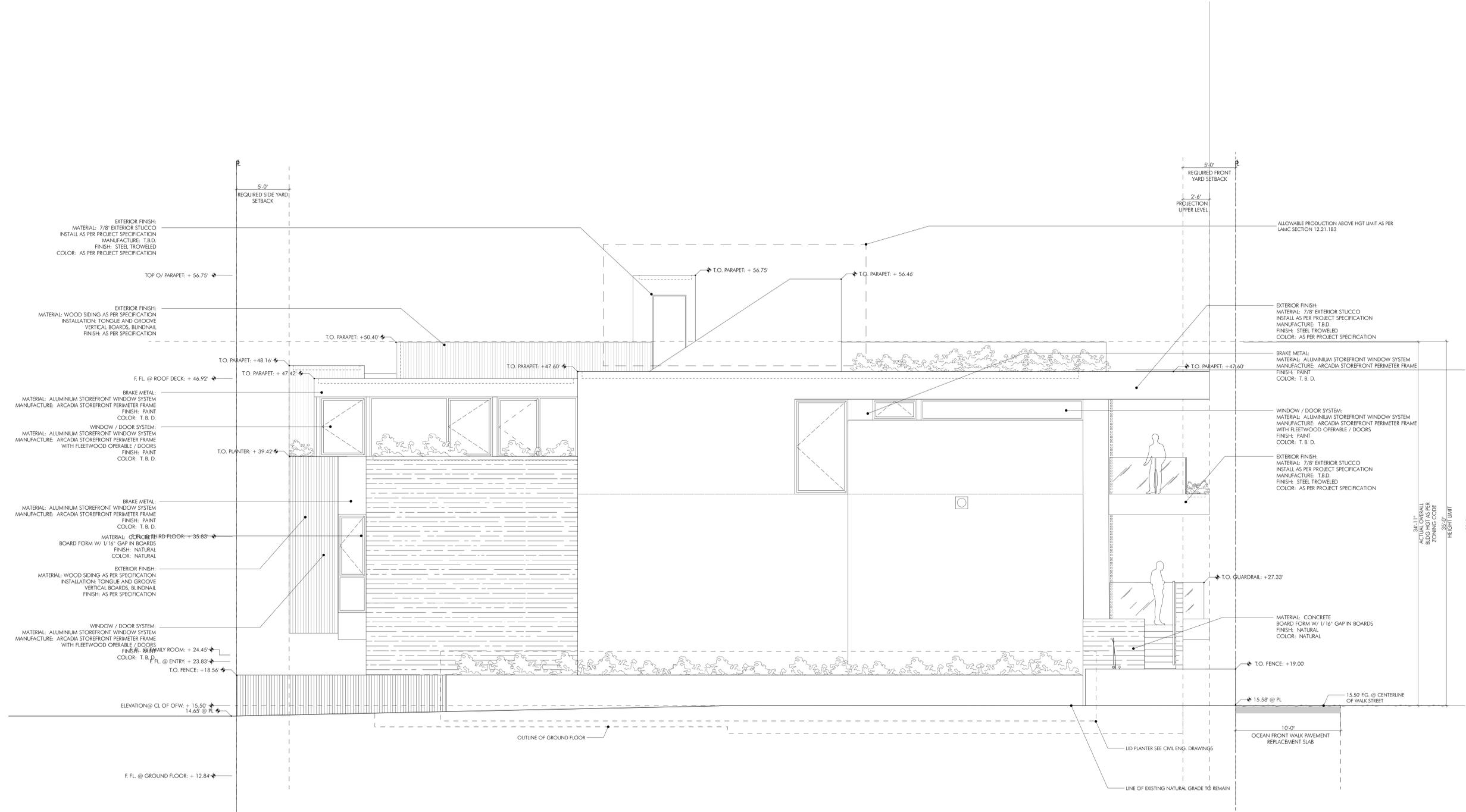
WEST
ELEVATION

1/4" = 1' - 0"

A2.2

08/17/22

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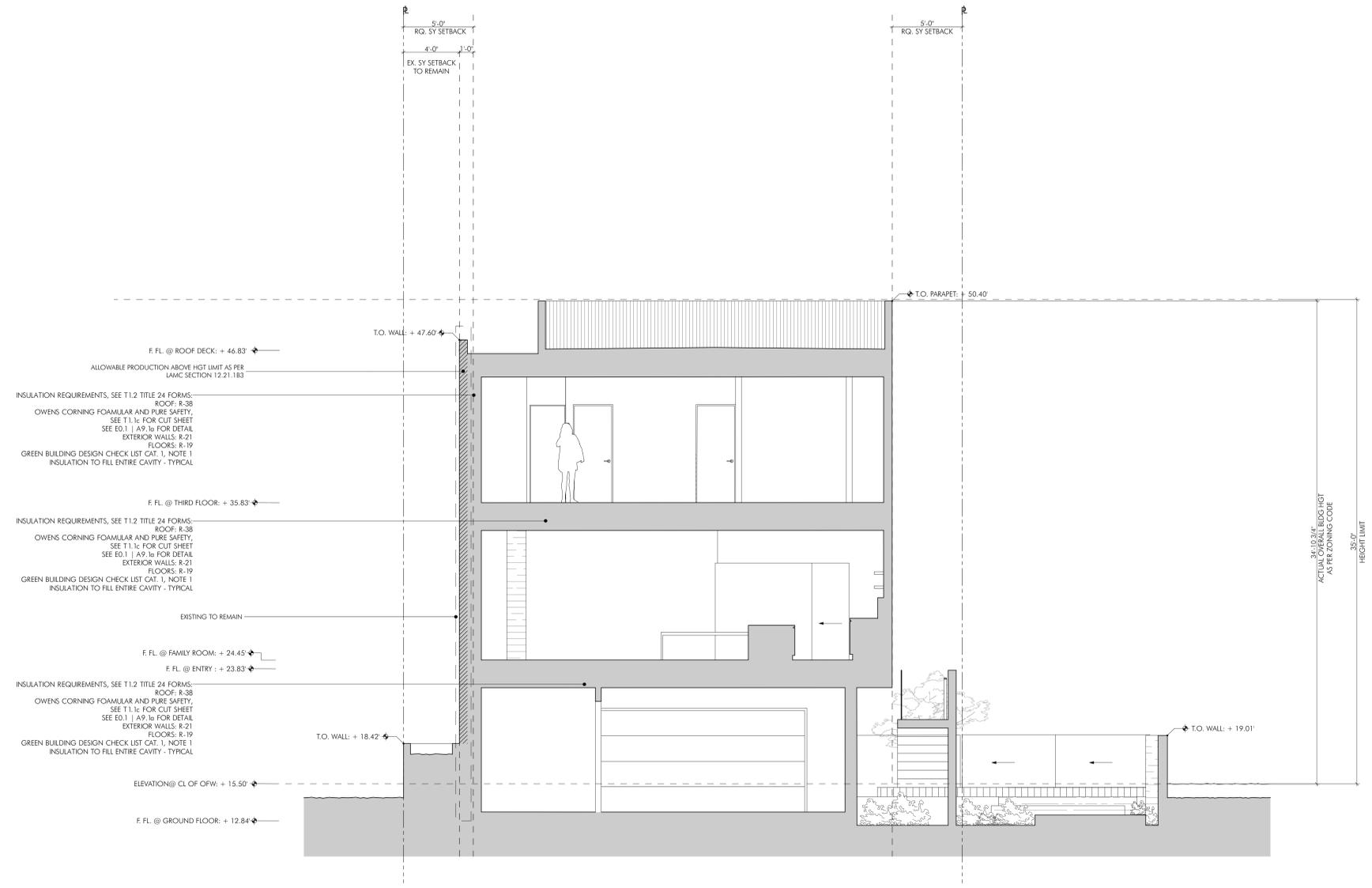


Oceanfront Walk Residence
4819 Oceanfront Walk, Marina Del Rey, CA 90292

NORTH
ELEVATION
1/4" = 1' - 0"

A2.3

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F. FL. @ ROOF DECK: + 46.83
 ALLOWABLE PRODUCTION ABOVE HGT LIMIT AS PER
 LAMC SECTION 12.21.1B3

INSULATION REQUIREMENTS, SEE T1.2 TITLE 24 FORMS:
 ROOF: R-38
 OWENS CORNING FOAMULAR AND PURE SAFETY,
 SEE T1.3c FOR CLIP SHEET
 SEE ED.1 | A9.1a FOR DETAIL
 EXTERIOR WALLS: R-21
 FLOORS: R-19
 GREEN BUILDING DESIGN CHECK LIST CAT. 1, NOTE 1
 INSULATION TO FILL ENTIRE CAVITY - TYPICAL

F. FL. @ THIRD FLOOR: + 35.83

INSULATION REQUIREMENTS, SEE T1.2 TITLE 24 FORMS:
 ROOF: R-38
 OWENS CORNING FOAMULAR AND PURE SAFETY,
 SEE T1.3c FOR CLIP SHEET
 SEE ED.1 | A9.1a FOR DETAIL
 EXTERIOR WALLS: R-21
 FLOORS: R-19
 GREEN BUILDING DESIGN CHECK LIST CAT. 1, NOTE 1
 INSULATION TO FILL ENTIRE CAVITY - TYPICAL

EXISTING TO REMAIN

F. FL. @ FAMILY ROOM: + 24.45
 F. FL. @ ENTRY: + 23.83

INSULATION REQUIREMENTS, SEE T1.2 TITLE 24 FORMS:
 ROOF: R-38
 OWENS CORNING FOAMULAR AND PURE SAFETY,
 SEE T1.3c FOR CLIP SHEET
 SEE ED.1 | A9.1a FOR DETAIL
 EXTERIOR WALLS: R-21
 FLOORS: R-19
 GREEN BUILDING DESIGN CHECK LIST CAT. 1, NOTE 1
 INSULATION TO FILL ENTIRE CAVITY - TYPICAL

ELEVATION @ CL OF OFW: + 15.50

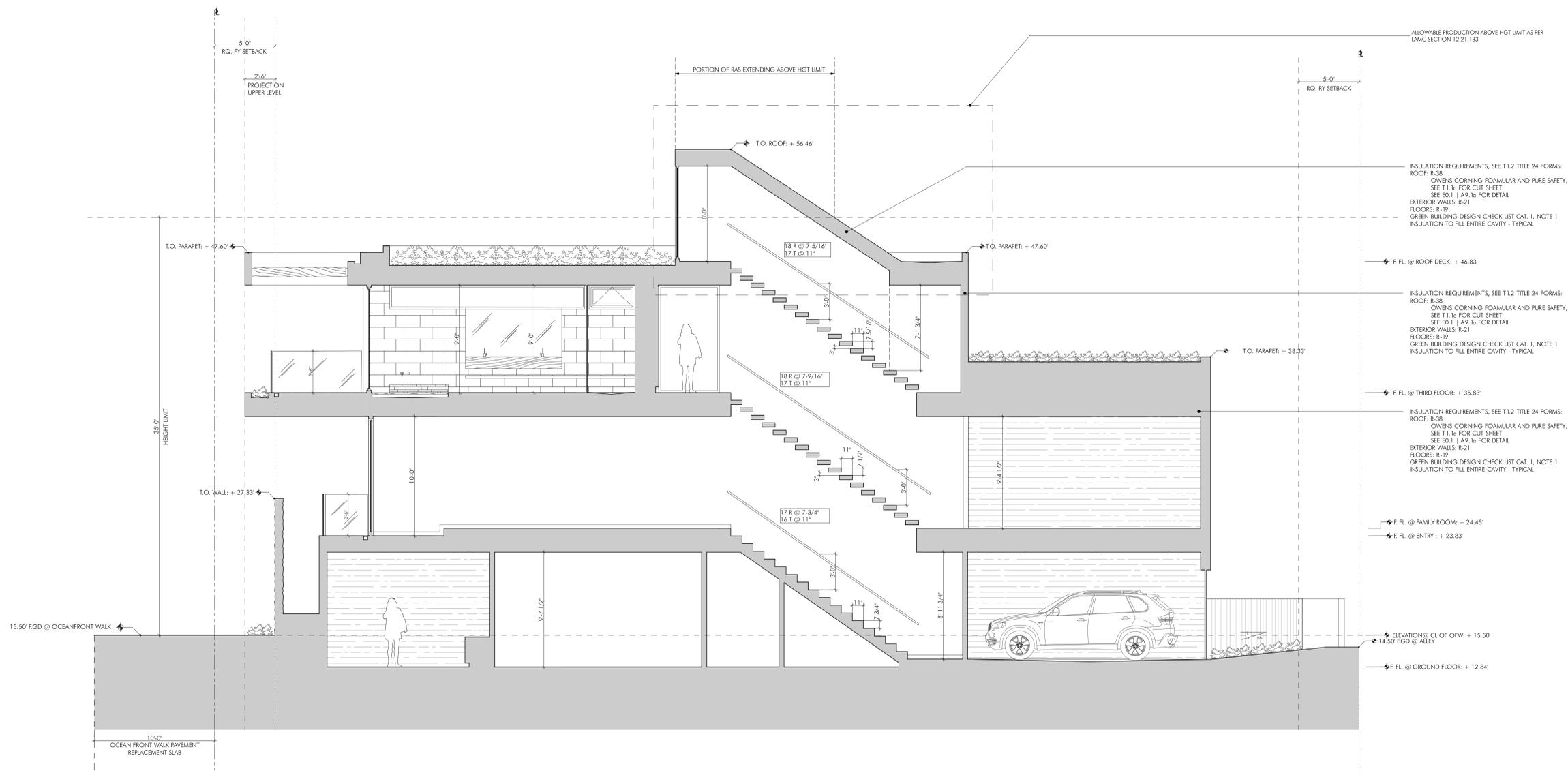
F. FL. @ GROUND FLOOR: + 12.84

Oceanfront Walk Residence
 4819 Oceanfront Walk, Marina Del Rey, CA 90292

BUILDING
 SECTION
 1/4" = 1' - 0"

A3.0

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ALLOWABLE PRODUCTION ABOVE HGT LIMIT AS PER
LAMC SECTION 12.21.183

INSULATION REQUIREMENTS, SEE T1.2 TITLE 24 FORMS:
ROOF: R-38
OWENS CORNING FOAMULAR AND PURE SAFETY,
SEE T1.1c FOR CUT SHEET
SEE E0.1 | A9.1a FOR DETAIL
EXTERIOR WALLS: R-21
FLOORS: R-19
GREEN BUILDING DESIGN CHECK LIST CAT. 1, NOTE 1
INSULATION TO FILL ENTIRE CAVITY - TYPICAL

F. FL @ ROOF DECK: + 46.83'

INSULATION REQUIREMENTS, SEE T1.2 TITLE 24 FORMS:
ROOF: R-38
OWENS CORNING FOAMULAR AND PURE SAFETY,
SEE T1.1c FOR CUT SHEET
SEE E0.1 | A9.1a FOR DETAIL
EXTERIOR WALLS: R-21
FLOORS: R-19
GREEN BUILDING DESIGN CHECK LIST CAT. 1, NOTE 1
INSULATION TO FILL ENTIRE CAVITY - TYPICAL

F. FL @ THIRD FLOOR: + 35.83'

INSULATION REQUIREMENTS, SEE T1.2 TITLE 24 FORMS:
ROOF: R-38
OWENS CORNING FOAMULAR AND PURE SAFETY,
SEE T1.1c FOR CUT SHEET
SEE E0.1 | A9.1a FOR DETAIL
EXTERIOR WALLS: R-21
FLOORS: R-19
GREEN BUILDING DESIGN CHECK LIST CAT. 1, NOTE 1
INSULATION TO FILL ENTIRE CAVITY - TYPICAL

F. FL @ FAMILY ROOM: + 24.45'

F. FL @ ENTRY: + 23.83'

ELEVATION @ CL OF OPN: + 15.50'
14.50' FGD @ ALLEY

F. FL @ GROUND FLOOR: + 12.84'

Oceanfront Walk Residence
4819 Oceanfront Walk, Marina Del Rey, CA 90292

BUILDING SECTION
1/4" = 1' - 0"

A3.1

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Oceanfront Walk Residence
4819 Oceanfront Walk, Marina Del Rey, CA 90292

BUILDING SECTION
1/4" = 1' - 0"

A3.2

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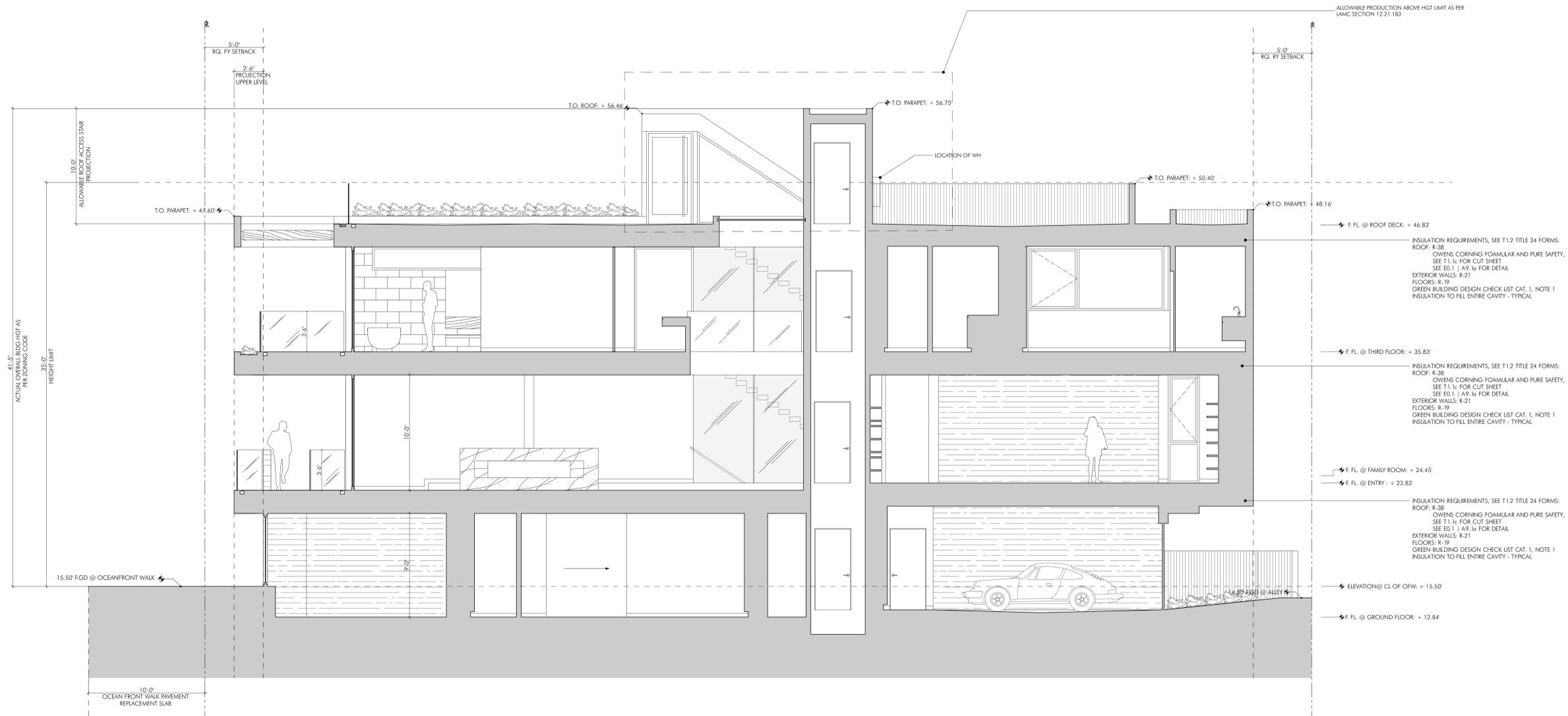


Oceanfront Walk Residence
4819 Oceanfront Walk, Marina Del Rey, CA 90292

BUILDING SECTION
1/4" = 1' - 0"

A3.3

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INSULATION REQUIREMENTS, SEE T12 TITLE 24 FORMS: ROOF: R-38 OWENS CORNING FOAMULAR AND PURE SAFETY, SEE T1.1c FOR CLUT SHEET SEE E0.1 | A9.1c FOR DETAIL EXTERIOR WALLS: R-21 FLOORS: R-19 GREEN BUILDING DESIGN CHECK LIST CAT. 1, NOTE 1 INSULATION TO FILL ENTIRE CAVITY - TYPICAL

INSULATION REQUIREMENTS, SEE T12 TITLE 24 FORMS: ROOF: R-38 OWENS CORNING FOAMULAR AND PURE SAFETY, SEE T1.1c FOR CLUT SHEET SEE E0.1 | A9.1c FOR DETAIL EXTERIOR WALLS: R-21 FLOORS: R-19 GREEN BUILDING DESIGN CHECK LIST CAT. 1, NOTE 1 INSULATION TO FILL ENTIRE CAVITY - TYPICAL

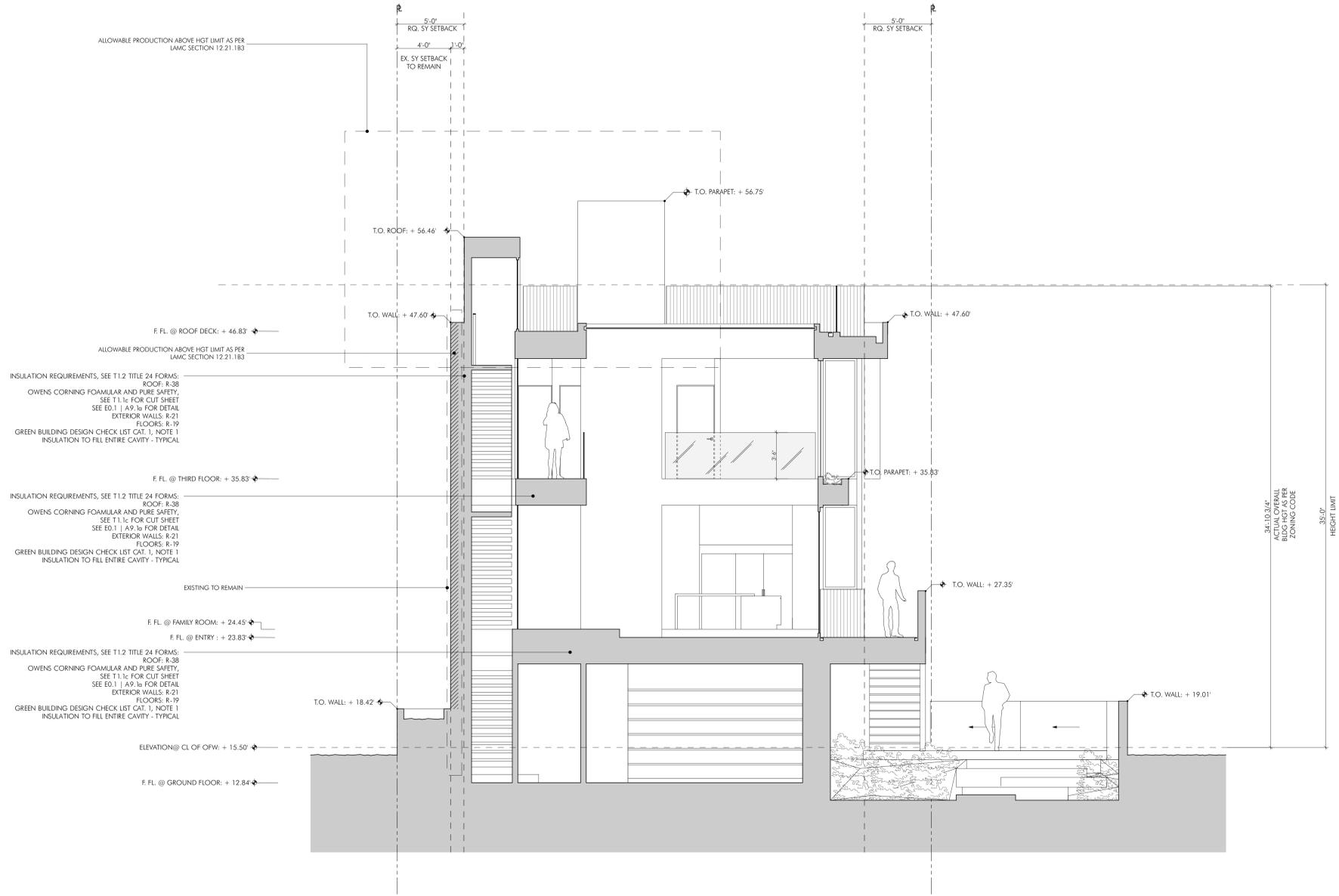
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Oceanfront Walk Residence
4819 Oceanfront Walk, Marina Del Rey, CA 90292

BUILDING SECTION
1/4" = 1' - 0"

A3.4

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Oceanfront Walk Residence
4819 Oceanfront Walk, Marina Del Rey, CA 90292

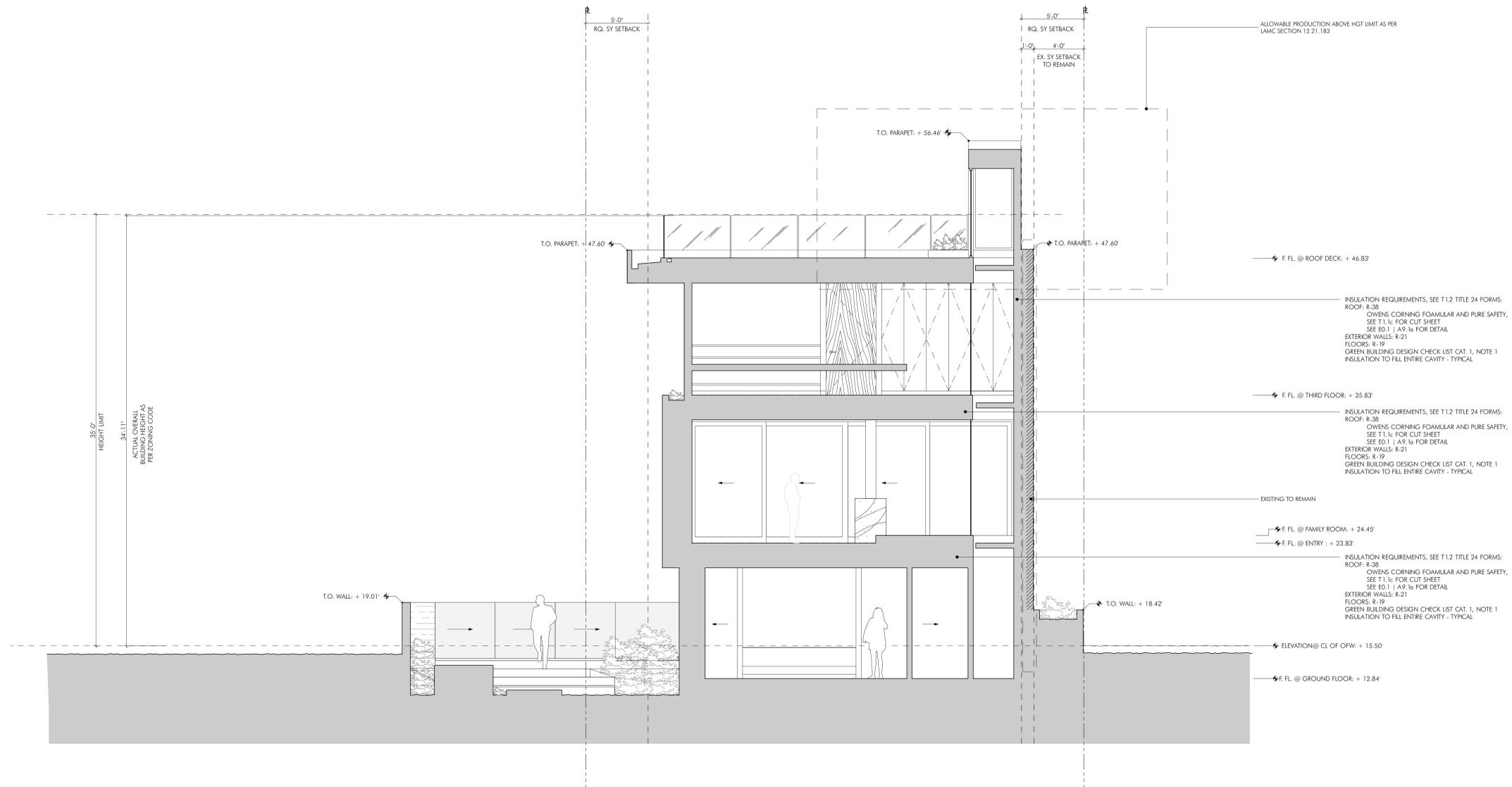
BUILDING SECTION

1/4" = 1' - 0"

A3.5

08/17/22

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PROJECT LOG:

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07/20/2022: CDP Resubmittal

ALLOWABLE PRODUCTION ABOVE HGT LIMIT AS PER LAMC SECTION 12.21.183

INSULATION REQUIREMENTS, SEE T1.2 TITLE 24 FORMS: ROOF: R-38 OWENS CORNING FOAMULAR AND PURE SAFETY, SEE T1.1c FOR CUT SHEET SEE ED.1 | A9.1a FOR DETAIL EXTERIOR WALLS: R-21 FLOORS: R-19 GREEN BUILDING DESIGN CHECK LIST CAT. 1, NOTE 1 INSULATION TO FILL ENTIRE CAVITY - TYPICAL

INSULATION REQUIREMENTS, SEE T1.2 TITLE 24 FORMS: ROOF: R-38 OWENS CORNING FOAMULAR AND PURE SAFETY, SEE T1.1c FOR CUT SHEET SEE ED.1 | A9.1a FOR DETAIL EXTERIOR WALLS: R-21 FLOORS: R-19 GREEN BUILDING DESIGN CHECK LIST CAT. 1, NOTE 1 INSULATION TO FILL ENTIRE CAVITY - TYPICAL

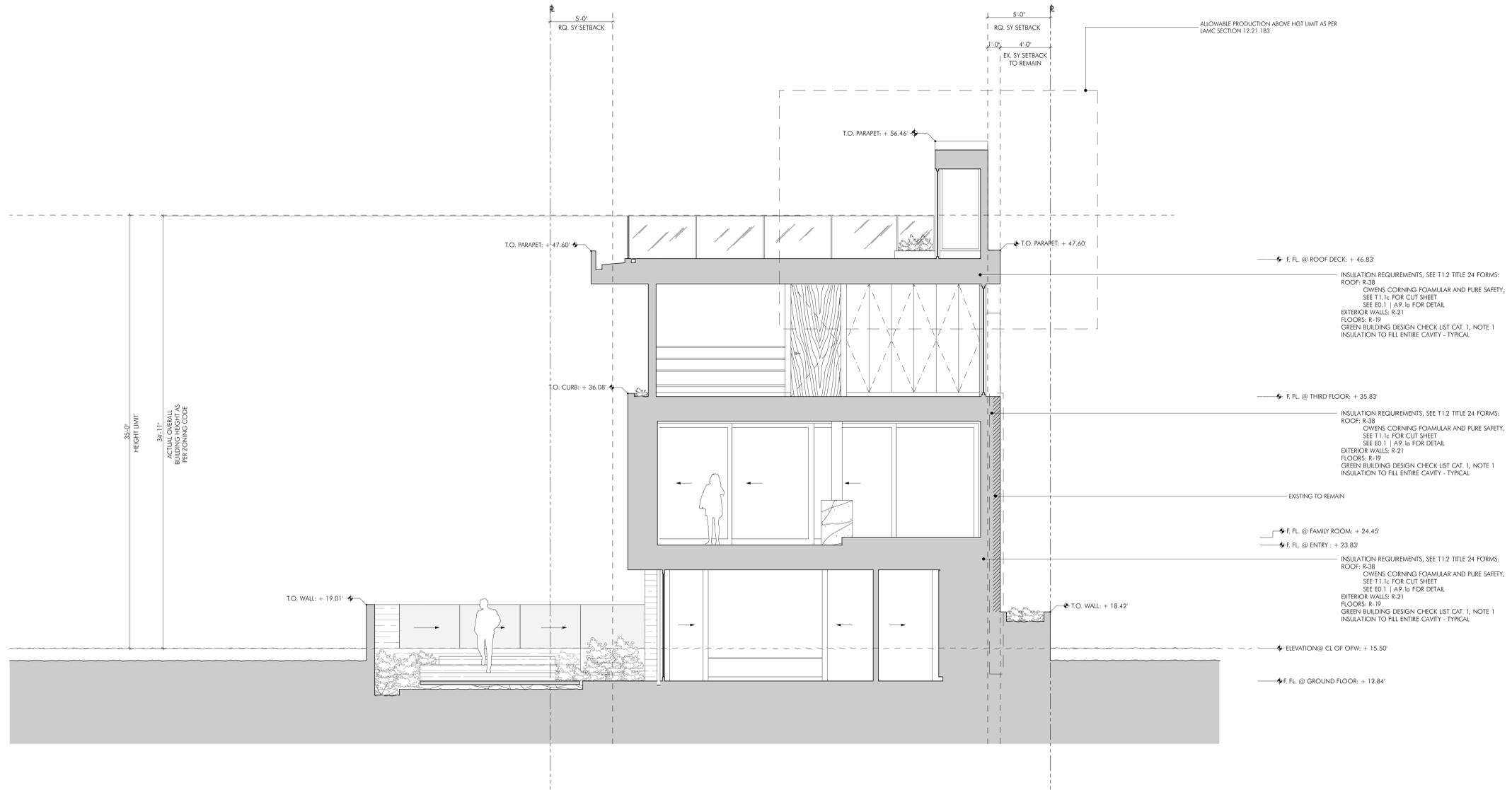
EXISTING TO REMAIN

INSULATION REQUIREMENTS, SEE T1.2 TITLE 24 FORMS: ROOF: R-38 OWENS CORNING FOAMULAR AND PURE SAFETY, SEE T1.1c FOR CUT SHEET SEE ED.1 | A9.1a FOR DETAIL EXTERIOR WALLS: R-21 FLOORS: R-19 GREEN BUILDING DESIGN CHECK LIST CAT. 1, NOTE 1 INSULATION TO FILL ENTIRE CAVITY - TYPICAL

ELEVATION @ CL OF OPW: + 15.50

Oceanfront Walk Residence
4819 Oceanfront Walk, Marina Del Rey, CA 90292

BUILDING SECTION
1/4" = 1' - 0"
A3.6

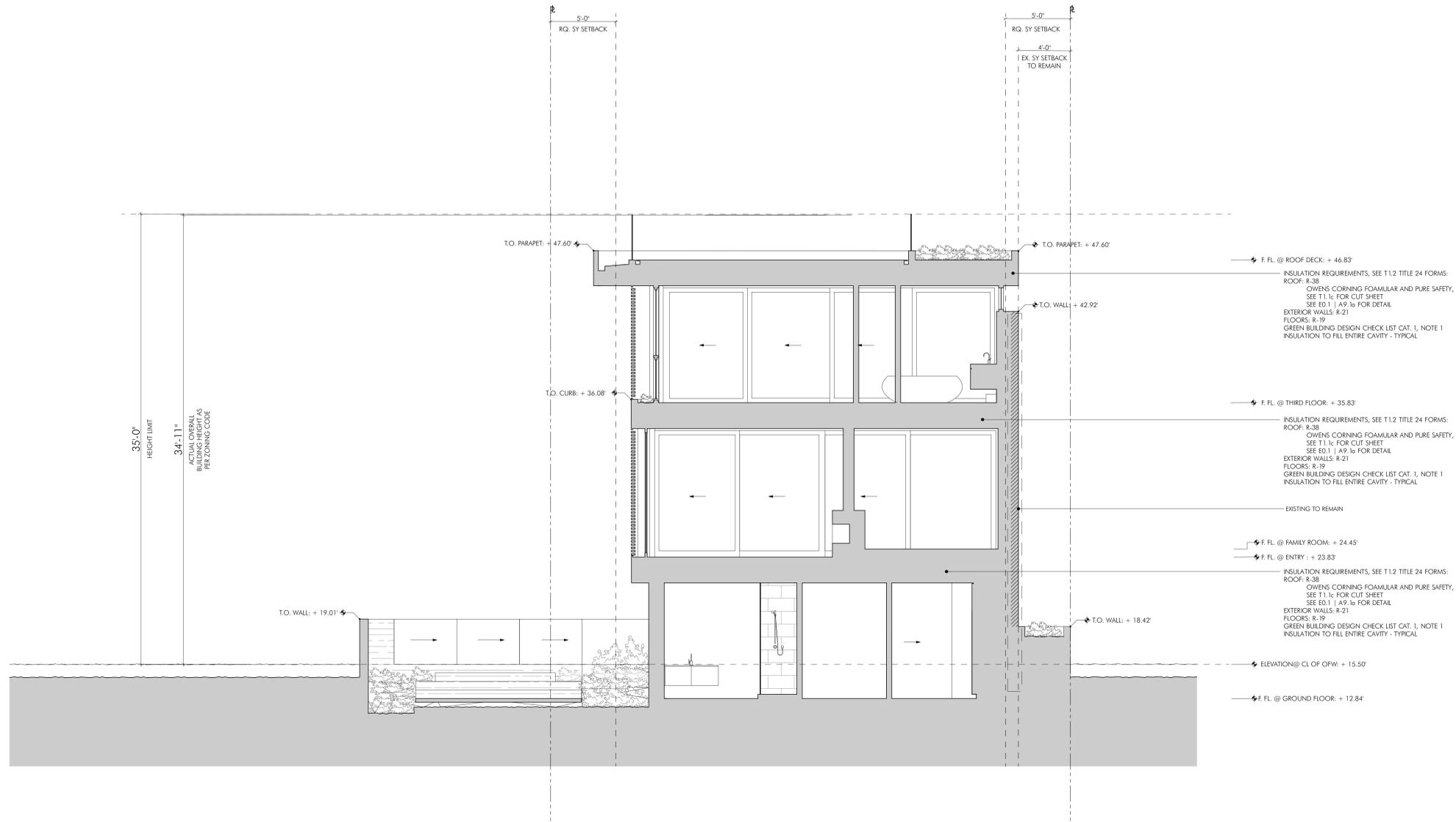


Oceanfront Walk Residence
4819 Oceanfront Walk, Marina Del Rey, CA 90292

BUILDING SECTION
1/4" = 1' - 0"

A3.7

08/17/22
Oceanfront Walk Residence #2106



Oceanfront Walk Residence
4819 Oceanfront Walk, Marina Del Rey, CA 90292

BUILDING SECTION
1/4" = 1' - 0"

A3.8

