

# MARTIN-KANG RESIDENCE

613 E. BROOKS AVENUE, VENICE, CA 90291

## PROJECT INFORMATION

**PROJECT ADDRESS:** 613 E. BROOKS AVENUE  
VENICE, CA 90291

**LEGAL DESCRIPTION:**  
THE LAND IS SITUATED IN THE COUNTY OF LOS ANGELES, CITY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
APN: 4239-008-038  
LOT: 19  
BLOCK: J  
TRACT: OCEAN PARK VILLA TRACT

**PROJECT DESCRIPTION:**  
DEMOLITION OF (E) DETACHED GARAGE, ASSOCIATED (E) SITE WALLS/FENCES, AND (E) HARDSCAPE.

SUBSTANTIAL DEMOLITION, MAJOR RENOVATION OF, AND ADDITION TO AN (E) ONE-STORY SINGLE FAMILY RESIDENCE RESULTING IN A TWO-STORY SINGLE FAMILY RESIDENCE, (N) ATTACHED 2-CAR GARAGE, (N) ROOF DECK, (N) POOL, (N) DECKS, (N) ASSOCIATED GRADING AND (N) HARDSCAPE.

**OCCUPANCY CLASSIFICATION:**  
R3

**CONSTRUCTION TYPE:**  
V-B, FULLY SPRINKLERED

**ZONING:**  
RD 15-1

**TOTAL LOT AREA:**  
5,282 SF

**LOT WIDTH:**  
40.01 FT (SEE SURVEY)

**LOT DEPTH:**  
132.00 FT (SEE SURVEY)

**SETBACKS:**  
FRONT YARD: 15 FT FROM PROPERTY LINE  
SIDE YARD: 4 FT FROM PROPERTY LINE  
LOT WIDTH = 40 FT  
10% x 40 FT = 4 FT  
REAR YARD: 15 FT FROM CENTERLINE OF ALLEY

**HEIGHT LIMIT:**  
MAXIMUM ALLOWED: 25 FT  
PROPOSED ABSOLUTE MAXIMUM: 25 FT  
(building height measure from centerline of street)

**PARKING:**  
REQUIRED: (2) COVERED + (1) UNCOVERED  
PROVIDED: (2) COVERED + (1) UNCOVERED

### PROPOSED BUILDING AREA (PER ZONING CODE):

LEVEL 1 INTERIOR: 1,445 SF (including stair)  
LEVEL 1 COVERED EXTERIOR: 203 SF  
LEVEL 2 INTERIOR: 2,054 SF  
ROOF: 36 SF  
**MAIN HOUSE TOTAL: 3,738 SF**  
GARAGE: 485 SF

**FLOOR AREA RATIO (FAR):**  
BUILDING FLOOR AREA: 3,738 SF  
BUILDABLE LOT AREA: 3,520 SF

**ALLOWABLE FLOOR AREA:**  
MAX. ALLOWABLE FAR: 3:1  
BUILDABLE LOT AREA: 3,520 SF  
MAX. ALLOWABLE AREA: 10,560 SF

PROPOSED FAR: 3,738 SF / 3,520 SF = 1.06:1  
MAX. ALLOWABLE FAR: 3:1

### PROPOSED BUILDING AREA (PER BUILDING CODE):

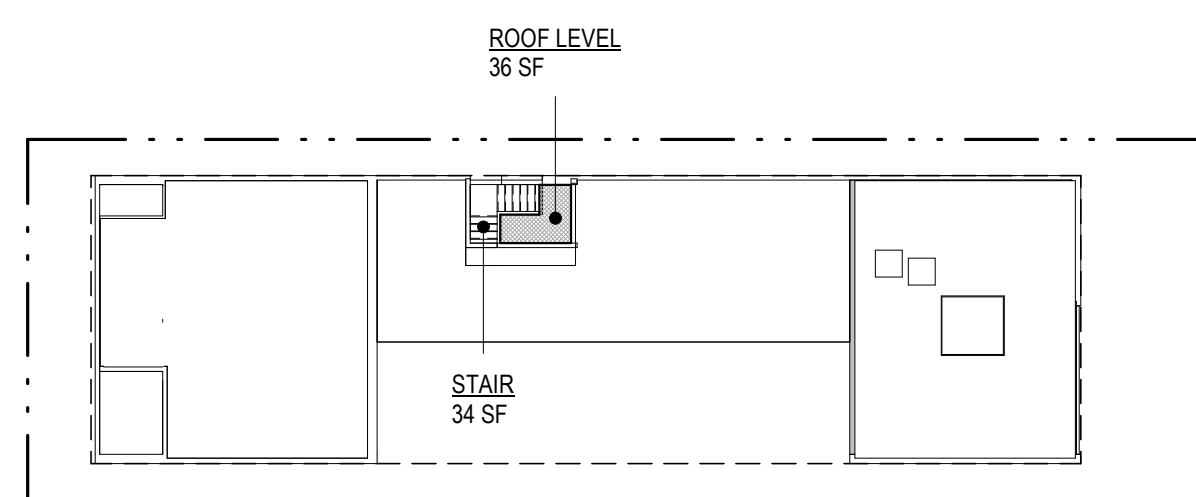
(R3) LEVEL 1: 1,445 SF (including stair)  
(R3) LEVEL 1 COVERED EXTERIOR: 203 SF  
(U) GARAGE: 485 SF  
(U) MECHANICAL: 115 SF  
(R3) LEVEL 2 INTERIOR: 2,149 SF (including stair)  
(R3) ROOF: 73 SF  
**MAIN HOUSE TOTAL: 4,467 SF**  
(R3) TOTAL: 3,867 SF  
(U) TOTAL: 600 SF

### PROPOSED BUILDING AREA (PER SCHOOL FEES):

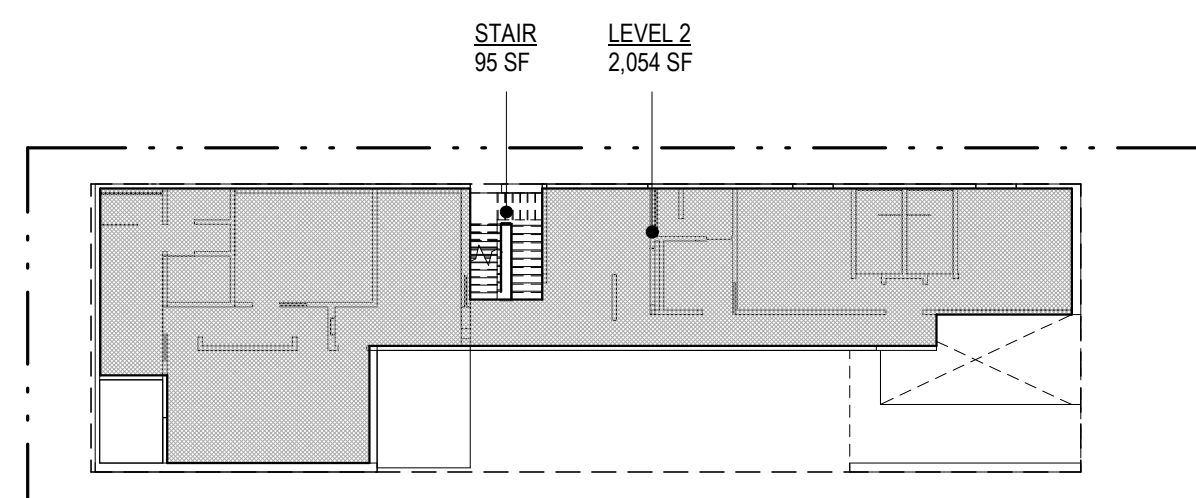
LEVEL 1 INTERIOR: 1,687 SF (including stair)  
LEVEL 2 INTERIOR: 2,204 SF  
ROOF: 49 SF  
**MAIN HOUSE TOTAL: 3,904 SF**

## FLOOR AREA DIAGRAMS

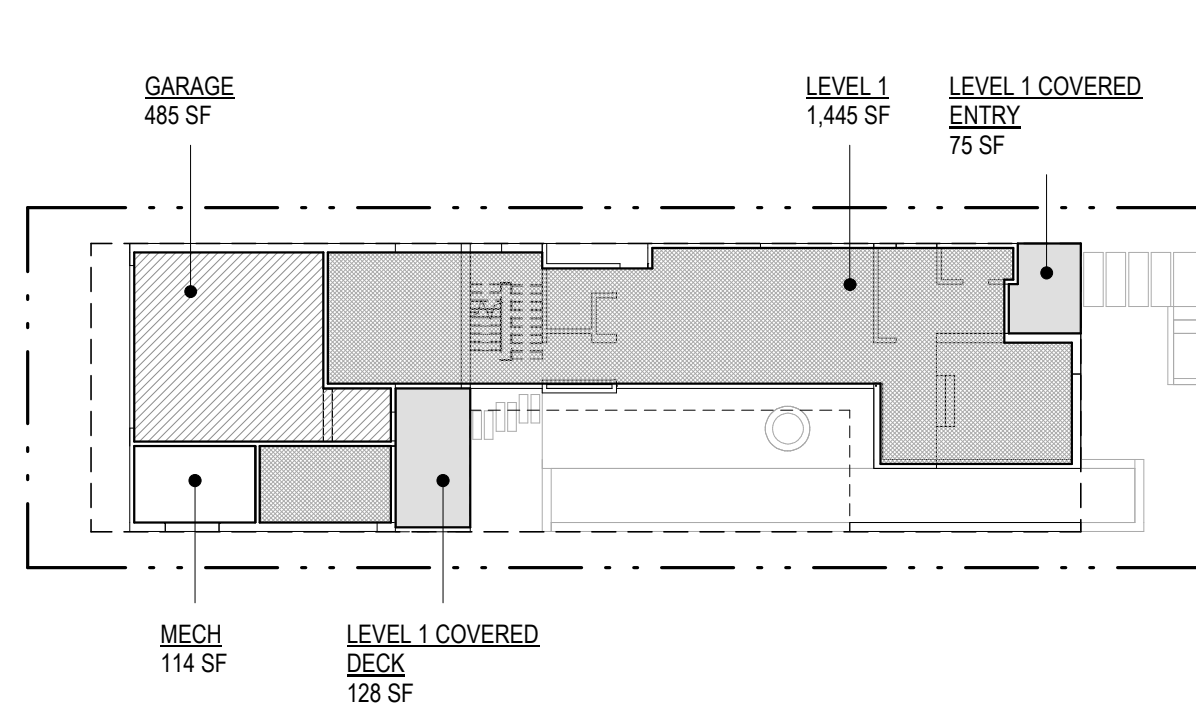
### ROOF LEVEL: FLOOR AREA



### LEVEL 2: FLOOR AREA



### LEVEL 1: FLOOR AREA



## SCOPE OF WORK

DEMOLITION OF (E) DETACHED GARAGE, ASSOCIATED (E) SITE WALLS/FENCES, AND (E) HARDSCAPE.  
SUBSTANTIAL DEMOLITION, MAJOR RENOVATION OF, AND ADDITION TO AN (E) ONE-STORY SINGLE FAMILY RESIDENCE RESULTING IN A TWO-STORY SINGLE FAMILY RESIDENCE, (N) ATTACHED 2-CAR GARAGE, (N) ROOF DECK, (N) POOL, (N) DECKS, (N) ASSOCIATED GRADING AND (N) HARDSCAPE.

## SEPARATE PERMITS

SEPARATE PERMIT AND APPLICATION SHALL BE REQUIRED FOR THE FOLLOWING:

1. FIRE SPRINKLER SYSTEM (NFPA 130)
2. ELECTRICAL WORK
3. MECHANICAL WORK
4. PLUMBING WORK

## APPLICABLE CODES

2020 LOS ANGELES MUNICIPAL CODE, CHAPTER IX, BUILDING REGULATIONS  
2020 LOS ANGELES GREEN BUILDING CODE  
2019 CALIFORNIA RESIDENTIAL CODE  
2019 CALIFORNIA ADMINISTRATIVE CODE  
2019 CALIFORNIA BUILDING CODE  
2019 CALIFORNIA MECHANICAL CODE  
2019 CALIFORNIA PLUMBING CODE  
2019 CALIFORNIA ELECTRICAL CODE  
2019 CALIFORNIA FIRE CODE  
CALIFORNIA ENERGY CODE TITLE 24, PART 6, CURRENT EDITION  
NFPA 130, CURRENT EDITION (AUTOMATIC FIRE SPRINKLER SYSTEMS)

## PROJECT DIRECTORY

**CLIENT / OWNER**  
DAVID MARTIN & TRISTA KANG  
613 E. BROOKS AVENUE  
VENICE, CA 90291  
E: DAVIDDEGO@GMAIL.COM  
E: TRISTARAWRS@GMAIL.COM

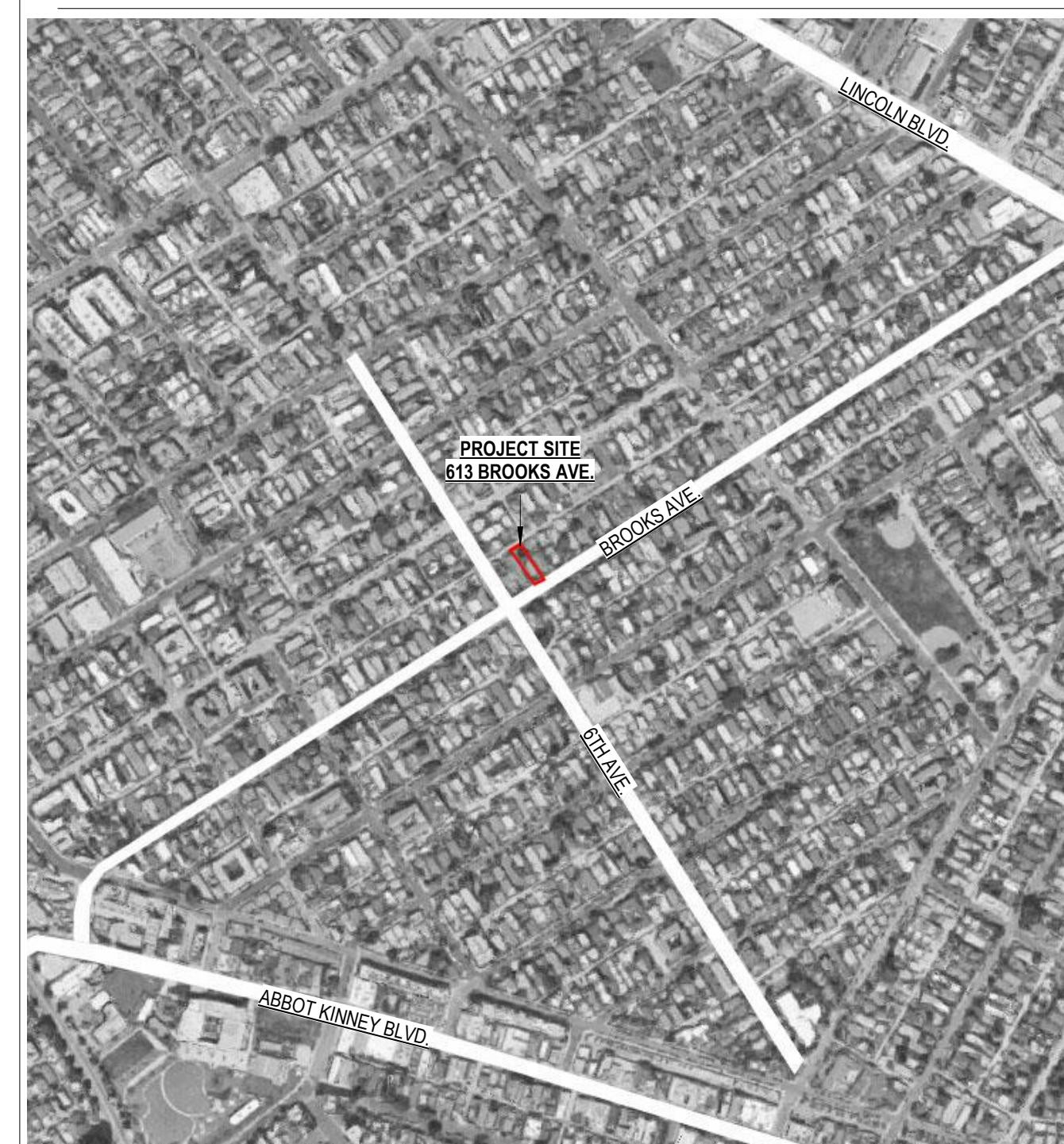
**ARCHITECT**  
EHRlich YANAI RHEE CHANEY ARCHITECTS  
10865 WASHINGTON BOULEVARD  
CULVER CITY, CALIFORNIA 90232  
T: 310-838-9700  
STEVE DODGE  
E: SDODGE@EYRC.COM

**GEOTECHNICAL ENGINEER**  
GROVER-HOLLINGSWORTH & ASSOCIATES, INC.  
STEVE NORTON  
311 25 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CA 91362  
T: 818-889-0844 ext 141  
E: SNORTON@GHGEO.COM

**PERMIT EXPEDITOR**  
CREST REAL ESTATE  
NICK LEATHERS  
11150 W. OLYMPIC BLVD, SUITE 700  
LOS ANGELES, CA 90004  
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**STRUCTURAL ENGINEER**  
HOLMES STRUCTURAL ENGINEERING  
AARON BOUCHER  
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E: AARON.BOUCHER@HOLMES.US

## VICINITY MAP



NOT FOR CONSTRUCTION

### ISSUE DATES

NO.	DATE	REVISION
	06/23/2022	PLANNING SUBMITTAL
	09/21/2022	PLANNING RESUBMITTAL

## MARTIN-KANG RESIDENCE

613 BROOKS AVENUE  
VENICE, CA 90291

## COVER SHEET

The plans and specifications prepared by Ehrlich Yanai Rhee Chaney Architects, LLP are prepared from unamended modifications, reuse and/or release under California Business & Professions Code section 25364 (Health & Safety Code Section 18610), and Education Code Section 17110.

JOB NUMBER: 722

DATE: 09/21/22

# A0.00



TREES

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	HEIGHT@ MATURITY	WUCOLS
	ACE PAL	ACER PALMATUM	JAPANESE MAPLE	2	36" BOX	10 FEET	M
	CIT AUR	CITRUS AURANTIFOLIA 'BEARSS SEEDLESS'	BEARSS SEEDLESS LIME	1	24" BOX	6 FEET	M
	CIT MEY	CITRUS IMPROVED MEYER'	MEYER LEMON	1	24" BOX	6 FEET	M
	CIT KUM	CITRUS KUMQUAT 'FUKUSHU'	KUMQUAT	1	24" BOX	6 FEET	M

SHRUBS, PERENNIALS AND SUCCULENTS

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	HEIGHT@ MATURITY	WUCOLS
	ACH HYB	ACHILLEA HYBRID	YARROW HYBRID	-	1 GALLON	12" H X 12" W	L
	BAM TEX	BAMBUSA TEXTILIS	WEAVER'S BAMBOO	-	15 GALLON	20" H X 2" W	M
	CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	-	1 GALLON	18" H X 18" W	L
	CHO TEC	CHONDROPETALUM TECTORIUM	CAPE RUSH	-	5 GALLON	3" H X 3-4" W	L
	ECH GRU	ECHINOCACTUS GRUSONII	BARREL CACTUS	-	5 GALLON	12" H X 12"-2" W	L
	ERI GLA	ERIGERON GLAUCUS	CALIFORNIA FLEABANE	-	1 GALLON	12" H X 12"-2" W	L
	FES MAI	FESTUCA MAIREI	MAIRE'S FESCUE	-	5 GALLON	3" H X 3" W	L
	FIC PUM	FICUS PUMILA	CREEPING FIG	-	5 GALLON	-	M
	HEU MAX	HEUCHERA MAXIMA	CORAL BELLS	-	1 GALLON	12" H X 18" W	L
	JAS POL	JASMINUM POLYANTHUM	PINK JASMINE	-	5 GALLON	-	M
	LIP NOD	LIPPIA NODIFLORA	KURAPIA	-	SOD	6" H X 18" W	L
	MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	-	1 GALLON	3-4 H X 4-5 W	L
	MYR AFR	MYRSINE AFRICANA	AFRICAN BOXWOOD	-	1 GALLON	2" H X 2" W	L
	PAC MAR	PACHYCEREUS MARGINATUS	MEXICAN FENCEPOST CACTUS	-	15 GALLON	8" H X 6" W	L
	POD GRA	PODOCARPUS GRACILIOR	FERN PINE	-	15 GALLON	12" H X 2" W	M
	POD MAK	PODOCARPUS MACROPHYLLUS 'MAKI'	SHRUBBY YEW PINE	-	15 GALLON	5" H X 2" W	M
	SAL GRE	SALVIA GREGGII 'PURPLE'	PURPLE AUTUMN SAGE	-	1 GALLON	3" H X 3" W	L
	VEG BED	VEGETABLE BEDS	TBD	-	TBD	1-3 H X NA	H

1	PLANT LIST	Scale: N/A
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WUCOLS PLANT FACTORS

- VL (VERY LOW) <0.1
- L (LOW) 0.1 - 0.3
- M (MEDIUM) 0.4 - 0.6
- H (HIGH) 0.7 - 0.9
- POOL (HIGH) 1.0

2	WUCOLS	Scale: N/A
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**EHRlich  
YANAI  
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ARCHITECTS

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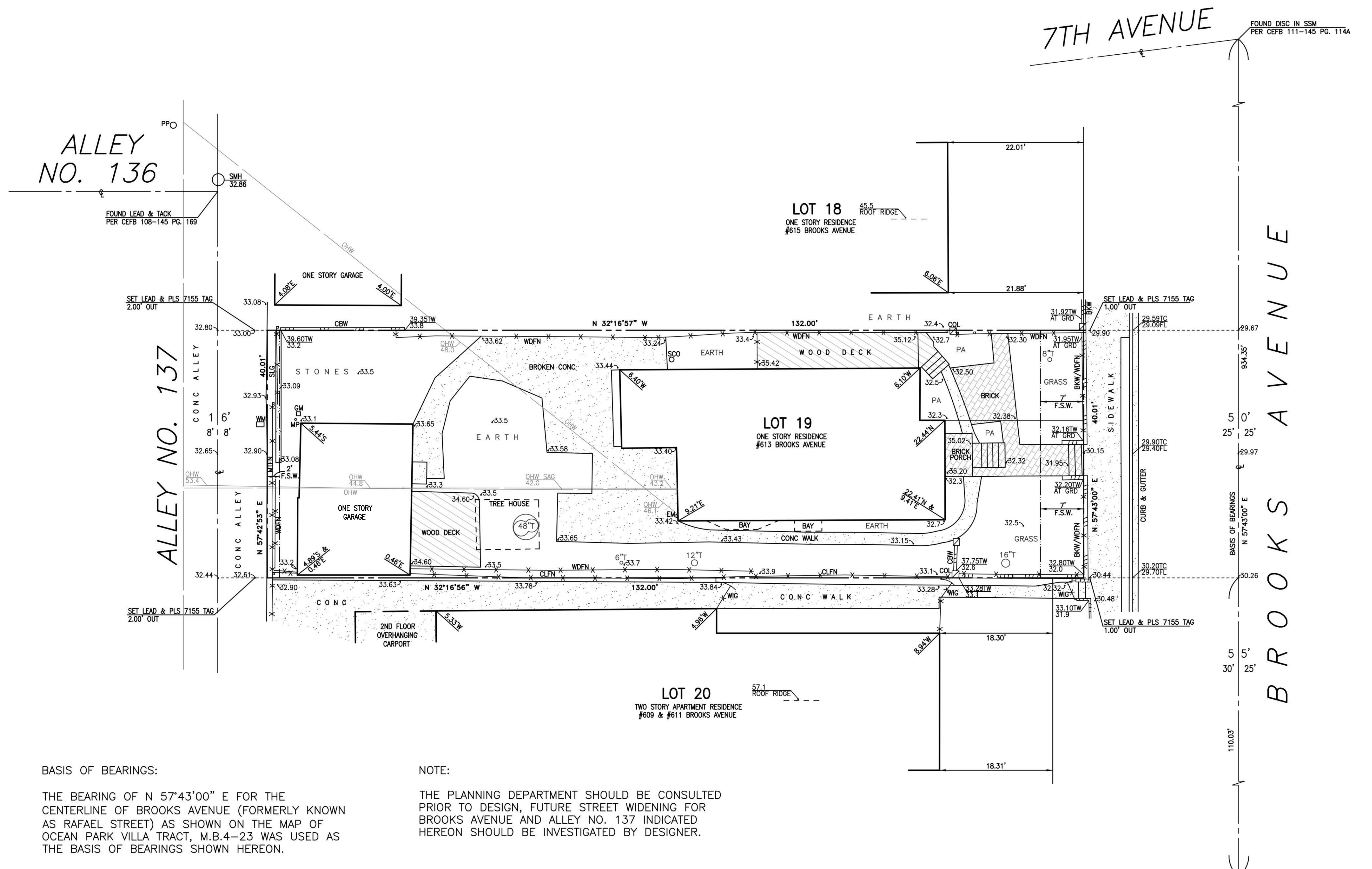
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ISSUE DATES

NO.	DATE	REVISION
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LEGEND

BKW	BRICK WALL
CBW	CONCRETE BLOCK WALL
CLFN	CHAIN LINK FENCE
COL	COLUMN
EM	ELECTRIC METER
FL	FLOW LINE
F.S.W.	FUTURE STREET WIDENING
GM	GAS METER
GRD	GRADE
MP	METAL POST
MTFN	METAL FENCE
OHW	OVERHEAD WIRE
PA	PLANTED AREA
PP	POWER POLE
SCO	SEWER CLEANOUT
SLG	SLIDING GATE
SMH	SEWER MANHOLE
SSM	STANDARD SURVEYING MONUMENT
T	TREE
TC	TOP OF CURB
TW	TOP OF WALL
WDFN	WOOD FENCE
WIG	WROUGHT IRON GATE
WM	WATER METER
N	NORTH OF PROPERTY LINE
S	SOUTH OF PROPERTY LINE
E	EAST OF PROPERTY LINE
W	WEST OF PROPERTY LINE



BASIS OF BEARINGS:

THE BEARING OF N 57°43'00" E FOR THE CENTERLINE OF BROOKS AVENUE (FORMERLY KNOWN AS RAFAEL STREET) AS SHOWN ON THE MAP OF OCEAN PARK VILLA TRACT, M.B.4-23 WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.

BENCH MARK:

CITY OF LOS ANGELES BM NO. 16-01230  
WIRE SPK E CURB 6TH AVE; 4.4FT S OF BC RET S OF BROADWAY COURT

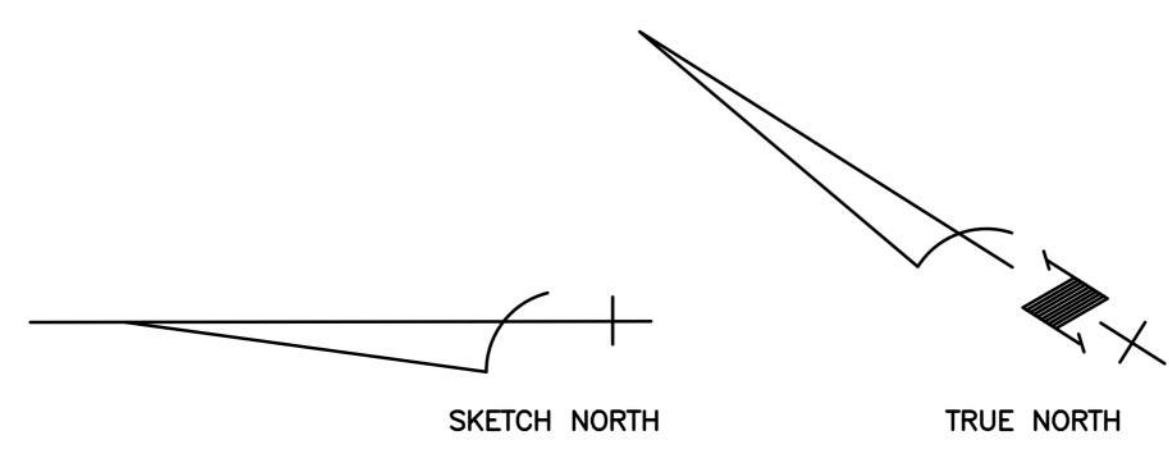
ELEVATION = 22.921' (2000 ADJ. NAVD 1988 DATUM)

NOTE:

LOT AREA = 5,282 SQ FT (0.12 ACRES)

NOTE:

THE PLANNING DEPARTMENT SHOULD BE CONSULTED PRIOR TO DESIGN, FUTURE STREET WIDENING FOR BROOKS AVENUE AND ALLEY NO. 137 INDICATED HEREON SHOULD BE INVESTIGATED BY DESIGNER.



SCALE: 1" = 8'

<b>BECKER AND MIYAMOTO, INC.</b>		JOB NO.	13338
LICENSED LAND SURVEYORS		DRAWN BY:	H/SMc
5601 W. WASHINGTON BLVD. LOS ANGELES, CA. 90016 (323) 592-3589		CHECKED BY:	MY
TOPOGRAPHIC SURVEY		DATE OF SURVEY:	7-27-21
LOT 19, BLOCK J		SHEET	1
OF OCEAN PARK VILLA TRACT, M.B. 4-23		OF	1
DRAWN EXCLUSIVELY FOR: DAVID MARTIN		MARK YAMAGUCHI PLS 7155	



**MARTIN-KANG  
RESIDENCE**

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VENICE, CA 90291

SITE SURVEY

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JOB NUMBER: 722  
DATE: 06/23/22

**A1.00**

**EHRlich  
YANAI  
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CHANey**

ARCHITECTS

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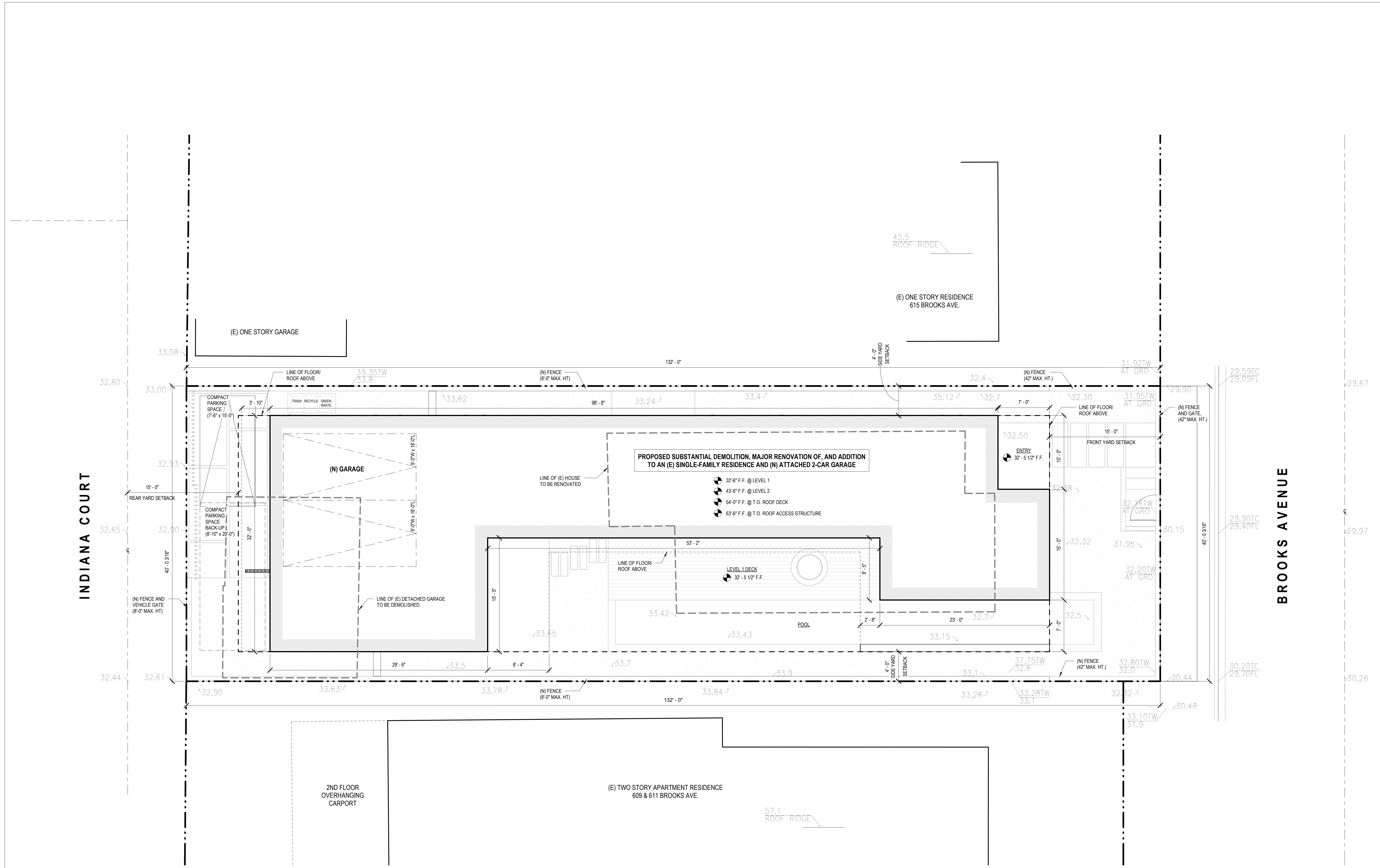
SITE PLAN

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JOB NUMBER: 722

DATE: 06/23/22

**A1.01**



**1 SITE PLAN**  
SCALE: 3/16" = 1'-0"  
PROJECT NORTH    TRUE NORTH

NOTES      LEGEND

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# EHRlich YANAI RHEE CHANey

ARCHITECTS

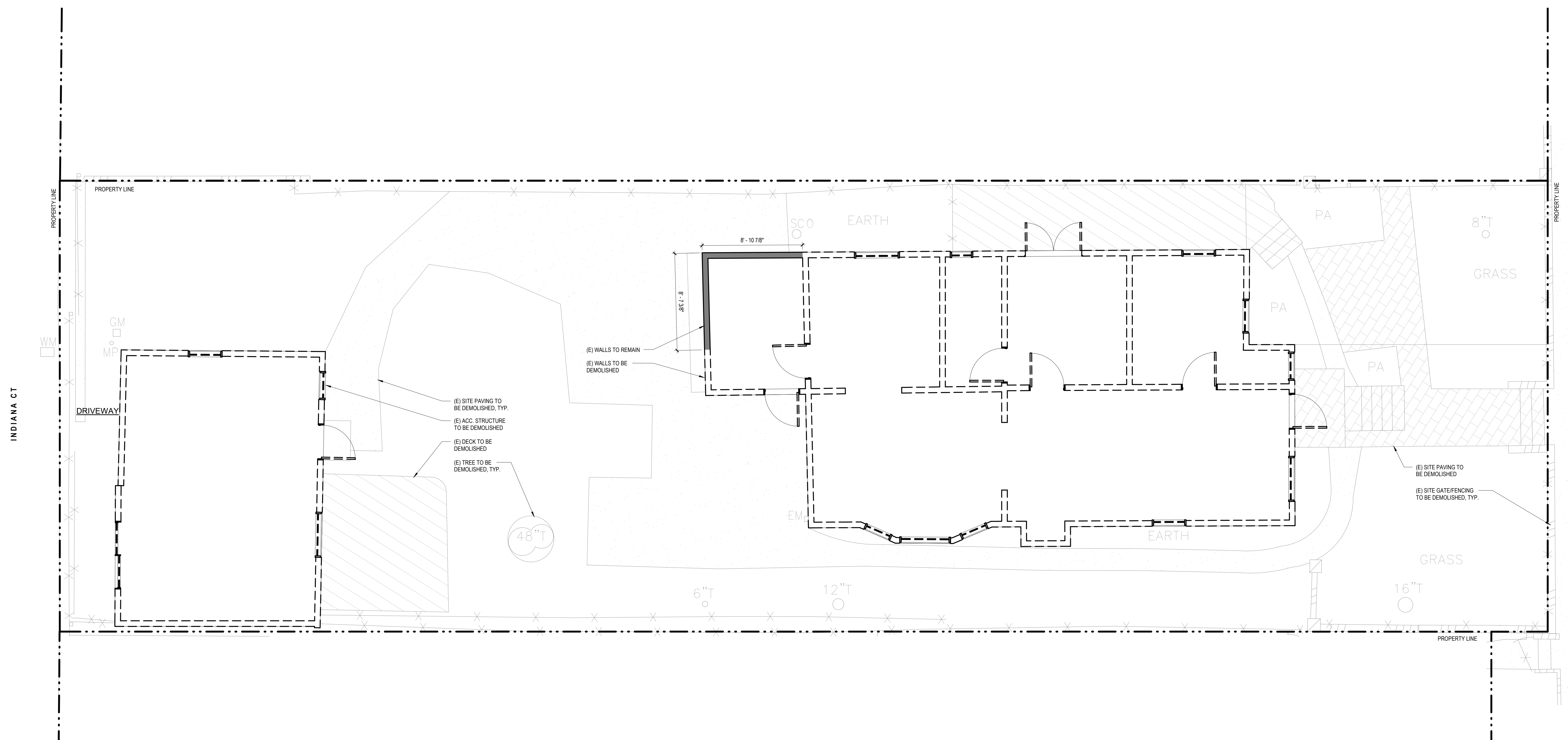
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**1** EXISTING LEVEL 1 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



REFER TO SITE PLAN FOR  
ADDITIONAL SITE INFO

ALL DIMENSIONS ARE TO  
FACE OF FINISH U.O.N.

## MARTIN-KANG RESIDENCE

613 BROOKS AVENUE  
VENICE, CA 90291

### DEMO PLANS

NOTES

LEGEND

- MATERIALS:**
- C = CONCRETE
  - CP = CEMENT PLASTER
  - GL = GLASS
  - M = METAL
  - P = PAINT
  - RH = RADIANT HEATING
  - ST = STONE
  - WD = WOOD

- WALL TYPES:**
- (E) WALL TO REMAIN
  - (E) WALL TO BE DEMOLISHED
  - FLOOR LEVEL TRANSITION
  - PROPERTY LINE
  - SETBACK LINE

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JOB NUMBER: 722

DATE: 06/23/22

# A1.10

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ISSUE DATES

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△	06/23/2022	PLANNING SUBMITTAL
	09/21/2022	PLANNING RESUBMITTAL

**MARTIN-KANG  
RESIDENCE**

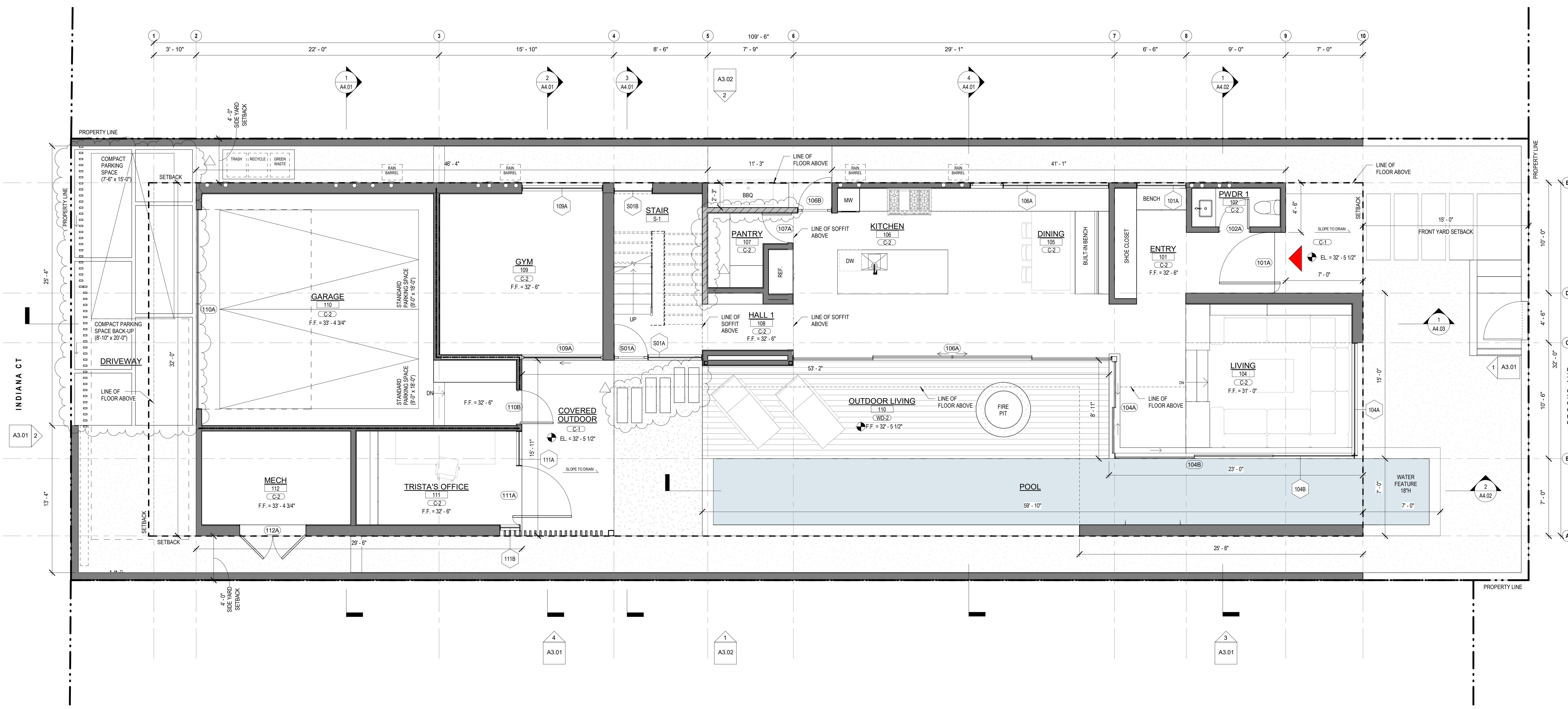
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VENICE, CA 90291

LEVEL 1 FLOOR PLAN

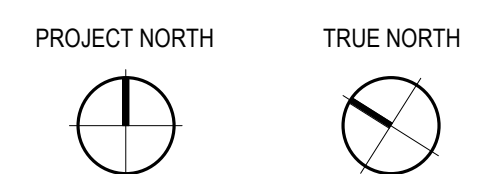
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JOB NUMBER: 722  
DATE: 09/21/22

**A2.02**



**1 LEVEL 1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



REFER TO SITE PLAN FOR  
ADDITIONAL SITE INFO

ALL DIMENSIONS ARE TO  
FACE OF FINISH U.O.N.

KEYNOTES

NOTES

- FOR HABITABLE LEVELS OR BASEMENT LOCATED MORE THAN ONE STORY ABOVE OR MORE THAN ONE STORY BELOW AN EGRESS DOOR, THE MAXIMUM TRAVEL DISTANCE FROM ANY OCCUPIED POINT TO A STAIRWAY OR RAMP THAT PROVIDES EGRESS FROM SUCH HABITABLE LEVEL OR BASEMENT, SHALL NOT EXCEED 90 FEET (R311.4).
- THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE EXTERIOR OF THE DWELLING AT THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. (R311.1)

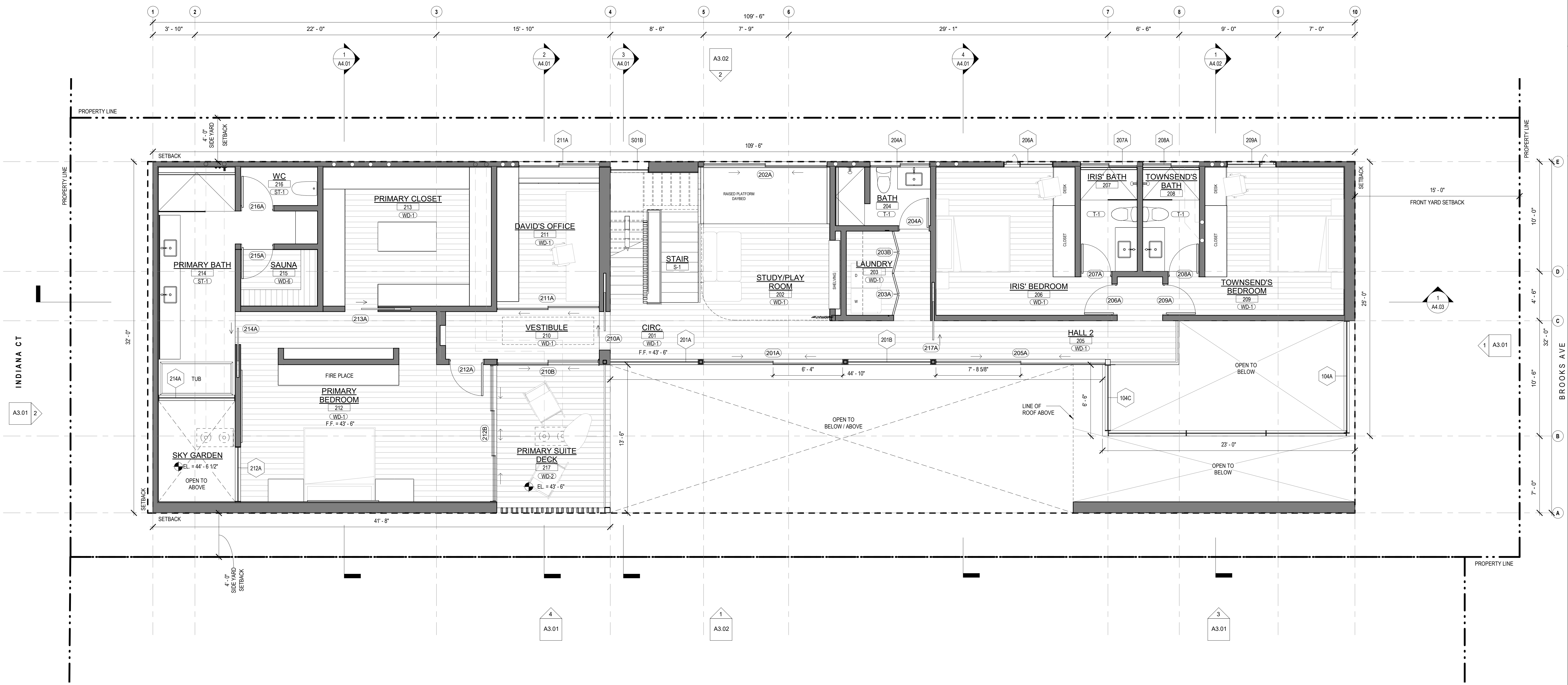
LEGEND

- MATERIALS:**
- C = CONCRETE
  - CP = CEMENT PLASTER
  - GL = GLASS
  - M = METAL
  - P = PAINT
  - RH = RADIANT HEATING
  - ST = STONE
  - WD = WOOD
- WALL TYPES:**
- 2X6 WALL
  - 1-HOUR WALL SEPARATION
  - (E) WALL TO REMAIN
  - FLOOR LEVEL TRANSITION
  - PROPERTY LINE
  - SETBACK LINE
  - SMOKE DETECTOR
  - EXHAUST FAN

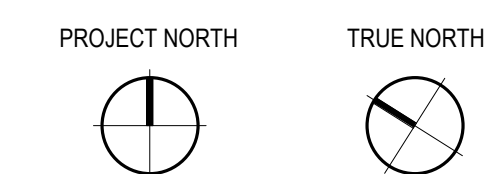
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ISSUE DATES

NO.	DATE	REVISION
	06/23/2022	PLANNING SUBMITTAL
	09/21/2022	PLANNING RESUBMITTAL



**1 LEVEL 2 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



REFER TO SITE PLAN FOR  
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VENICE, CA 90291

**LEVEL 2 FLOOR PLAN**

KEYNOTES

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LEGEND

<b>MATERIALS:</b>	<b>WALL TYPES:</b>
C = CONCRETE	2X6 WALL
CP = CEMENT PLASTER	1-HOUR WALL SEPARATION
GL = GLASS	(E) WALL TO REMAIN
M = METAL	FLOOR LEVEL TRANSITION
P = PAINT	PROPERTY LINE
RH = RADIANT HEATING	SETBACK LINE
ST = STONE	SMOKE DETECTOR
WD = WOOD	EXHAUST FAN

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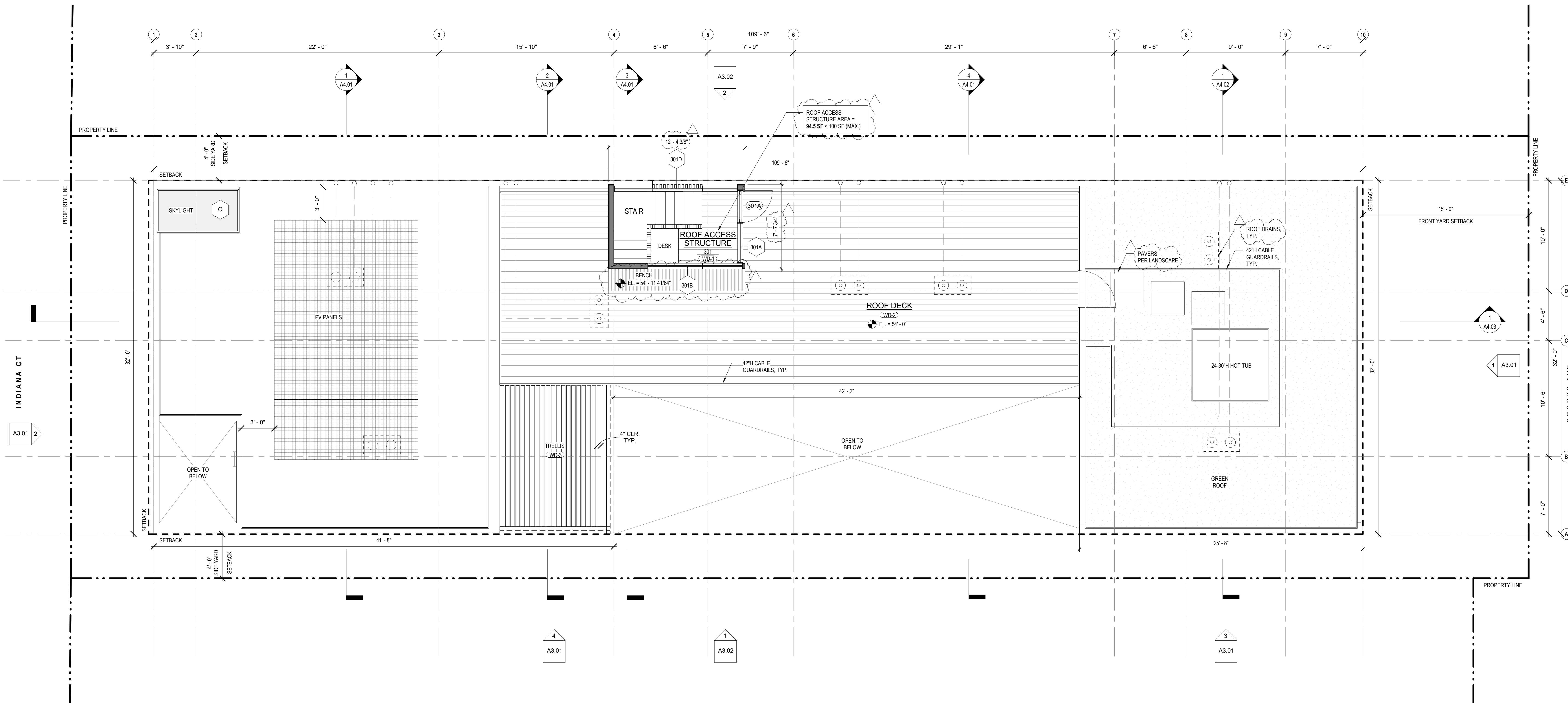
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DATE: 09/21/22

**A2.03**

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	06/23/2022	PLANNING SUBMITTAL
	09/21/2022	PLANNING RESUBMITTAL



**1 ROOF FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



REFER TO SITE PLAN FOR  
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ROOF PLAN

KEYNOTES

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JOB NUMBER: 722

DATE: 09/21/22

**A2.04**



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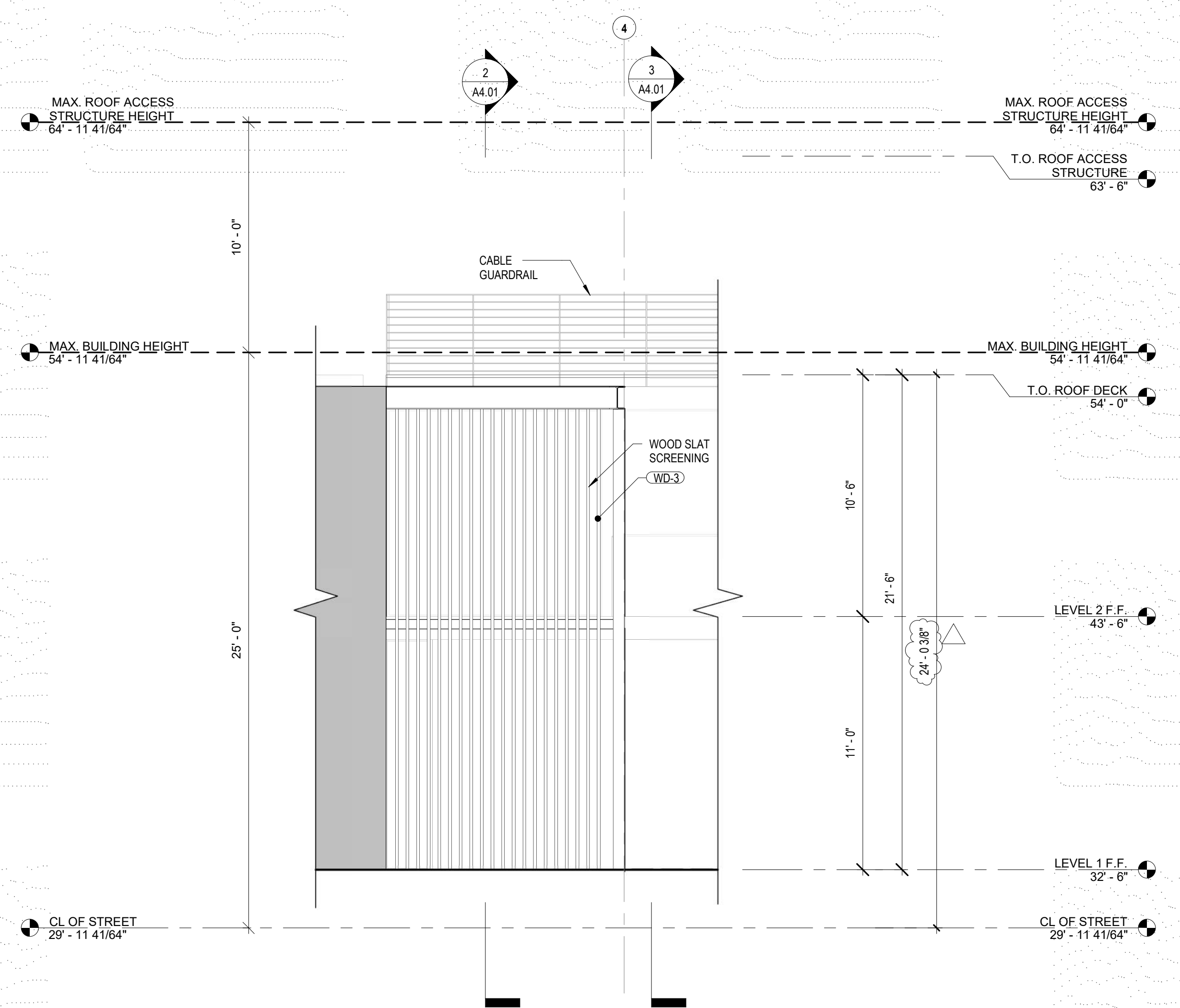
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613 BROOKS AVENUE  
VENICE, CA 90291

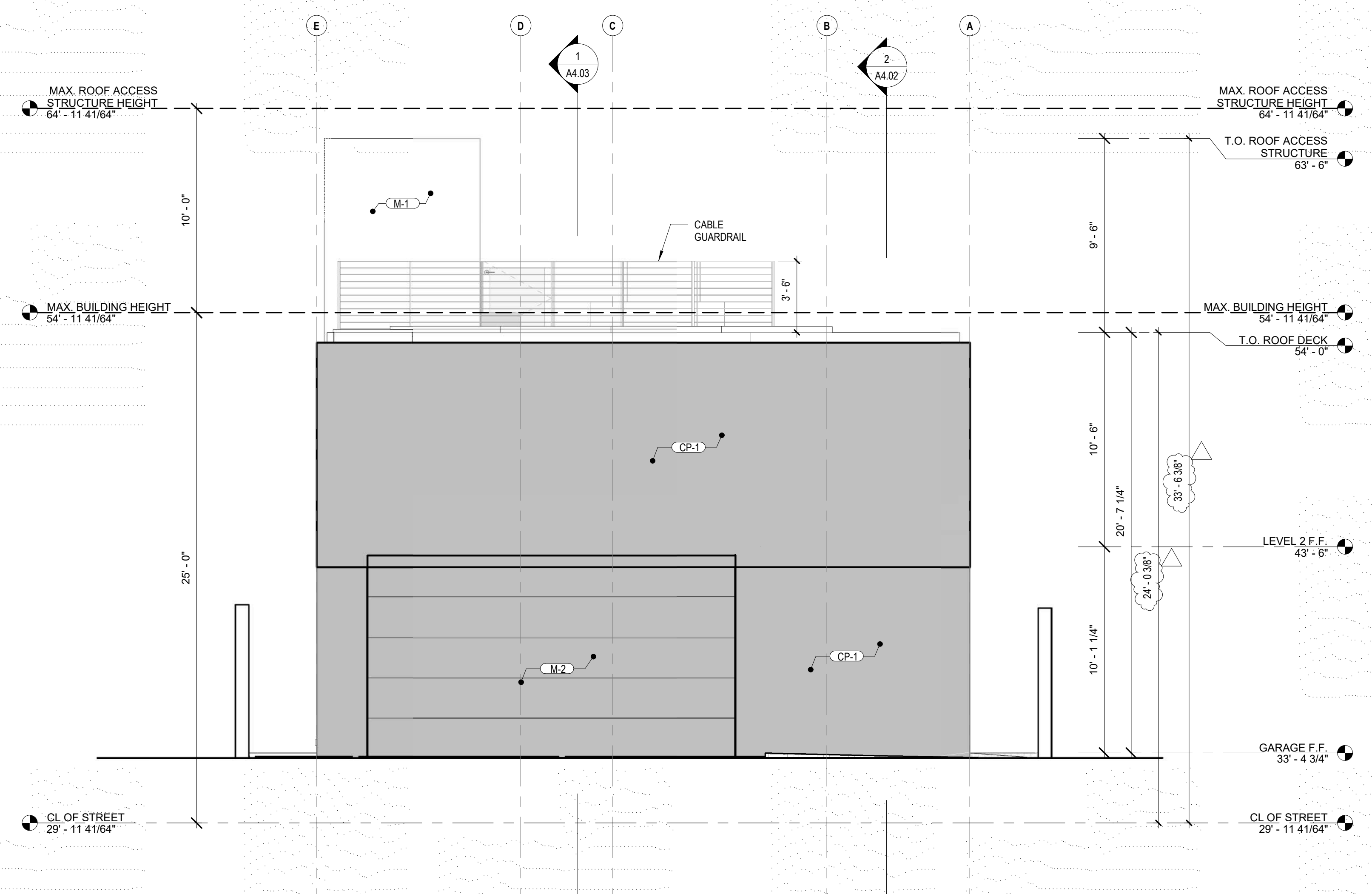
**EXTERIOR  
ELEVATIONS**

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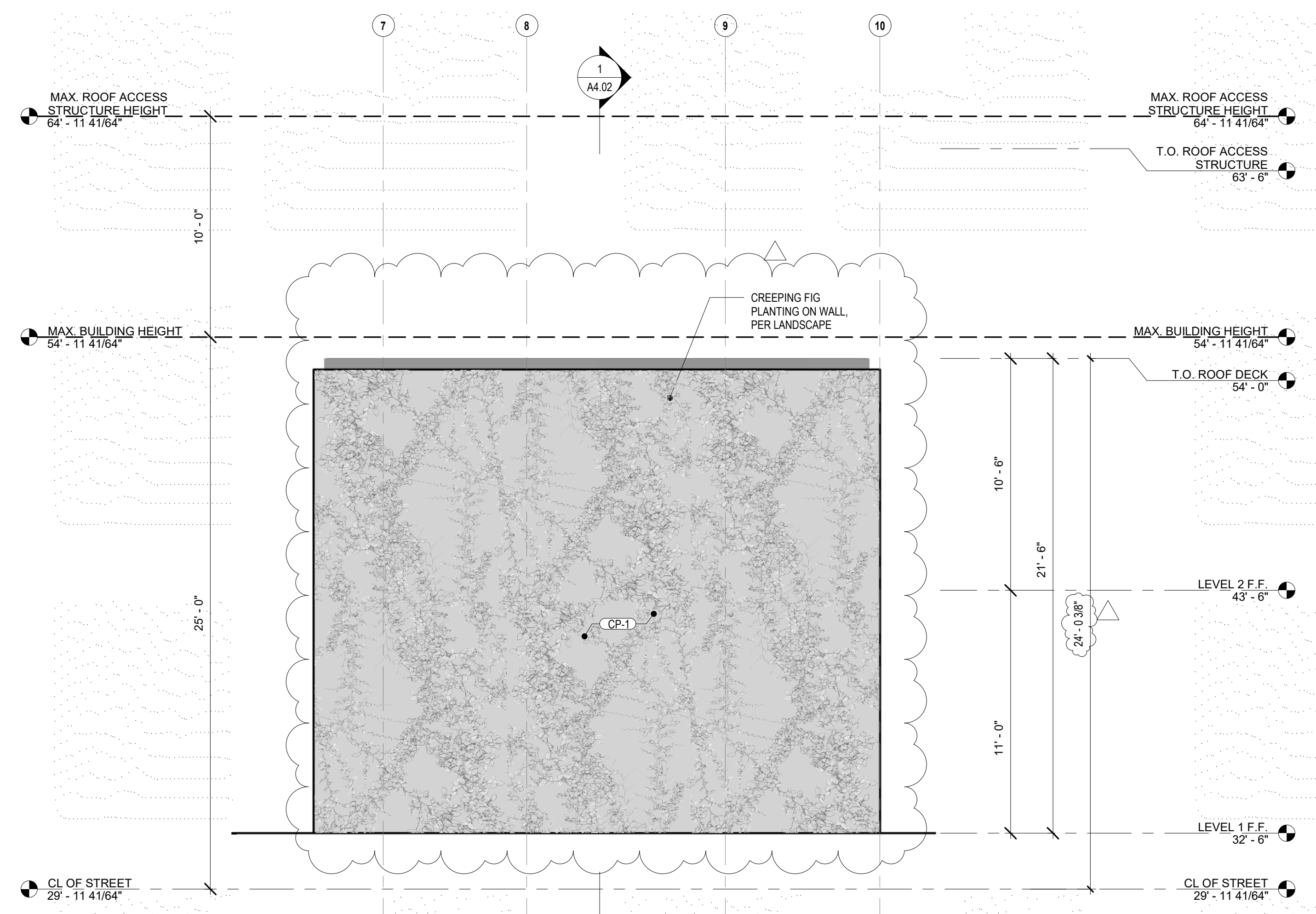
JOB NUMBER: 722  
DATE: 09/21/22



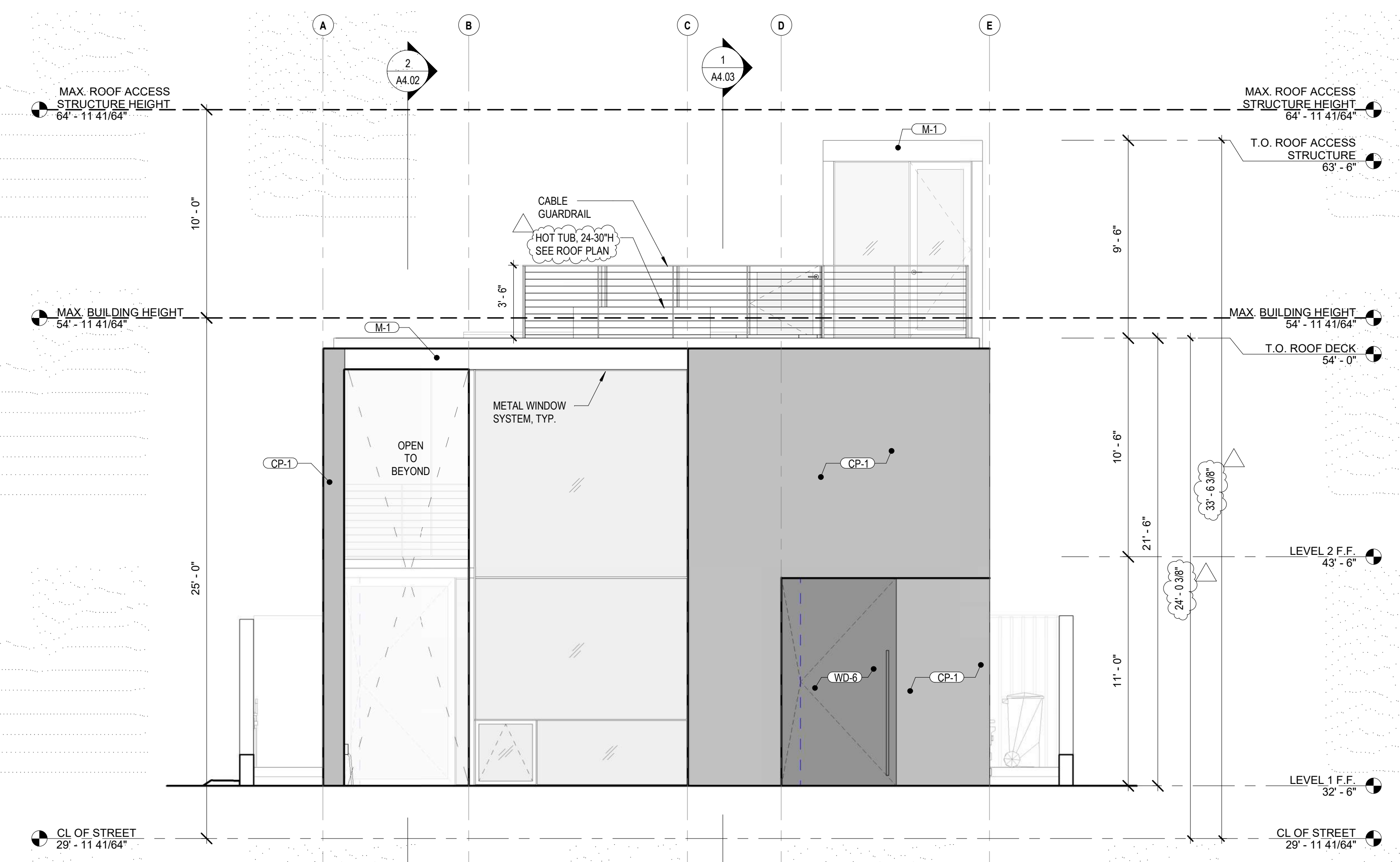
**4 PARTIAL WEST ELEVATION - SCREEN**  
SCALE: 1/4" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 PARTIAL WEST ELEVATION - WALL**  
SCALE: 1/4" = 1'-0"



**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

KEYNOTES

9/16/2022 2:00:02 PM BIM 360://722\_Brooks722\_Brooks R2020.rvt

NOTES

LEGEND

- MATERIALS:**
- C = CONCRETE
  - CP = CEMENT PLASTER
  - GL = GLASS
  - M = METAL
  - P = PAINT
  - RH = RADIANT HEATING
  - ST = STONE
  - WD = WOOD

NOT FOR CONSTRUCTION

ISSUE DATES

NO.	DATE	REVISION
06/23/2022		PLANNING SUBMITTAL
09/21/2022		PLANNING RESUBMITTAL

**MARTIN-KANG  
RESIDENCE**

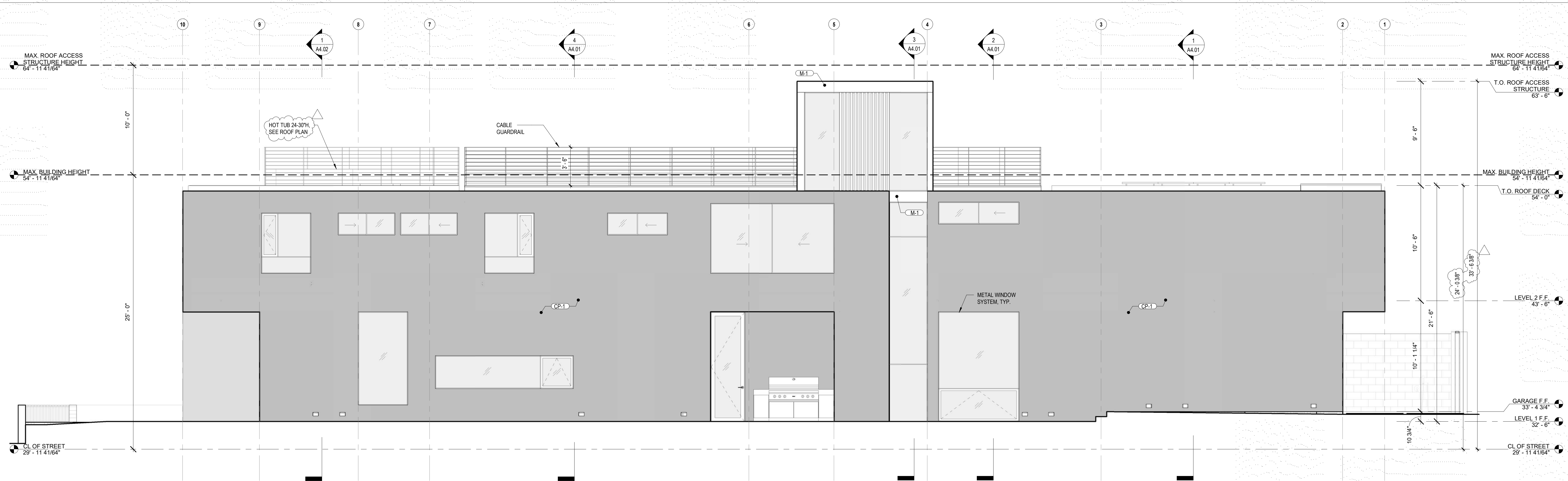
613 BROOKS AVENUE  
VENICE, CA 90291

EXTERIOR  
ELEVATIONS

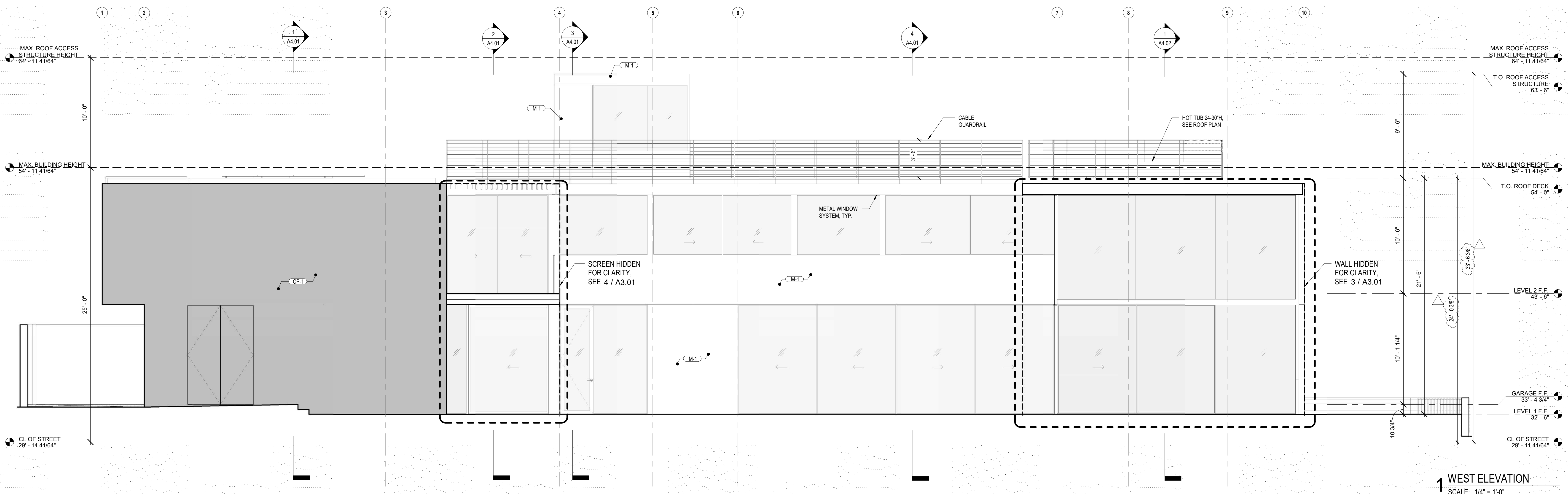
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JOB NUMBER: 722  
DATE: 09/21/22

**A3.02**



**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

KEYNOTES

Blank area for keynotes.

NOTES

Blank area for notes.

LEGEND

- MATERIALS:
- C = CONCRETE
  - CP = CEMENT PLASTER
  - GL = GLASS
  - M = METAL
  - P = PAINT
  - RH = RADIANT HEATING
  - ST = STONE
  - WD = WOOD

NOT FOR CONSTRUCTION

ISSUE DATES

NO.	DATE	REVISION
	06/23/2022	PLANNING SUBMITTAL
△	09/21/2022	PLANNING RESUBMITTAL

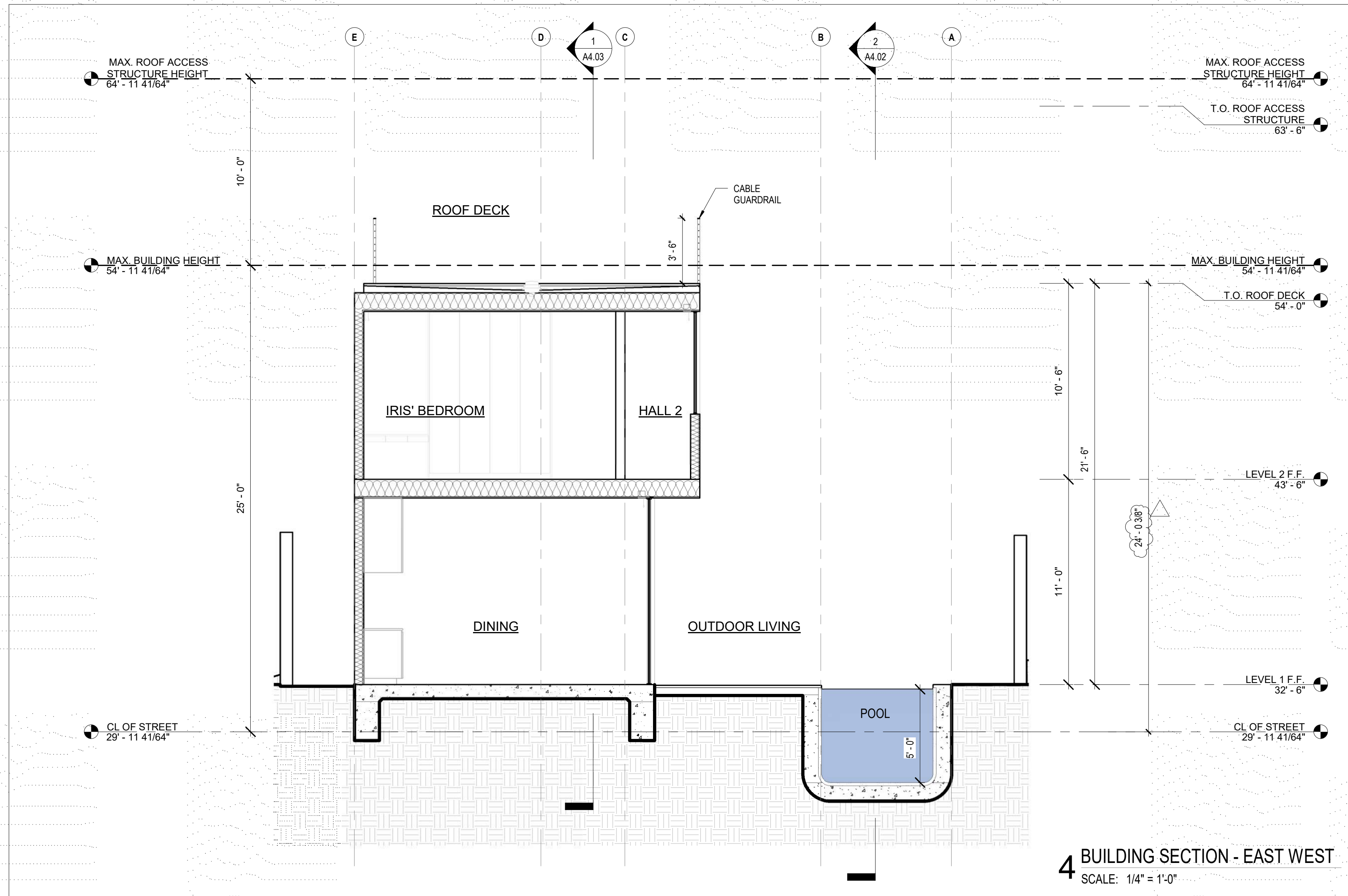
**MARTIN-KANG  
RESIDENCE**

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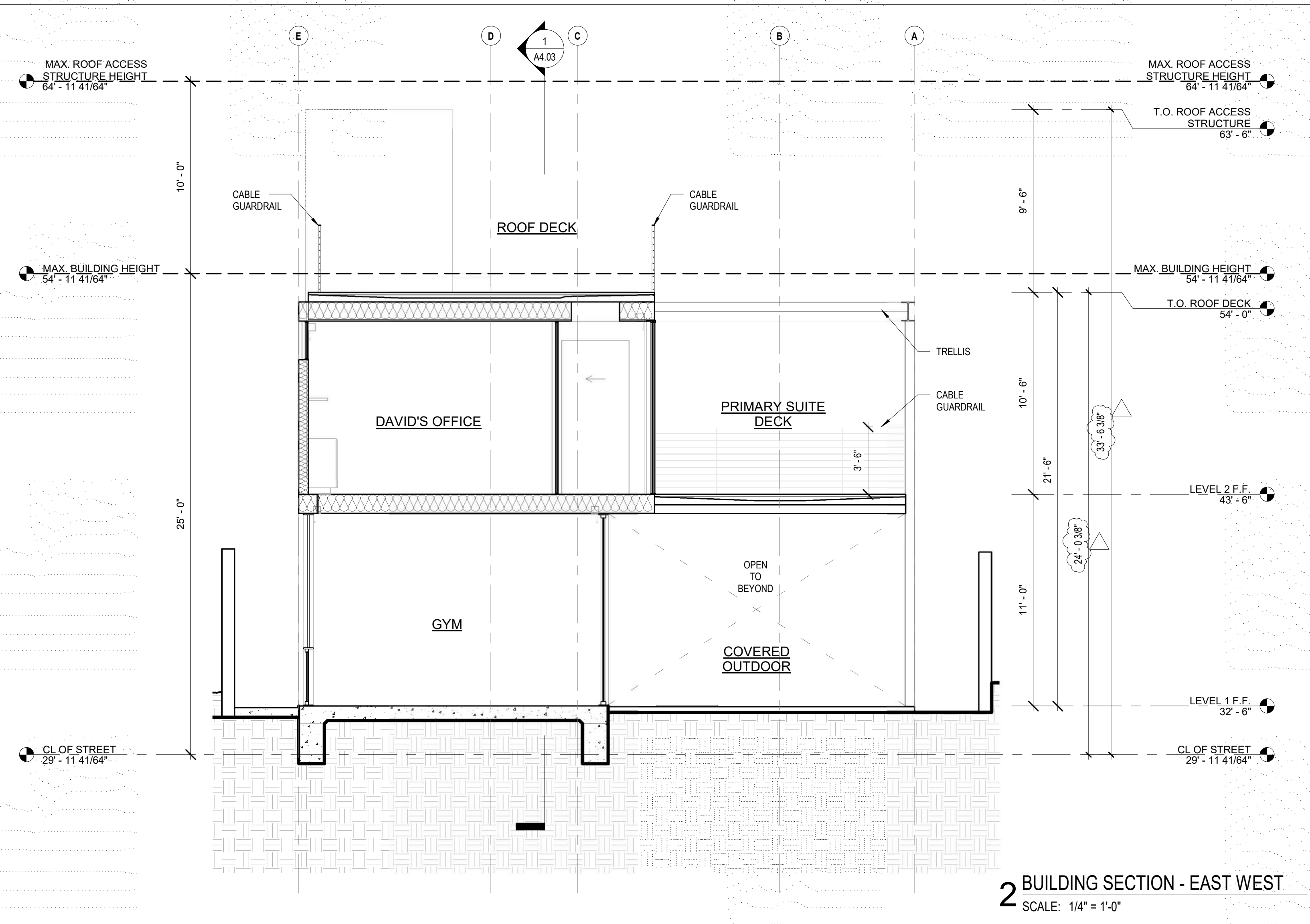
BUILDING SECTIONS

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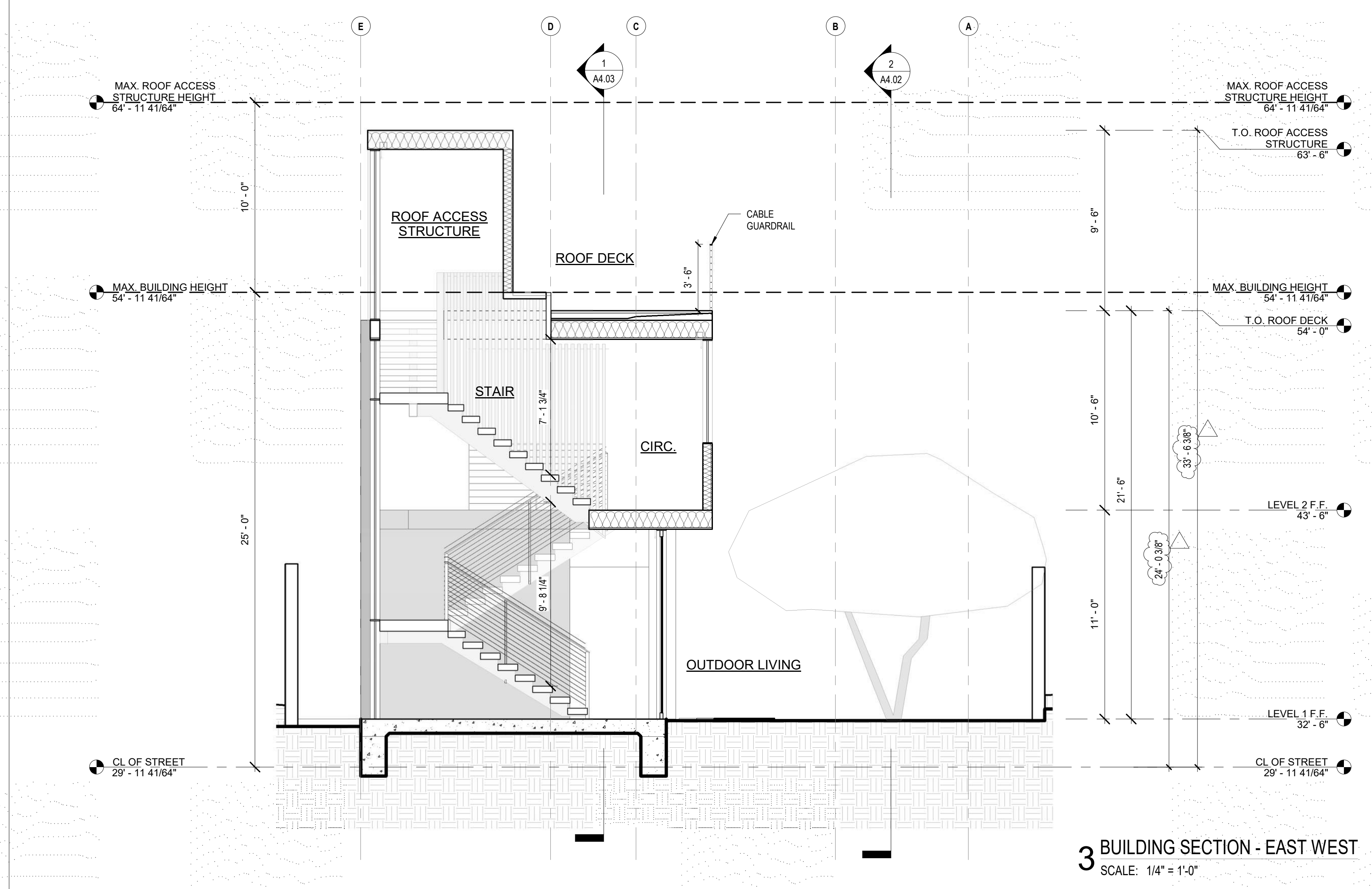
JOB NUMBER: 722  
DATE: 09/21/22



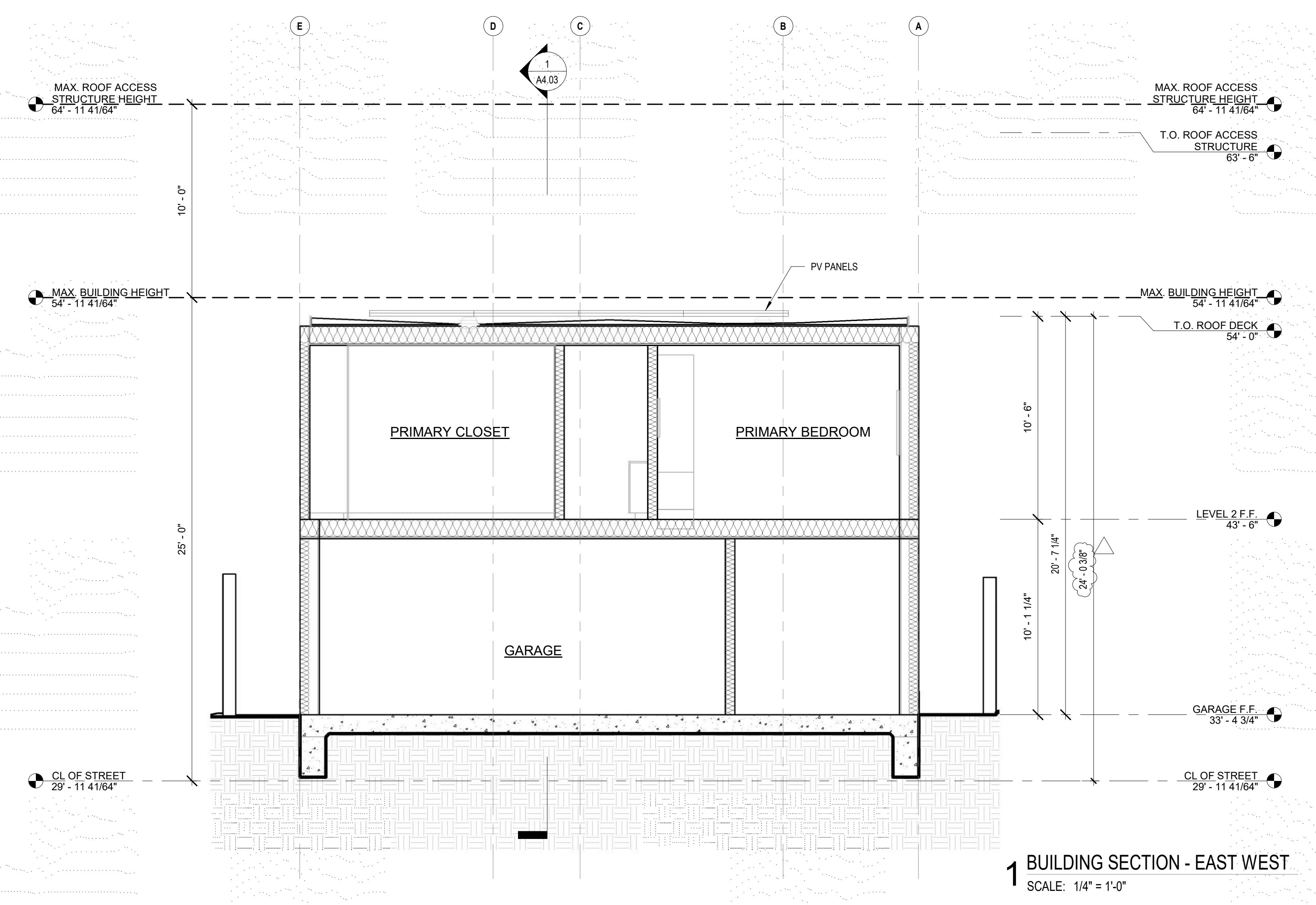
**4 BUILDING SECTION - EAST WEST**  
SCALE: 1/4" = 1'-0"



**2 BUILDING SECTION - EAST WEST**  
SCALE: 1/4" = 1'-0"



**3 BUILDING SECTION - EAST WEST**  
SCALE: 1/4" = 1'-0"



**1 BUILDING SECTION - EAST WEST**  
SCALE: 1/4" = 1'-0"

KEYNOTES

9/19/2022 10:42:35 AM BIM 360/722 Brooks722 Brooks R2020.rvt

NOTES

LEGEND

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ISSUE DATES

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△	06/23/2022	PLANNING SUBMITTAL
	09/21/2022	PLANNING RESUBMITTAL

**MARTIN-KANG  
RESIDENCE**

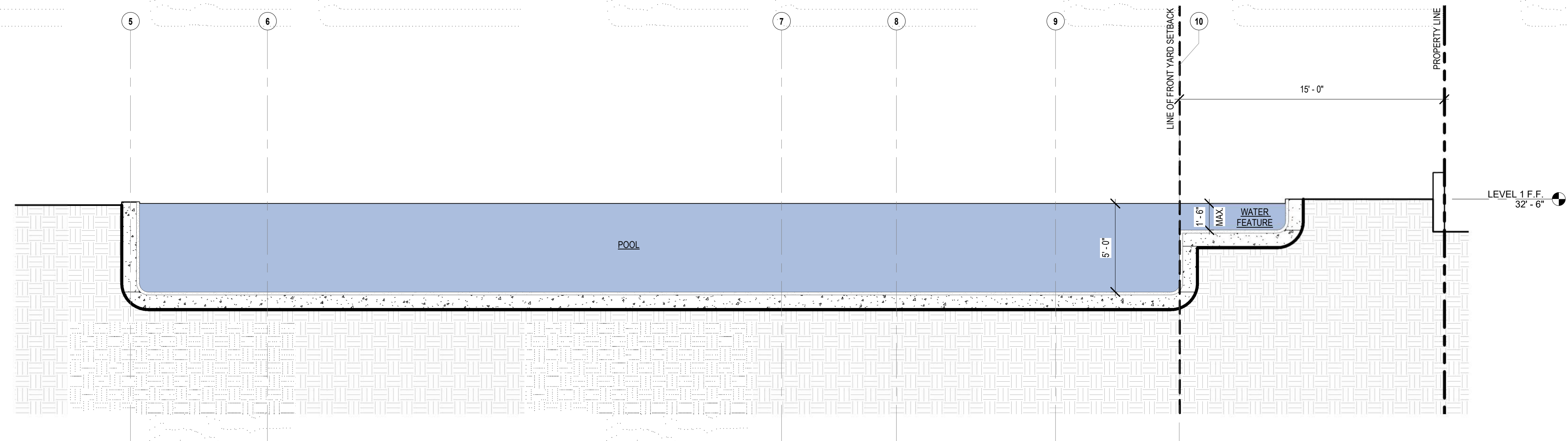
613 BROOKS AVENUE  
VENICE, CA 90291

BUILDING SECTIONS

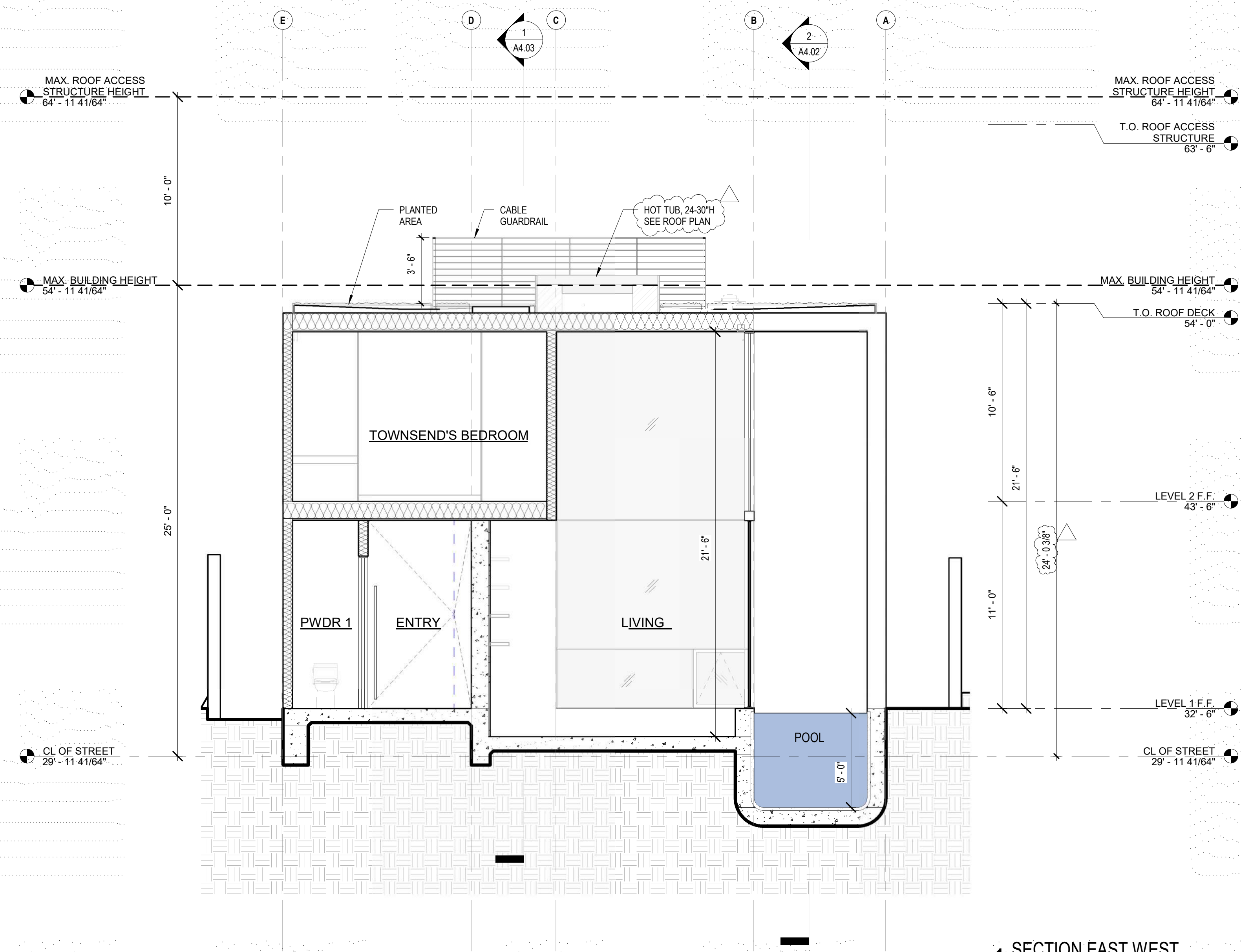
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JOB NUMBER: 722

DATE: 09/21/22



**2 SECTION NORTH SOUTH**  
SCALE: 1/4" = 1'-0"



**1 SECTION EAST WEST**  
SCALE: 1/4" = 1'-0"

KEYNOTES

NOTES

LEGEND

# EHRlich YANAI RHEE CHANey

ARCHITECTS

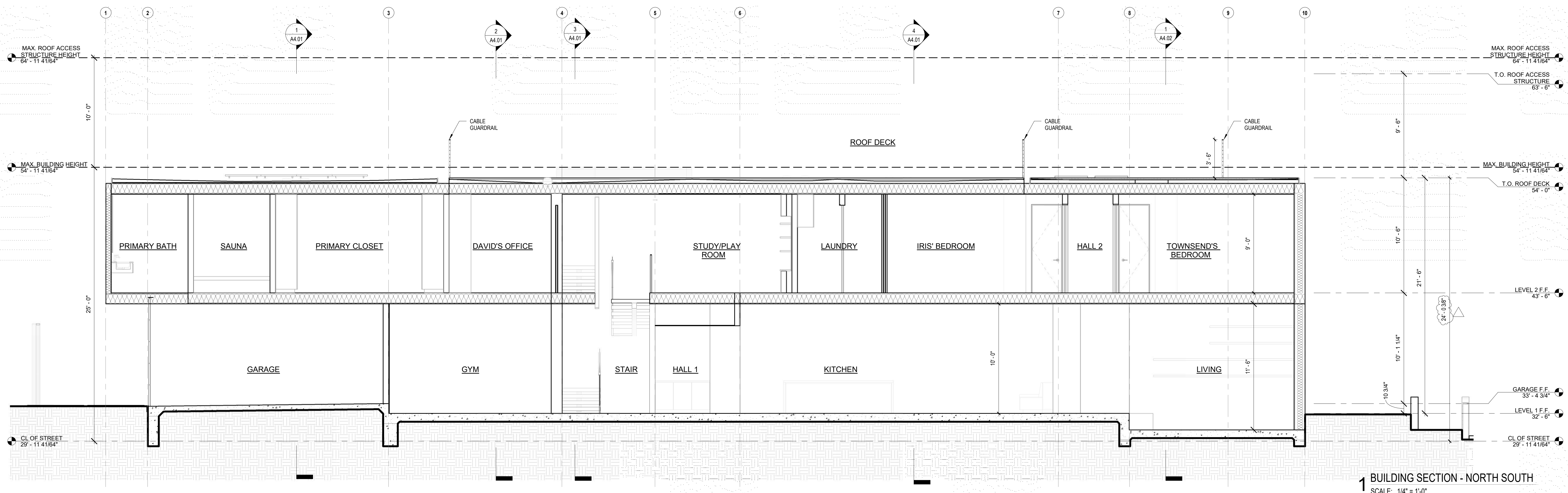
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### ISSUE DATES

NO.	DATE	REVISION
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**1** BUILDING SECTION - NORTH SOUTH  
SCALE: 1/4" = 1'-0"

### KEYNOTES

Blank area for keynotes.

### NOTES

Blank area for notes.

### LEGEND

Blank area for legend.

## MARTIN-KANG RESIDENCE

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VENICE, CA 90291

### BUILDING SECTIONS

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DATE: 09/21/22

# A4.03

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ISSUE DATES

NO.	DATE	REVISION
	06/23/2022	PLANNING SUBMITTAL
△	09/21/2022	PLANNING RESUBMITTAL

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RESIDENCE**

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EXHIBIT -  
STREETSCAPE

JOB NUMBER: 722

DATE: 09/21/22

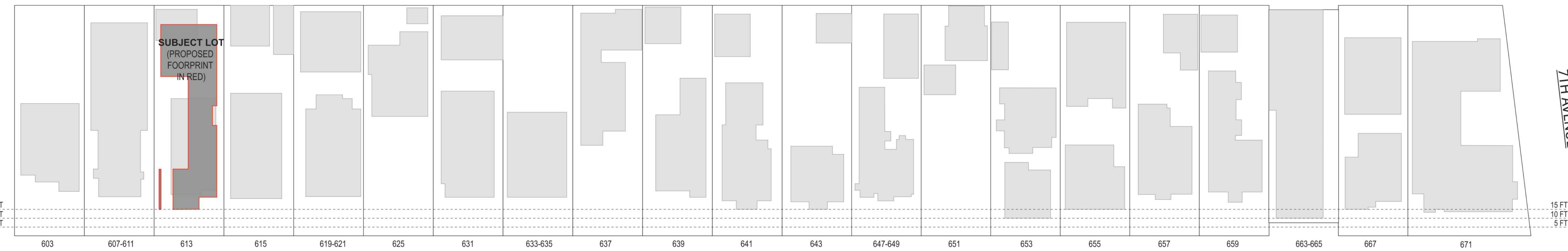
**A10.10**

**BROOKS AVENUE  
(NORTH)**

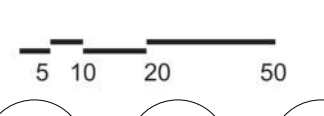
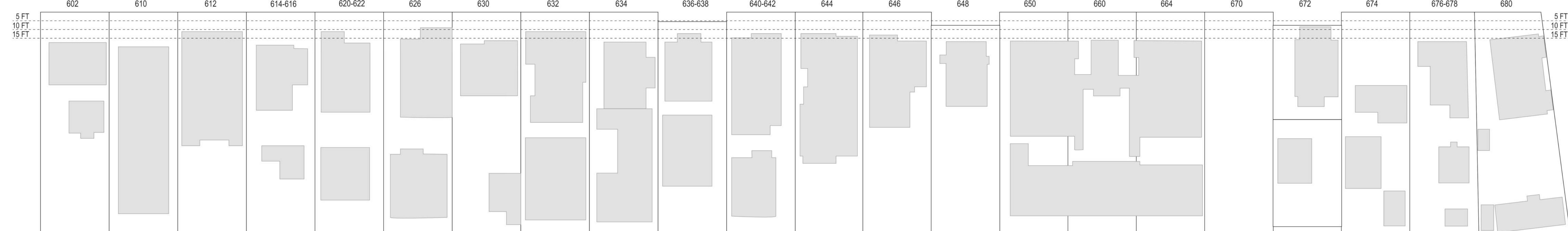


6TH AVENUE

7TH AVENUE



**BROOKS AVENUE  
(SOUTH)**



NOTE:  
SEE ADDITIONAL NEIGHBORHOOD ANALYSIS  
PACKET FOR MORE INFORMATION

FRONT ELEVATION



STREET ELEVATION



**EHRlich  
YANAI  
RHEE  
CHANEY**

ARCHITECTS

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REAR ELEVATION



ALLEY ELEVATION



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RESIDENCE**

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PHOTOS OF EXISTING  
STRUCTURE

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**A10.11**