

Rev 5.1.6

Project Name

**Nowhere Venice Corp.**  
**Erewhon Market**  
**583 East Venice Blvd. Los Angeles, CA**  
**90291**

**FLOOR PLAN**

BRICK = 8000 SQ/FT  
 METAL = 2400 SQ/FT  
 COVERED AREA = 520 SQ/FT  
 TOTAL COVERED = 10,920 SQ/FT

COVERED SEATING = 39  
 UN-COVERED SEATING = 15  
 TOTAL = 54

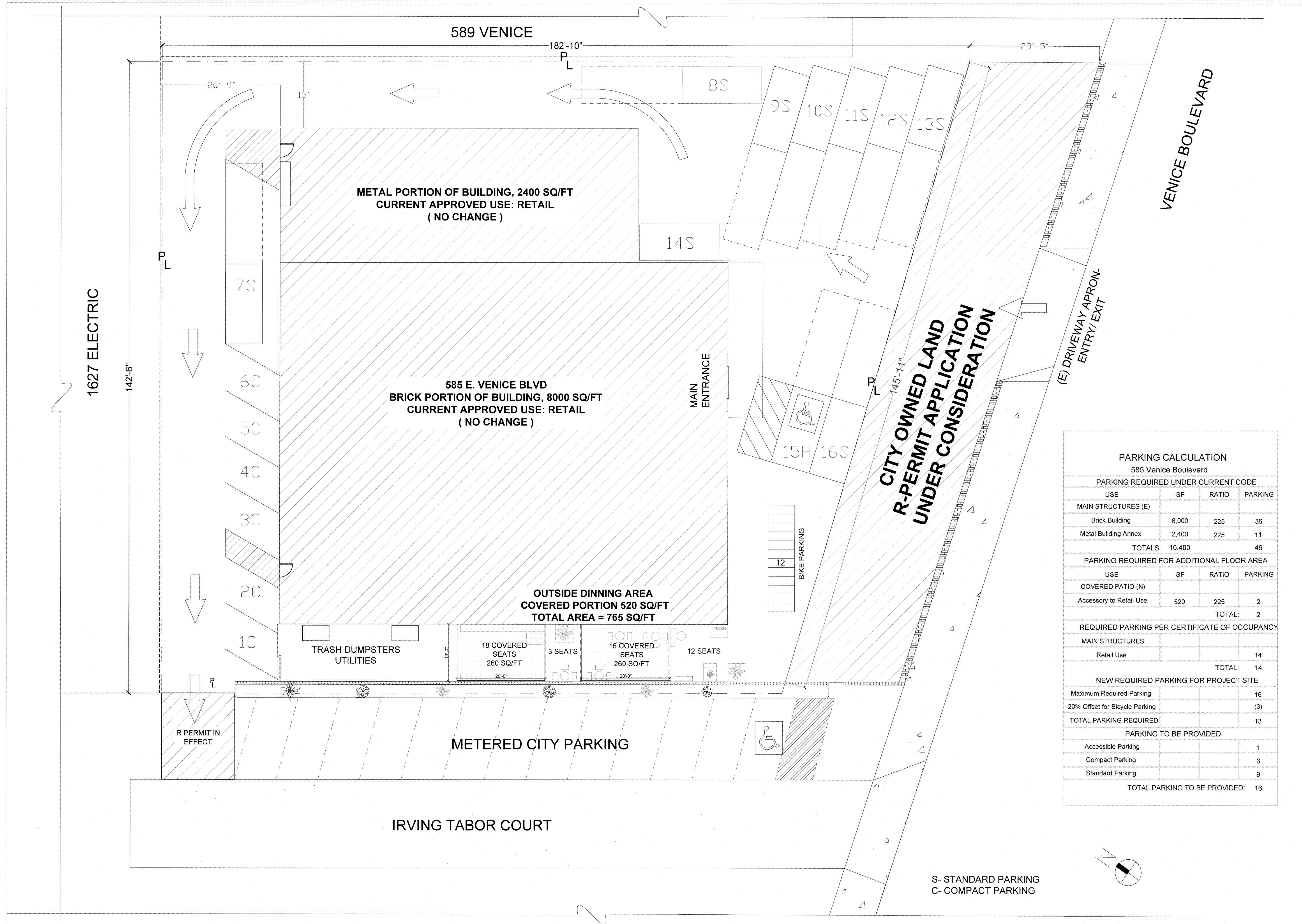
Date 10/07/2020

Drawn By Kohler

Scale 1/12 = 1' 0"

Drawing Number

**A1**



PARKING CALCULATION			
585 Venice Boulevard			
PARKING REQUIRED UNDER CURRENT CODE			
USE	SF	RATIO	PARKING
<b>MAIN STRUCTURES (E)</b>			
Brick Building	8,000	225	36
Metal Building Annex	2,400	225	11
<b>TOTALS:</b>	<b>10,400</b>		<b>46</b>
<b>PARKING REQUIRED FOR ADDITIONAL FLOOR AREA</b>			
USE	SF	RATIO	PARKING
<b>COVERED PATIO (N)</b>			
Accessory to Retail Use	520	225	2
<b>TOTAL:</b>			<b>2</b>
<b>REQUIRED PARKING PER CERTIFICATE OF OCCUPANCY</b>			
<b>MAIN STRUCTURES</b>			
Retail Use			14
<b>TOTAL:</b>			<b>14</b>
<b>NEW REQUIRED PARKING FOR PROJECT SITE</b>			
Maximum Required Parking			16
20% Offset for Bicycle Parking			(3)
<b>TOTAL PARKING REQUIRED</b>			<b>13</b>
<b>PARKING TO BE PROVIDED</b>			
Accessible Parking			1
Compact Parking			6
Standard Parking			9
<b>TOTAL PARKING TO BE PROVIDED:</b>			<b>16</b>

Rev 5.1.6

Project Name

**Nowhere Venice Corp.**  
**Erewhon Market**  
**583 East Venice Blvd. Los Angeles, CA**  
**90291**

**SITE PLAN**

Floor Area Ratio  
 (FAR) = (G)/(B)  
 11165 / 22486.4 = .5

Drawing Content

Design by

Date 10/07/2020

Drawn By Kohler

Scale 1/20 = 1' 0"

Drawing Number

**P1**

S- STANDARD PARKING  
 C- COMPACT PARKING