

NOTE: PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE WITH UNIT PRICE

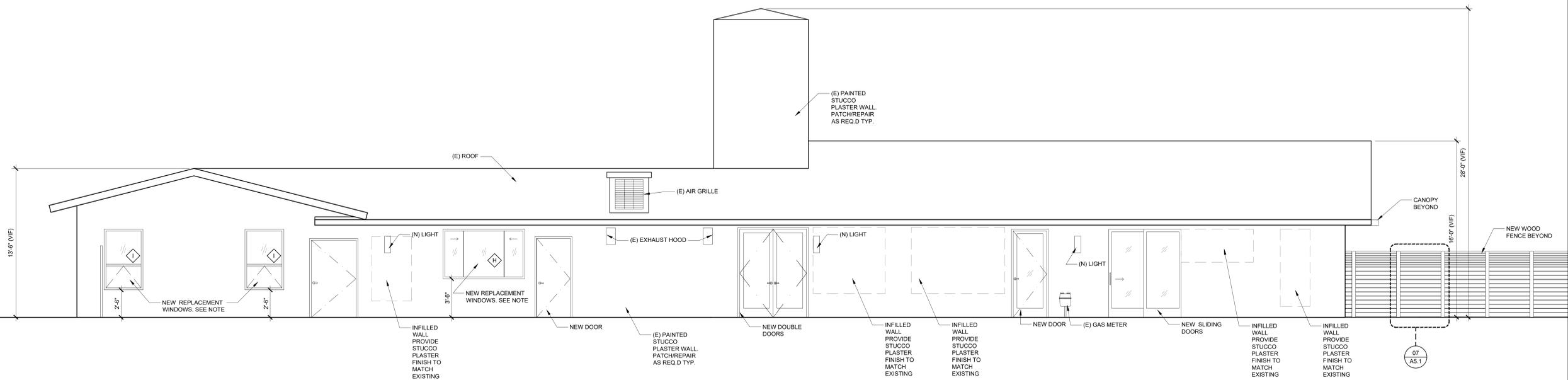
NORTH ELEVATION

SCALE:
1/4" = 1'-0"

01

ISSUES / REVISIONS:

NO.	DESCRIPTION	DATE
	BUDGET ESTIMATE	9/25/20
	BID / PLAN CHECK	12/24/20
	PLAN CHECK COMMENTS	4/9/21



NOTE: PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE WITH UNIT PRICE

WEST ELEVATION

SCALE:
1/4" = 1'-0"

02



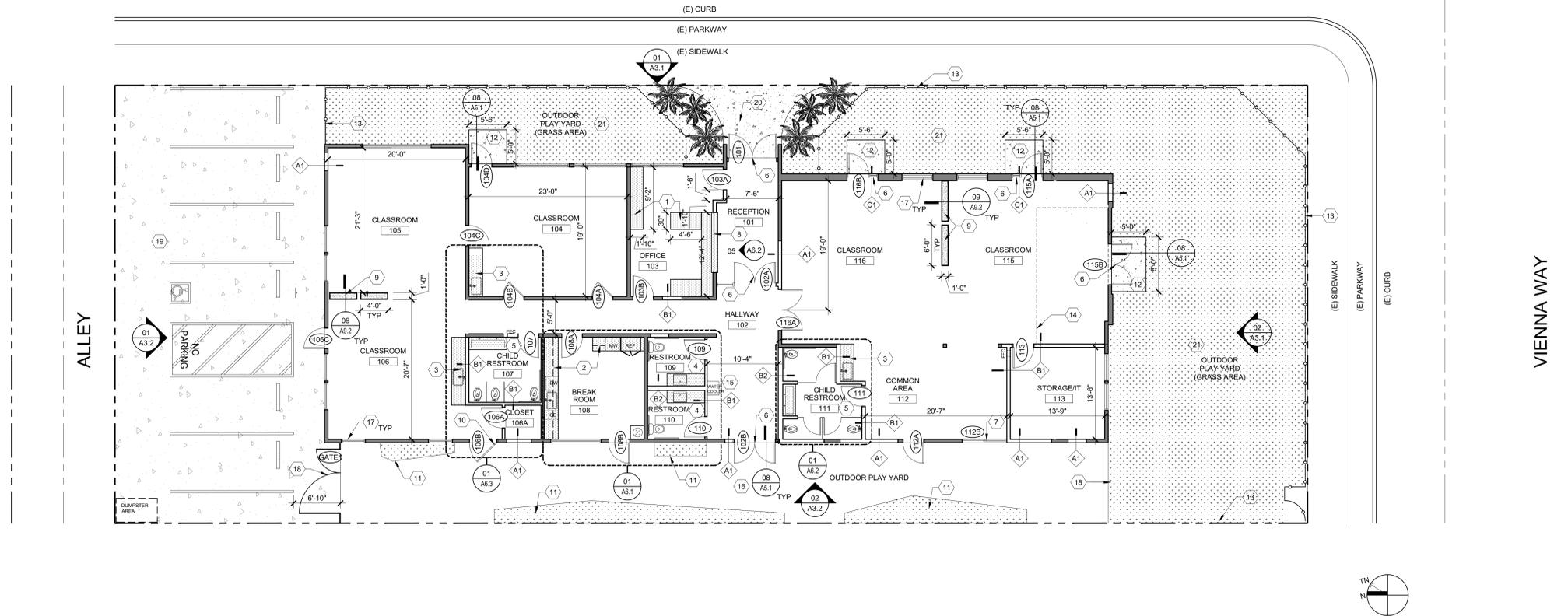
PROJECT NUMBER: 20-06
DRAWING SCALE: 1/4"=1'-0"
DRAWING TITLE: WEST & NORTH ELEVATIONS

DRAWING NUMBER:

A3.2



1935 S. WALGROVE AVENUE



ISSUES / REVISIONS:		
NO.	DESCRIPTION	DATE
	BUDGET ESTIMATE	9/25/20
	BID / PLAN CHECK	12/24/20
	PLAN CHECK COMMENTS	4/9/21

CONSTRUCTION PLAN SCALE: 1/8" = 1'-0" 01

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO BUILDING MANAGEMENT RULES AND REGULATIONS.
- REFER TO ENLARGED DRAWINGS FOR ADDITIONAL INFORMATION.
- VERIFY DIMENSIONS NOTED "CLEAR," "HOLD," "MIN." NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING. AT DIMENSIONS NOTED V.I.F., IDENTIFY DIMENSION TO ARCHITECT PRIOR TO PROCEEDING.
- PROVIDE BACKING SUPPORT IN-WALL FOR MILLWORK AS REQ'D. REFER TO ELEVATIONS & DETAILS FOR MORE INFO.
- SCAR PATCH AND REBEAD ALL EXISTING WALLS AND COLUMNS TO REMAIN.
- REFER TO DOOR SCHEDULE & GENERAL CONSTRUCTION NOTES FOR UNDERCUT OF DOORS TO CLEAR TOP OF FLOOR FINISHES.
- PATCH ALL HOLES IN CONCRETE SLAB DUE TO REMOVAL OF PLUMBING PIPING, CONDUIT REMOVAL, ETC & PREP AS REQ'D TO RECEIVE SCHEDULED FLOOR FINISH.

LEGEND / SCHEDULE

- MILLWORK. SEE ELEVATIONS & DETAILS
- EXISTING PARTITION
- NEW PARTITION
- NEW DOOR # REFER TO DOOR SCHEDULE.
- EXISTING DOOR TO REMAIN
- PARTITION TYPE REFER TO PARTITION DETAILS ON SHEET
- FIRE EXTINGUISHER CABINET, POTTER ROEMER ALTA 7008 SEMI-RECESSED W/ FIRE EXTINGUISHER, POTTER ROEMER 9005 - 5 LBS 2A-10B.C UL RATING
- FENCE LINE

KEY NOTES

- NEW MILLWORK OFFICE DESK. PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE
- NEW PANTRY MILLWORK CABINERY W/ QUARTZ COUNTERTOP AND SS UNDERMOUNT SINK & APPLIANCES (DW, REF/FRZ, ICE MAKER). SEE ENLARGED PLAN
- NEW CLASSROOM MILLWORK W/ SINK. SEE ENLARGED PLAN
- NEW ADA RESTROOM W/ QUARTZ COUNTERTOP, W/ UNDERMOUNT LAVATORY, TOILET, GRAB BARS, AND TOILET ROOM ACCESSORIES. SEE ENLARGED PLAN
- NEW MULTI STALL TODDLER RESTROOM W/ WALL MOUNTED QUARTZ TOP TROUGH LAVATORY (CHILD HT), TOILETS (CHILD HT) TOILET PARTITIONS, AND TOILET ROOM ACCESSORIES. SEE ENLARGED PLAN
- NEW GLASS STOREFRONT ENTRY DOORS AND WALL SYSTEM. PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE WITH UNIT PRICING.
- NEW SLIDING GLASS DOORS.
- NEW MILLWORK TRANSACTION TOP/ WINDOW
- NEW FIBERGLASS MILLWORK PLANTER, 36"H. PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE
- EXISTING DOORS TO REMAIN. VERIFY CONDITION IN FIELD AND PAINT.
- NEW LANDSCAPE PLANTER IN PATIO CONCRETE. PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE. PROVIDE ALLOWANCE FOR NEW LANDSCAPING MATERIAL FOR CLIENT REVIEW.
- NEW 5'X5' (MIN) CONCRETE PAD OUTSIDE DOOR
- NEW 6'H PRIVACY LANDSCAPE FENCE. SEE ELEVATION / DETAIL

- PATCH / REPAIR FLOOR WHERE CONCRETE PLATFORM WAS DEMOD. COORDINATE WITH STRUCTURAL DRAWINGS
- WATER COOLER (BY OWNER) PROVIDE WATER LINE HOOKUPS
- NEW CONCRETE PAD FOR PATIO. PROVIDE CONTROL JOINTS EVERY 5 FT WITH EXPANSION JOINTS EVERY 25FT OR AS REQUIRED. PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE.
- PROVIDE NEW REPLACEMENT WINDOWS, THROUGHOUT, UNO. PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE WITH UNIT PRICING.
- NEW WOOD GATE/FENCE
- EXISTING PARKING LOT
- PROVIDE NEW 4" THK CONCRETE SIDEWALK FROM SIDEWALK TO ENTRY DOOR. MAXIMUM SLOPE NOT TO EXCEED 2% FOR ADA.
- PROVIDE ALLOWANCE FOR NEW LANDSCAPING FOR CLIENT REVIEW



PROJECT NUMBER: 20-06
DRAWING SCALE: 1/8" = 1'-0"
DRAWING TITLE: CONSTRUCTION PLAN

DRAWING NUMBER: **A1.1**

