

ASB REAL ESTATE INVESTMENTS

1201 ABBOT KINNEY BLVD.

CHANGE OF USE FROM LIQUOR BAR TO RETAIL, THIS IS A DECREASE IN INTENSITY OF USE, A DECREASE IN REQUIRED PARKING, A DECREASE IN OCCUPANT LOAD AND A DECREASE IN TRIP COUNT.
NO CHANGE IN SQUARE FOOTAGE, NO EXTERIOR CHANGES TO THE BUILDING.

SINGLE-TENANT BUILDING - CODE SECTION 12.22.A.23.c "EXISTING BUILDING CHANGED TO MINI SHOPPING CENTER OR COMMERCIAL CORNER DEVELOPMENT" IS NOT APPLICABLE



Owner:

1201 ABBOT KINNEY BLVD.
VENICE, CA 90291

DATE	REVISIONS
08-16-2021	CLIENT REVIEW
09-21-2021	CDP SUBMITTAL

PLOT DATE: September 17, 2021

Drawing Title :

COVER SHEET

Sheet No. :

A1

1201 Abbot Kinney Blvd. / #2101

NOTES LEGAL DESCRIPTION SCOPE OF WORK BUILDING PERMITS 1962

NOTES
THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10,000.) SEPARATE PLUMBING PERMIT REQUIRED
PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
FIRE BLOCKING MUST BE PROVIDED IN ACCORDANCE WITH SECTION 717 AT THE FOLLOWING LOCATIONS:
A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS.
B. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT 10-FOOT INTERVALS ALONG THE LENGTH OF THE WALL.
C. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
D. IN CONCEALED SPACES BETWEEN STAIRS STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER THE STAIRS IS UNFINISHED.
E. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
F. CONTINUOUS DRYWALL IS REQUIRED BEHIND ALL ELECTRICAL SERVICE PANELS, FIRE HOSES AND MEDICINE CABINETS.
G. EXHAUST FANS FROM THE BATHROOM MUST ENTER THROUGH THE WALL. DAMPERS ARE REQUIRED IF THE CEILING IS PENETRATED. (716.5)
H. PLUMBING PENETRATION THROUGH HORIZONTAL OCCUPANCY SEPARATIONS SHALL BE BOXED OUT AND FILLED WITH APPROVED SAFING MATERIAL. INSULATION IS NOT APPROVED. (712.4.1.1)
PENETRATION OF THE 1-HOUR CEILING Y DUCTS FROM THE FAU AND THE STOVE HOOD REQUIRE DAMPERS (USE A DUCTLESS HOOD WHENEVER POSSIBLE). ATTIC UNITS (INCLUDING HEAT PUMPS)
INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 803.
THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2" IN HEIGHT. FLOORS OR LANDINGS ON EACH SIDE OF DOORS TO HAVE THE SAME ELEVATIONS. LANDINGS SHALL BE LEVELED EXCEPT FOR EXTERIOR LANDINGS (MAX 2% SLOPE)

LEGAL DESCRIPTION
LOT 1, BLOCK B, OF RALPH ROGERS SUBDIVISION OF BLOCK V, OCEAN PARK VILLA TRACT NO. 2
APN: 4239022009

SCOPE OF WORK
- CHANGE OF USE FROM BAR TO RETAIL
- CONSTRUCT ADA ACCESSIBLE RESTROOM AND ACCESSIBLE RAMP TO REAR PORTION OF SPACE

BUILDING PERMITS 1962
3 APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY
CITY OF LOS ANGELES DEPT. OF BUILDING AND SAFETY
INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plan Must Be on Back of Original.
1. LEGAL DESC: 1+2 B of Block V of Ocean Park Villa Tr. #2
2. BUILDING ADDRESS: 1201 W. Washington Blvd. DIST. MAP: 7187
3. BETWEEN CROSS STREETS: San Juan and Santa Clara ZONE: C-2-1
4. PRESENT USE OF BUILDING: B-2 Liquor Bar & Cafe FINE DEST. II
5. OWNER'S NAME: Al Goldman EX 62298 PHONE: none
6. OWNER'S ADDRESS: 1923 Main St. Ocean Park F.O. ZONE: none
7. CERT. ARCH.: none STATE LICENSE: none
8. LIC. ENGR.: none STATE LICENSE: none
9. CONTRACTOR: Owner STATE LICENSE: none
10. CONTRACTOR'S ADDRESS: none F.O. ZONE: none
11. SITE OF EXISTING BLDG: 40 x 85 BLDG. AREA: 3400 sq. ft. NO. OF EXISTING BLDGS: 1
12. MATERIAL: none CONCRETE: none
13. VALUATION: \$ 1000
14. SIZE OF ADDITION: none
15. NEW WORK: none
16. EXISTING BLDG: none
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98. EXISTING BLDG: none
99. EXISTING BLDG: none
100. EXISTING BLDG: none

OWNER
OWNER: ASB REAL ESTATE INVESTMENTS
744 COWPER STREET
PALO ALTO, CA 94301

PROJECT INFORMATION
ADDRESS: 1201 S. ABBOT KINNEY BLVD., VENICE, CA 90291
SUBAREA: NORTH VENICE
PLAN AREA: VENICE
LAND USE: COMMUNITY COMMERCIAL
COUNCIL DISTRICT: 11
ZONING: C2-1-O-CA
LOT SIZE: 40' x 85.64' IRREGULAR
LOT AREA: 3,456.1 S.F. (PER ZIMAS)
FAR CALCULATION: F.A.R. = 2,881 SF (exterior walls excluded) divided by lot area 3,456.1 S.F. = 0.833
EXISTING USE: BAR
PROPOSED USE: RETAIL

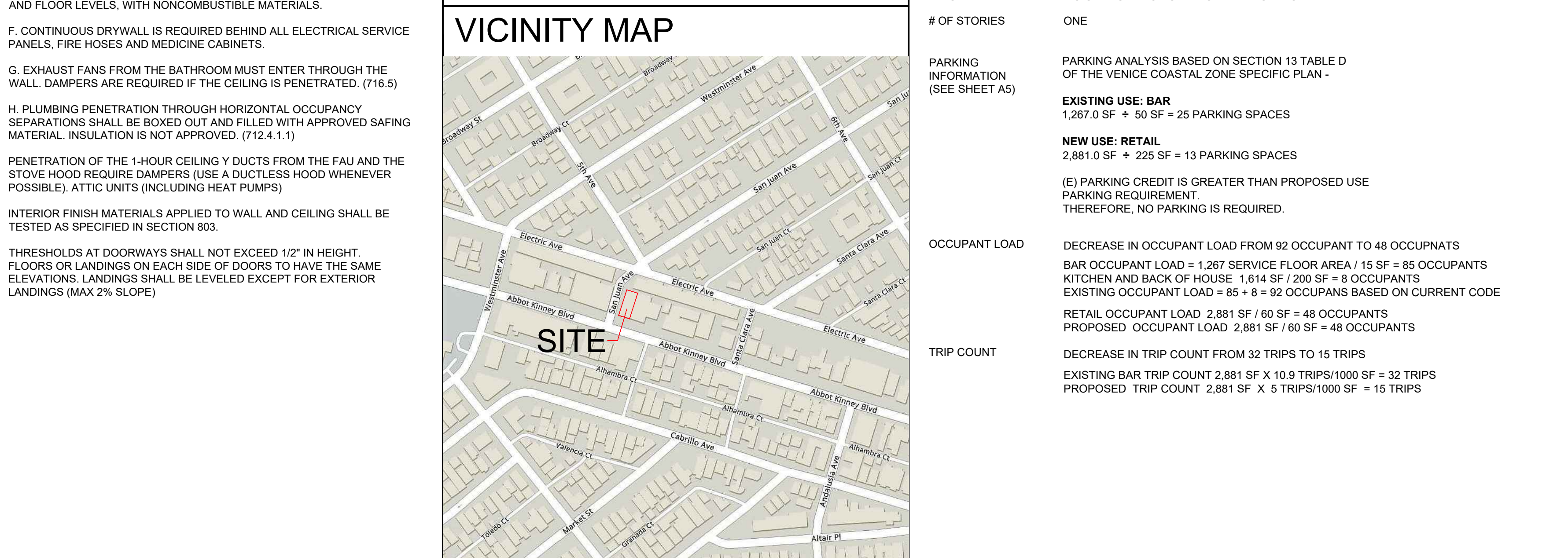
PROJECT SIZE	AREAS	EXIST. AREA	PROPOSED AREA
(E) BUILDING		3,208 S.F.	(NO CHANGE)

HEIGHTS: NO CHANGES TO BUILDING EXISTING HEIGHT
OF STORIES: ONE

PARKING INFORMATION (SEE SHEET A5)
PARKING ANALYSIS BASED ON SECTION 13 TABLE D OF THE VENICE COASTAL ZONE SPECIFIC PLAN -
EXISTING USE: BAR
1,267.0 SF + 50 SF = 25 PARKING SPACES
NEW USE: RETAIL
2,881.0 SF + 225 SF = 13 PARKING SPACES
(E) PARKING CREDIT IS GREATER THAN PROPOSED USE
PARKING REQUIREMENT THEREFORE, NO PARKING IS REQUIRED.

OCCUPANT LOAD
DECREASE IN OCCUPANT LOAD FROM 92 OCCUPANT TO 48 OCCUPANTS
BAR OCCUPANT LOAD = 1,267 SERVICE FLOOR AREA / 15 SF = 85 OCCUPANTS
KITCHEN AND BACK OF HOUSE 1,614 SF / 200 SF = 8 OCCUPANTS
EXISTING OCCUPANT LOAD = 85 + 8 = 92 OCCUPANTS BASED ON CURRENT CODE
RETAIL OCCUPANT LOAD 2,881 SF / 60 SF = 48 OCCUPANTS
PROPOSED OCCUPANT LOAD 2,881 SF / 60 SF = 48 OCCUPANTS

TRIP COUNT
DECREASE IN TRIP COUNT FROM 32 TRIPS TO 15 TRIPS
EXISTING BAR TRIP COUNT 2,881 SF X 10.9 TRIPS/1000 SF = 32 TRIPS
PROPOSED TRIP COUNT 2,881 SF X 5 TRIPS/1000 SF = 15 TRIPS



CERTIFICATE OF OCCUPANCY
Address of Building: 1201 West Washington Boulevard
CITY OF LOS ANGELES
Certificate of Occupancy
NOTE: Any change of use or occupancy must be approved by the Department of Building and Safety. This certifies that, to the best of the undersigned's knowledge, the building at above address complies with the applicable requirements of the Municipal Code, as follows: Ch. 1, as to permitted use; Ch. 9, Arts. 1, 3, 4, and 5; and with applicable requirements of State Licensing Act, for following occupation:
Issued 10-8-62 Permit No. and Year WLA 40826-62, WLA 41347-62
A 40' x 60' liquor bar converted from a portion of an existing one-story, Type III-A, 80' x 80', unreinforced brick commercial building. Maximum 50 occupants.
G-2 Occupancy
THIS C/O SUPERCEDES C/O ISSUED 9-19-62
Owner: Mr. Al Goldman
Owner's Address: 1923 Main Street, Ocean Park, California
Form B-958-2M Sets-8-61 (C-10) J. C. MORNING, Superintendent of Building - E. E. SPITZER: ke

SHEET INDEX

A1	COVER SHEET
A2	ADA ACCESSIBILITY NOTES
A3	SITE PLAN
A4	EXISTING GROUND FLOOR PLAN AND NO BEARING INTERIOR WALL DEMO PLAN
A5	PROPOSED GROUND FLOOR PLAN & GRANDFATHERED PARKING ANALYSIS
A6	EXISTING ROOF PLAN - NO PROPOSED CHANGE
A7	EXISTING EXTERIOR ELEVATIONS NO PROPOSED CHANGES
A8	EXISTING BUILDING SECTIONS
A9	SITE PHOTO MAP DRAWING
A10	SITE PHOTOS
A11	SITE PHOTOS

TUBS AND SHOWERS

11B-607.5 Controls, other than drain stoppers, shall be located on an end wall. Controls shall be between the bathtub rim and grab bar, and between the open side of the bathtub and the centerline of the width of the bathtub. Controls shall comply with Section 11B-300.4.

11B-607.6 A shower spray unit with a hose 59 inches (1499 mm) long minimum that can be used both as a fixed-position shower head and as a handheld shower shall be provided. The shower spray unit shall have an on/off control with a non-positive shut-off. If an adjustable-height shower head on a vertical bar is used, the bar shall be installed so as not to obstruct the use of grab bars. Bathtub shower spray units shall deliver water that is 120°F (49°C) maximum.

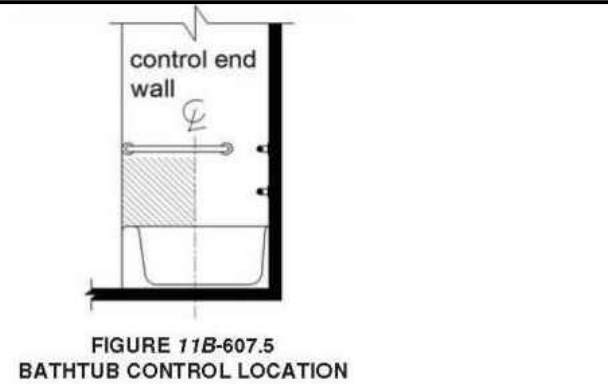


FIGURE 11B-607.5 BATHTUB CONTROL LOCATION

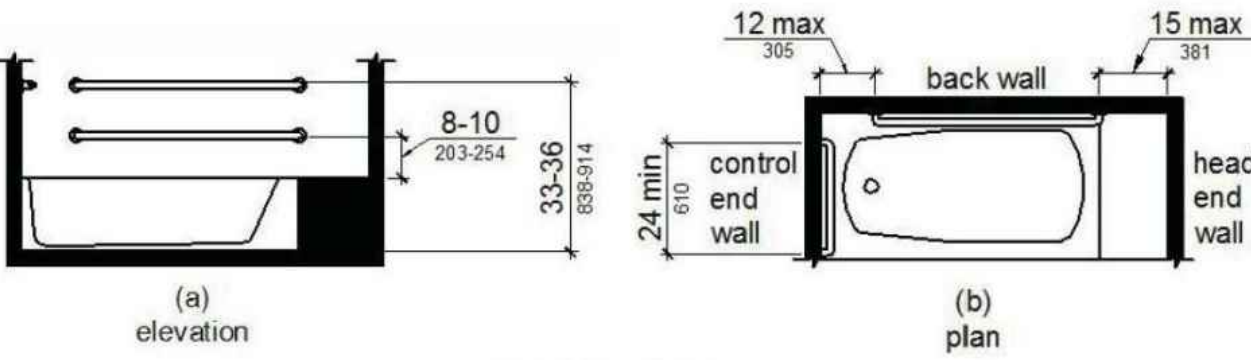


FIGURE 11B-607.4.1 GRAB BARS FOR BATHTUBS WITH PERMANENT SEATS

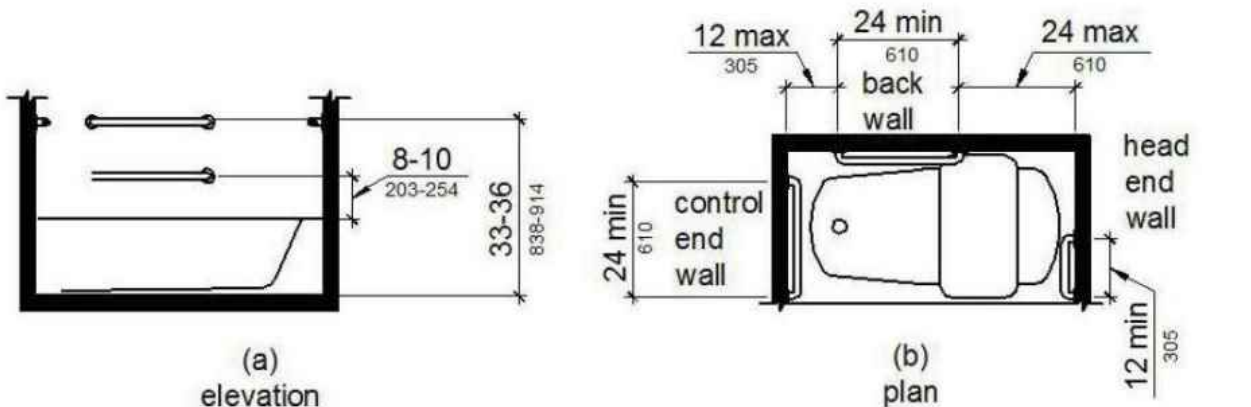


FIGURE 11B-607.4.2 GRAB BARS FOR BATHTUBS WITH REMOVABLE IN-TUB SEATS

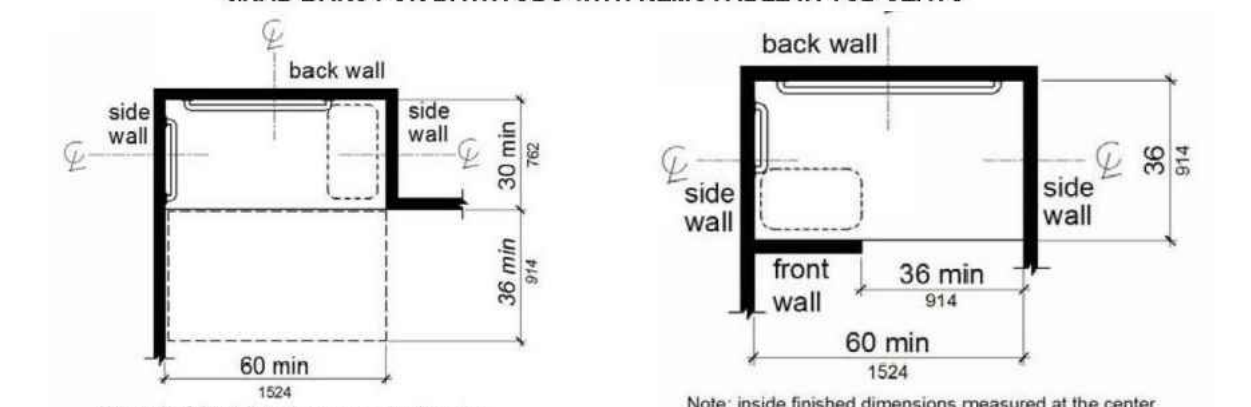


FIGURE 11B-608.2.2 STANDARD ROLL-IN TYPE SHOWER COMPARTMENT SIZE AND CLEARANCE

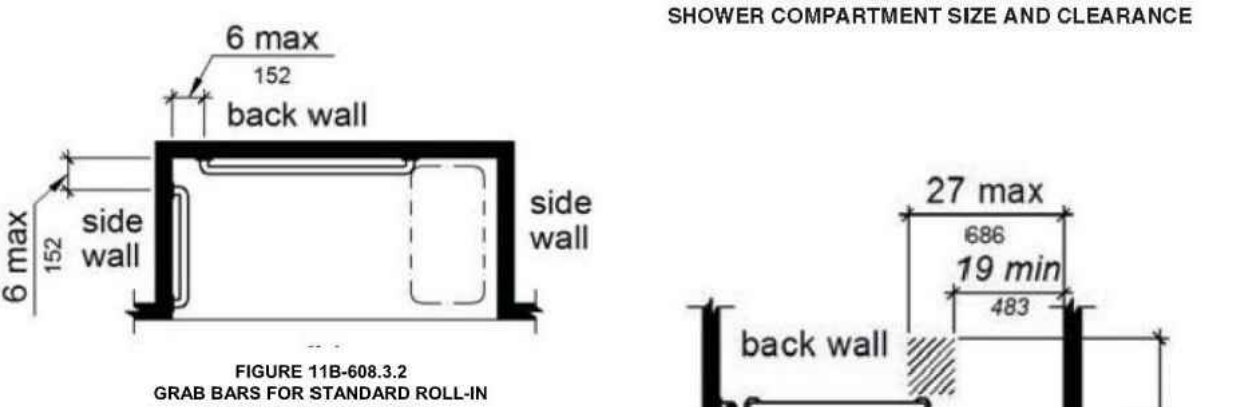


FIGURE 11B-608.2.3 ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENT SIZE AND CLEARANCE

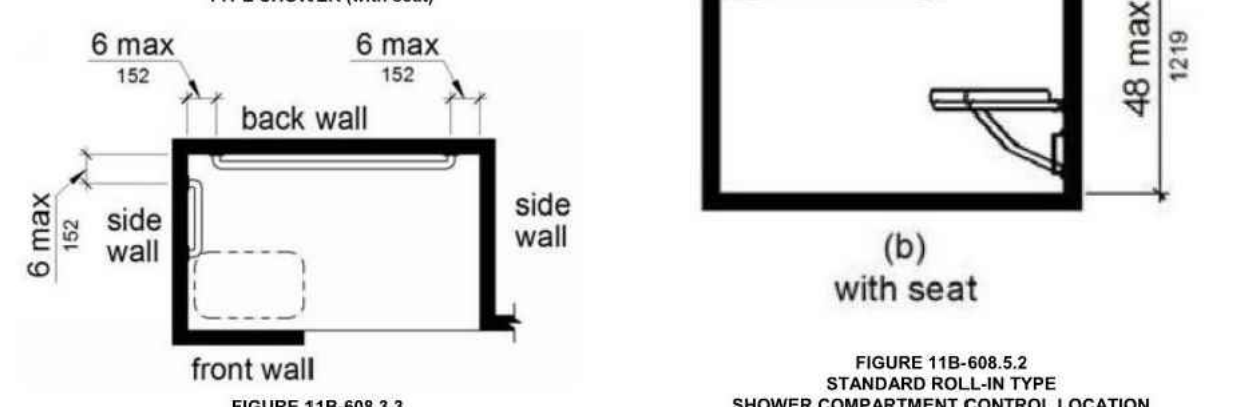


FIGURE 11B-608.3.2 GRAB BARS FOR STANDARD ROLL-IN TYPE SHOWER (with seat)

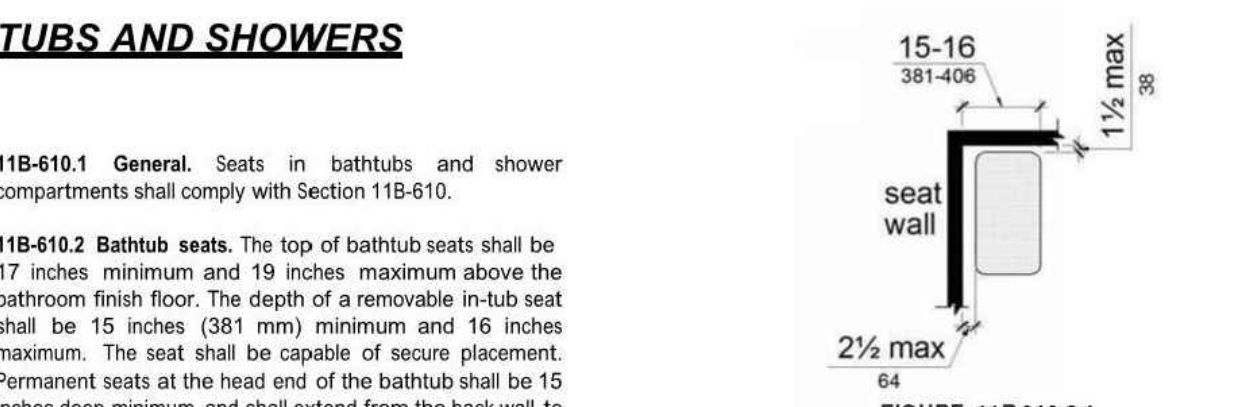


FIGURE 11B-608.3.3 GRAB BARS FOR ALTERNATE ROLL-IN TYPE SHOWERS

TUBS AND SHOWERS

11B-610.1 General. Seats in bathtubs and shower compartments shall comply with Section 11B-610.

11B-610.2 Bathtub seats. The top of bathtub seats shall be 17 inches minimum and 19 inches maximum above the bathroom finish floor. The depth of a removable in-tub seat shall be 15 inches (381 mm) minimum and 18 inches maximum. The seat shall be capable of secure placement. Permanent seats at the head end of the bathtub shall be 15 inches deep minimum and shall extend from the back wall to or beyond the outer edge of the bathtub.

11B-610.3 Shower compartment seats. A seat in a standard roll-in shower compartment shall be a folding type, shall be installed on the side wall adjacent to the controls, and shall extend from the back wall to a point within 3 inches of the compartment entry. A seat in an alternate roll-in type shower compartment shall be a folding type, shall be installed on the front wall opposite the back wall, and shall extend from the adjacent side wall to a point within 3 inches of the compartment entry. The top of the seat shall be 17 inches minimum and 19 inches maximum above the bathroom finish floor. When folded, the seat shall extend 6 inches maximum from the mounting wall. Seats shall comply with Section 11B-610.3.1 or 11B-610.3.2.

11B-610.3.1 Rectangular seats. The rear edge of a rectangular seat shall be 2 1/2 inches maximum and the front edge 15 inches minimum and 16 inches maximum from the seat wall. The side edge of the seat shall be 11/2 inches maximum from the adjacent wall.

11B-610.3.2 L-shaped seats. The rear edge of an L-shaped seat shall be 2 1/2 inches maximum and the front edge 15 inches minimum and 16 inches maximum from the seat wall. The rear edge of the "L" portion of the seat shall be 11/2 inches maximum from the wall and the front edge shall be 14 inches minimum and 15 inches maximum from the wall. The end of the "L" shall be 22 inches minimum and 23 inches maximum from the main seat wall.

11B-610.4 Structural strength. Allowable stresses shall not be exceeded for materials used when a vertical or horizontal force of 250 pounds (1112 N) is applied at any point on the seat, fastener, mounting device, or supporting structure.

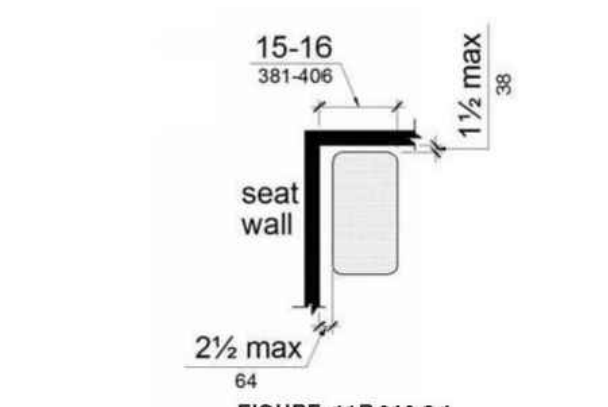


FIGURE 11B-610.3.1 RECTANGULAR SHOWER SEAT

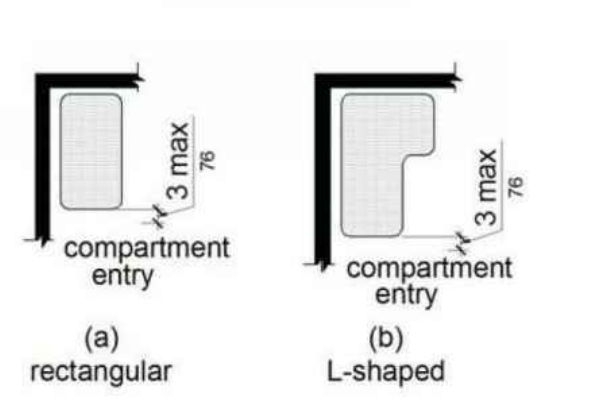


FIGURE 11B-610.3.2 L-SHAPED SHOWER SEAT

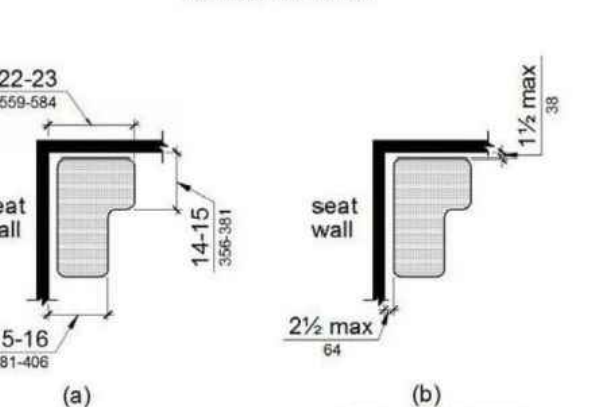


FIGURE 11B-610.3.3 L-SHAPED SHOWER SEAT

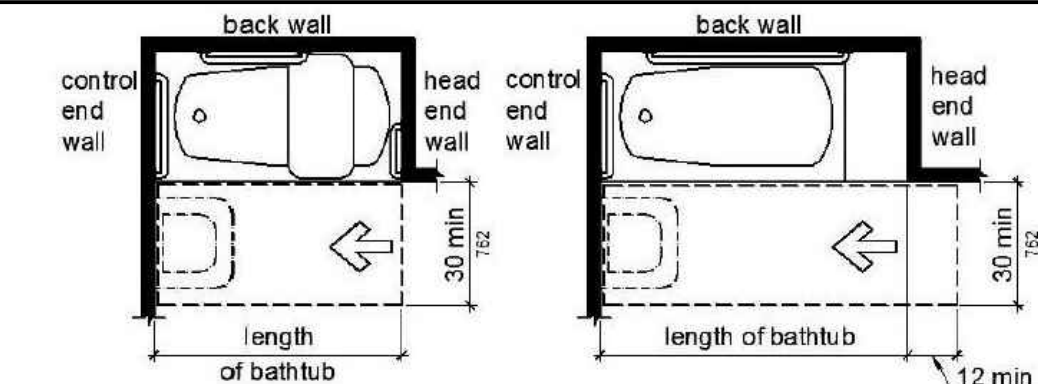


FIGURE 11B-607.2 CLEARANCE FOR BATHTUBS

THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

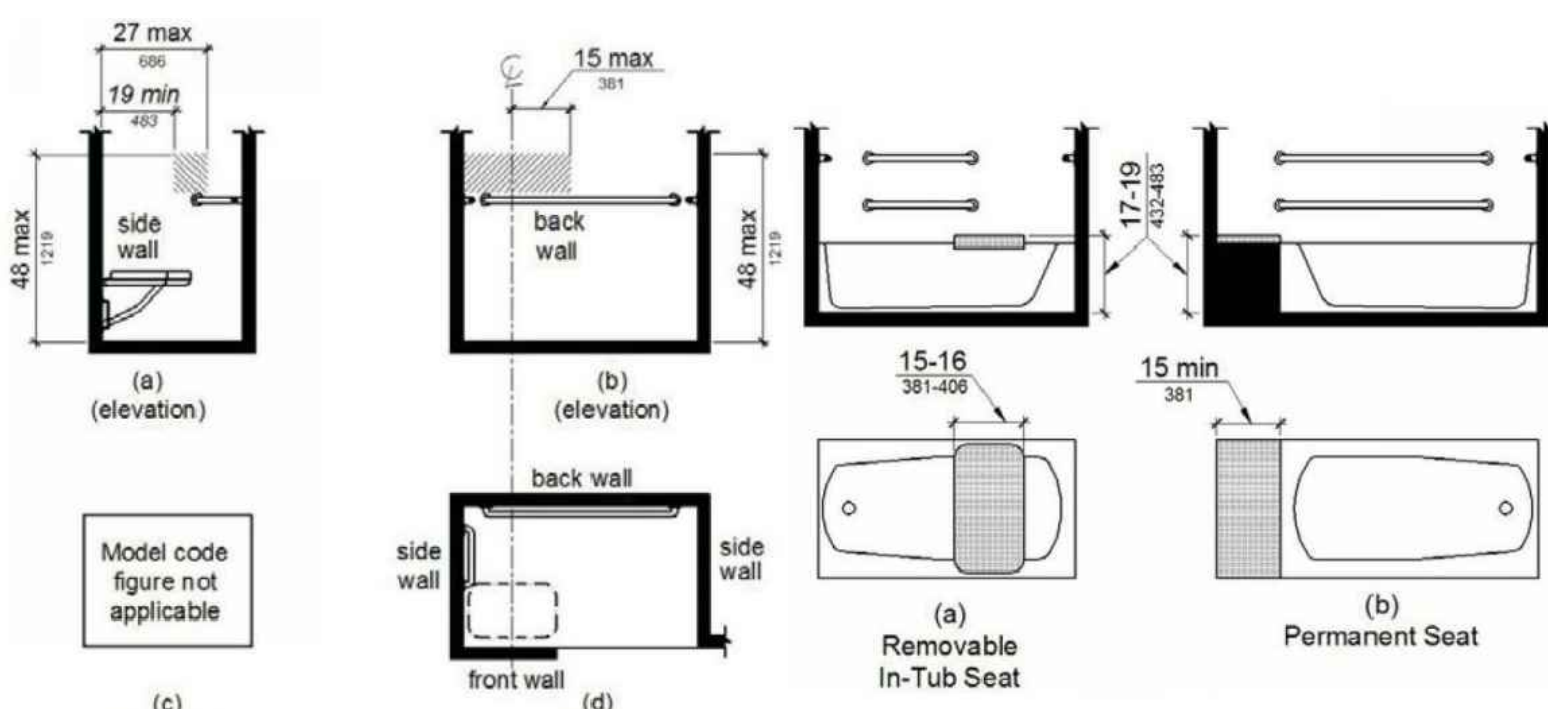
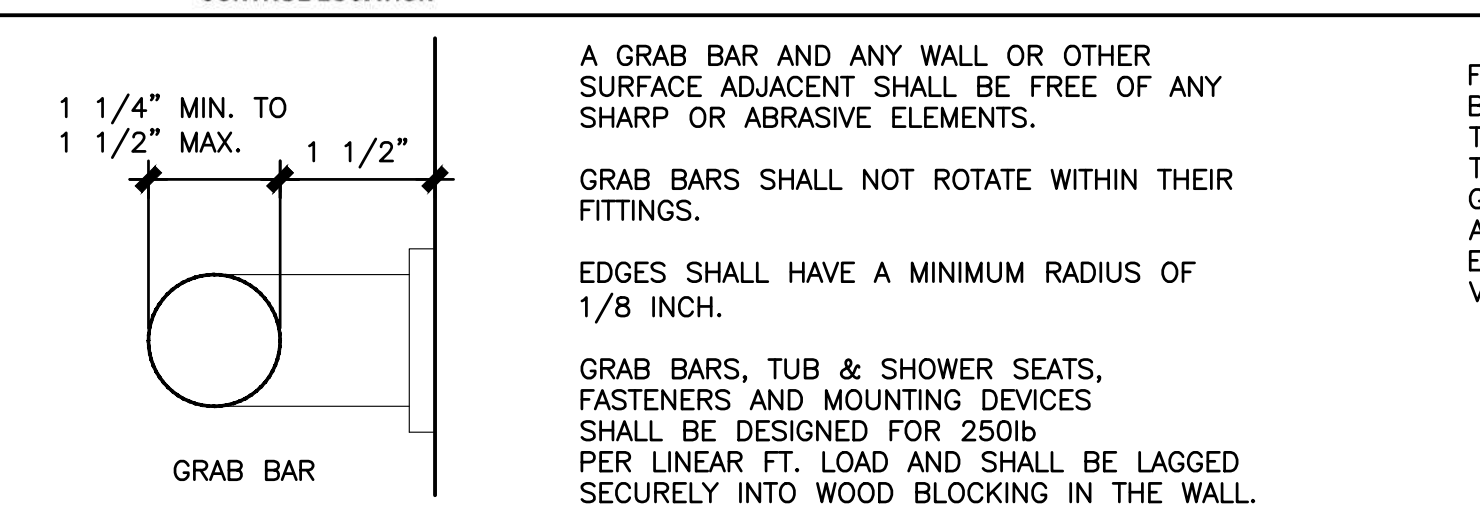


FIGURE 11B-608.5.3 ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENT CONTROL LOCATION

FIGURE 11B-610.2 BATHTUB SEATS

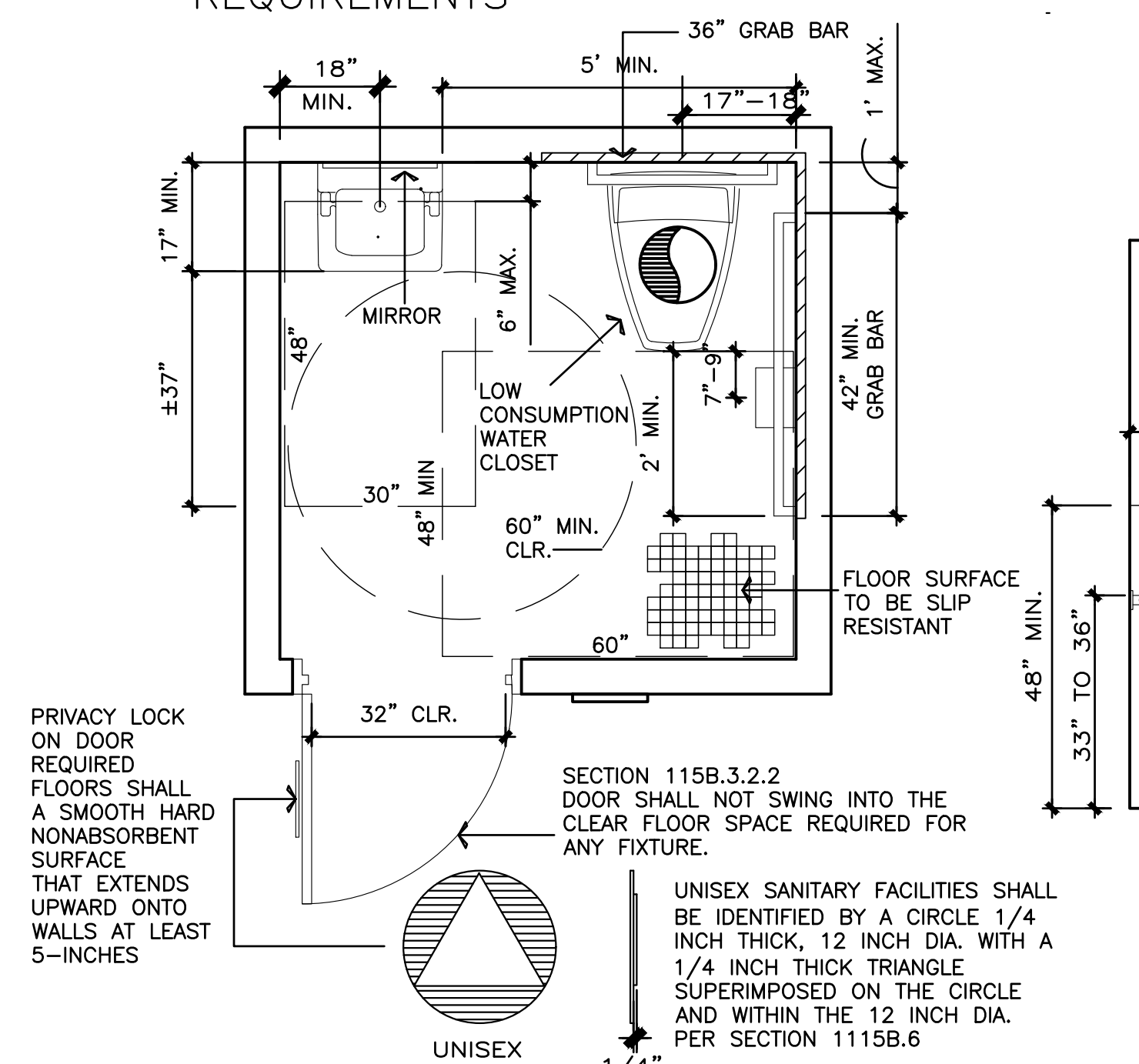


A GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS.

GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

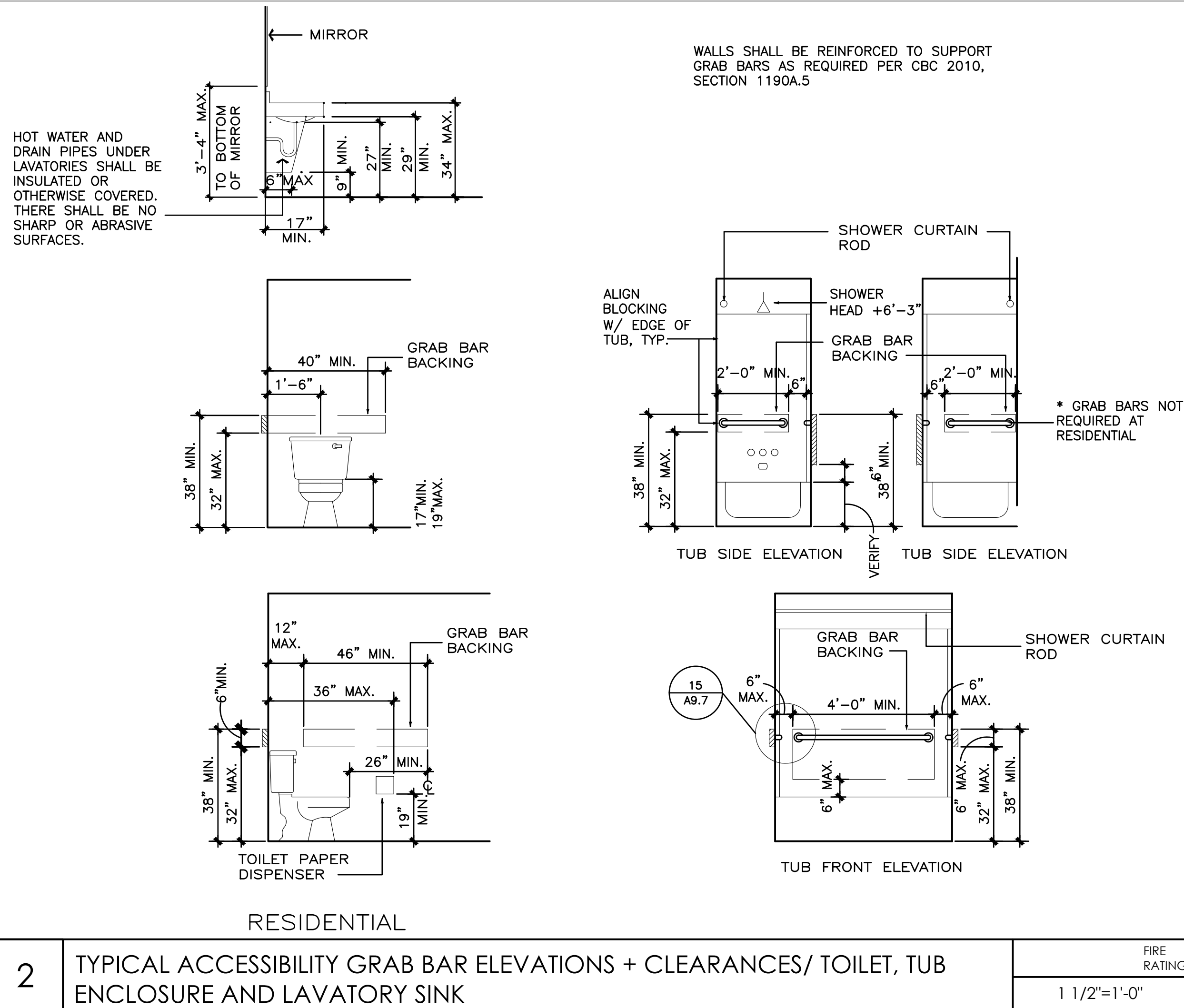
EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH.

GRAB BARS, TUB & SHOWER SEATS, FASTENERS AND MOUNTING DEVICES SHALL BE DESIGNED FOR 250lb PER LINEAR FT. LOAD AND SHALL BE LAGGED SECURELY INTO WOOD BLOCKING IN THE WALL.

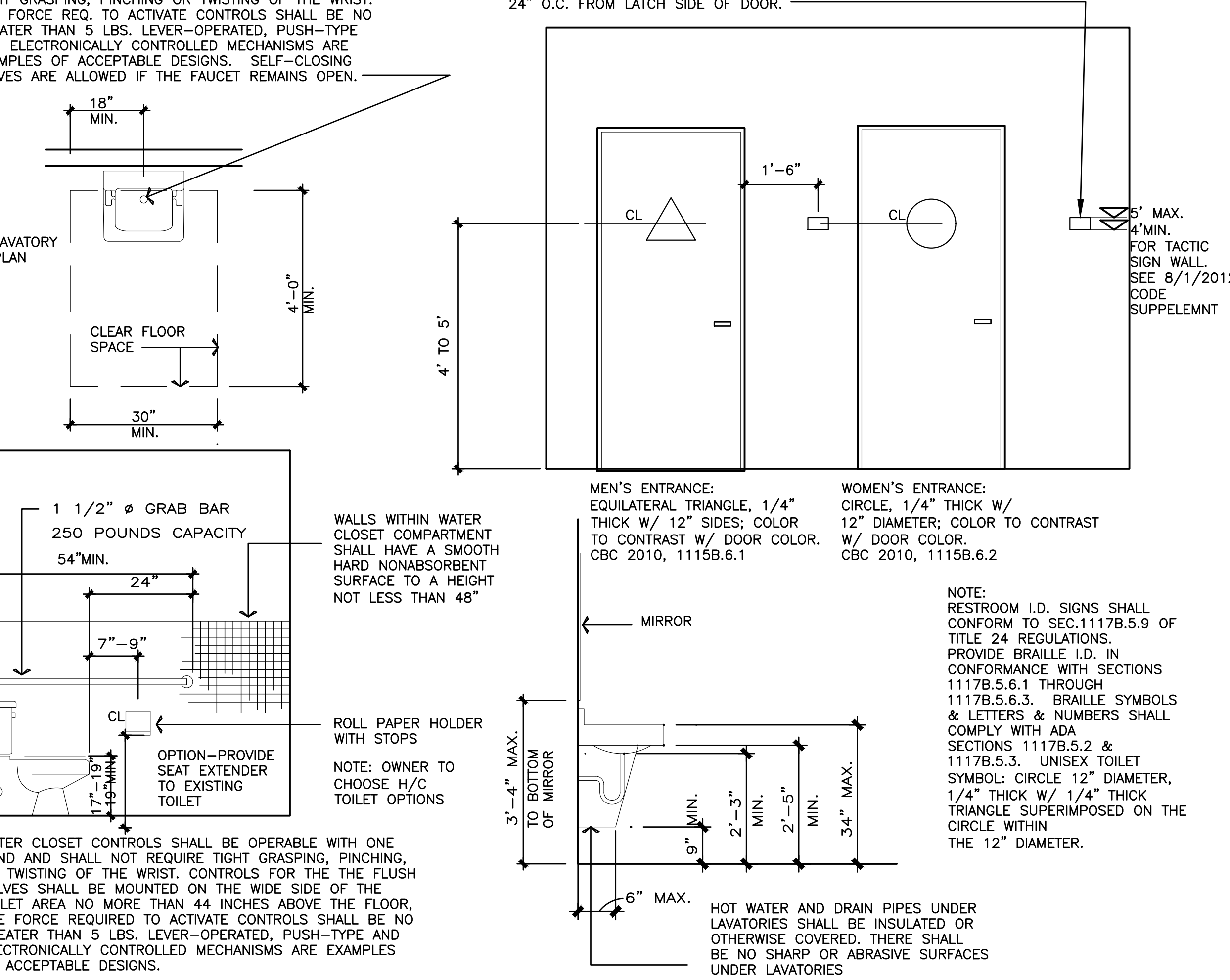


CONTRACTOR TO VERIFY TOILET COMPLIES WITH MINIMUM HANDICAP REQUIREMENTS

UNISEX SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE 1/4 INCH THICK, 12 INCH DIA. WITH A 1/4 INCH THICK TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12 INCH DIA. PER SECTION 1115B.6



2 TYPICAL ACCESSIBILITY GRAB BAR ELEVATIONS + CLEARANCES/ TOILET, TUB ENCLOSURE AND LAVATORY SINK



1 TYPICAL ACCESSIBILITY GRAB BAR ELEVATIONS + CLEARANCES/ TOILET, TUB ENCLOSURE AND LAVATORY SINK

3 ACCESSIBILITY DETAILS FOR TUBS AND SHOWERS

1 TYPICAL ACCESSIBILITY GRAB BAR ELEVATIONS + CLEARANCES/ TOILET, TUB ENCLOSURE AND LAVATORY SINK

ASB

REAL ESTATE INVESTMENTS

ASB Real Estate Investments
744 Cowper Street, Palo Alto, CA 94301

Owner:

1201 ABBOT KINNEY BLVD.
VENICE, CA 90291

DATE	REVISIONS
08-16-2021	CLIENT REVIEW
09-21-2021	CDP SUBMITTAL

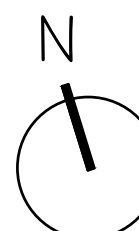
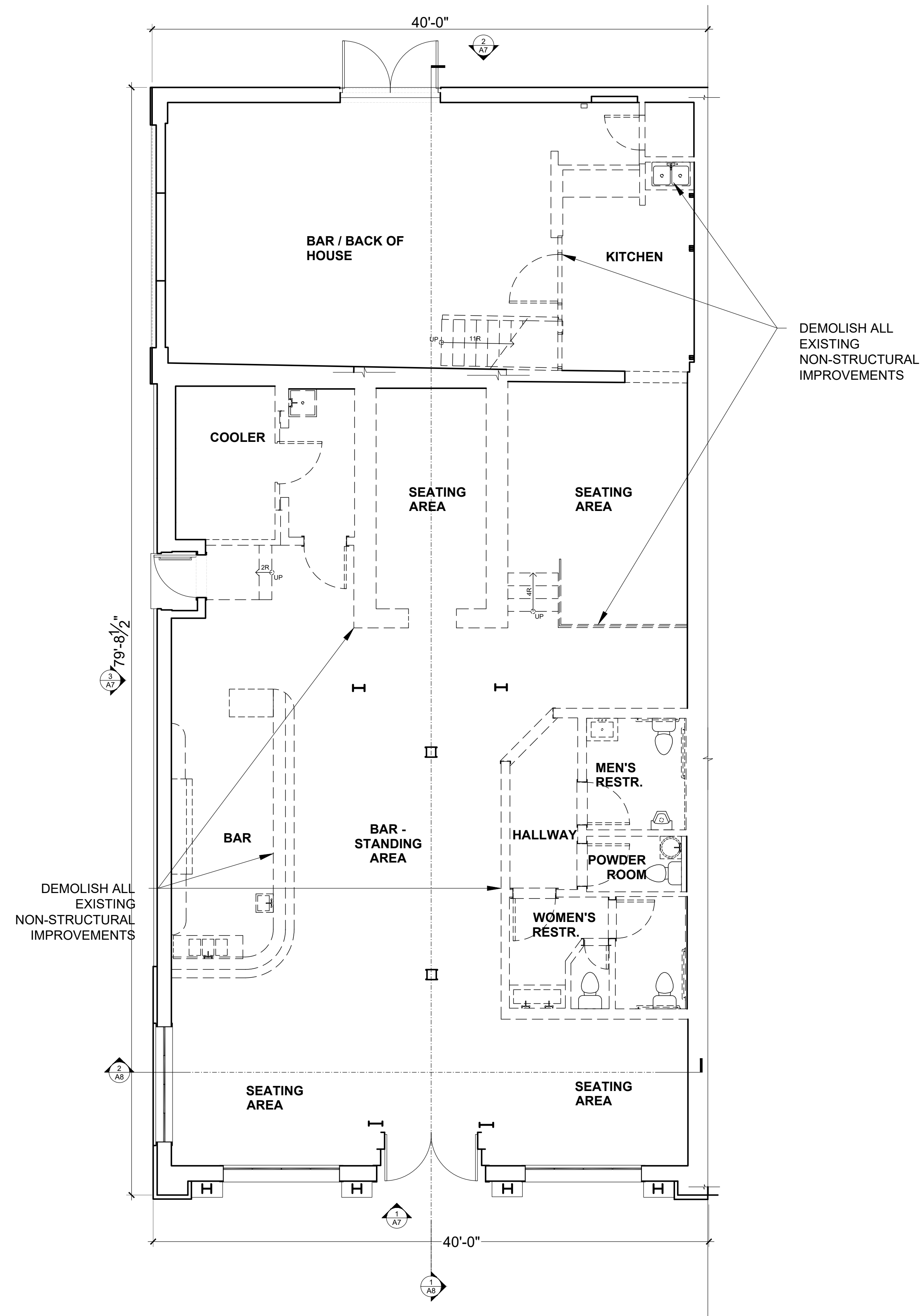
Plot Date: August 16, 2021

Drawing Title:

ACCESSIBILITY DETAILS

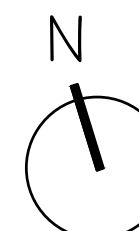
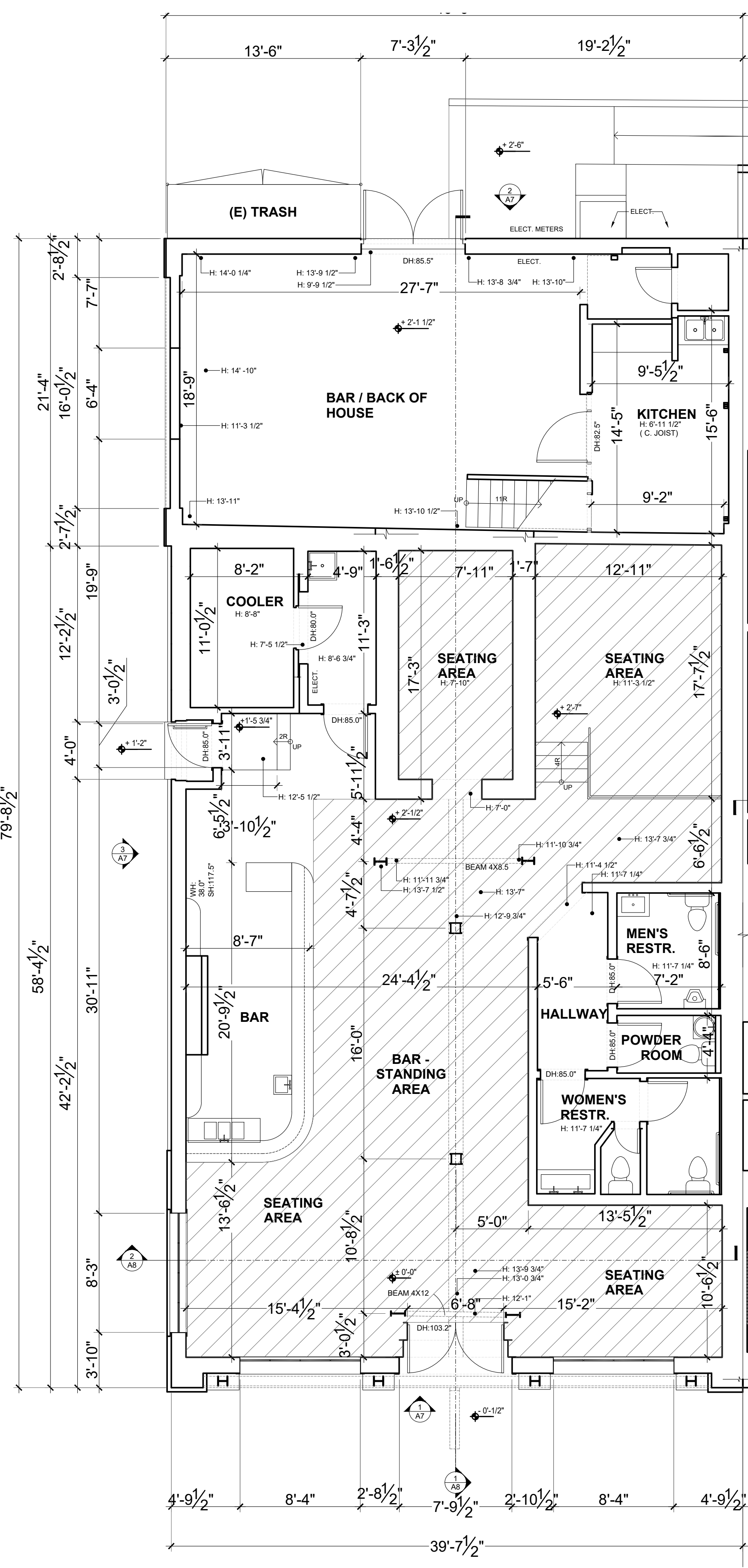
Sheet No.:

1201 Abbot Kinney Blvd. / #2101



DEMOLITION PLAN FOR INTERIOR NON BEARING WALLS 3/16" = 1'-0" 2

EXISTING "SERVICE FLOOR AREA" PER PLANNING DEPARTMENT. CURRENT INTERPRETATION SHOWN HATCHED.



PROPOSED GROUND FLOOR PLAN 3/16" = 1'-0" 1

Owner:



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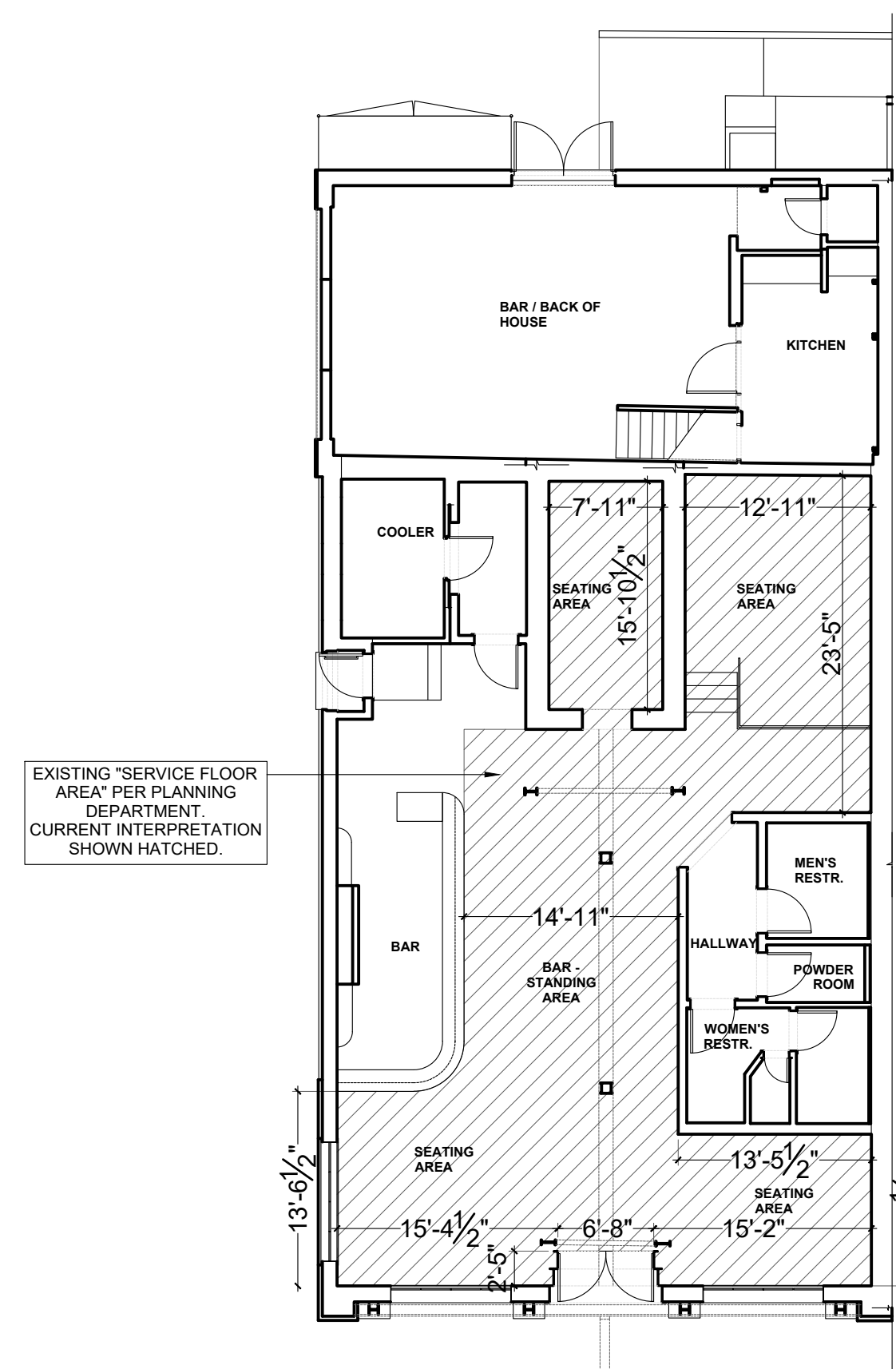
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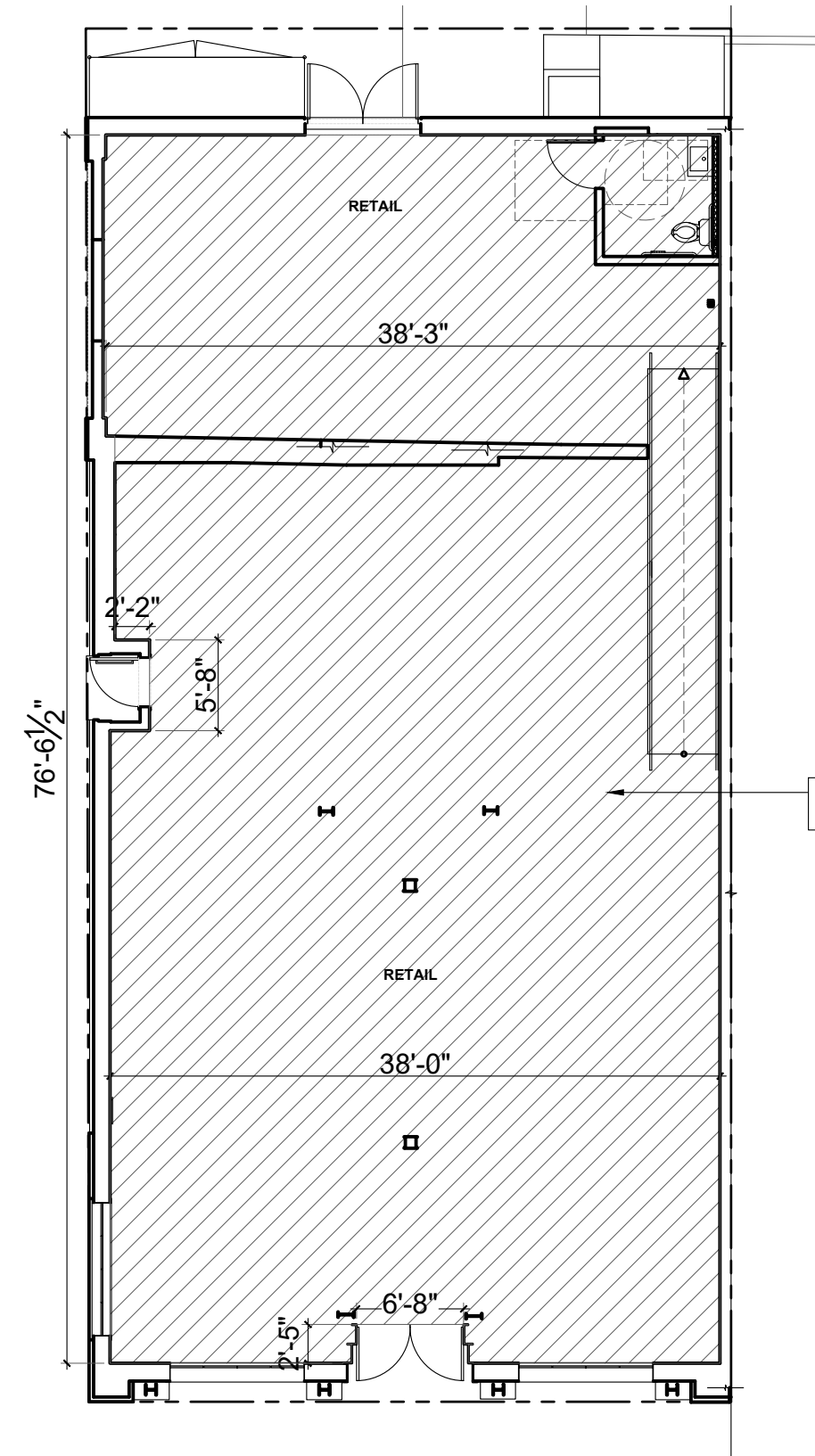
DEMOLITION
PLAN & EXITING
1ST FLOOR PLAN

Sheet No. :

A4



EXISTING FLOOR PLAN
(1,267.0 SF OF SERVICE FLOOR AREA)



NEW FLOOR PLAN
(2,881.0 SF OF RETAIL)

PARKING ANALYSIS BASED ON SECTION 13 TABLE D OF THE VENICE COASTAL ZONE SPECIFIC PLAN -

"(E) RESTAURANT, NIGHT CLUB, BAR AND SIMILAR ESTABLISHMENTS AND FOR THE SALE OF CONSUMPTION OF FOOD AND BEVERAGES ON THE PREMISES. ONE SPACE FOR EACH 50 SQUARE FEET OF SERVICE FLOOR AREA (INCLUDING OUTDOOR SERVICE AREAS)

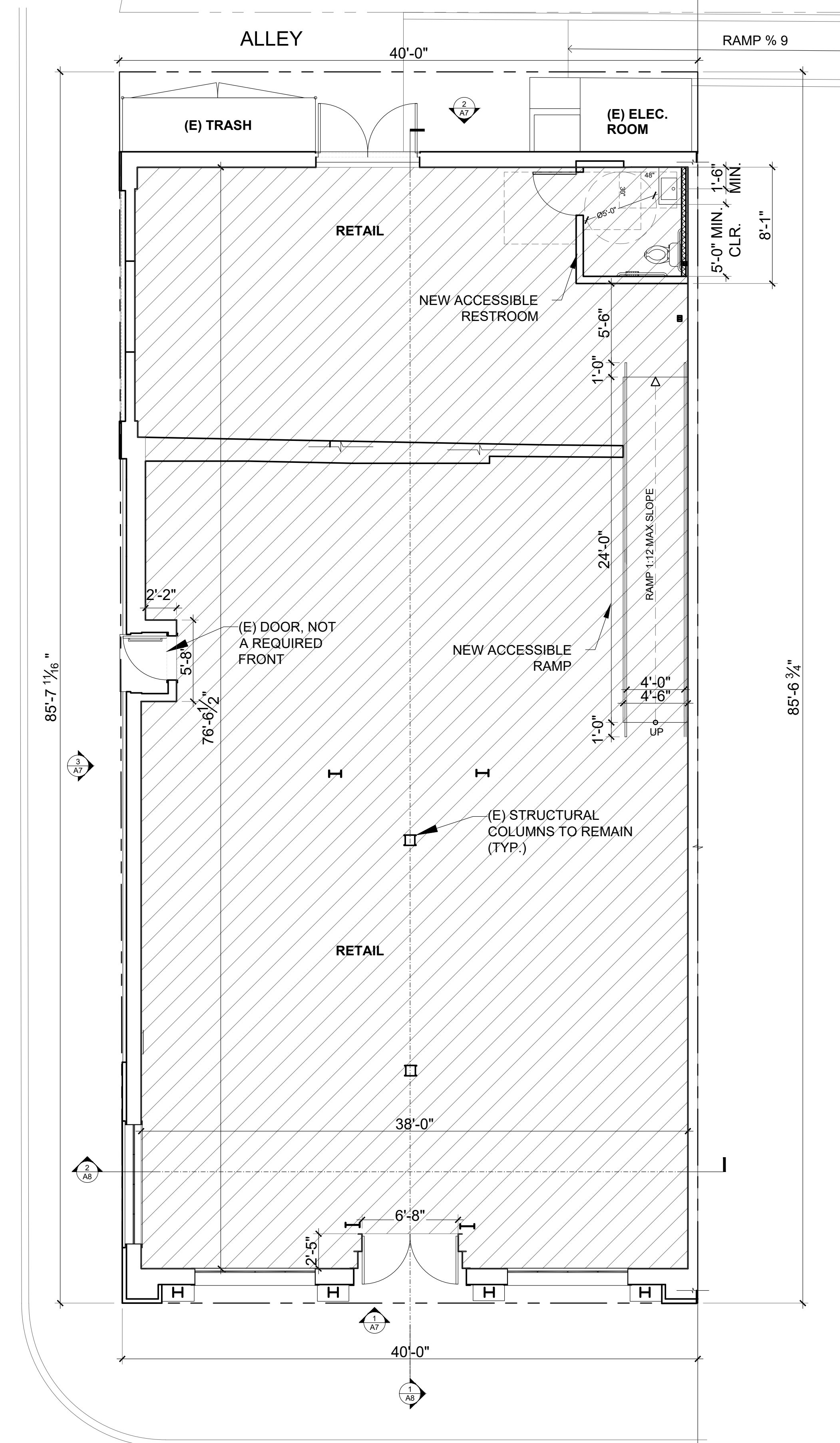
"(N) GENERAL RETAIL STORE, EXCEPT AS OTHERWISE PROVIDED. ONE SPACE FOR EACH 225 SQUARE FEET OF FLOOR AREA"

EXISTING USE: BAR
1,267.0 SF ÷ 50 SF = 25 PARKING SPACES

NEW USE: RETAIL
2,881.0 SF ÷ 225 SF = 13 PARKING SPACES

(E) PARKING CREDIT IS GREATER THAN PROPOSED USE PARKING REQUIREMENT. THEREFORE, NO PARKING IS REQUIRED.

SAN JUAN AVE



ABBOT KINNEY BLVD

Owner:

1201 ABBOT KINNEY BLVD.
VENICE, CA 90291

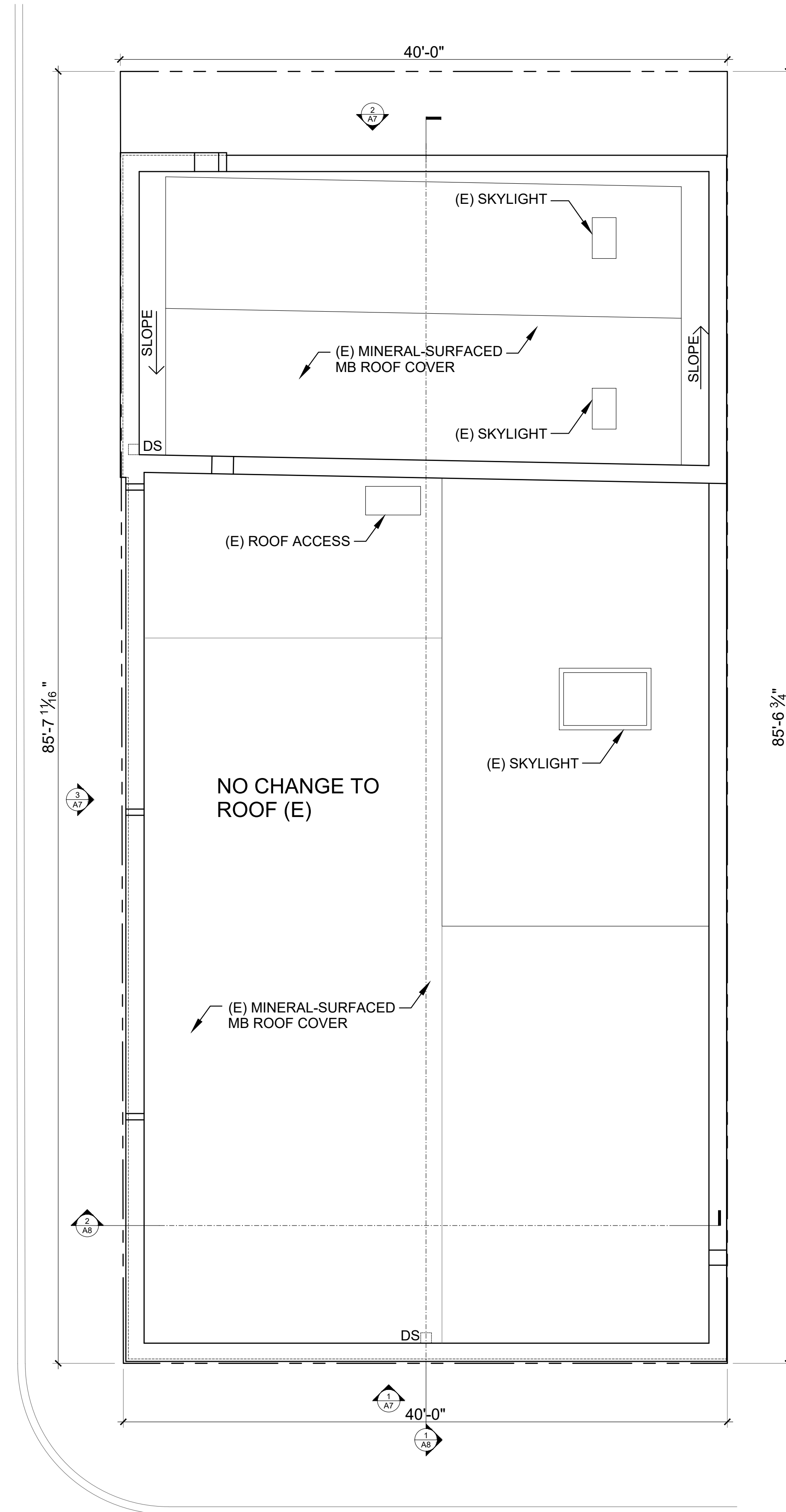
DATE	REVISIONS
08-16-2021	CLIENT REVIEW
09-21-2021	CDP SUBMITTAL

PLOT DATE: August 16, 2021

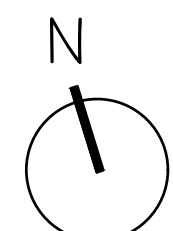
Drawing Title :
NEW 1ST FLOOR PLAN & PARKING CALCULATION

Sheet No. : **A5**

SAN JUAN AVE



ABBOT KINNEY BLVD



Owner:

1201 ABBOT KINNEY BLVD.
 VENICE, CA 90291

DATE	REVISIONS
08-16-2021	CLIENT REVIEW
09-21-2021	CDP SUBMITTAL

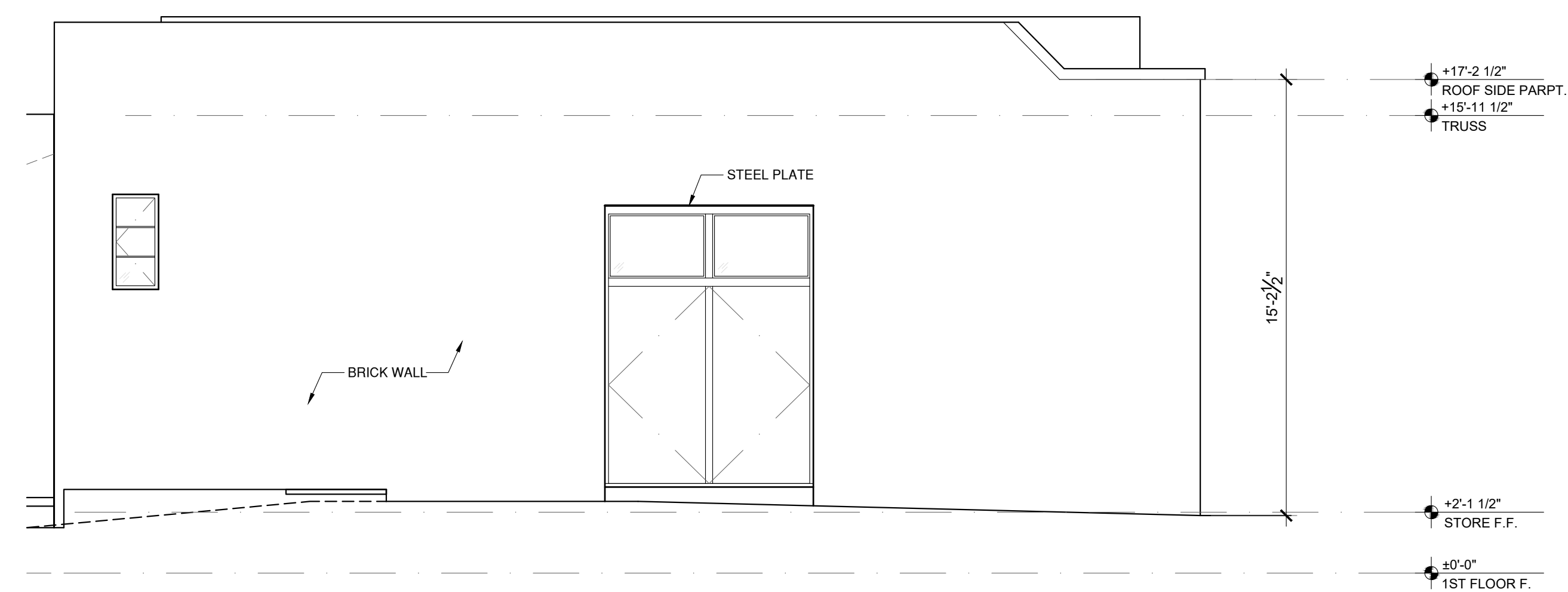
PLOT DATE: August 16, 2021

Drawing Title :
 EXISTING ROOF PLAN

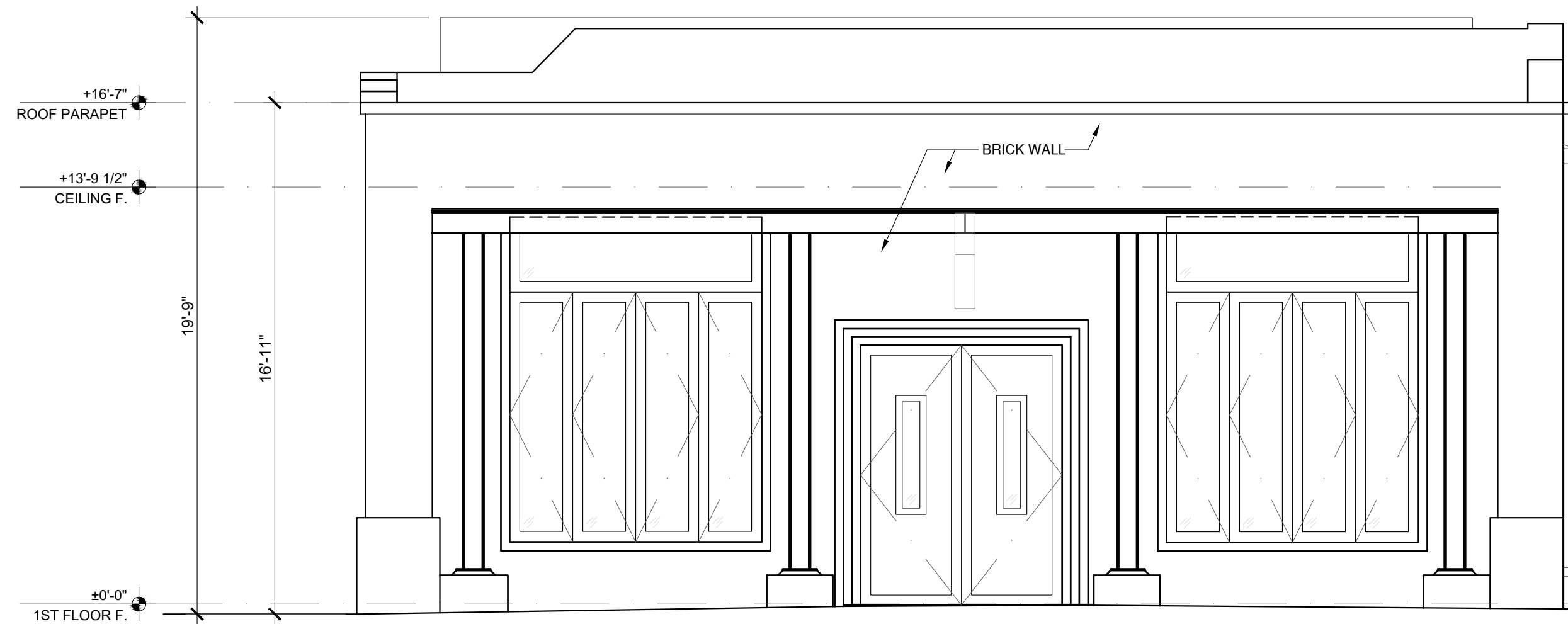
Sheet No. :
A6



NO CHANGE - WEST ELEVATION 1/4" = 1'-0" 3



NO CHANGE - NORTH ELEVATION 1/4" = 1'-0" 2



NO CHANGE - ABBOT KINNEY SOUTH ELEVATION 1/4" = 1'-0" 1

Owner:

1201 ABBOT KINNEY BLVD.
 VENICE, CA 90291

DATE	REVISIONS
08-16-2021	CLIENT REVIEW
09-21-2021	CDP SUBMITTAL

PLOT DATE: August 16, 2021

Drawing Title :

EXISTING ELEVATIONS

Sheet No. :

A7

Owner:

**1201 ABBOT KINNEY BLVD.
VENICE, CA 90291**

DATE	△	REVISIONS
08-16-2021		CLIENT REVIEW
09-21-2021		CDP SUBMITTAL

PLOT DATE: **August 16, 2021**

Drawing Title :

PHOTO MAP

Sheet No. :

A9

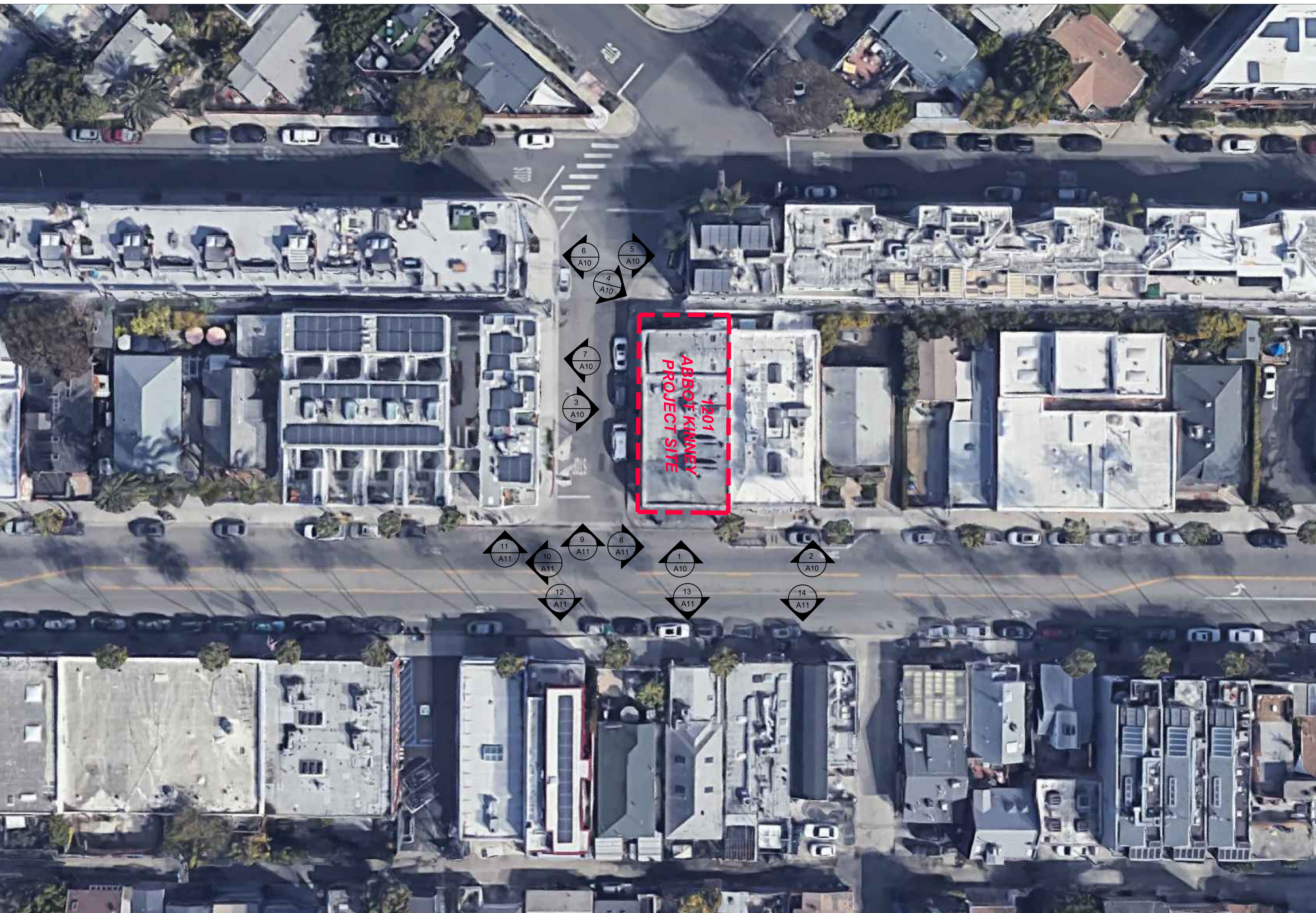
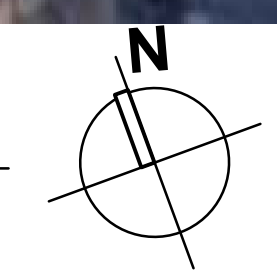


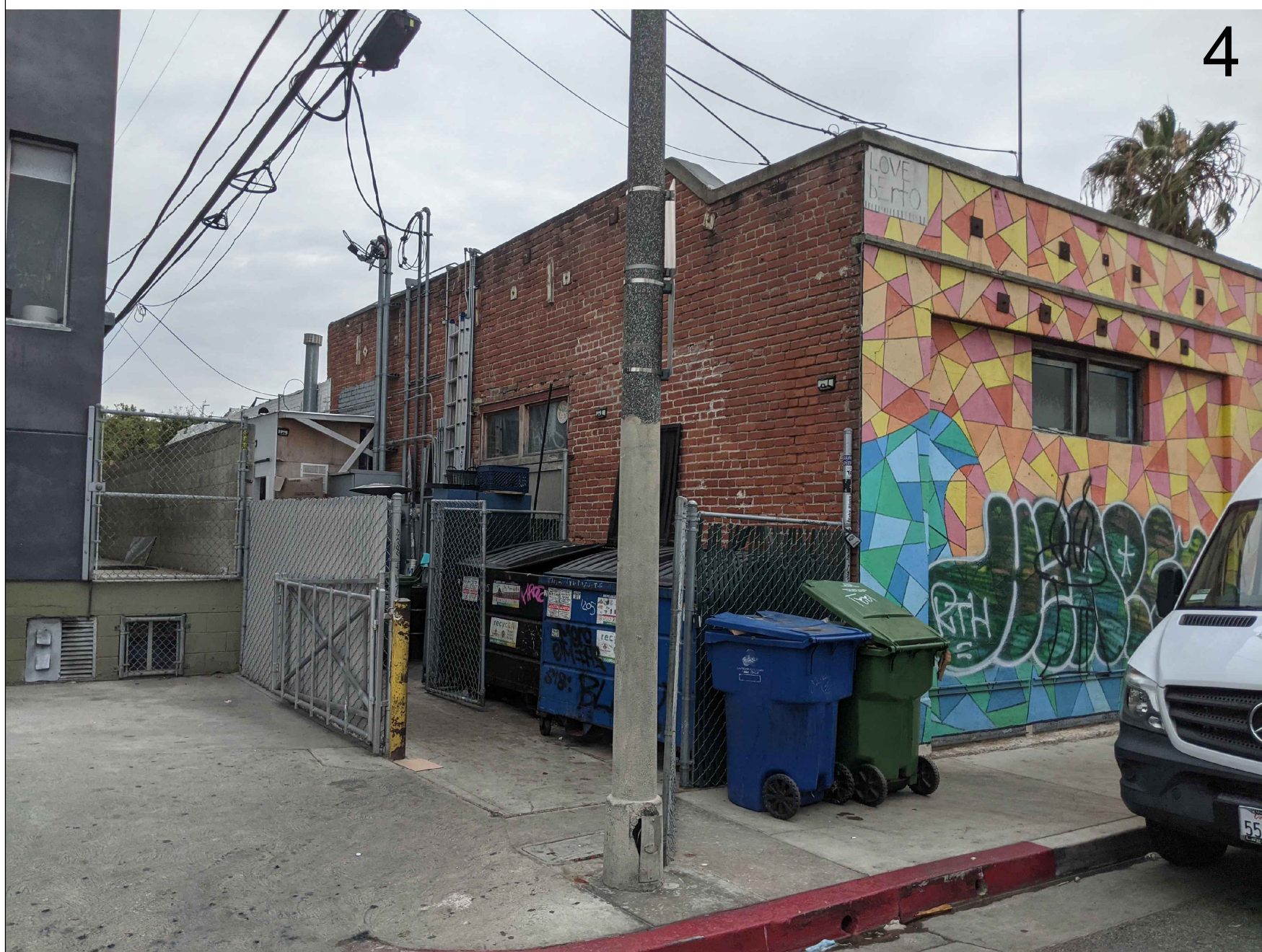
PHOTO MAP





ASB
 REAL ESTATE INVESTMENTS
 ASB Real Estate Investments
 744 Cowper Street, Palo Alto, CA 94301

Owner:



1201 ABBOT KINNEY BLVD.
VENICE, CA 90291

DATE	△	REVISIONS
08-16-2021		CLIENT REVIEW
09-21-2021		CDP SUBMITTAL

PLOT DATE: August 16, 2021

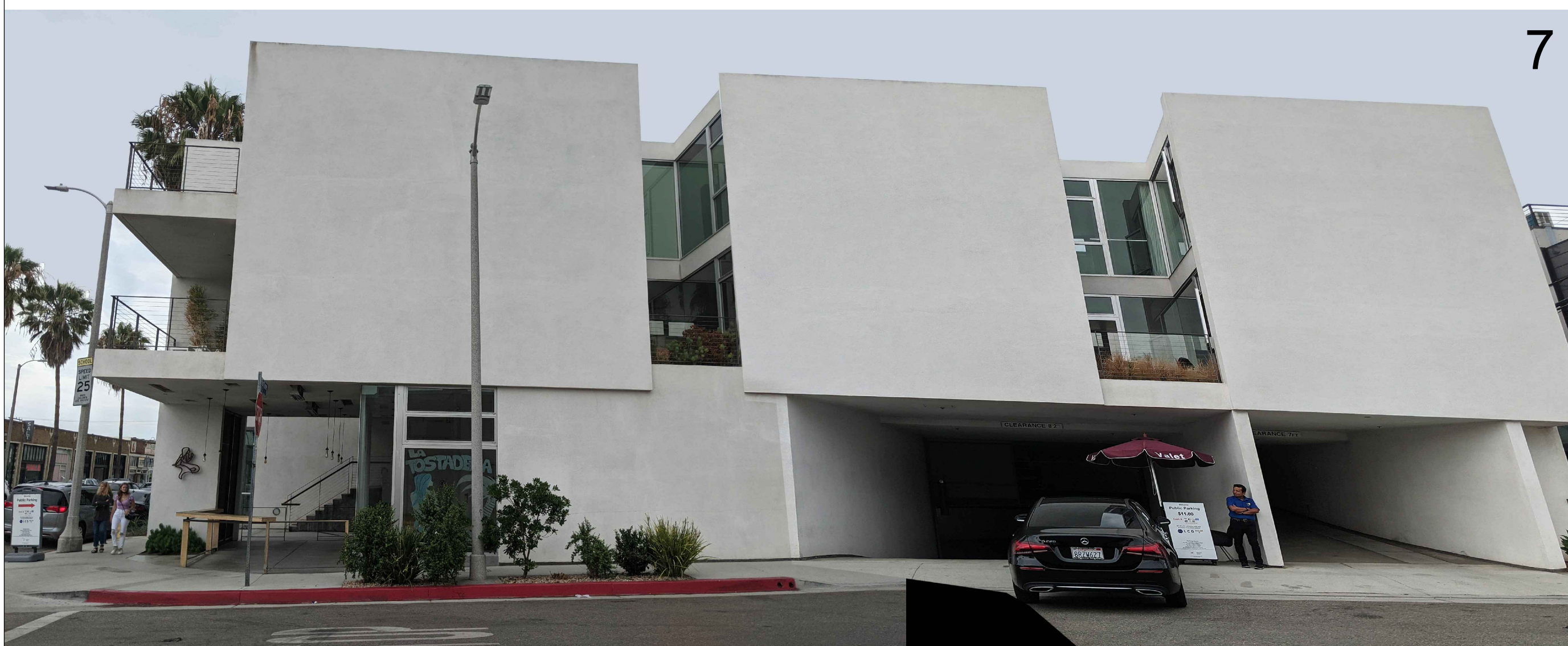
Drawing Title :

SITE PHOTO

Sheet No. :

A10

1201 Abbot Kinney Blvd. / #2101





11



10



9



8



ASB
REAL ESTATE INVESTMENTS
ASB Real Estate Investments
744 Cowper Street, Palo Alto, CA 94301

Owner:



13



12

1201 ABBOT KINNEY BLVD.
VENICE, CA 90291

DATE	△	REVISIONS
08-16-2021		CLIENT REVIEW
09-21-2021		CDP SUBMITTAL

PLOT DATE: August 16, 2021

Drawing Title :

SITE PHOTOS

Sheet No. :

A11

1201 Abbot Kinney Blvd. / #2101



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