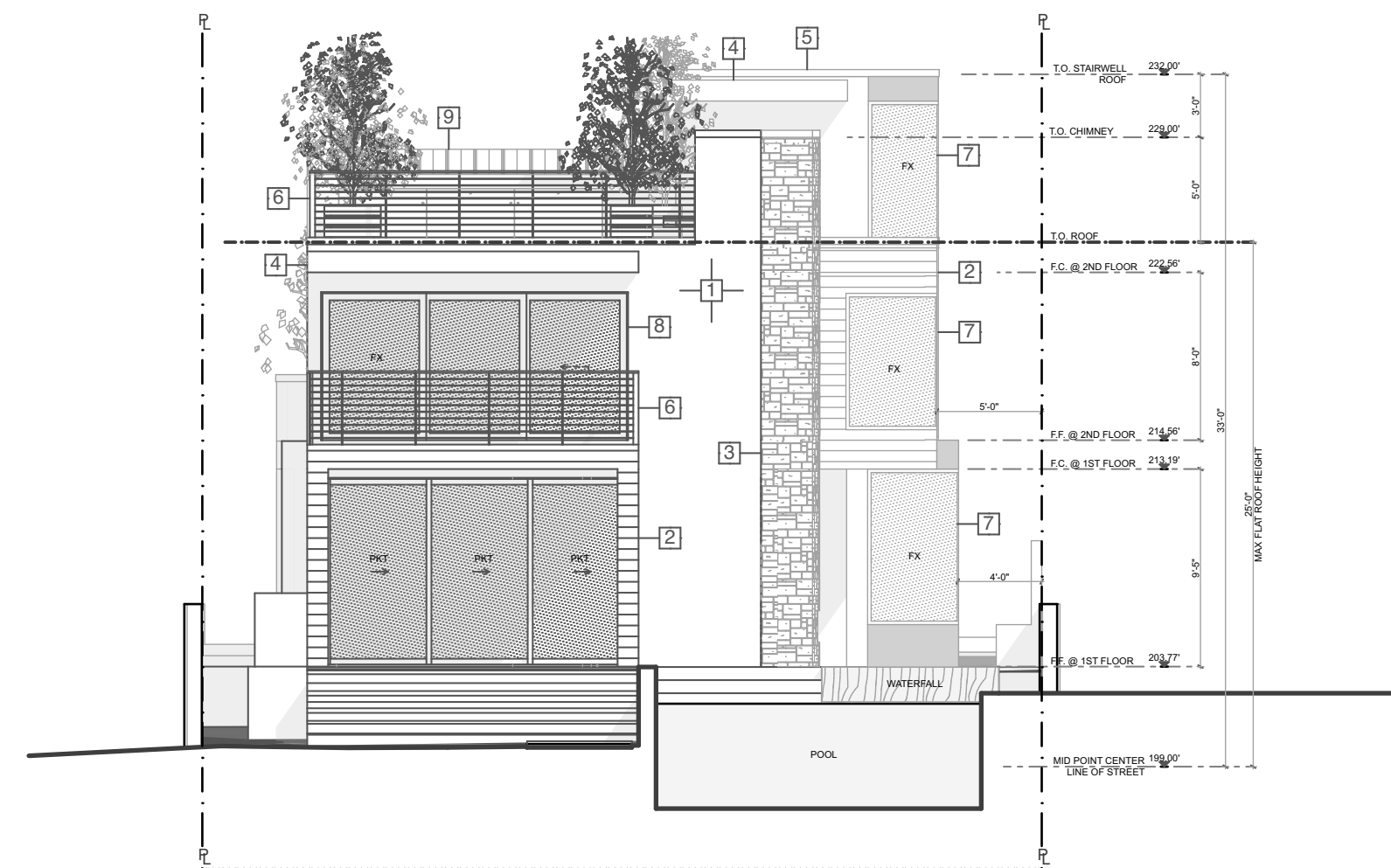


# MAGEE - O'CONNELL RESIDENCE



VENICE  
April, 2022

## APPROVAL STAMPS

## SHEET INDEX

### GENERAL

- T-1.1 COVER SHEET/ PROJECT INDEX
- T-2.1 SURVEY
- T-5.1 FLOOR AREA TABULATIONS

### ARCHITECTURAL

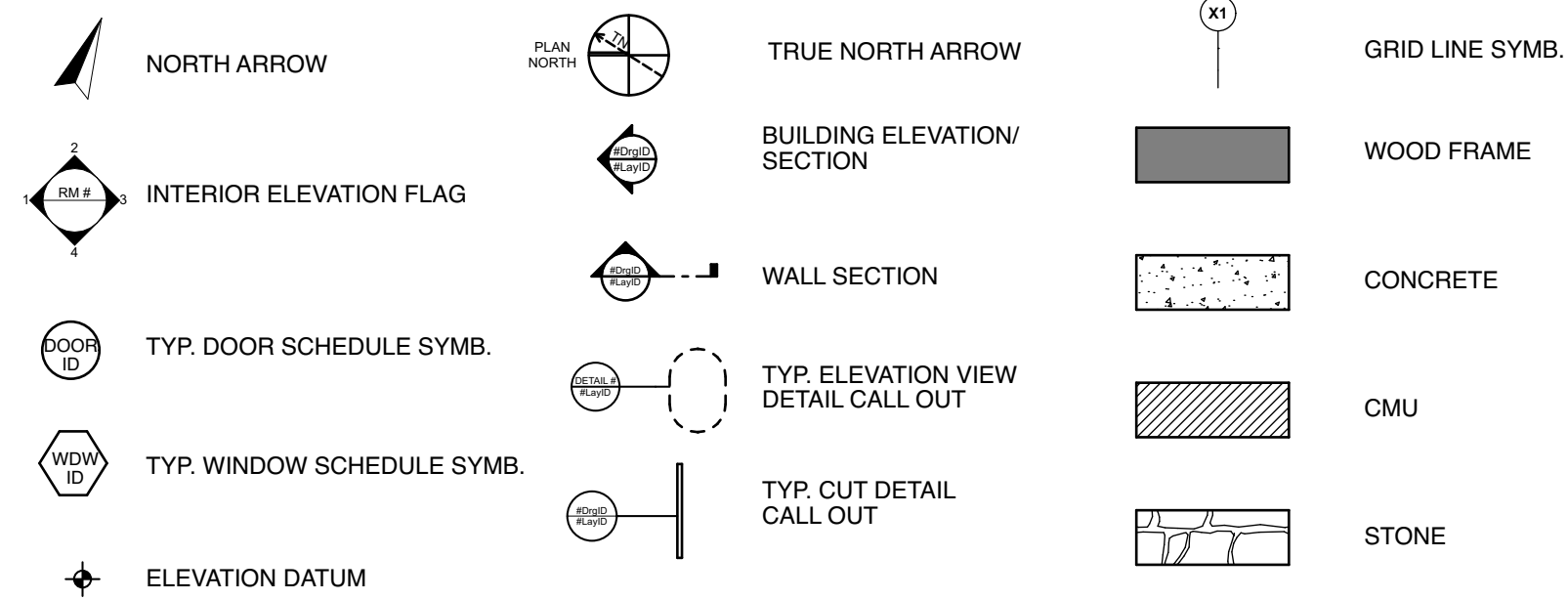
- A-0.1 SITE PLAN
- A-0.3 50% EXISTING WALL CALCULATIONS
- A-0.4 DEMO FLOOR PLANS
- A-0.5 DEMO ELEVATIONS
- A-1.1 PROPOSED FIRST FLOOR PLAN
- A-1.2 PROPOSED SECOND FLOOR PLAN
- A-1.3 PROPOSED ROOF PLAN
- A-1.4 PROPOSED POOL PLAN
- A-2.1 PROPOSED ELEVATIONS
- A-2.2 PROPOSED ELEVATIONS
- A-3.1 PROPOSED SECTION

## MAGEE - O'CONNELL RESIDENCE

321/323 BROOKS AVENUE,  
VENICE,  
CA 90291

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## SYMBOL LEGEND



## PROJECT DATA

**PROJECT INFORMATION:**  
 \*ADDRESS: 321/323 BROOKS AVENUE, VENICE, CA 90291  
 \*OWNER: WILLIAM MAGEE AND CASEY O'CONNELL  
 \*LEGAL DESC.: See Survey  
 \*A.P.N.: 4286-010-020  
 \*OCC. GROUP: R-3/U  
 \*TYPE OF CONST.: V-B  
 \*NUMBER OF STORIES: 2 + ROOF DECK  
 \*FIRE ZONE: VHFHSZ  
 \*SPRINKLERED: Yes (Sprinklered per LACo. Fire Dept. Requirements)

**LOT INFORMATION:**  
 \*ZONING: LARD1.5  
 \*LOT AREA: 5,280 SQ.FT.  
 \*LOT DEPTH: 131.88 FT  
 \*LOT WIDTH: 40.04 FT

**SETBACKS:**

	REQUIRED	EXISTING	PROPOSED
FRONT YARD	15.0'	51.71'	51.71'
SIDE YARD	4.0'	3.54'	3.54'
SIDE YARD	4.0'	4.0'	4.0'
REAR YARD	15.0'	4.3'	4.3'

**PARKING:**

\*ENCLOSED: THREE (3)

**HEIGHT:**

	MAXIMUM	PROPOSED
FLAT ROOF < 3:12	25'-0" (TOR)	25'-0" (TOR)
PITCHED ROOF > 3:12	30'-0" (TOR)	29'-6" (TOR)

**MAXIMUM ALLOWABLE FLOOR AREA:**  
 3:1 FAR OF THE BUILDABLE AREA

**AREA FLOOR BREAKDOWN:**  
 EXISTING BUILDING FLOOR AREA = 2,056 SF  
 2,056 SF x 200% = 4,112 SF

**PROPOSED:**

RESIDENTIAL UNIT 1:	2,365 SF
STAIR ACCESS :	94 SF
RESIDENTIAL UNIT 2:	719 SF
TOTAL:	3,178 SF

ROOF DECK POP UP: 100 SF

**PROPOSED TOTAL 3,178 SF < 4,112 SF**

## VICINITY MAP



## SCOPE OF WORK

- Interior and Exterior remodel of existing Duplex
- New Second Floor
- New Roof Deck
- New Roof
- New attached Secondary Unit (Unit #2)
- New Site Work
- New Pool and Spa
- New Landscaping

## UNDER SEPARATE PERMIT

## APPLICABLE CODES

- 2019 County of Los Angeles Building Code
- 2019 County of Los Angeles Mechanical Code
- 2019 County of Los Angeles Plumbing Code
- 2019 County of Los Angeles Electrical Code
- 2019 California Energy Code
- 2019 California Residential Code
- 2019 Residential Building Energy Efficiency Standards
- APPLICABLE CODES:  
 - Project shall comply with Title 24 and 2019 California Residential Code (CRC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), and California Energy Code (CEnc) [§ R106.1.1 CRC]

## DEFERRED SUBMITTAL

Deferred submittal documents shall be submitted to the architect- or engineer-of-record, who shall review them and forward them to the building official with a notation that they have been reviewed and have been found to be in general conformance with the design of the building or structure. The deferred items shall not be installed until their design and submittal documents have been reviewed and approved by the building official.

DEFERRED SUBMITTAL ITEMS:

## ABBREVIATIONS

ADDITIONAL ADJUSTABLE ABOVE FINISHED FLOOR ABOVE RAISED FLOOR AIR CONDITIONING ALTERNATE ARCHITECT (URAL) AREA DRAIN	ADDL. ADJ. A.F.F. A.R.F. A/C ALT. ARCH. A.D.	ELECTRIC PANEL ELEVATOR ENCLOSURE ENGINEER EQUAL EQUIPMENT EXISTING EXTRUDE OR EXTRUSION	ELECT. PNL. ELEV. ENCL. ENGR. EQ. EQUIP. EXIST. EXTR.	MANUFACTURE MATERIAL MAXIMUM MECHANICAL METAL MINIMUM MISCELLANEOUS	MFR. MFR'S. MATL. MAX. MECH. MTL. MIN. MISC.	SHEET SIMILAR SOUTH SMOKE DETECTOR SPEAKER SPECIFICATIONS SPRINKLER HEAD SQUARE STAINLESS STEEL STANDARD STEEL STRUCTURAL	SHT. SIM. S. S.D. SPKR. SPECS. S.H. SQ. S.S. STD. STL. STRUCT.
BLOCKING BOARD BUILDING	BLKG. BD. BLDG.	FABRICATE(ED) FINISH FLOOR FLOOR FURNISHED) FURRING	FAB. FIN. FL. FLUOR. FT. F.A.I. FURN. FUR.	NORTH NOT IN CONTRACT NOT TO SCALE NUMBER	N N.I.C. N.T.S. NO. OR X	TELEPHONE TELEVISION TEMPORARY TONGUE AND GROOVE TYPICAL	TEL. TV TEMP. T. & G. TYP.
CABINET CEILING CENTER CENTER LINE CERAMIC TILE CLEAR CONCRETE CONCRETE MASONRY UNIT CONSTRUCTION CONTINUOUS CONTR'OL JOINT	CAB. CLG. CTR. C.L. C.T. CLR. CONC. C.M.U. CONST. CONT. C.J.	FLOOR FLUORESCENT FOOT FRESH AIR INTAKE (OR INLET) FURNISHED) FURRING GALVANIZED GAUGE GROUND GYP.SUM BOARD	FL. FLUOR. FT. F.A.I. FURN. FUR. PAIR PERFORATED(ED) PIECE/PIECES PLANTER AREA	ON CENTER OUTSIDE DIAMETER OPENING	O.C. O.D. O.P.S. U.O.N. PERF. PC./PCS. P.A. VERTICAL VINYL COMPOSITION TILE	TELEPHONE TELEVISION TEMPORARY TONGUE AND GROOVE TYPICAL	TEL. TV TEMP. T. & G. TYP.
DIAMETER DIMENSION DOUBLE DOUBLE HUNG DOWN DRAWING	D.I.A. DIM. DBL. D.H. DN. DWG.	HEIGHT HOLLOW METAL HORIZONTAL HOT WATER INSIDE DIAMETER JOINT	HT. H.M. HORIZ. H.W. I.D. JT.	RADIUS REFERENCE REFRIGERATOR REINFORCE/REINFORCING REQUIRED RETURN AIR ROUGH OPENING	RAD. REF. REFRIG. REINF. REIN. R.A. R.O.	TELEPHONE TELEVISION TEMPORARY TONGUE AND GROOVE TYPICAL	TEL. TV TEMP. T. & G. TYP.

## PROJECT TEAM

<p>•ARCHITECT: Douglas W. Burdge, A.I.A. Burdge &amp; Associates Architects, Inc. 24911 Pacific Coast Hwy. Malibu, CA 90265 Tel. (310) 456-5905</p>	<p>•SURVEYOR: DENN Engineer 3914 DEL AMO BLVD., SUITE 921 TORRANCE, CA 90503 TEL. 310 542 9433</p>	<p>•STRUCTURAL ENGINEER: #STRUCTURAL ENGINEER</p>
<p>•CIVIL ENGINEER: LC Engineering Group, Inc. 889 Pierce Ct., STE 101 Thousand Oaks, CA 91360 Tel. (805) 497-1244</p>	<p>•OWTS CONSULTANT: #OWTS</p>	<p>•SOILS ENGINEER: #SOILS ENGINEER</p>
<p>•MEP CONSULTANT: #M.E.P. ENGINEER</p>	<p>•ENERGY CONSULTANT: #ENERGY CONSULTANT</p>	<p>•Landscape: #LANDSCAPE ARCHITECT:</p>



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TEL. 310-456-5905

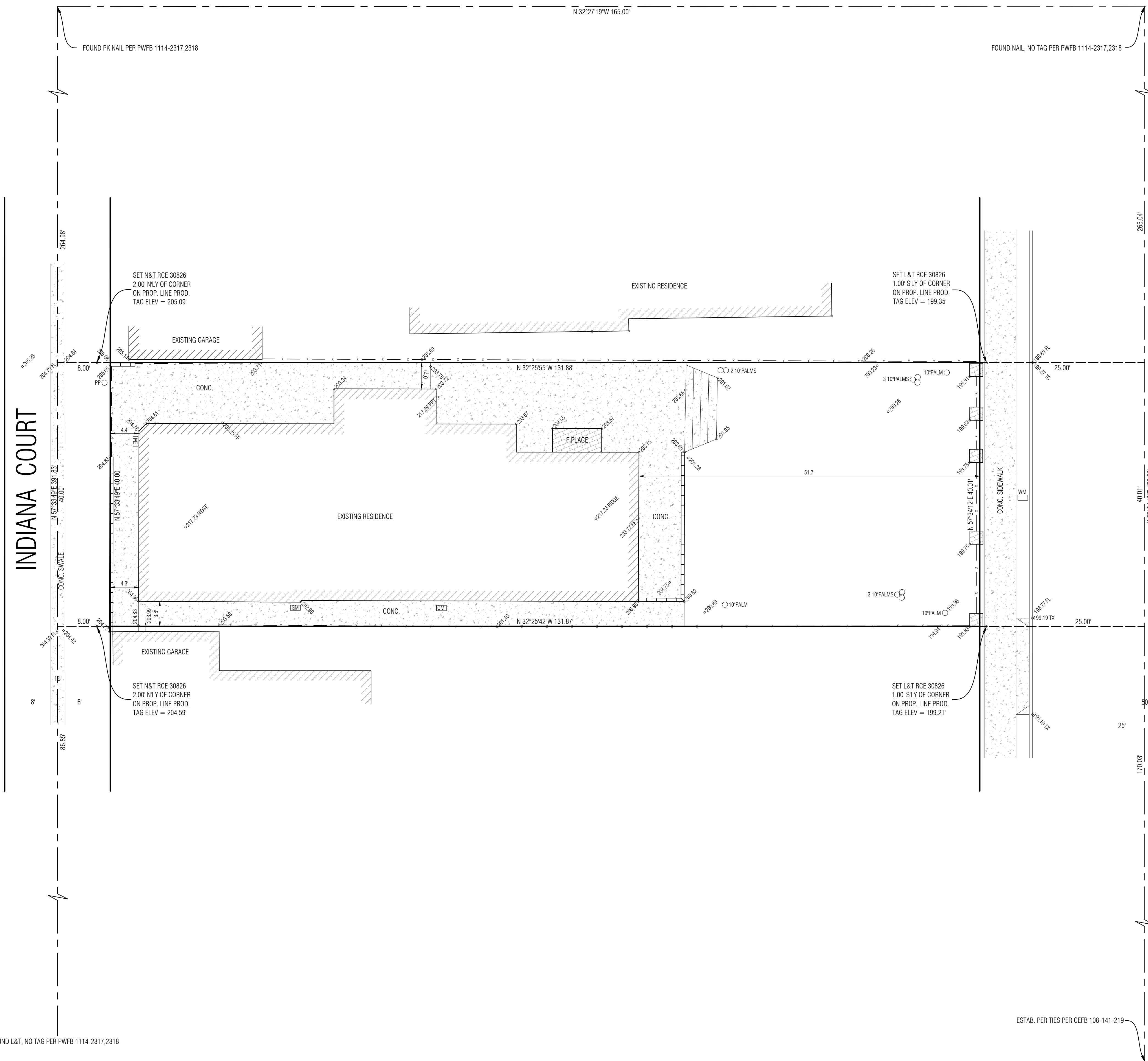
SHEET TITLE

COVER SHEET/  
PROJECT INFO

DRAWING NO.  
**T-1.1**

PROJECT NO.:	Project No.
PROJECT:	MAGEE - O'CONNELL RESIDENCE
DATE:	Plot Date: 4/27/22
SCALE:	AS NOTED
DRAWN BY:	D.W.B.

4TH AVENUE



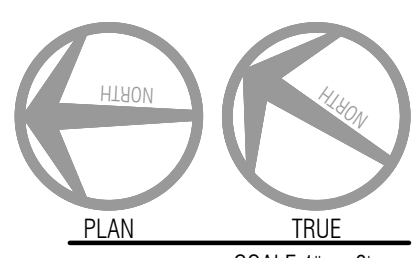
INDIANA COURT

BROOKS AVENUE

DOUGLAS PLACE

NOTE:  
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
ORDER NO. 2607150402-10  
DATED MARCH 1, 2016



**DENN ENGINEER**  
3914 DEL AMO BLVD, SUITE 921  
TORRANCE, CA 90503 (310) 542-9433

**SURVEY AND TOPOGRAPHY**

FOR  
CASEY O'CONNELL  
321 BROOKS AVENUE  
VENICE, CA 90291  
PHONE 323-715-5363

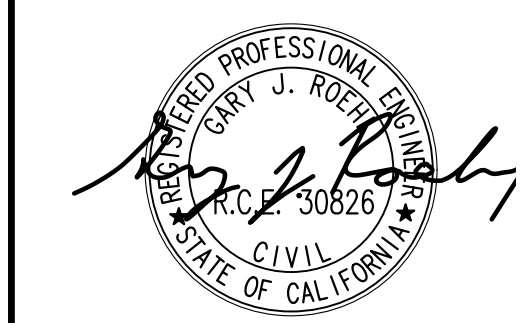
**JOB ADDRESS**

321 BROOKS AVENUE  
LOS ANGELES, CA 90291

**LEGAL DESCRIPTION**

LOT 7, BLOCK A  
OCEAN PARK VILLA TRACT  
M.B. 4-23  
APN 4286-010-020

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENT OF PROFESSIONAL LAND SURVEYORS ACT



GARY J. ROEHL R.C.E. 30826

DRAWN BY KW CHECK BY XX

DRAWN ON FEBRUARY 4, 20

REVISIONS

**LEGEND**

- EXISTING BUILDING
- CONCRETE
- EXISTING ELEVATION
- EXISTING CONTOUR
- BLOCK WALL
- EXISTING FENCE
- BEGINNING OF CURB RETURN
- CENTERLINE
- CHAIN LINK
- EASTERLY
- ELECTRIC METER
- FLOWLINE
- FENCE
- FINISH FLOOR
- FIRE HYDRANT
- FLOWLINE
- GARAGE FINISH FLOOR
- GAS METER
- GUY WIRE
- LEAD AND TAG
- MANHOLE
- NORTHERLY
- PROPERTY CORNER / PROP. CORNER
- PROPERTY LINE / PROP. LINE
- POWER POLE
- PARAPET
- SPIKE AND WASHER
- SOUTHERLY
- SPIKE
- SANITARY SEWER CLEAN OUT
- SANITARY SEWER MANHOLE
- STAKE / STAKE & TAG
- STREET LIGHT
- TOP OF CURB
- TOP OF WALL / T.O.W.
- TOP OF DRIVEWAY APRON
- WESTERLY
- WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

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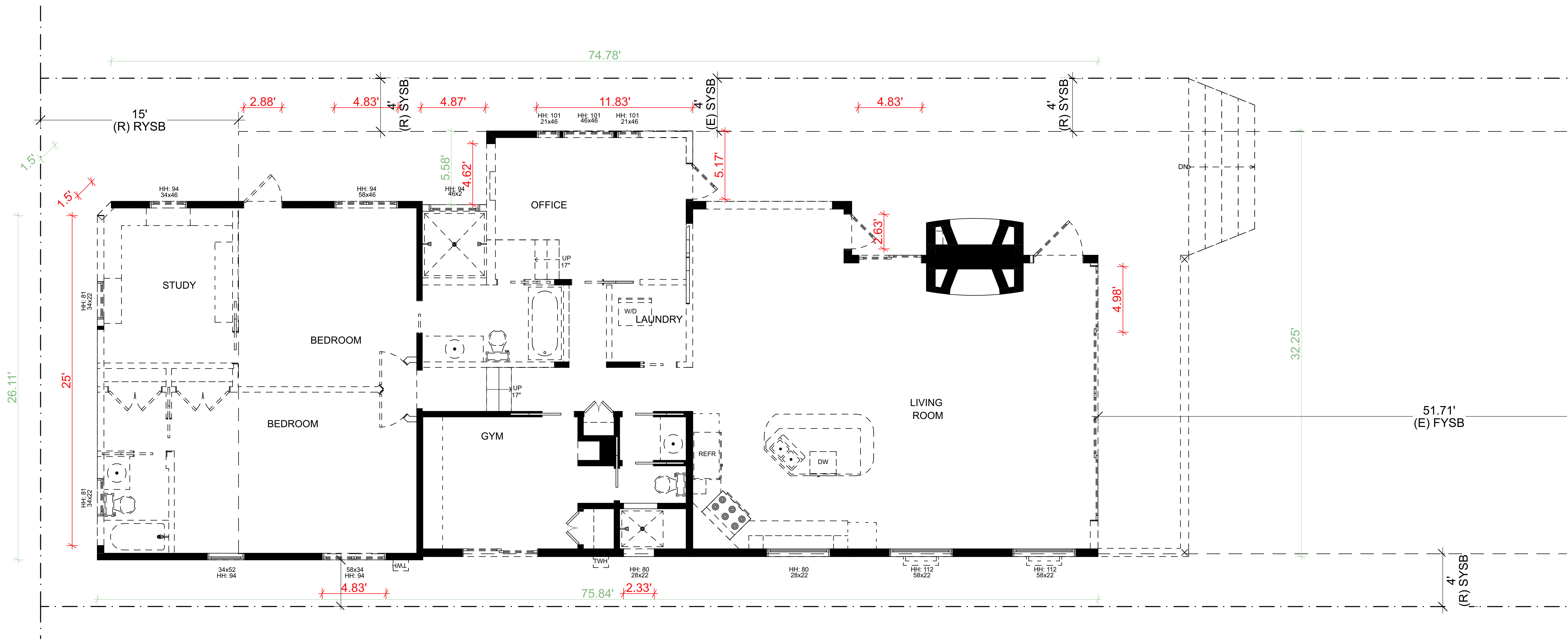
ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT THE WRITTEN CONSENT OF DENN ENGINEERS SHALL RELIEVE DENN ENGINEERS FROM LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEY'S FEES OR COSTS INCURRED ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.

# MAGEE - O'CONNELL RESIDENCE

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MARK	DATE	DESCRIPTION



### FIRST FLOOR LINEAL FOOT WALL BREAKDOWN

EXISTING	DEMO/REPLACE	RETAIN
74.78'	29.24'	
32.25'	12.78'	
75.84'	7.16'	
26.11'	25'	
1.5'	1.5'	
5.58'	4.62'	
<b>216.06'</b>	<b>80.3'</b>	<b>62.83%</b>

### TOTAL FLOOR PLAN CALCULATION

EXISTING LINEAL FEET OF EXTERIOR WALL	216.06'
EXISTING EXTERIOR WALL TO BE REMOVED	80.3'
EXISTING EXTERIOR WALL TO REMAIN	135.76'
<b>% OF EXISTING EXTERIOR WALL TO REMAIN</b>	<b>62.83%</b>
<b>% OF EXISTING EXTERIOR WALL TO BE DEMO</b>	<b>37.17%</b>



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### SHEET TITLE

50% CALCULATION

### DRAWING NO. A-0.3

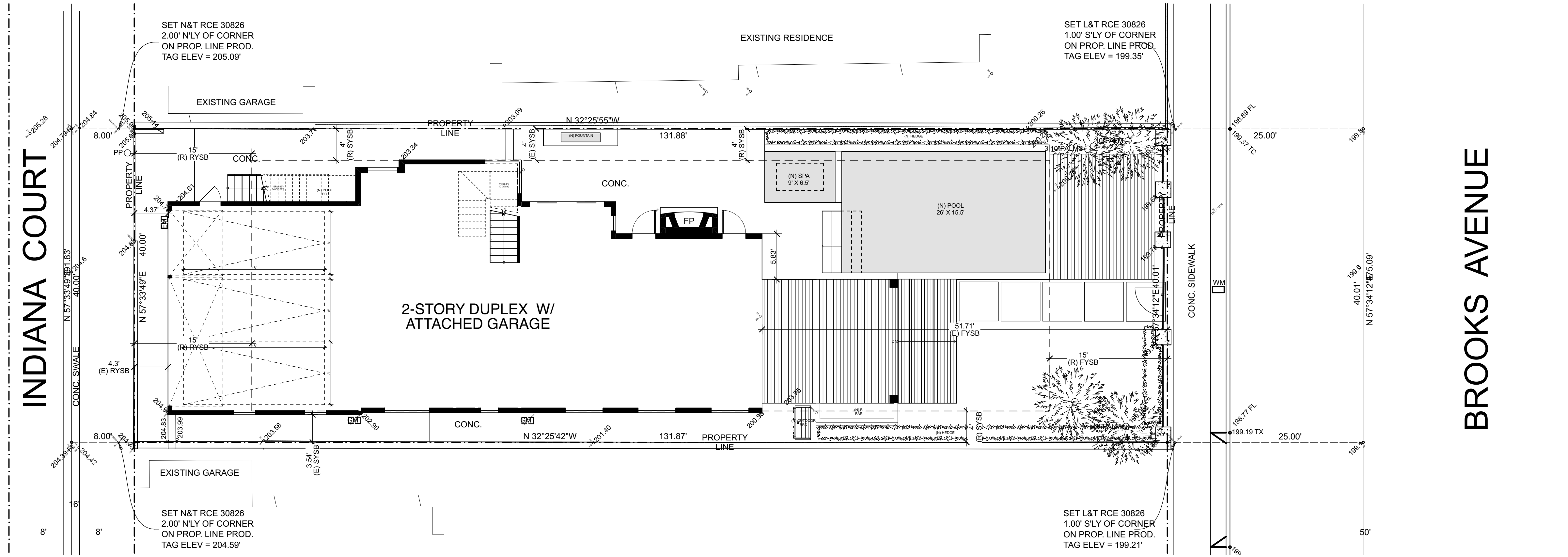
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PROJECT	MAGEE - O'CONNELL RESIDENCE
DATE	Plot Date: 1/26/22
SCALE	AS NOTED
DRAWN BY	D.W.B.

**MAGEE - O'CONNELL RESIDENCE**

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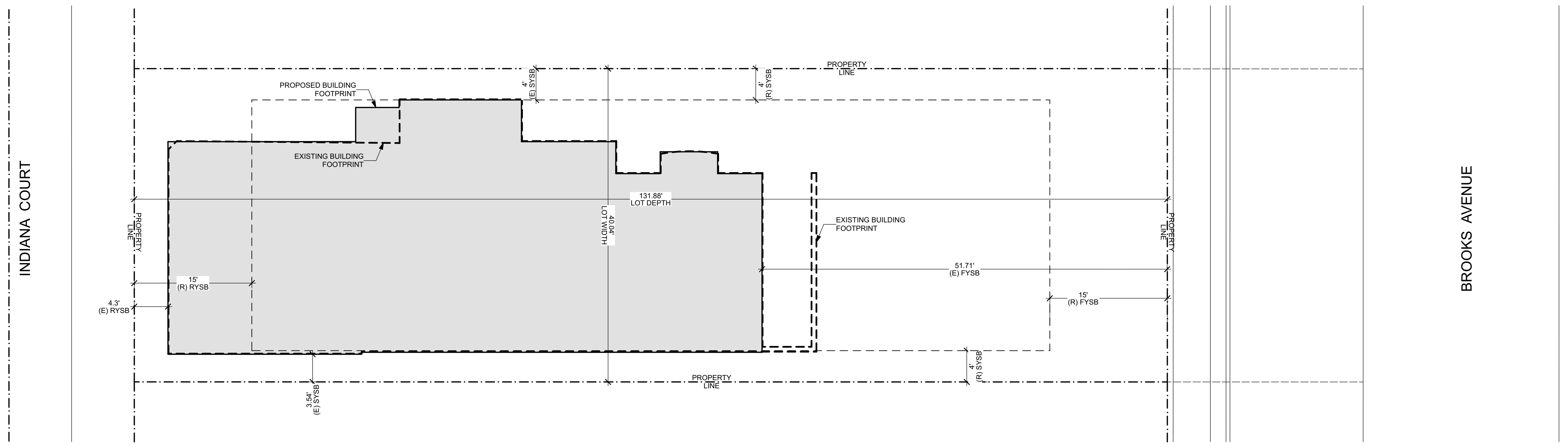
MARK	DATE	DESCRIPTION



**SITE PLAN 1**

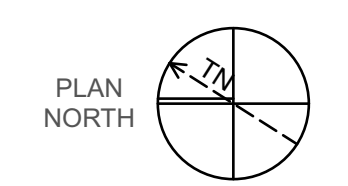


SCALE: 1/8" = 1'-0"



**LOT INFO 2**

SCALE: 1/8" = 1'-0"



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SHEET TITLE

SITE PLAN

DRAWING NO.  
**A-0.1**

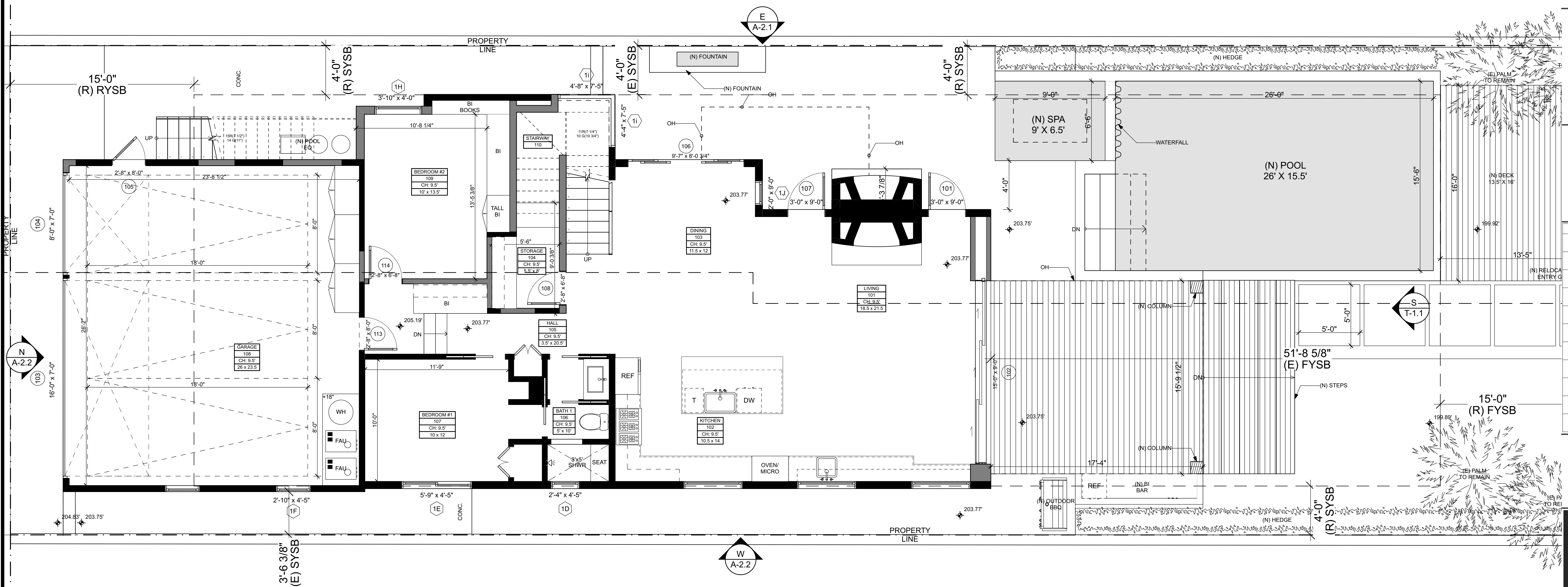
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PROJECT	MAGEE - O'CONNELL RESIDENCE
DATE	Plot Date: 4/27/22
SCALE	AS NOTED
DRAWN BY	D.W.B.

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MARK	DATE	DESCRIPTION



## FIRST FLOOR PLAN



SCALE: 1/4" = 1'-0"

1

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SHEET TITLE

PROPOSED FIRST FLOOR PLAN



### SYMBOL LEGEND:

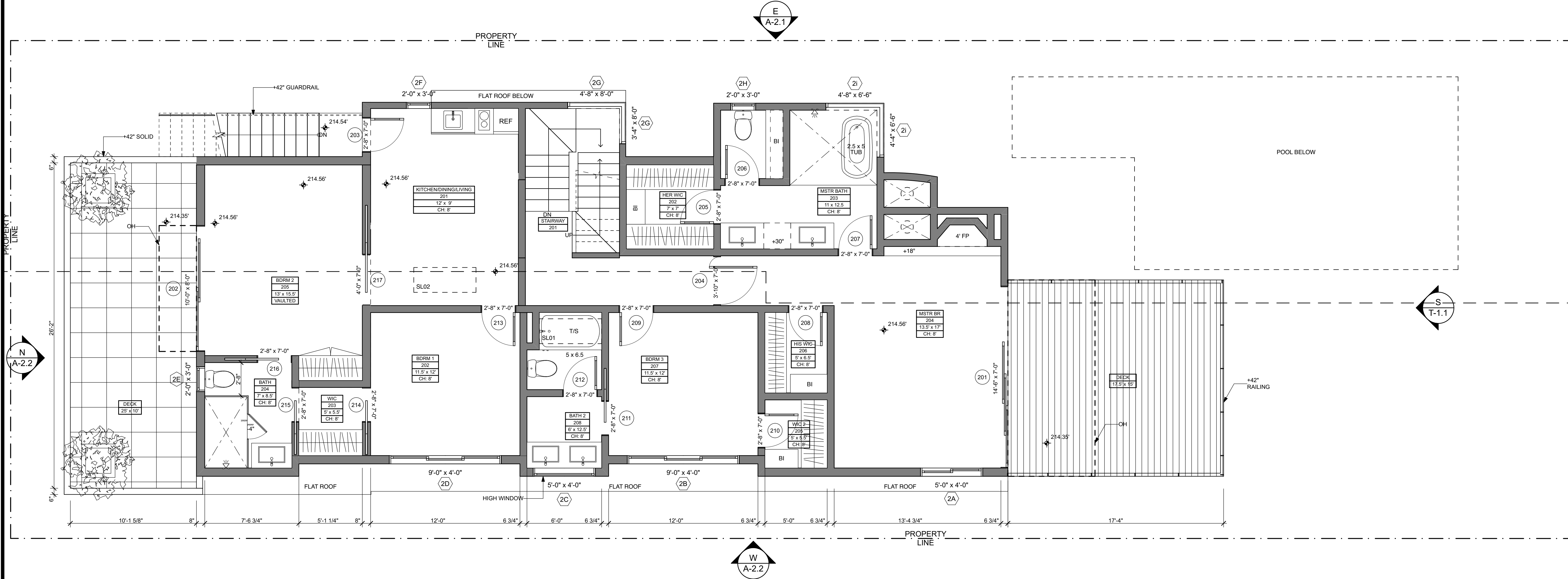
- EXISTING WALL TO REMAIN
- NEW PROPOSED WALL

DRAWING NO.  
**A-1.1**

PROJECT NO: Project No.  
PROJECT: MAGEE - O'CONNELL RESIDENCE  
DATE: Plot Date: 4/27/22  
SCALE: AS NOTED  
DRAWN BY: D.W.B.

**MAGEE -  
O'CONNELL  
RESIDENCE**

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MARK	DATE	DESCRIPTION

**SECOND FLOOR PLAN**



1

**BURDGE  
ARCHITECTS**

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TEL. 310-456-5905

SHEET TITLE



**PROPOSED SECOND  
FLOOR PLAN**

**SYMBOL LEGEND:**

- EXISTING WALL TO REMAIN
- NEW PROPOSED WALL

DRAWING NO.  
**A-1.2**

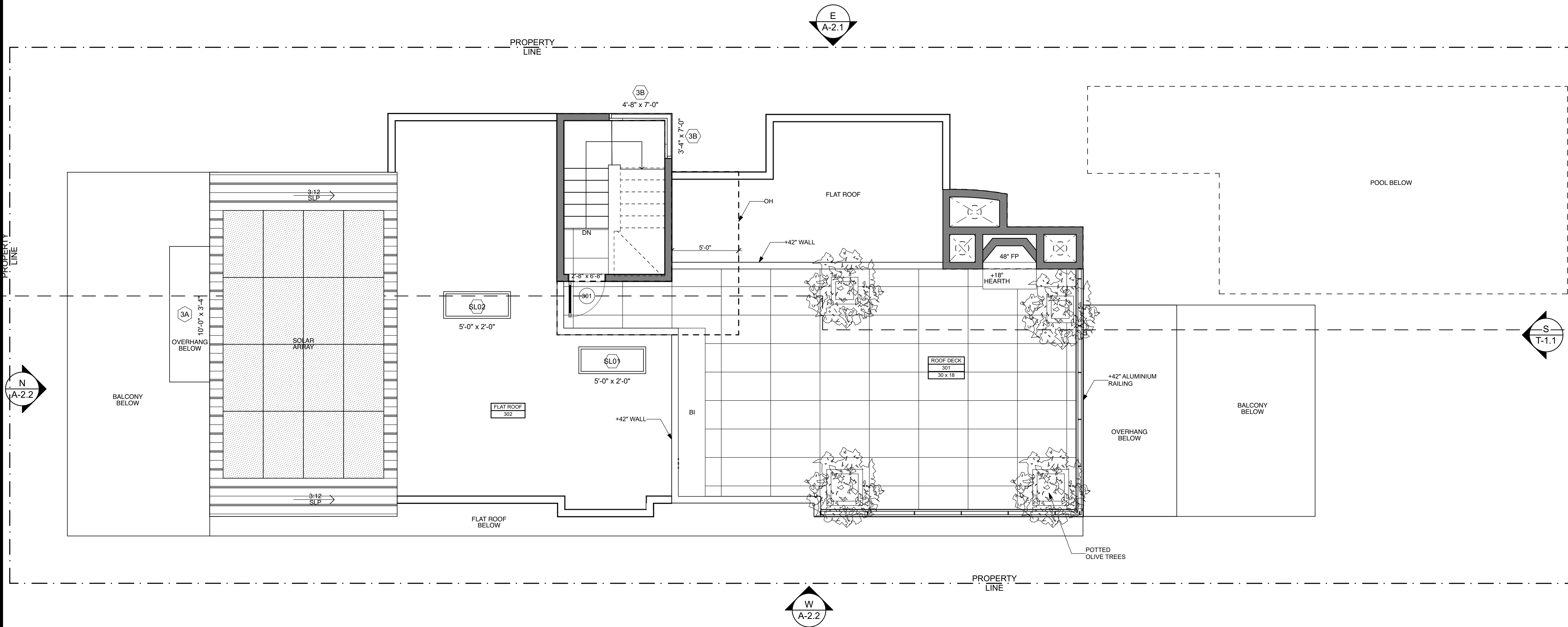
PROJECT NO.	Project No.
PROJECT	MAGEE - O'CONNELL RESIDENCE
DATE	Plot Date: 4/27/22
SCALE	AS NOTED
DRAWN BY	D.W.B.

**MAGEE -  
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MARK	DATE	DESCRIPTION



**ROOF PLAN**



SCALE: 1/4" = 1'-0"

1

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SHEET TITLE



**SYMBOL LEGEND:**

- EXISTING WALL TO REMAIN
- NEW PROPOSED WALL

PROPOSED ROOF  
PLAN

DRAWING NO.

**A-1.3**

PROJECT NO.:	Project No.
PROJECT:	MAGEE - O'CONNELL RESIDENCE
DATE:	Plot Date: 4/27/22
SCALE:	AS NOTED
DRAWN BY:	D.W.B.

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# MAGEE - O'CONNELL RESIDENCE

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MARK	DATE	DESCRIPTION



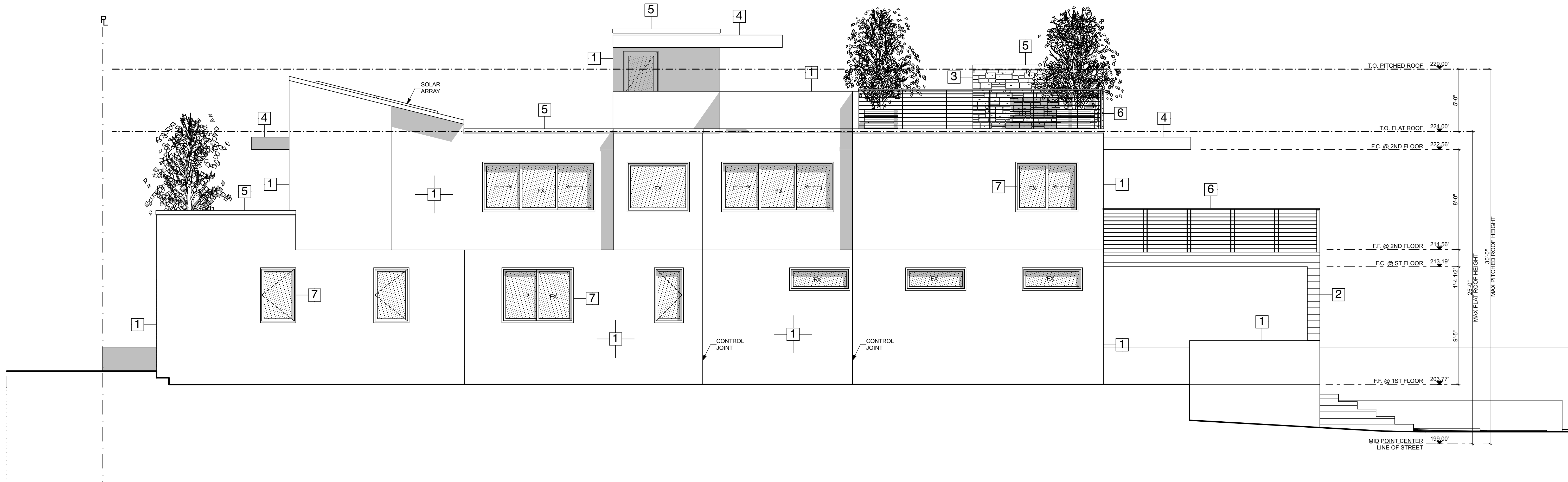
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SHEET TITLE

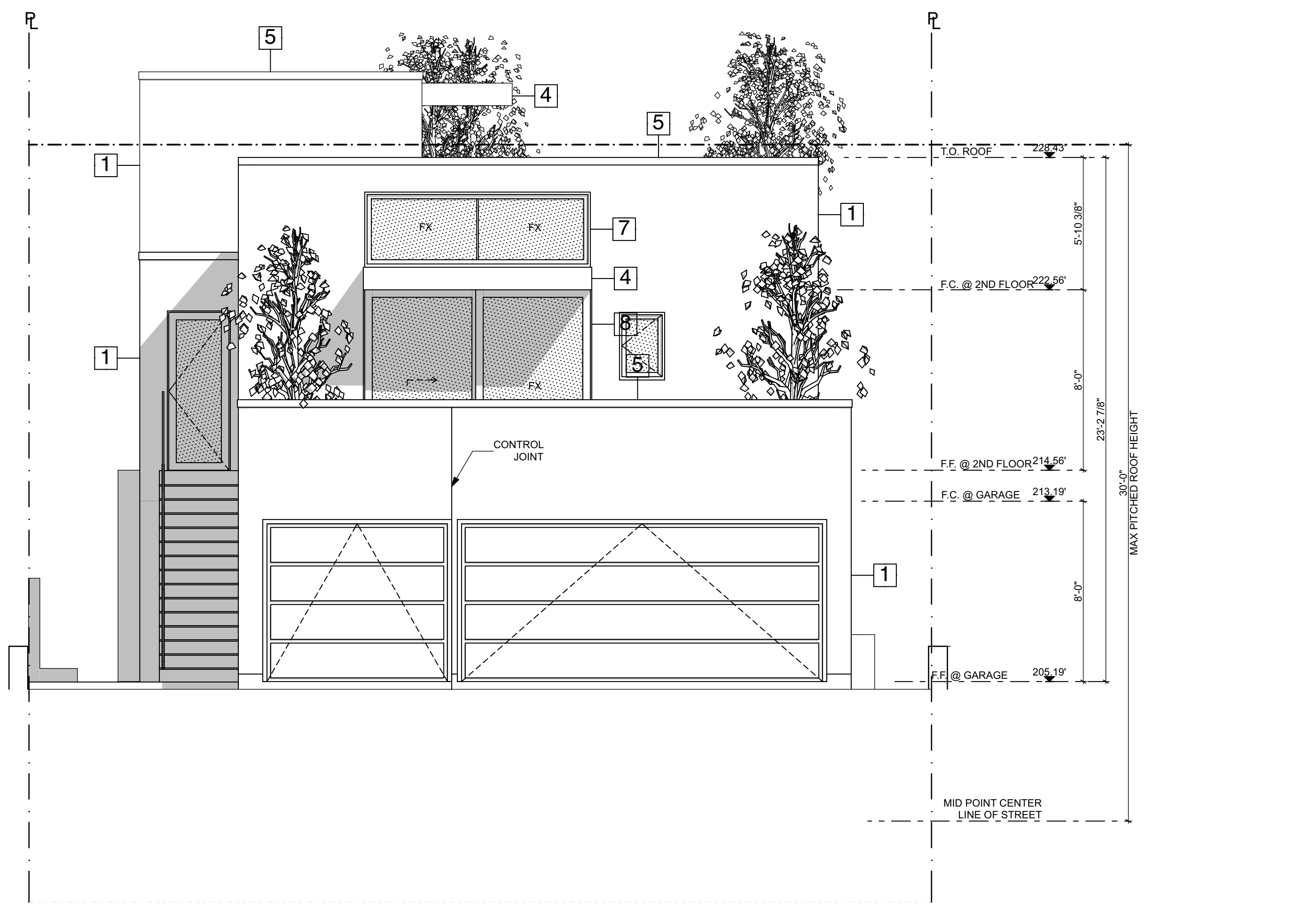
PROPOSED ELEVATIONS

DRAWING NO. **A-2.2**

PROJECT NO: Project No.  
PROJECT: MAGEE - O'CONNELL RESIDENCE  
DATE: Plot Date: 4/27/22  
SCALE: AS NOTED  
DRAWN BY: D.W.B.



WEST ELEVATION 1  
SCALE: 1/4" = 1'-0"



NORTH ELEVATION 2  
SCALE: 1/4" = 1'-0"

## Magee - O'Connell Residence

321/323 Brooks Ave., Venice, CA 90291

Burdge & Associates Architects, Inc.

Material Schedules

Dated: 11/23/21

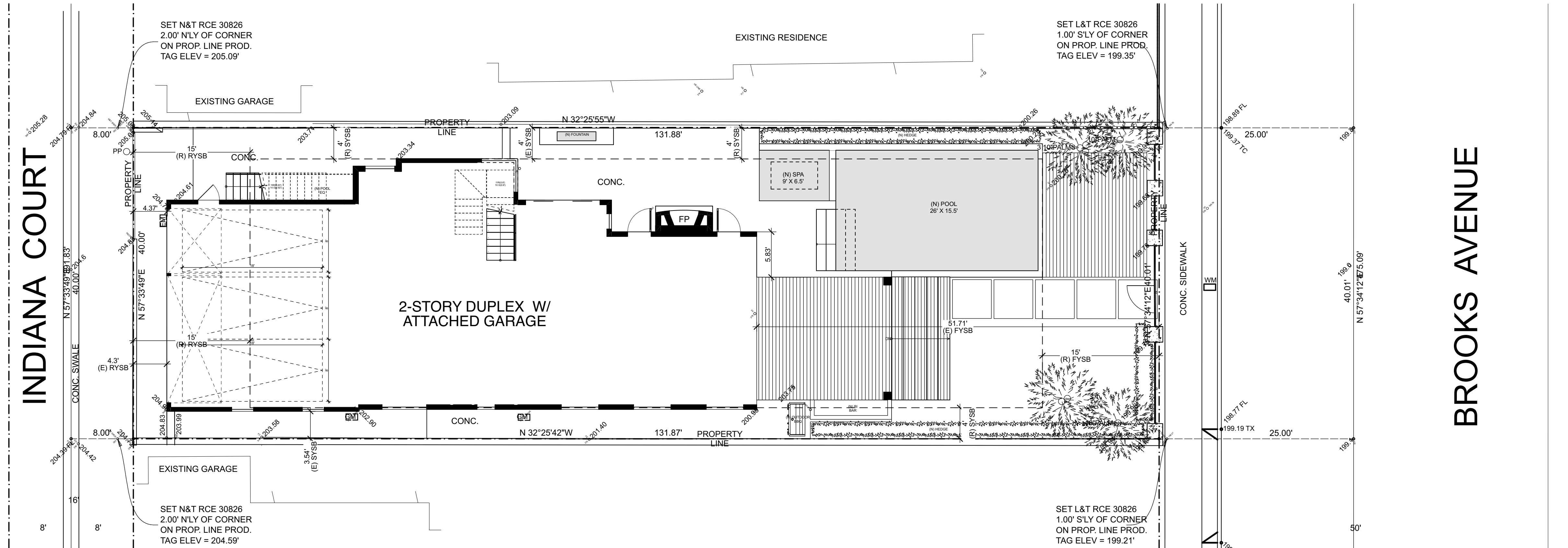
Item #	Item Description	Manufacturer	Specification	Finish	Color
1	PLASTER	TBD	TBD	SMOOTH	WHITE
2	WOOD SIDING	TBD	IPE		TBD
3	LIMESTONE	TBD	TBD	NATURAL	NATURAL
4	OVERHANGS	TBD	ALUMINIUM CLAD	MATTE	DARK BRONZE
5	FLASHING	TBD	AUMINIUM	MATTE	DARK BRONZE
6	GUARDRAIL	TBD	AUMINIUM	MATTE	DARK BRONZE
7	WINDOWS	TBD	AUMINIUM		DARK BRONZE
8	EXTERIOR DOOR	TBD	AUMINIUM		DARK BRONZE
9	METAL ROOF	TBD	STANDING SEAM		DARK BRONZE

# MAGEE - O'CONNELL RESIDENCE

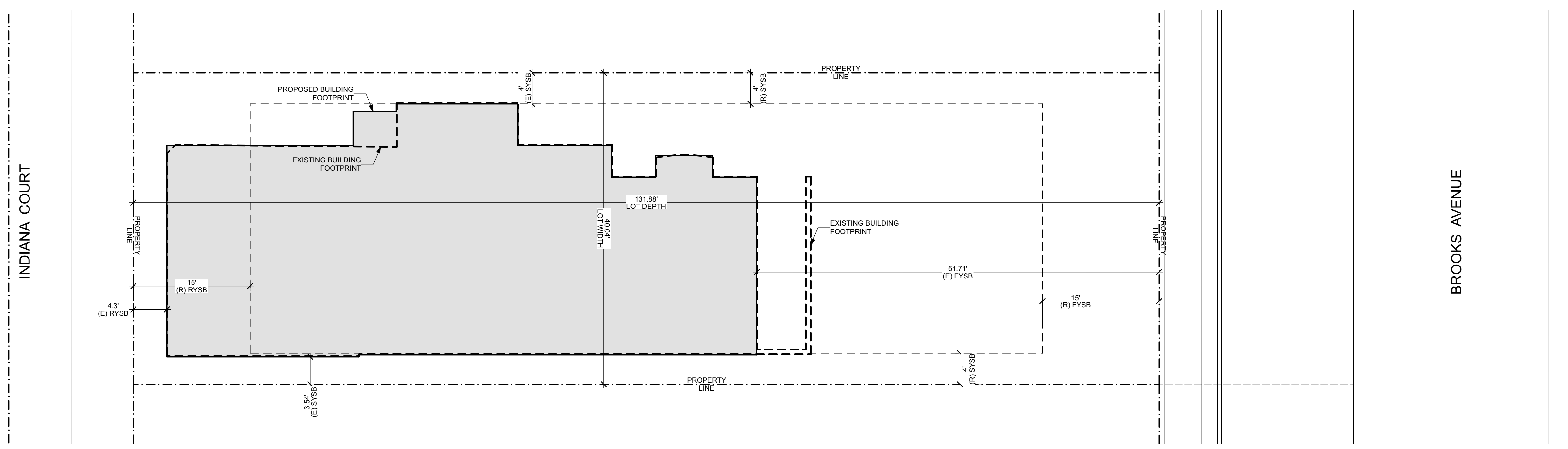
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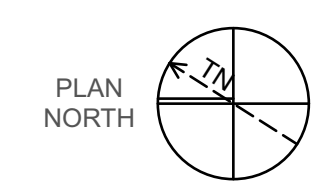
MARK	DATE	DESCRIPTION



**SITE PLAN** 1  
SCALE: 1/8" = 1'-0"



**LOT INFO** 2  
SCALE: 1/8" = 1'-0"



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TEL. 310-456-5905

SHEET TITLE

SITE PLAN

DRAWING NO. **A-0.1**

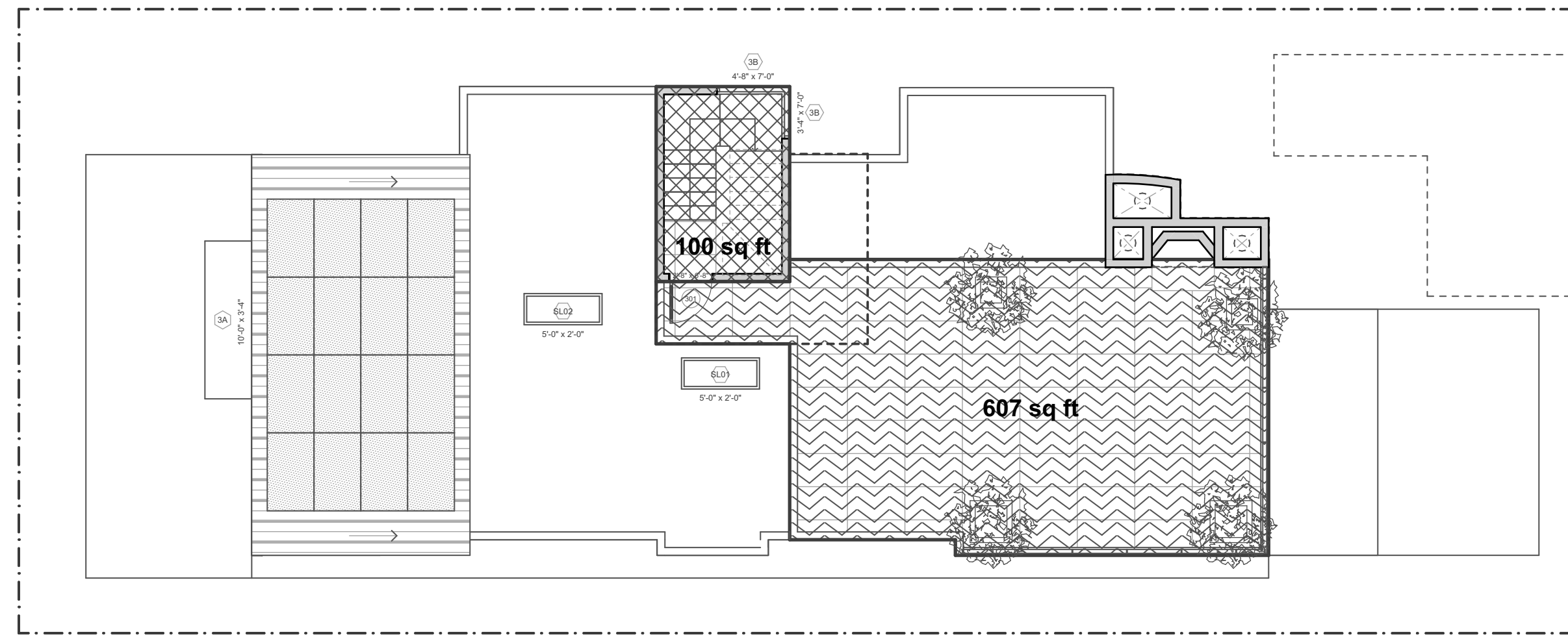
PROJECT NO. Project No.  
PROJECT MAGEE - O'CONNELL RESIDENCE  
DATE Plot Date: 1/26/22  
SCALE AS NOTED  
DRAWN BY D.W.B.

# MAGEE - O'CONNELL RESIDENCE

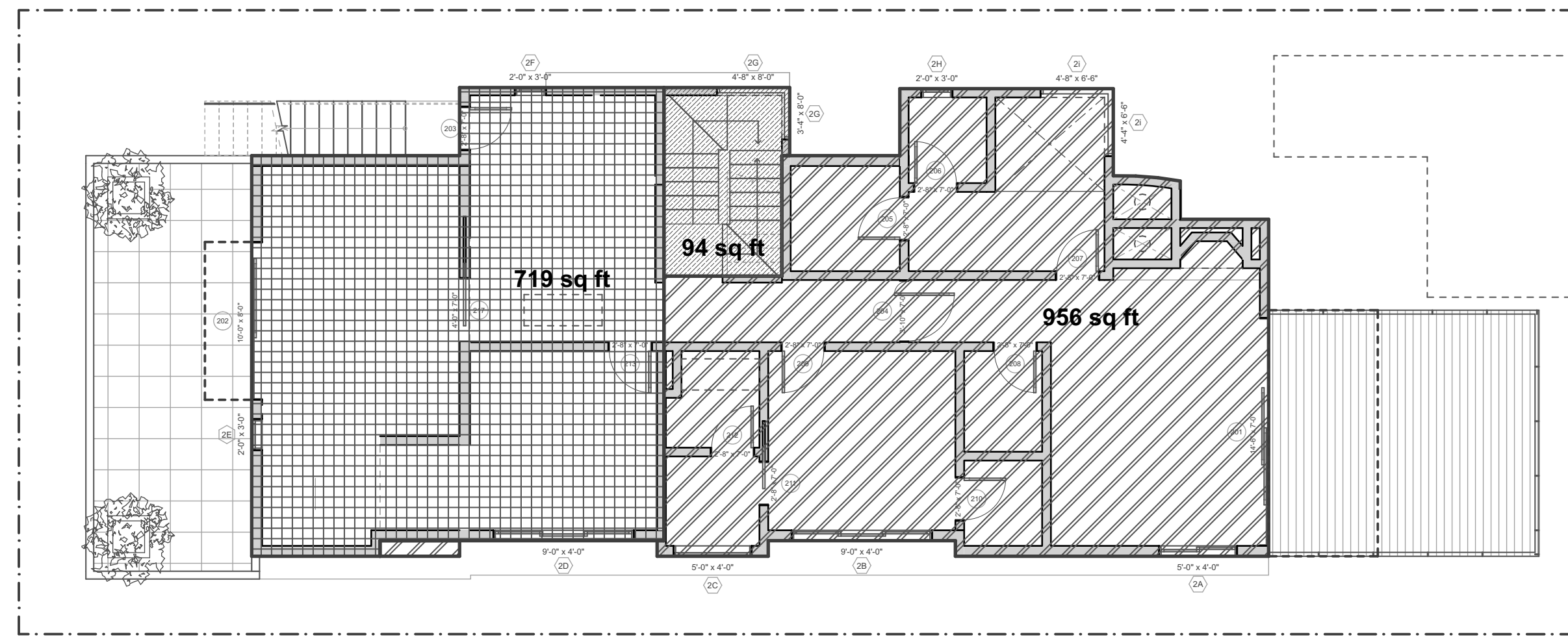
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MARK	DATE	DESCRIPTION



AREA TAB - PROPOSED ROOF PLAN  
SCALE: 1/8" = 1'-0" 4



AREA TAB - PROPOSED SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0" 3

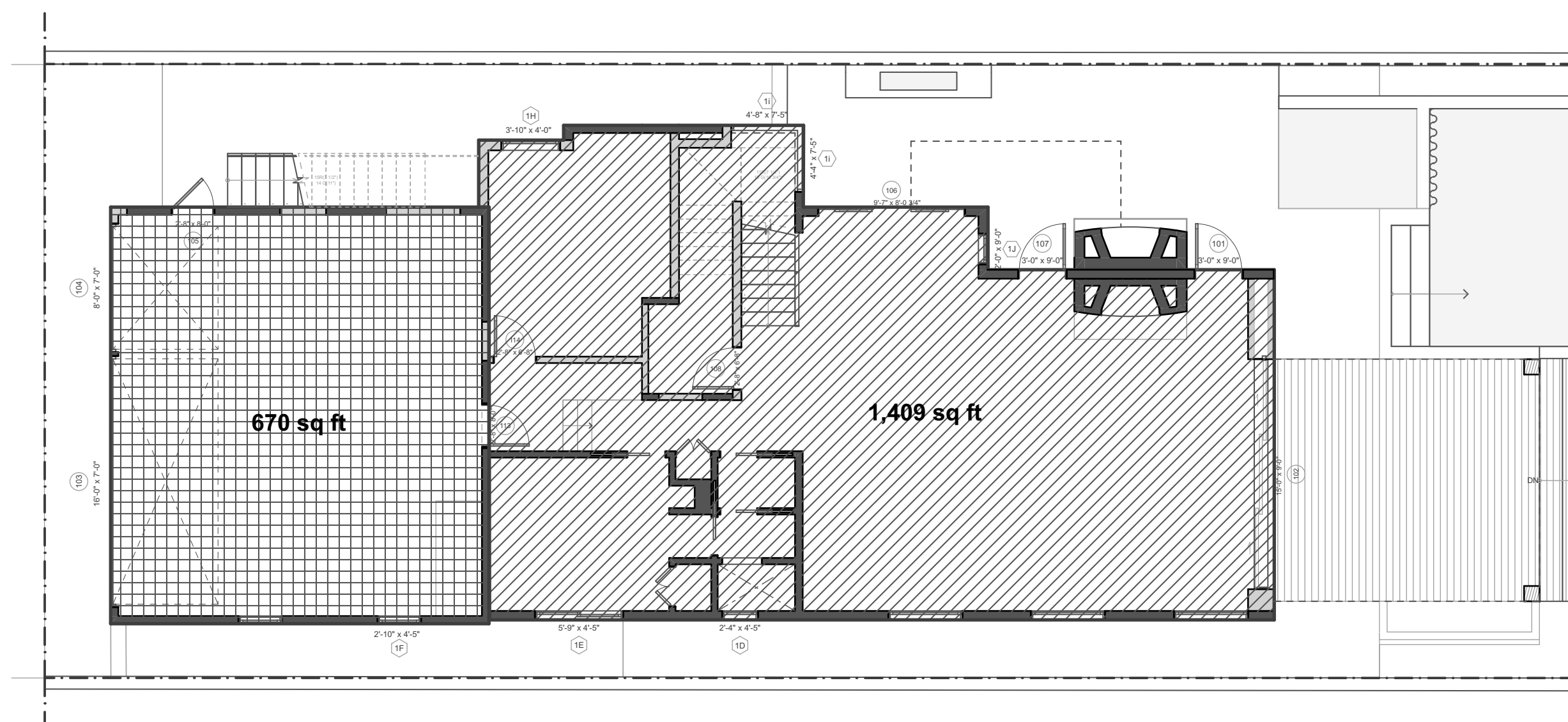
### AREA FLOOR BREAKDOWN:

EXISTING BUILDING FLOOR AREA = 2,056 SF  
2,056 SF x 200% = 4,112 SF

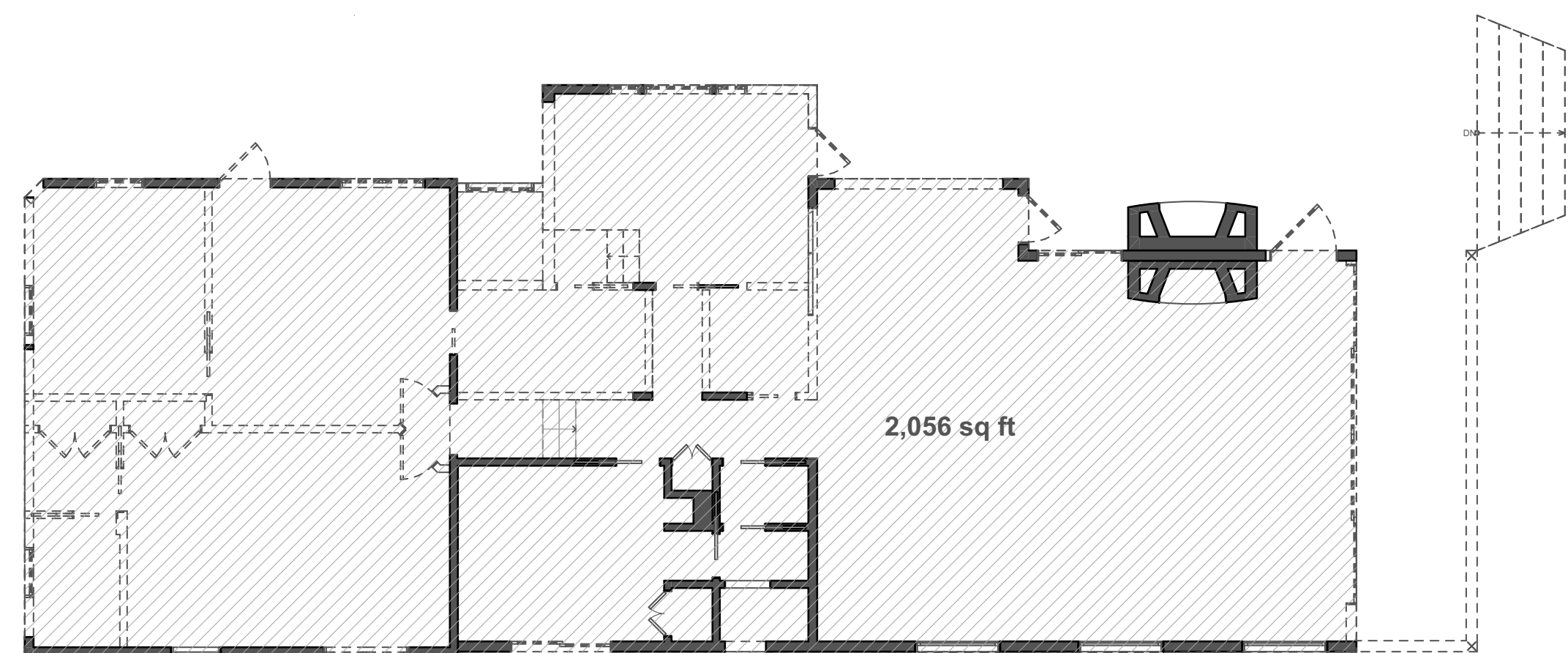
**PROPOSED:**  
RESIDENTIAL UNIT 1: 2,365 SF  
STAIR ACCESS : 94 SF  
GARAGE: 670 SF  
RESIDENTIAL UNIT 2: 719 SF  
TOTAL: 3,848 SF

ROOF DECK POP UP: 100 SF

**PROPOSED TOTAL 3,848 SF < 4,112 SF**



AREA TAB - PROPOSED FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0" 2



AREA TAB - EXISTING FLOOR AREA DEMO PLAN  
SCALE: 1/8" = 1'-0" 1

## BURDGE ARCHITECTS

24911 PACIFIC COAST HWY.  
MALIBU, CA 90265  
TEL. 310-456-5905

SHEET TITLE

FLOOR AREA  
TABULATIONS

DRAWING NO.  
**T-5.1**

PROJECT NO.: Project No.  
PROJECT: MAGEE - O'CONNELL RESIDENCE  
DATE: Plot Date: 1/26/22  
SCALE: AS NOTED  
DRAWN BY: D.W.B.

