

GENERAL NOTES

- 1. These construction documents have been prepared based on the requirement of all applicable local and state building codes, ordinances, and regulations.
2. Contractor shall have current workers' compensation insurance coverage in compliance with Section 3800 of the California Labor Code, on file with the state control board.
3. All work, construction, and materials shall comply with all provisions of the building code and with other rules, regulations and ordinances governing the place of building.
4. Building code requirements take precedence over the drawings and it shall be the responsibility of anyone supplying labor or materials or both to bring to the attention of the architect any discrepancies or conflict between the requirements of the code and the drawings.
5. The contract structural drawings and specifications represent the finished structure. They do not indicate the means or method of construction. The subcontractor shall provide all measures necessary to protect the structure during construction. Such measures shall include, but not be limited to, bracing, shoring for loads due to construction equipment, etc. Contractor shall provide plans and permits for temporary shoring of excavations that remove the lateral support from a public way or an existing building or structure. Observation visits to the site by the architect shall not include inspection of the above items.
6. In preparing a proposal, the contractor shall have visited the site, carefully examined the drawings and the methods of removal and storage of materials, the sequencing of operation, and the problems attendant thereto. No allowance will be made to the contractor for any error through negligence in observing the site condition.
7. Architect shall be notified immediately by the contractor should any discrepancy or other questions arise pertaining to the working drawings. Work shall not commence until clarifications are obtained from the architect.
8. On-site verification of all dimensions and conditions shall be the responsibility of the contractor. Site conditions in conflict with the expressed dimensions herein shall be brought to the attention of the architect for consideration and new alignments may be established only with the written approval and acceptance of the architect.
9. Dimensions shall take precedence over scales shown on the drawings. Do not scale drawings. Large scale details govern over small scale details.
10. All dimensions are to the face of finish unless otherwise noted. All work shall be erected plumb, level, and true in accordance with the details.
11. Notes and details on drawings shall take precedence over general notes and typical details. Where no details are shown, construction shall conform to similar work on the project.
12. Provide temporary sanitary facilities for workmen's use per the local building department regulations.
13. Construction materials shall be spread out if placed on framed floors or roof. Load shall not exceed the design live load per square foot. Contractor shall provide adequate shoring and/or bracing where structure has not attained design strength.
14. No deviation from the structural design without written approval of the structural engineer and building department authority to deviate from the plans or specifications.
15. All material stored on the site shall be stacked neatly on skids, platforms or blocking "high and dry" protected as recommended by the manufacturers from potential damage and deterioration caused by the elements.
16. All equipment, hardware, and other items shall be supplied as specified, unless changes are reviewed and accepted by both owner and architect. If changes are required for any reason to comply with the design intent, contractor shall notify architect immediately with recommendation of remedial course of action.
17. Contractor shall notify utility companies prior to excavating for utilities and shall be responsible for locating all underground construction prior to excavation. Contractor shall notify owner and architect of any conditions found.
18. The contractor shall provide all necessary blocking, backing, framing, hangers or other support for all fixtures, equipment and cabinetry.
19. Regulations, Taxes, and Permits
The whole of the work shall be executed in strict accordance with the regulations and codes of the governmental agencies whose jurisdiction is applicable. The owner shall pay for plan checking and building permits. Each sub-contractor shall satisfy local permit license, insurance and safety requirements and shall be responsible for the job inspections pertaining to his/her trade. All applicable sales taxes shall be included in contract. Sub contractor shall obtain and pay for all permits pertaining to his/her trade.
20. Submittals
Contractor shall submit 3 copies of required shop drawings, calculations of fabricated products, and 5 copies of manufacturer's catalog sheets, brochures, color samples, installation instructions, etc. on manufactured products used or installed for the project owner's acceptance. The architect's approval of submittals and shop drawings shall not relieve the contractor from the responsibility for deviations from drawings or specifications unless he/she has, in writing, called the architect's attention to such deviations at the time of submissions; nor shall the contractor be relieved from responsibility for errors of any sort in the shop drawings.
21. Supply new, purely unadulterated, first line quality manufactured materials shipped to job site in original containers with the manufacturer's label showing exact type, size grade, weight, and use. Store in manner consistent with manufacturer's recommendations.
22. Workmanship
Shall be of the highest quality and done by skilled employees in the practice of their trade.
23. Responsibility of Subcontractors
A. Each subcontractor shall at all times be fully aware of the job progress to allow himself/herself ample lead time to commence each phase of his/her work.
B. Subcontractors shall thoroughly inspect adjacent work that may impact installation of their trade and notify general contractor, in writing, if any irregularities. Continuing work constitutes acceptance of conditions and therefore responsibility for and rectification any resulting, unsatisfactory work.
C. Materials and the work of others shall be inspected by each trade prior to the commencement of his/her particular standard as herein described, shall be replaced by the subcontractor at the subcontractor's sole expense including the work of others damaged by initial failure or corrective repairs. The liability of contractor or his/her representative, to notice omitted or faulty materials or workmanship during construction shall not constitute a release from these requirements of subcontractor. If work is considered to be substandard, the work shall be tested as is standard to that industry. If the work fails to meet the testing standards, subcontractor shall pay for the testing and the replacement of the work. If the work passes the test and the owner pays for the test and repair of said work.
D. Each subcontractor shall maintain adequate protection of all his/her work from damage and shall protect the owner's and other trades' work and property from damage or injury while fulfilling his/her contract. All materials, work in place, finishes, paving and sidewalks, and existing utilities shall be included in the requirement.
E. Structure and contents shall be protected from the inclemencies of weather during the term of the work.
F. In the event subcontractors' work is damaged by other trades, it will be the subcontractor's obligation to resolve the cost of repairs of said damage with responsible subcontractors; the general contractor shall have the power of final arbitration in these matters.
G. Each trade shall cooperate fully, both with the general contractor's superintendent and other trades, and consult with other trades (in writing, if need be), in order to "can out," allow passage, provide protection, or do work necessary to allow others to follow in an orderly, professional manner.
H. All materials and appliances shall be uncrated by subcontractor responsible for installation, unless otherwise specified in contract.
24. Work Authorization and Payments
All work done or materials used shall be covered by a contract, contract change order, purchase order, or work order. No invoice will be processed unless it lists the contract, purchase order, work order, or change order number.
25. Clean-up
The contractor shall clean and remove from the site any debris and unused materials. Unused materials, equipment, scaffolding, and debris shall be removed from the site at completion. Final cleaning shall include: removal of all grease, dust, stains, labels, fingerprints, paint spots from the site, and exposed interior and exterior finish surfaces; polish surfaces so designated to show finish; and repair, patch or touch up, or replace marred surfaces to specified finish, or to match adjacent surfaces.

- SUPPLEMENTAL NOTES
1. General conditions of the contract for construction will be those agreed upon by and between the owner and the contractor. However, for the purpose of compiling these specifications, it has been assumed that the general conditions will be those contained in the AIA Document A111, a copy of which is on file at the office of the architect.
2. Should errors, omissions, or discrepancies appear in drawings or specification, or in the work done by others affecting this work, the architect shall be notified at once and will issue instructions as to procedure.
3. The contractor shall conform to and abide by all local, city, county and state building and safety laws. Such laws shall be considered as part of these specifications and the provisions of such regulations shall be observed. The contractor shall notify the architect if drawings or specifications are at variance. Should the contractor perform any work contrary to such laws or regulations, he/she shall bear all costs arising.
4. Named products make no guarantees for products identified by trade name or manufacturer.
5. The contractor shall review all documents related to this project for errors, omissions, and discrepancies prior to the start of construction. The contractor shall arrange a pre-construction meeting to review errors, omissions and discrepancies prior to the performance of any work.
6. The builder shall provide the owner a list of the heating, cooling, water heating, and warranty manuals, and lighting systems, and conservation or solar devices installed in the building and instructions on how to use them efficiently.
7. After installing insulation, the installer shall post in a conspicuous location in the building a certificate signed by the installer and the builder stating that the installation conforms with the requirements of Title 24, part 2, Chapter 9-33, and that materials installed conform with the requirements of Title 20, Chapter 2. The certificate shall state the manufacturer's name and material identification, the installed R-value, and weight per square foot.
8. The contractor shall provide a fire protection system during construction and maintain insurance.
9. The contractor shall protect trees and shrubs as indicated to remain by providing a fence around the tree or shrub of sufficient distance away and of sufficient height so that trees and shrubs shall not be damaged in any way. Contractor shall be responsible for any damage which may occur.
10. Contractor shall provide sprinkler system as required by code. Sprinkler system to be approved by the plumbing division prior to installation. Selection and location of sprinkler heads to be approved by architect prior to installation.
11. Provide plans for temporarily storing of excavations that remove the lateral support from a public way or an existing building. Excavation adjacent to a public way require public works approval prior to issuance of building permit.
12. There shall be no trenches or excavations 5' or more in depth into which a person is required to descend or the contractor must obtain a necessary permit from the State of California, Division of Industrial Safety prior to the issuance of a building or grading permit.

- ADDITIONAL NOTES
1. These drawings shall remain the property of the design professional. Copies of the drawings and specifications retained by the client may be utilized only for his or her use and for occupying the project for which they were prepared, and may not be used for the construction of any other project.
2. These drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project, and unless otherwise provided, the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright.
3. All construction fabrication, and installations shall conform to the latest adopted editions of the UBC, UFC, UPC, NEC and any federal, state or local codes, regulations or ordinances of the governing agency having jurisdiction over this project. Such applicable codes etc. are those in effect at the time the permit application for the project is recorded.
4. The interior finishes shall comply with UFC appendix V1-C and UBC chapter 8.
5. All work performed and materials used shall be of the same standard of quality as that of the existing finished building as a minimum unless noted or scheduled otherwise.
6. Verify that services to be removed or abandoned have been properly and safely shut off, capped, or sealed.
7. Verify hours of work with landlord. Keep noise and vibration to a minimum. If performing any core drilling or similar activities, perform work in a safe manner in accordance with landlord's requirements, OSHA, state or federal guidelines, . Protect space below from water damage or damage from falling debris.
8. Provide ceiling access panels as required to allow for service of or adjustment to any valves or mechanical items as required. Access panels to be flush with ceiling and painted to match ceiling. Provide rated access panels in rated ceiling equal to the level of protection as that of the ceiling.

9. Drywall contractor to carefully study the architectural and interiors drawings and provide 20 ga. backing where required for attachment of all items to be wall mounted.

CONSTRUCTION NOTES:

- 1. Construction to comply with all local, state, and national codes.
2. All dimensions are shown to face of finish u.o.n.
3. Contractor shall field verify all dimensions, notify architect immediately of any and all dimensional discrepancies before proceeding with work.
4. All plumbing, electric, and hvac fixtures and equipment to be city of la approved and installed according to applicable codes. Plumbing fixtures are required to be connected to a sanitary sewer or an approved sewage disposal system.
5. Provide ultra flush water closets for new construction. Existing shower heads and toilets must be adapted for low water consumption. New toilets to be 1.28 gpi. or less.
6. Glazing used for shower doors / bath enclosures to be tempered safety glass and shall pass usc standard no. 54-2 and comply with 91.607, 91.2408.4.5.
7. Provide 70" min. high non absorbant wall adjacent to shower and approved shatter-resistant materials for shower enclosure.
8. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6-foot candles over the area of the room at a height of 30 inches above the floor level.
9. Damp proof all walls and foundations below grade, dampproofing where required, shall be installed with materials and as required in section R406.1
10. An approved seismic gas shut off valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. per ordinance 171,874 for work over \$10,000. Separate permit is required.
11. Water heater must be strapped to wall.
12. The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
13. No protected tree shall be relocated or removed without the approval from the Board of Public Works.
14. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. Smoke alarms shall be located in each sleeping room and hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms within the individual dwelling unit.
15. Bathroom and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor.
16. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply.
17. Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing dwellings or sleeping units that have attached garages or fuel burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.1. Carbon monoxide alarms shall only be required in the specific dwelling unit for which the permit is obtained.
18. Lots shall be graded to drain surface water away from foundation walls with a minimum fall of 6 inches within the first 10 feet.
19. A copy of the evaluation report and/or conditions of listing shall be made available at the job site.
20. Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000).
21. Automatic garage door openers, if provided, shall be listed in accordance with UL 325.
22. Bathrooms, water closet compartments and other similar rooms shall be provided natural ventilation or with mechanical ventilation capable of 50 cfm exhausted directly to the outside.
23. Heater shall be capable of maintaining a minimum room temperature of 68 degrees F at a point 3 feet above the floor and 2 feet from exterior walls in all habitable rooms at the design temperature.
24. Protection of wood and wood based products from decay shall be provided in the locations specified section R317.1 by the use of naturally durable wood or wood that is preservative-treated in accordance with AWPA U1 for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of AWPA U1.
25. Buildings shall have approved address numbers, building numbers or approved building identification.
26. All interior and exterior stairways shall be illuminated.
27. The flow rates for all new plumbing fixtures shall comply with the maximum flow rates specified in section 4.303.1

FIRE PROTECTION

- 1. Smoke detectors shall be provided in each sleeping room, on the ceiling of wall immediately outside of each sleeping room, and on each story and basement for dwellings with more than one story.
2. The power source for smoke detectors shall be as follows:
a. In new construction smoke detectors shall receive their primary power from the building wiring and shall be equipped with a battery backup.
b. In existing SFD, smoke detectors may be battery operated.
c. Carbon monoxide alarm is required per Sec. 420.5
3. Through penetrations of fire-resistance-rated wall or floor assemblies shall comply with Section R302.4.1.1 or R302.4.1.2. Provide detail and copy of listing on plans.
4. Membrane penetrations shall comply with Section R302.4.1. Where walls are required to have a fire-resistance rating recessed fixtures shall be installed so that the required fire-resistance rating will not be reduced. R302.4.2.
5. In combustible construction, fire blocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.
6. The building shall be equipped with an automatic residential fire sprinkler system in accordance with Section R313.3 or NFPA13D.
7. Sprinkler will be approved by Plumbing Divisions prior to installation.
8. An approved smoke alarm shall be intalled in each sleeping room & hallway or area giving access to a sleeping room and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary source of power from the building wiring and shall be equipped with battery back-up and low battery signal.
9. An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garage. Carbon monoxide alarm shall be provided outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every level of a dwelling unit including basements. R315

GENERAL REQUIREMENTS

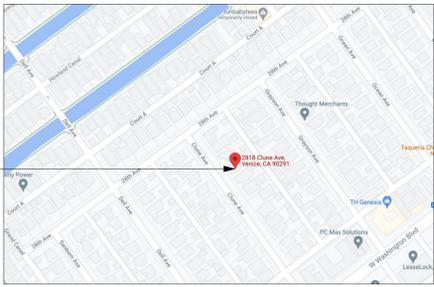
- 1. Ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage sheet steel or other approved material and shall not have openings into the garage.
2. Other penetrations of garage/dwelling ceilings and walls shall eb protected as required by Section R302.11, Item 4.
3. Garage floor surfaces shall be of an approved non combustible material, and the area used to park vehicles shall be sloped to a drain or toward the main vehicle entry doorway.
4. Heater shall be capable of maintaining a minimum room temperature of 68F at a point 3 feet above the floor and 2 feet from exterior walls in all habitable rooms at the design temperature. R303.10.
5. Vehicular access doors shall comply with Section R609.4.

NOTES 6

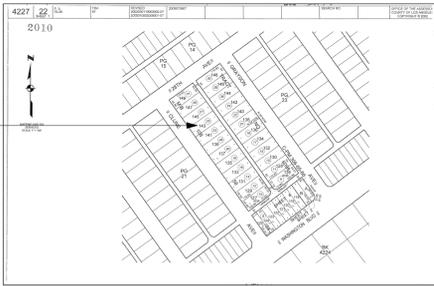
SHEET INDEX 3

ADDRESS: 2818 S. CLUNE AVE., VENICE, CA 90291
CLIENT: ASAF & MEREDITH KOFLER
SCOPE OF WORK: DEMO EXISTING SFD & DETACHED GARAGE ADD (N) TWO-STORY SFD & (N) DETACHED GARAGE W/ PARTIAL FIRST FLOOR AND SECOND FLOOR ADU (N) POOL.
LEGAL DESCRIPTION: TRACT: TR 6098, BLOCK: NONE, LOT: 143
APN: 4227202025
ZONE: R1-1-O
SPECIFIC PLAN: VENICE - SUBAREA: OAKWOOD-MILWOOD-SOUTHWEST VENICE
LOT SIZE: 5154.7 SQ. FT. (PER ZIMAS)
(E) SFD SQ. FT.: 801 SQ. FT. (PER ZIMAS)
(E) DETACHED GARAGE SQ. FT.: 621 SQ. FT. (PER ZIMAS)
(N) SFD SQ. FT.: 3286.72 SQ. FT.
(N) GARAGE SQ. FT.: 348 SQ. FT.
(N) ADU SQ. FT.: 513.78 SQ. FT.
(E) HEIGHT: 16.81 FT. (PER NAVIGATE LA)
(N) HEIGHT: 24.67 FT.
EXISTING PARKING: 2
PROPOSED PARKING: 3
OCCUPANCY: R-3
CONSTRUCTION: TYPE VB
NO. OF (E) STORIES: 1
NO. OF STORIES PROPOSED: 2
FIRE SPRINKLERS: YES NFPA-13R

PROJECT DATA 2

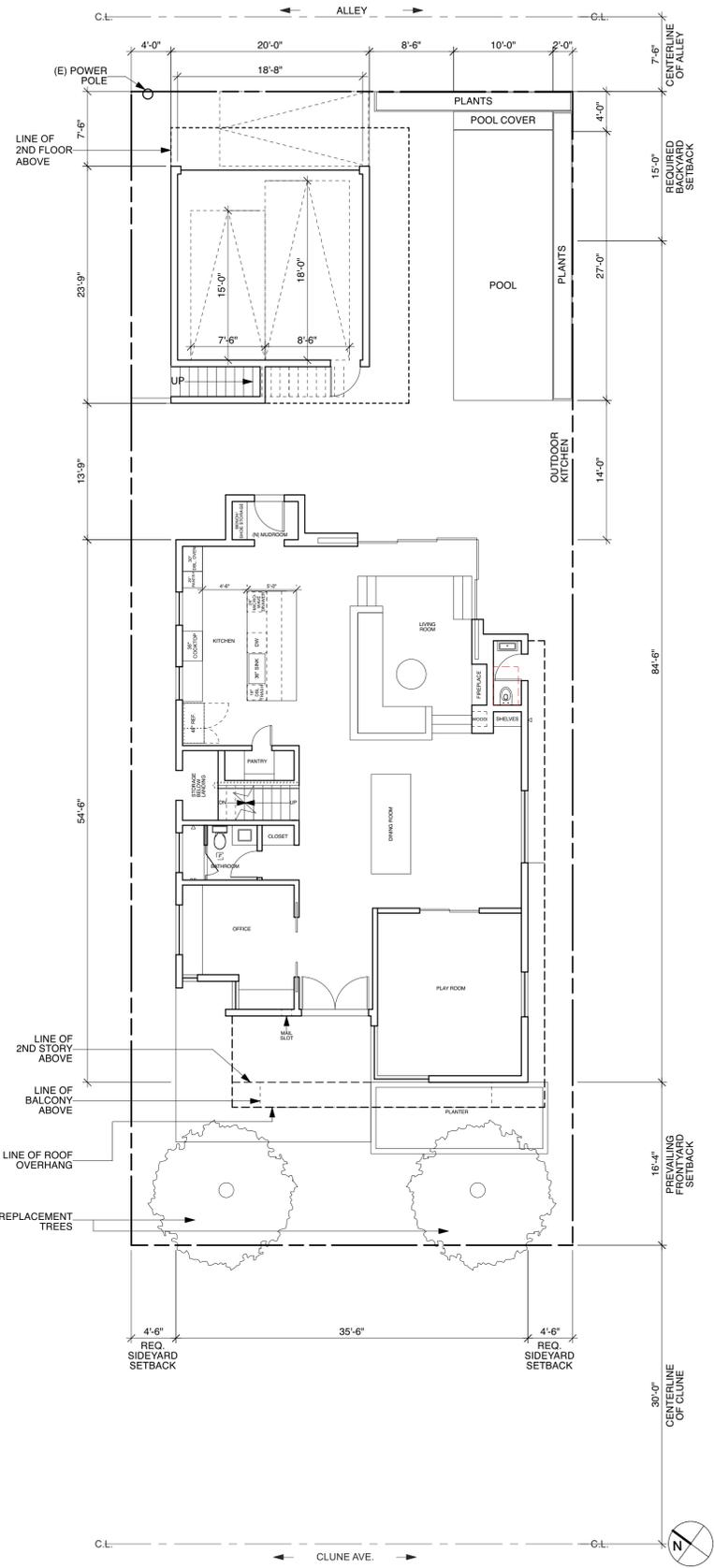


VICINITY MAP NTS 5



LOCATION MAP NTS 4

- A-0.0 TITLE SHEET
A-1.1 PROPOSED FLOOR PLAN (SFD)
A-1.2 ROOF PLAN (SFD)
A-1.3 PROPOSED FLOOR PLAN (ADU)
A-1.4 ROOF PLAN (ADU)
A-2.0 EXTERIOR ELEVATIONS (SFD)
A-2.1 EXTERIOR ELEVATIONS (SFD)
A-2.2 EXTERIOR ELEVATIONS (ADU)
A-3.0 SECTIONS (SFD)
A-3.1 SECTIONS (ADU)



PLOT PLAN / SITE PLAN 1

PROJECT:

2818 S. CLUNE AVE.

VENICE, CA 90291

ARCHITECT:



DesignUniversal ARCHITECTURE AND DESIGN

ROBERT THIBODEAU 812 LINCOLN BLVD, VENICE, CA 90291

PH: 310.452.8161 FX: 310.452.8171

OWNER:

ASAF KOFLER 4500 GRIFFIN AVE, LOS ANGELES, CA 90031

PH: 818.212.0733 EMAIL: ASAF@KOFLERDESIGNBUILD.COM

STRUCTURAL ENGINEER:

SURVEYOR:

TITLE 24:

CONTRACTOR:

REVISION / ISSUE:

DATE:

1. PRELIM DESIGN 12.02.2021

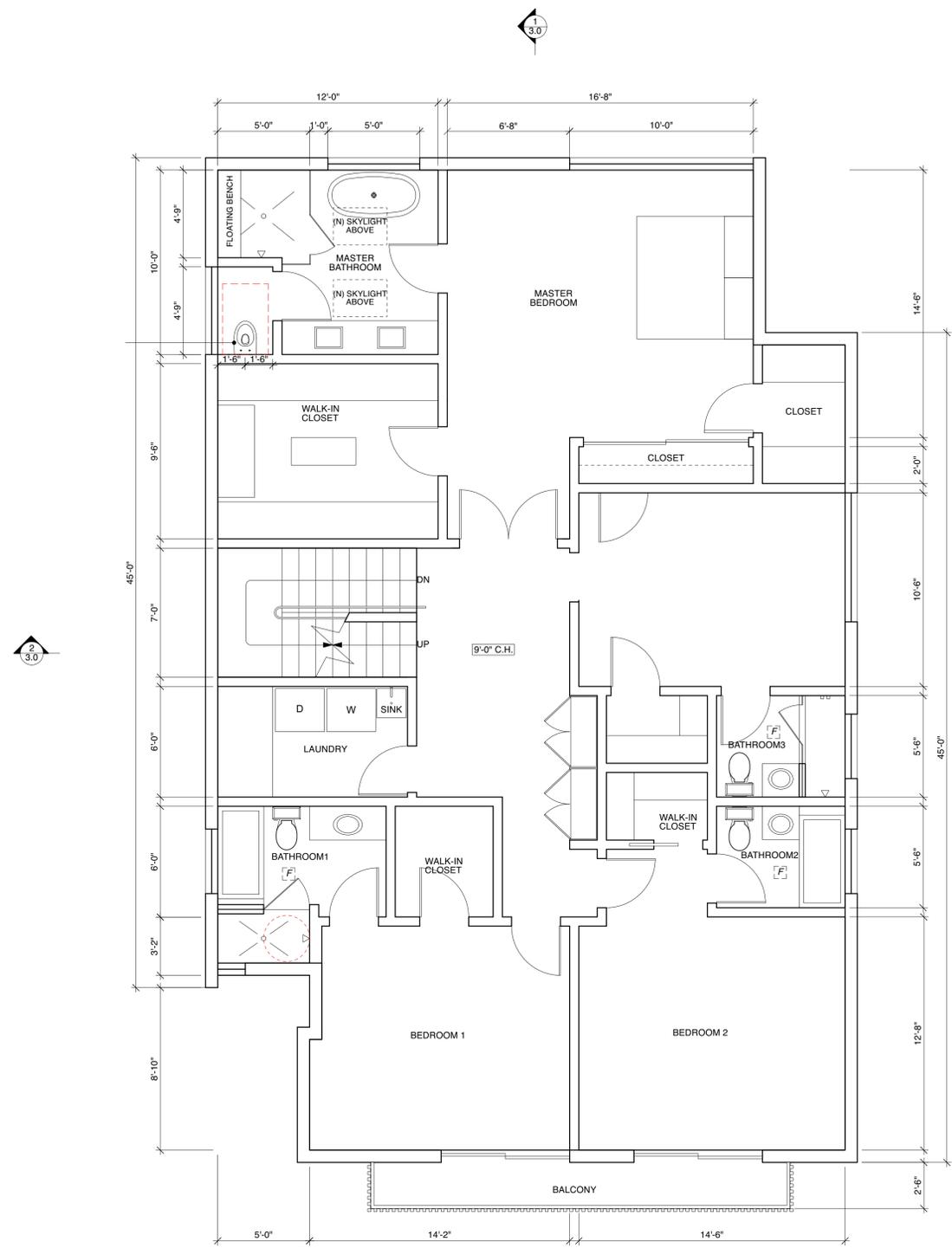
TITLE SHEET

DATE:

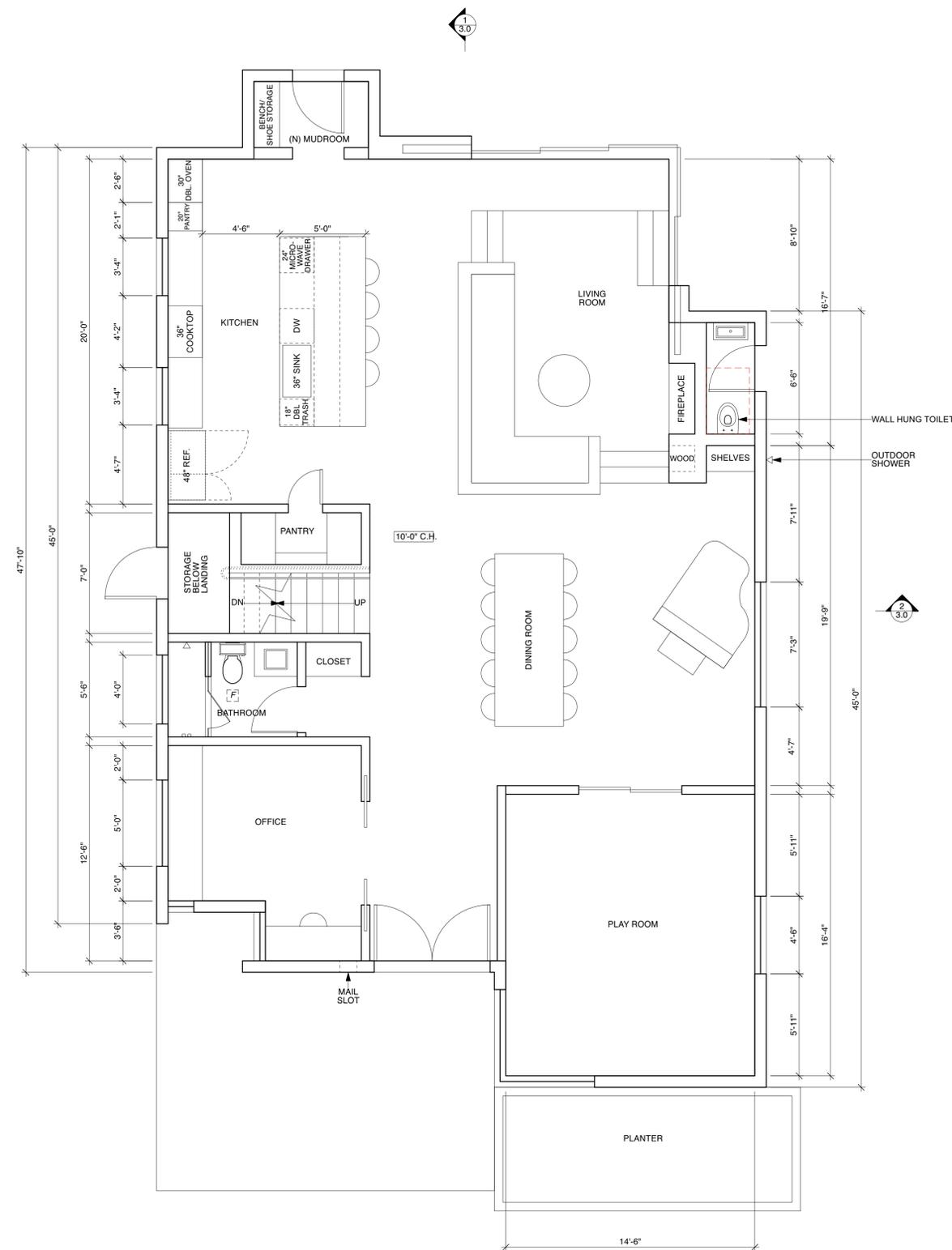
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SCALE: AS NOTED

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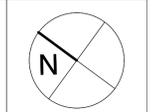


PROPOSED SECOND FLOOR PLAN
 Scale: 1/4" = 1'-0" 2



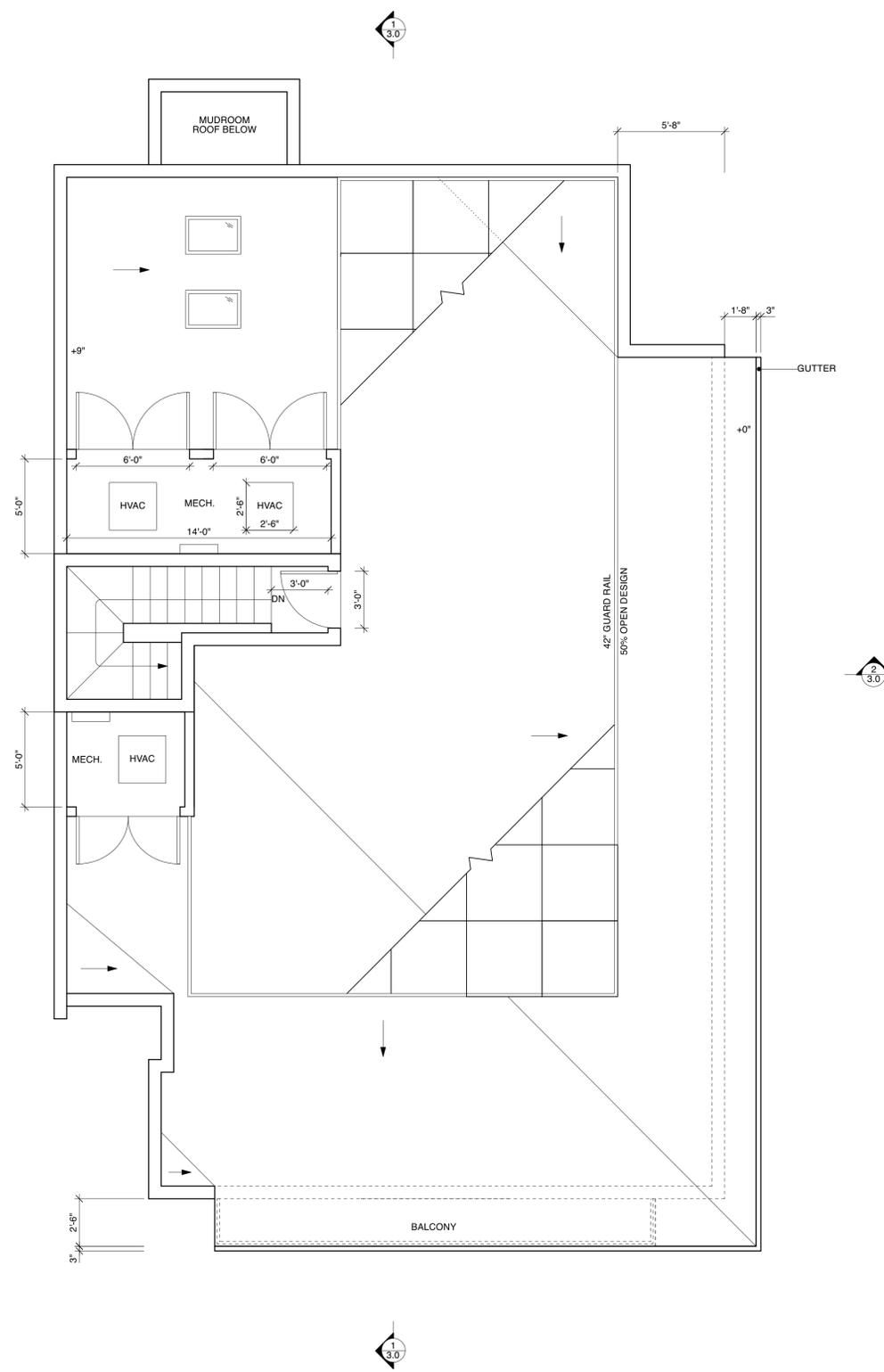
PROPOSED FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0" 1

LEGEND	(N) WALLS	(N) WALLS 1-HR RATED FIRE WALLS	DEMO WALLS	DETAIL MARKER	SECTION MARKER	INT ELEV MARKER	WALL TYPE (SEE A-8.0 FOR DETAIL)	WALL MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE ALARM	ENERGY STAR EXHAUST FAN W/ ACCESSIBLE HUMIDISTAT (50 CFM MIN) TERMINATED TO THE OUTSIDE	HOSE BIB	DOWNSPOUT	FLOOR INLET FOR CENTRAL VAC
	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]

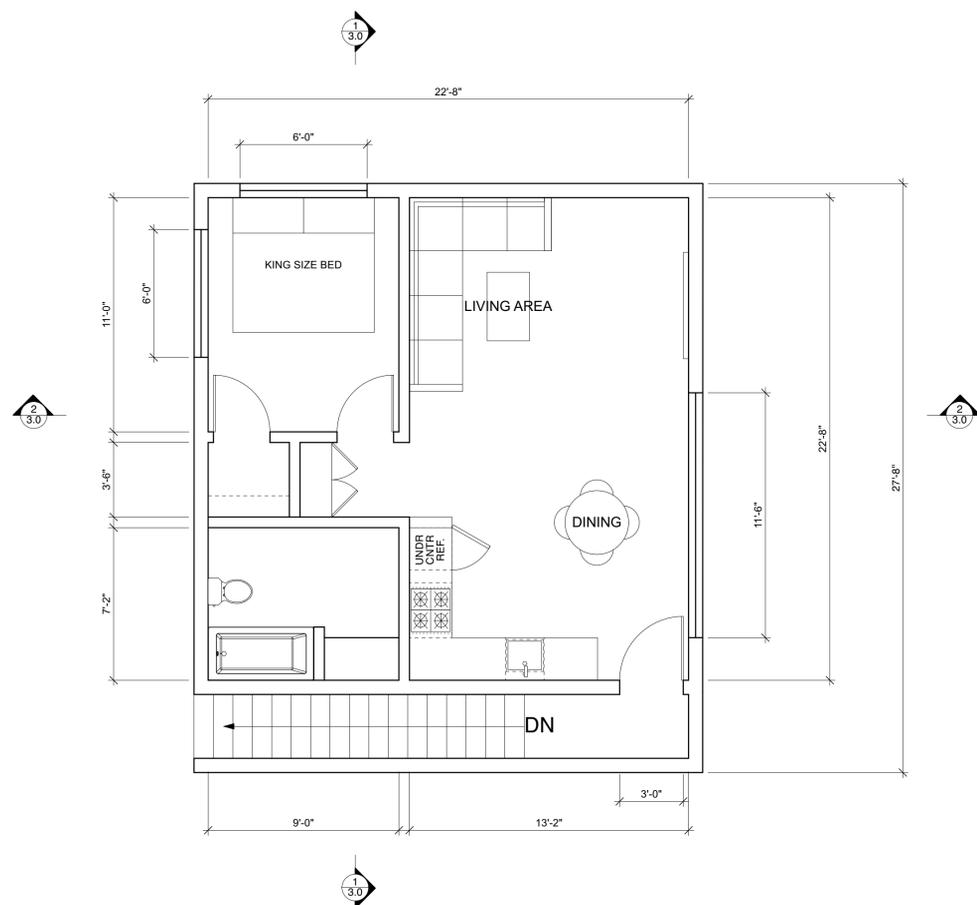


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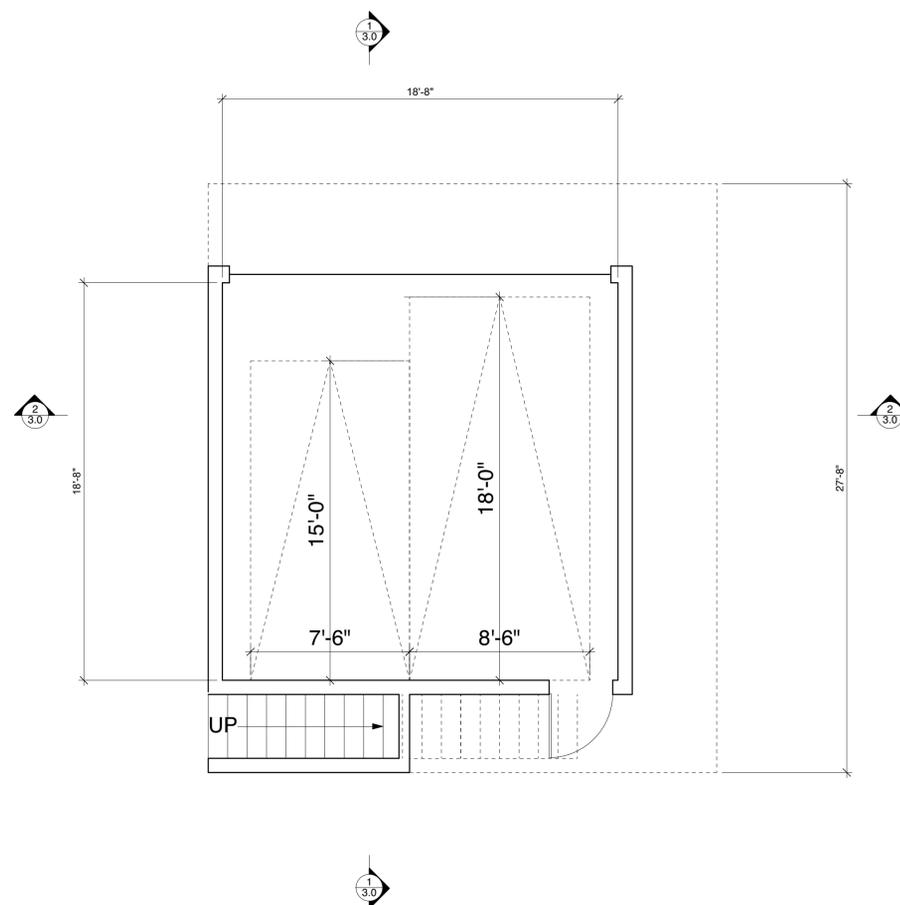
ROOF PLAN (SFD)



LEGEND	 (N) WALLS	 DETAIL MARKER	 INT ELEV MARKER	 WALL MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE ALARM	 HOSE BIB	 FLOOR INLET FOR CENTRAL VAC
	 (N) WALLS 1-HR RATED FIRE WALLS	 SECTION MARKER	 WALL TYPE (SEE A-8.0 FOR DETAIL)	 ENERGY STAR EXHAUST FAN W/ ACCESSIBLE HUMIDISTAT (50 CFM MIN) TERMINATED TO THE OUTSIDE	 DOWNSPOUT	
	 DEMO WALLS					



PROPOSED SECOND FLOOR PLAN
 Scale: 1/4" = 1'-0" 2



PROPOSED FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0" 1

LEGEND		DETAIL MARKER		INT ELEV MARKER		WALL MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE ALARM		HOSE BIB		FLOOR INLET FOR CENTRAL VAC	
	(N) WALLS		DETAIL MARKER		INT ELEV MARKER		WALL MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE ALARM		HOSE BIB		FLOOR INLET FOR CENTRAL VAC
	(N) WALLS 1-HR RATED FIRE WALLS		SECTION MARKER		WALL TYPE (SEE A-8.0 FOR DETAIL)		ENERGY STAR EXHAUST FAN W/ ACCESSIBLE HUMIDISTAT (50 CFM MIN) TERMINATED TO THE OUTSIDE		DOWNSPOUT		
	DEMO WALLS										

PROJECT:
 2818 S. CLUNE AVE.
 VENICE, CA 90291



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 ARCHITECTURE AND DESIGN

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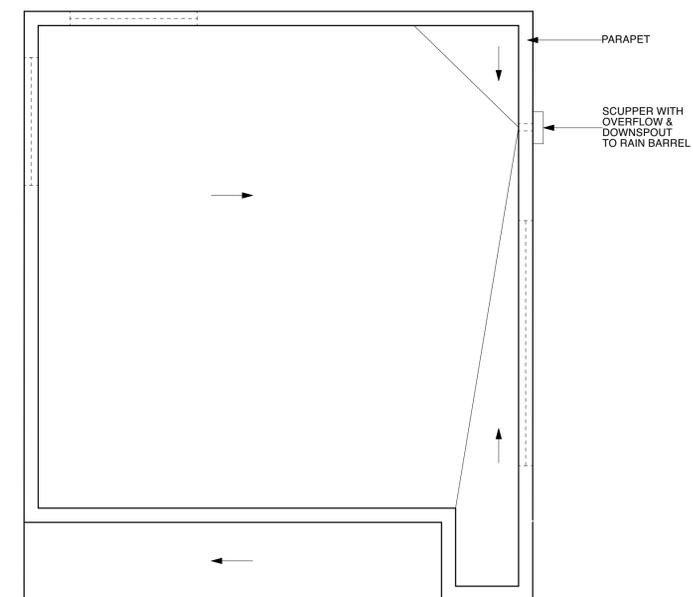
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 EMAIL:
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STRUCTURAL ENGINEER:

SURVEYOR:

TITLE 24:

CONTRACTOR:



REVISION / ISSUE:	DATE:
1. PRELIM DESIGN	12.02.2021

ROOF PLAN (ADU)

ROOF PLAN
 Scale: 1/4" = 1'-0"

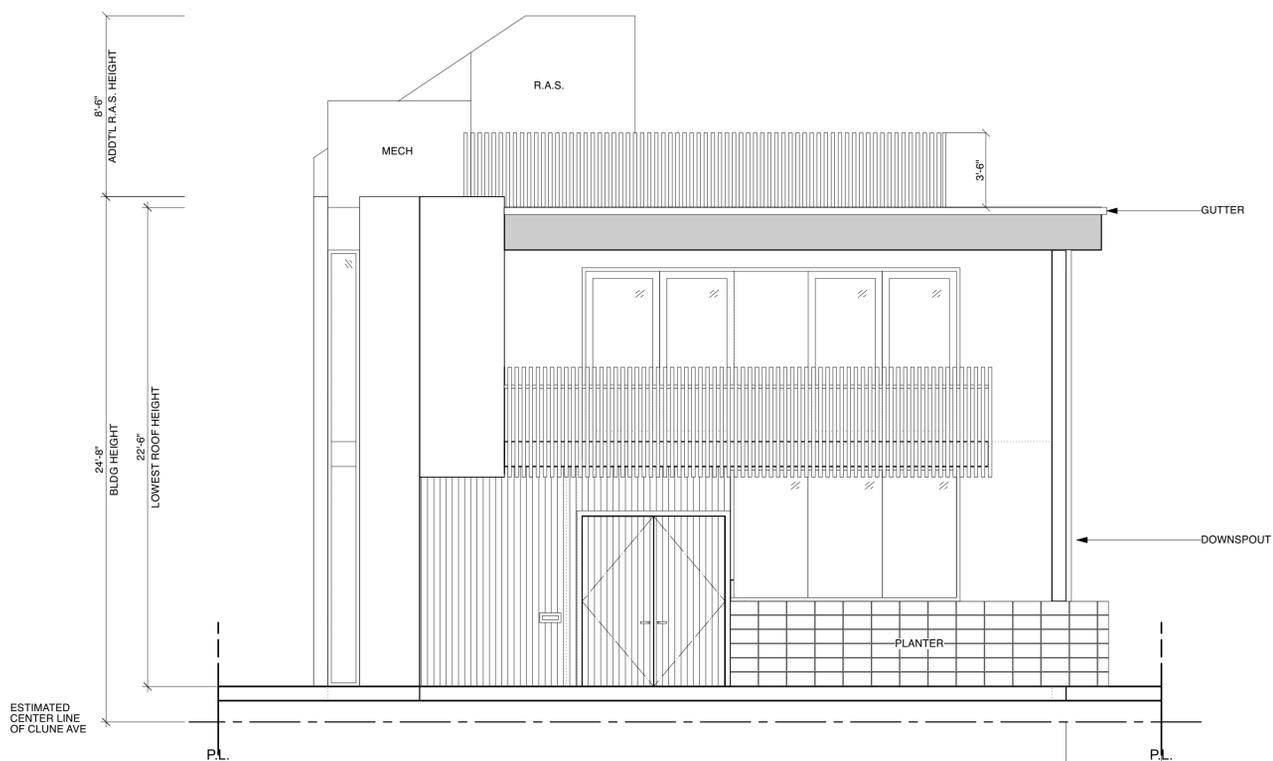
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DATE: 12.02.2021 DRAWN: BMK SCALE: 1/4" = 1'-0"

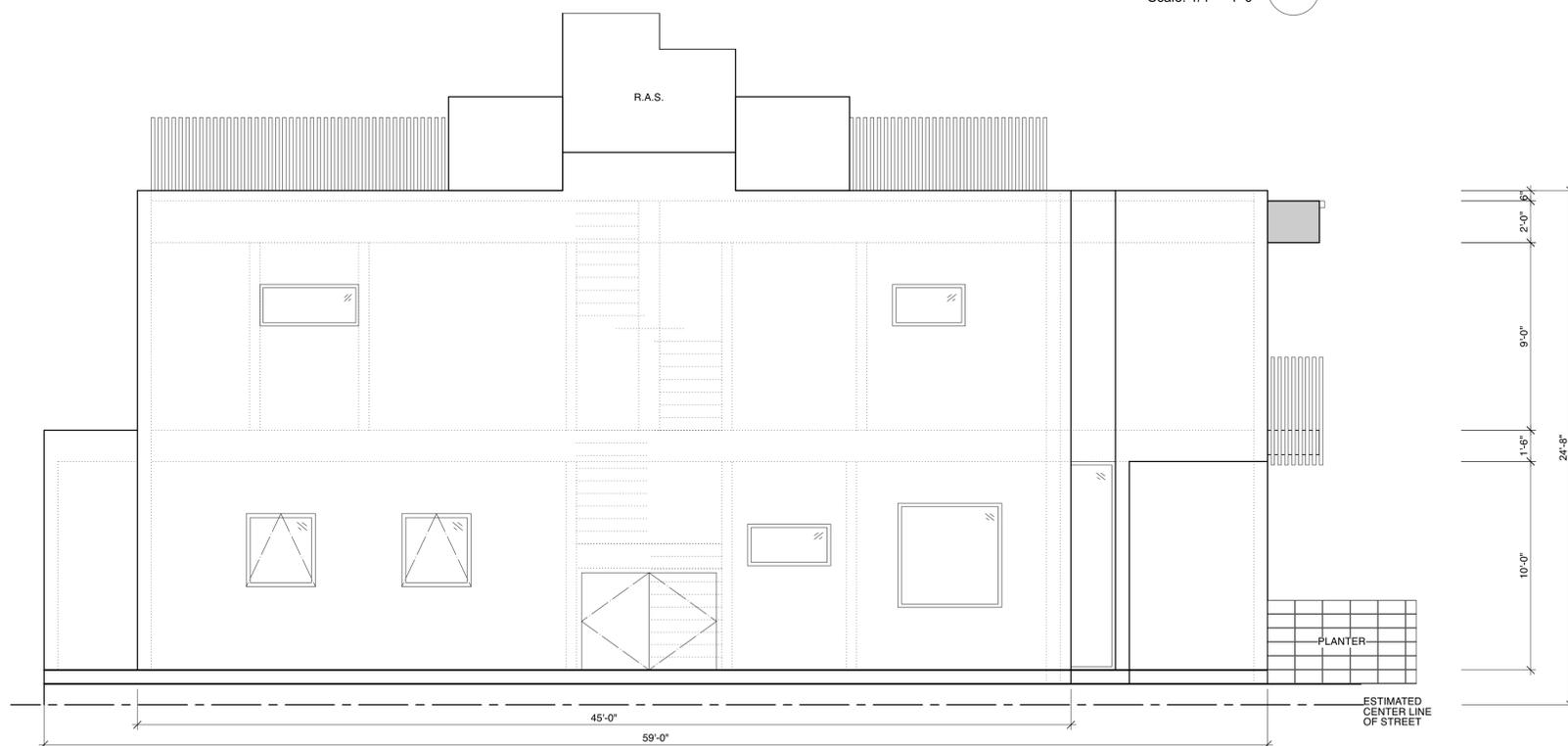
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REVISION / ISSUE:	DATE:
1. PRELIM DESIGN	12.02.2021

EXTERIOR ELEVATIONS



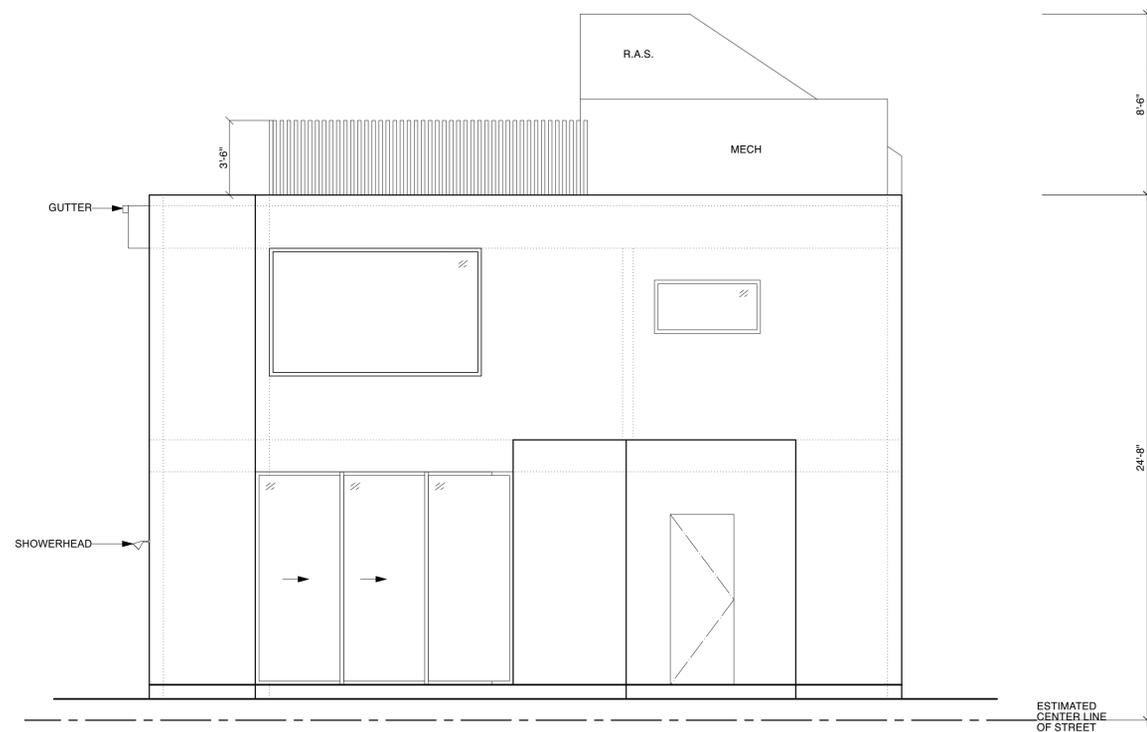
EXTERIOR ELEVATION (WEST)
 Scale: 1/4" = 1'-0" 2



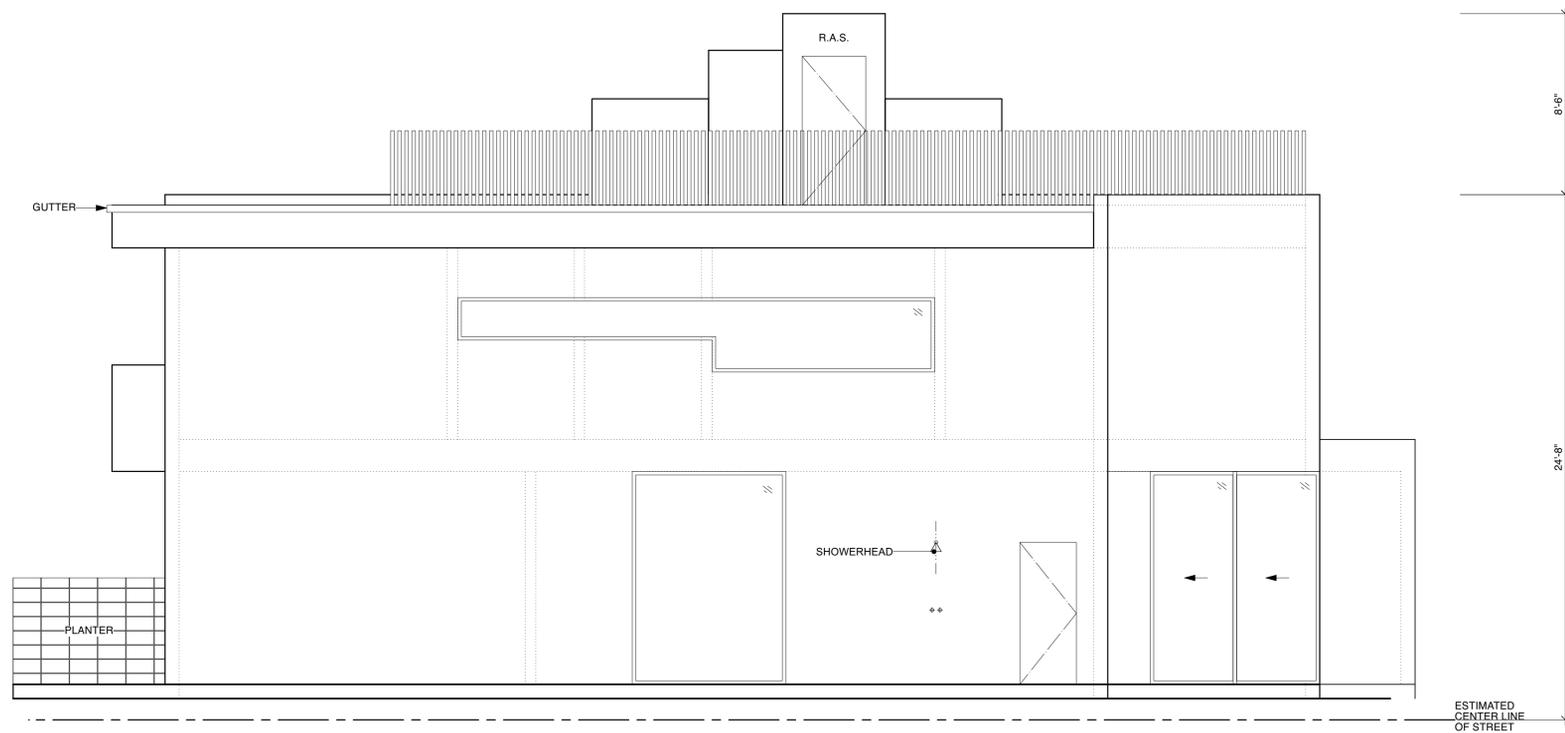
EXTERIOR ELEVATION (NORTH)
 Scale: 1/4" = 1'-0" 1

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1. PRELIM DESIGN	12.02.2021

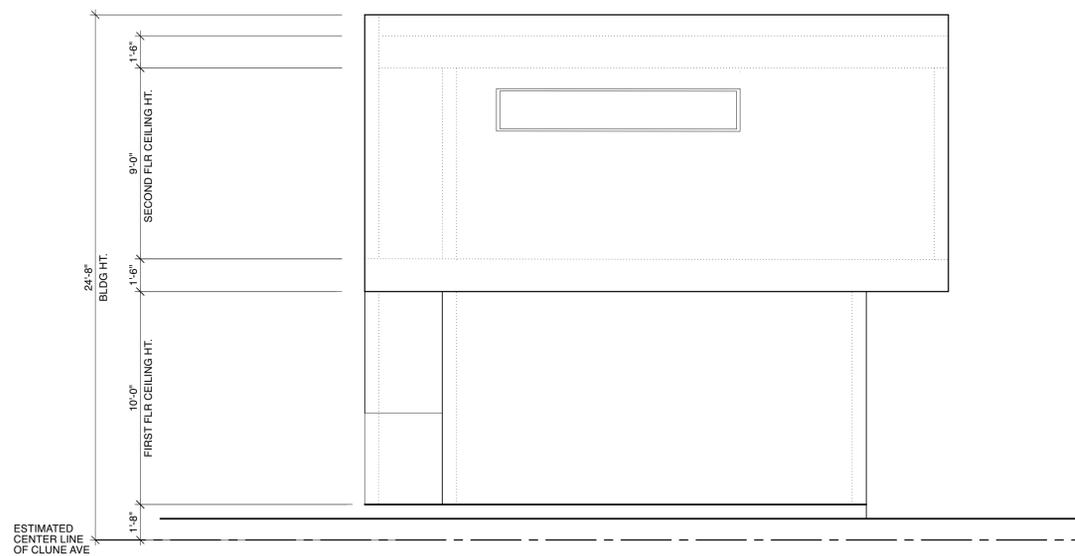
EXTERIOR ELEVATIONS



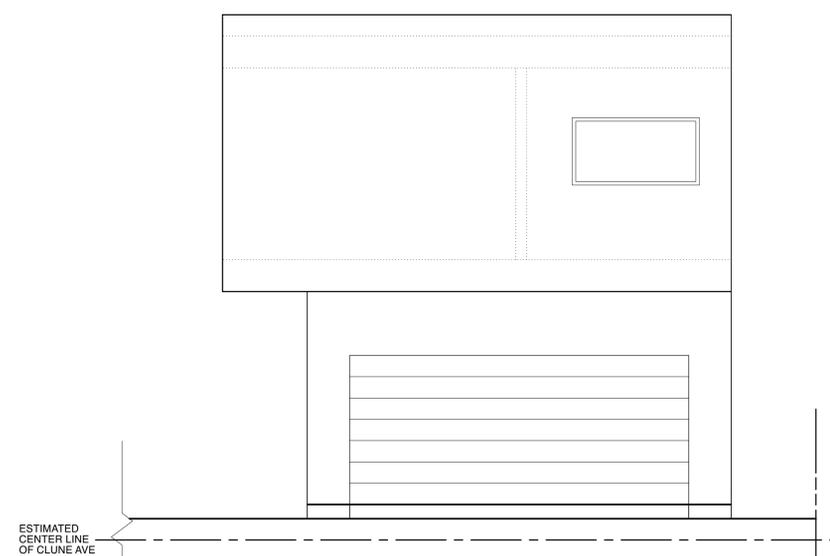
EXTERIOR ELEVATION (EAST) 2
 Scale: 1/4" = 1'-0"



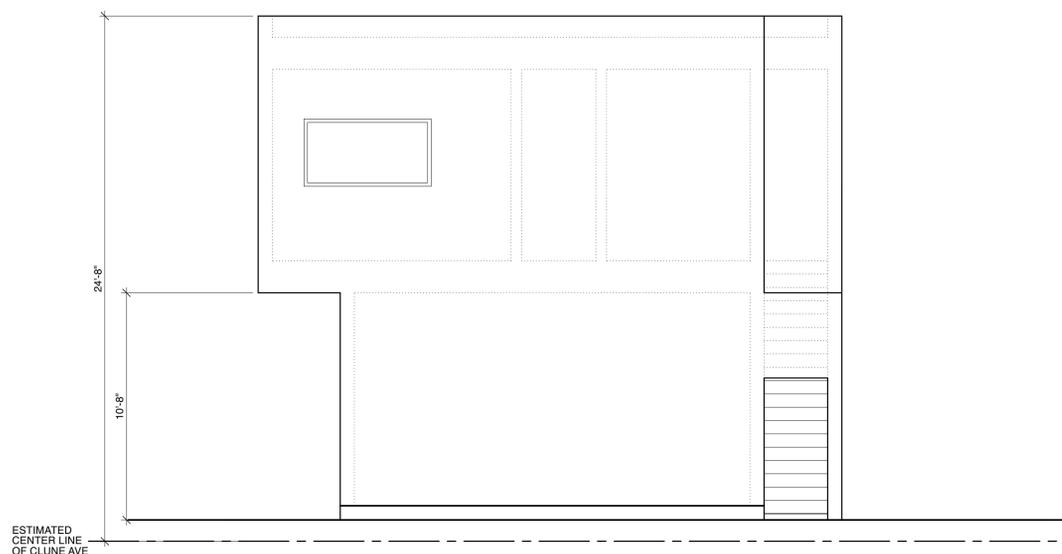
EXTERIOR ELEVATION (SOUTH) 1
 Scale: 1/4" = 1'-0"



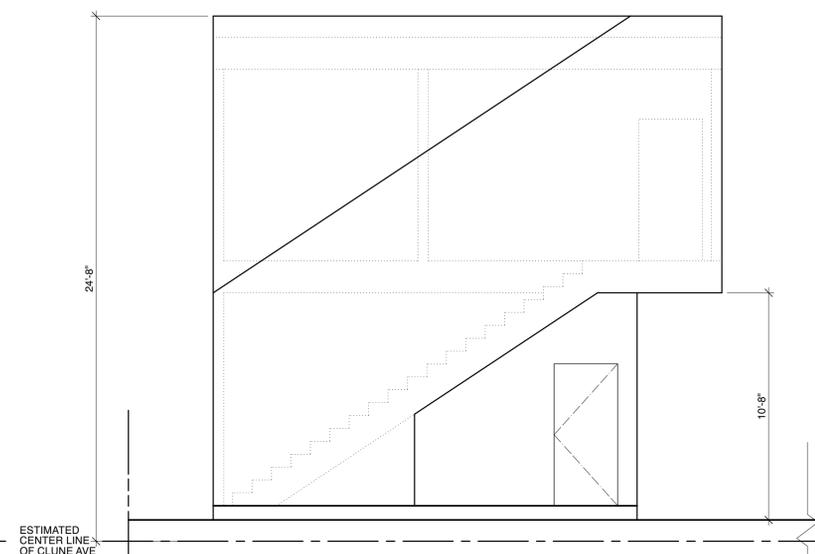
ADU EXTERIOR ELEVATION (SOUTH) 2
 Scale: 1/4" = 1'-0"



ADU EXTERIOR ELEVATION (EAST) 2
 Scale: 1/4" = 1'-0"



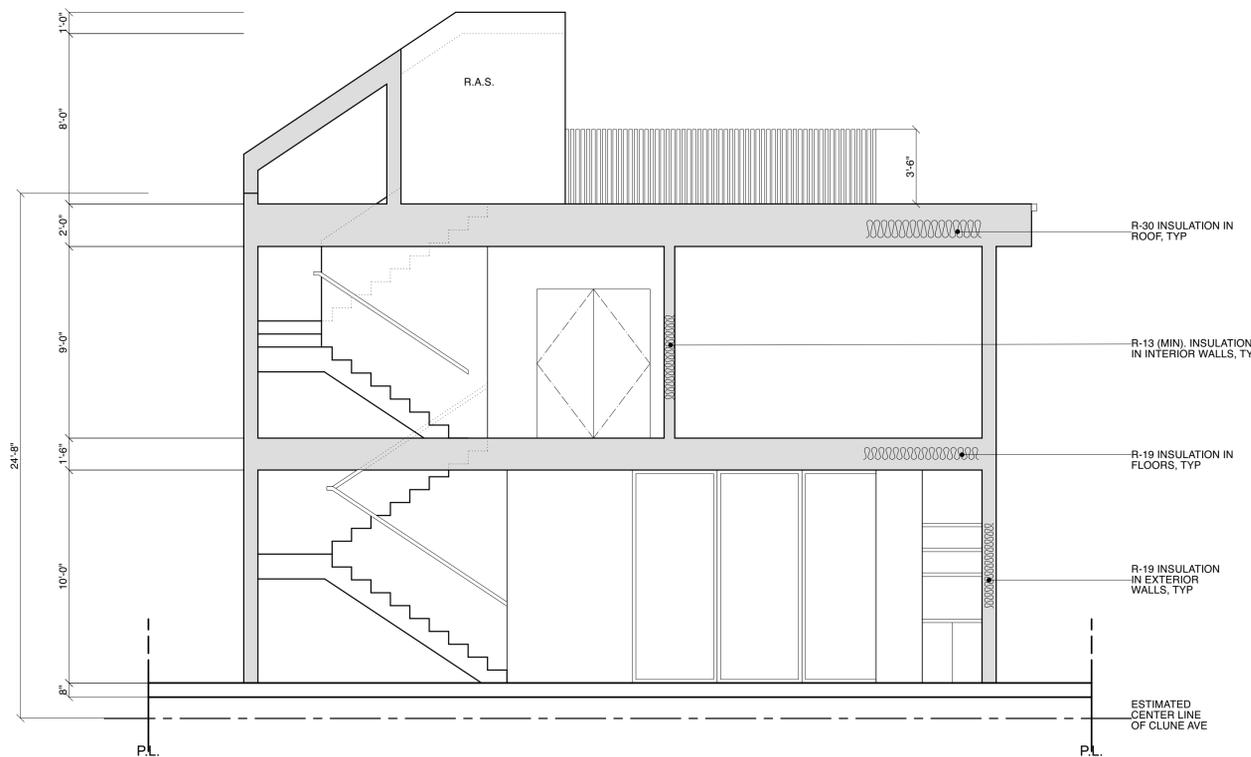
ADU EXTERIOR ELEVATION (NORTH) 1
 Scale: 1/4" = 1'-0"



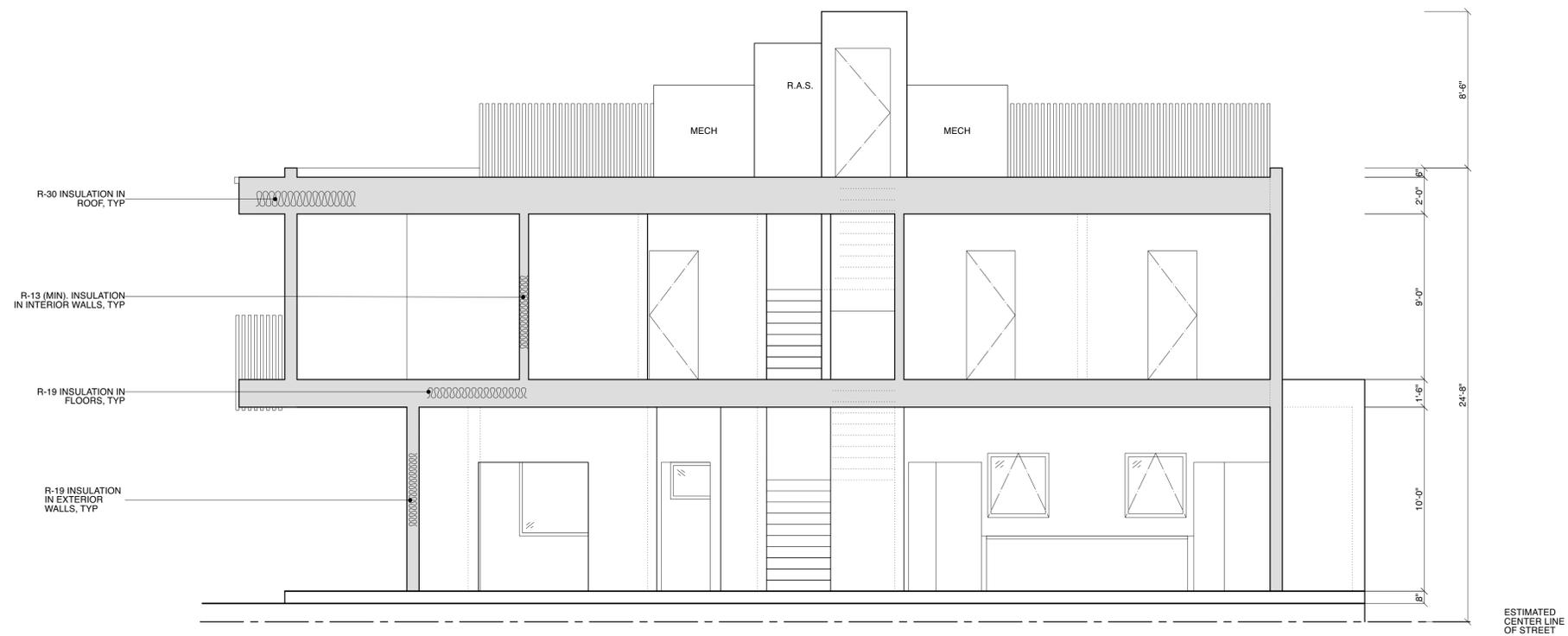
ADU EXTERIOR ELEVATION (WEST) 1
 Scale: 1/4" = 1'-0"

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1. PRELIM DESIGN	12.02.2021

SECTIONS

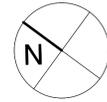


SFD SECTION 2
 Scale: 1/4" = 1'-0"



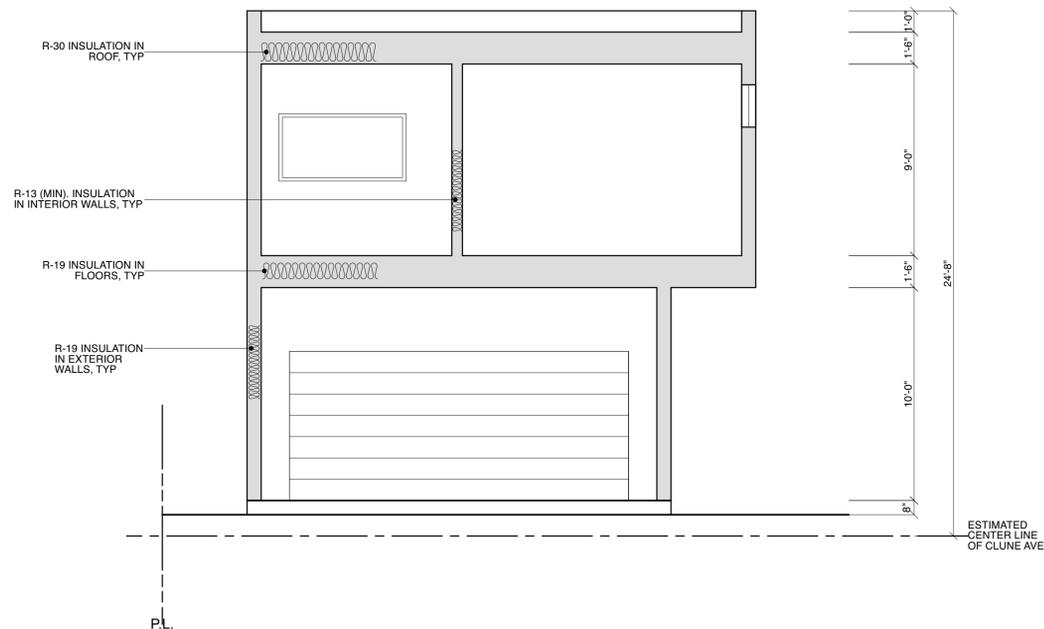
SFD SECTION 1
 Scale: 1/4" = 1'-0"

LEGEND	(N) WALLS	(N) WALLS 1-HR RATED FIRE WALLS	DEMO WALLS	DETAIL MARKER	SECTION MARKER	INT ELEV MARKER	WALL TYPE (SEE A-8.0 FOR DETAIL)	WALL MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE ALARM	ENERGY STAR EXHAUST FAN W/ ACCESSIBLE HUMIDISTAT (50 CFM MIN) TERMINATED TO THE OUTSIDE	HOSE BIB	DOWNSPOUT	FLOOR INLET FOR CENTRAL VAC
	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]

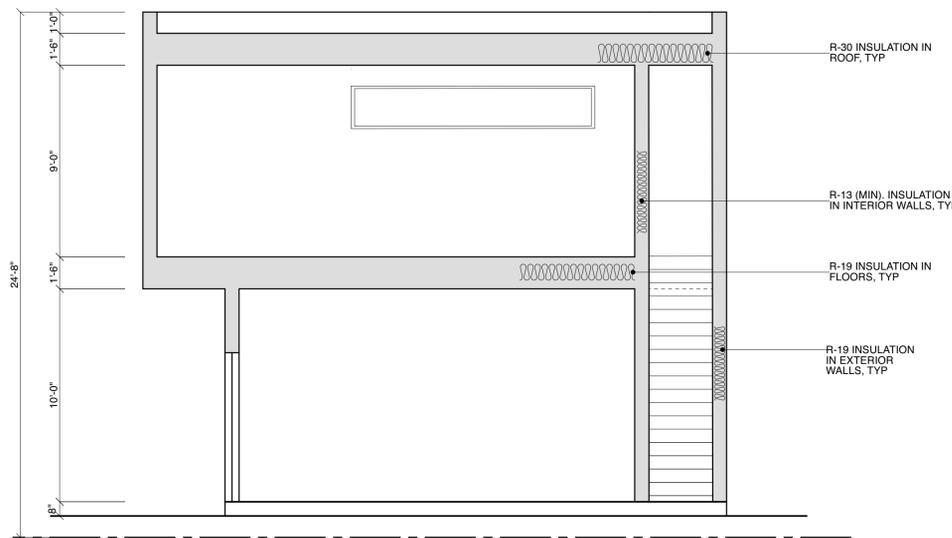


REVISION / ISSUE:	DATE:
1. PRELIM DESIGN	12.02.2021

SECTIONS



ADU SECTIONS
 Scale: 1/4" = 1'-0" 2



ADU SECTIONS
 Scale: 1/4" = 1'-0" 1

LEGEND	(N) WALLS	(N) WALLS / FLOOR ASSEMBLY TO RECEIVE TWO LAYERS OF 5/8" GYP. W/ GREEN GLUE IN BETWEEN APPLY GREEN GLUE NOISEPROOFING SEALANT @ ALL GAPS	DEMO WALLS	DETAIL MARKER	SECTION MARKER	INT ELEV MARKER	WALL TYPE (SEE A-8.0 FOR DETAIL)	WALL MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE ALARM	ENERGY STAR EXHAUST FAN W/ ACCESSIBLE HUMIDISTAT (50 CFM MIN) TERMINATED TO THE OUTSIDE	HOSE BIB	DOWNSPOUT