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LA CITY SECURITY NOTES

- 1. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL.
2. SCREENS, BARRICADES, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES.
3. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB.
4. EVERY DOOR IN A SECURITY OPENING FOR A LIGHT APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR.
5. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NONREMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIAMETER STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG.
6. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH OPERATED BY A DOORKNOB AND EXTERIOR DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, AND S OCCUPANCIES).
7. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4".
8. THE USE OF A LOCKING SYSTEM WHICH CONSISTS OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEADBOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED AS A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEADBOLT SHALL NOT BE SEPARATED BY MORE THAN 8 INCHES.
9. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16" THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4" THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 500 SQ. IN. AREA. MILLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPTS MILLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAELS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH.
10. SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.
11. SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.1.
12. METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 3/2" DIAMETER HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED.
13. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCK OR PADLOCK GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE OR GRIPPING TOOLS.
14. IN B, F, M AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 IN. BUT LESS THAN 48 IN., SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLS.
15. GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURLARY-RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS.
16. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY.
17. OTHER OPERABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS.
18. SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.
19. SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.2.
20. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION.
21. ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION.

LA CITY GENERAL NOTES

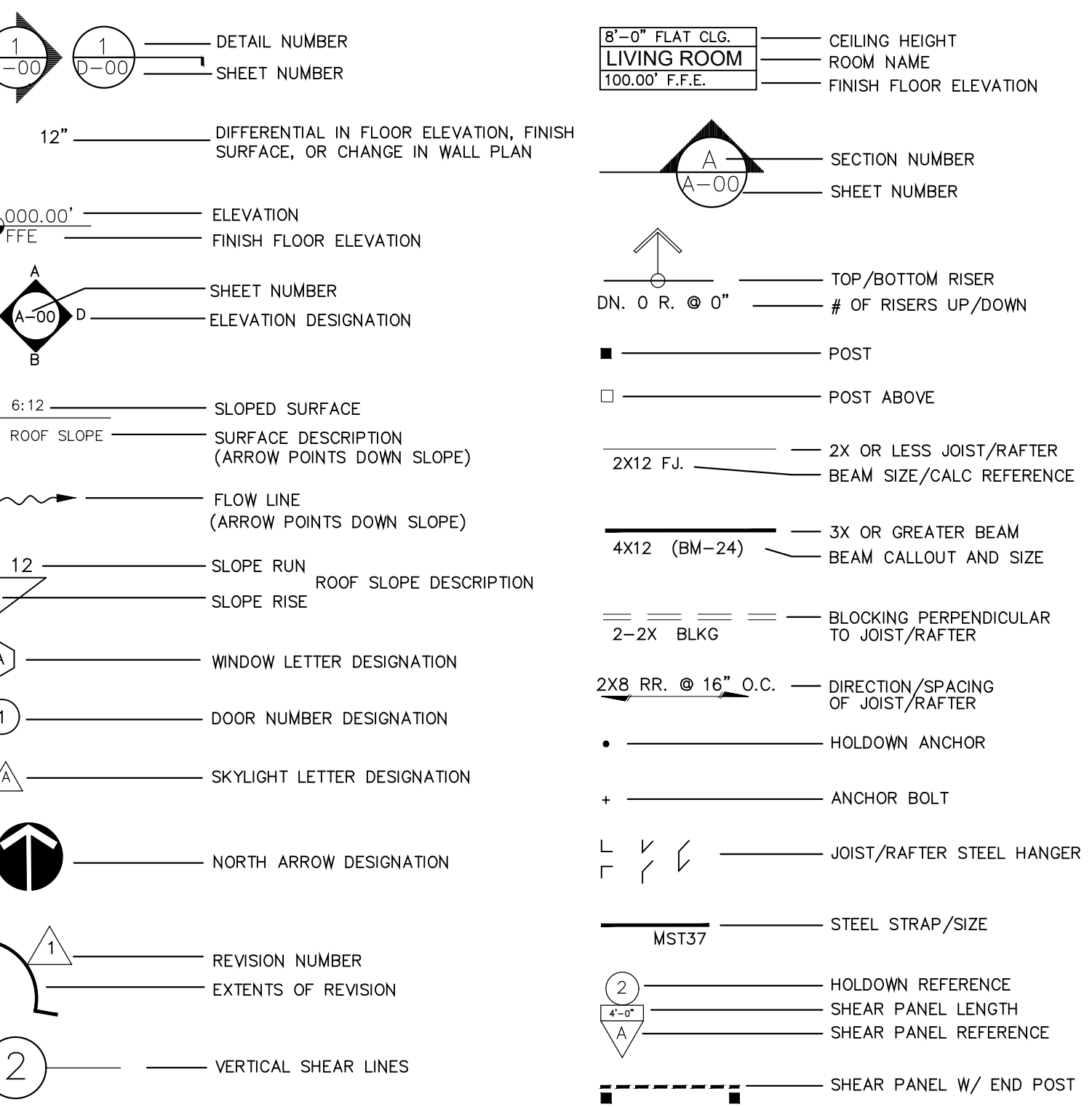
- 1. BUILDING COMPLIES WITH 2017 LARC, 2017 LAMC, 2017 LAPC, 2017 LAEC, 2017 LAFG, 2017 LABSC, CITY OF LOS ANGELES, AND THE STATE OF CALIFORNIA.
2. AAMD NOTIFICATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE COMMUNITY DEVELOPMENT DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.
3. ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS ARE INDICATED ON SITE/PLOT PLAN.
4. SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THE PROPOSED BUILDING PERMIT IS ISSUED.
5. FENCE, WALL, HANDRAIL HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 72" AT ALL OTHER LOCATIONS ON SITE. (36" IF OBSTRUCTING DRIVEWAY VISIBILITY) (COMBINED RETAINING AND FREE STANDING WALL)
6. SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND EARTHWORK AS REQUIRED.
7. WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD), (714) 396.2000 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.
8. PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
9. THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAINAGE.
10. POST INSULATION COMPLIANCE CARD IN CONSPICUOUS LOCATION IN DWELLING PRIOR TO FINAL INSPECTION.
11. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING IS WITHIN THE HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY CONSULTANTS.
12. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIDGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) SEPARATE PLUMBING PERMIT IS REQUIRED.
13. THE PERMIT APPLICATION MUST BE SIGNED BY THE PROPERTY OWNER, OR LICENSED CONTRACTOR, OR AUTHORIZED AGENT AT THE TIME THE PERMIT IS TO BE ISSUED.
A. FOR OWNER-BUILT PERMITS, OWNER'S SIGNATURE CAN BE VERIFIED WITH OWNER'S DRIVER LICENSE. OWNER'S REPRESENTATIVES MUST PRESENT OWNER'S APPROVAL WITH A NOTARIZED LETTER FROM THE OWNER.
B. FOR CONTRACTOR BUILDING PERMITS: PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE CONTRACTOR SHALL HAVE THE FOLLOWING:
i. NOTARIZED LETTER OF AUTHORIZATION FOR AGENTS.
ii. CERTIFICATE OF WORKERS COMPENSATION INSURANCE MADE OUT TO THE CONTRACTORS STATE LICENSE BOARD.
iii. COPY OF CONTRACTORS STATE LICENSE OR POCKET ID.
iv. COPY OF CITY OF LOS ANGELES BUSINESS TAX REGISTRATION CERTIFICATE OR A NEWLY PAID RECEIPT FOR ONE.
14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES—WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY; FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
15. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
16. (TWO) SETS OF PLANS WILL BE REQUIRED DURING PERMIT ISSUANCE. PLANS MUST BE: (R106.3.2.2. & R106.3.3.)
A. QUALITY BLUE OR BLACK LINE DRAWINGS WITH UNIFORM AND LIGHT BACKGROUND COLOR.
B. MAX. 36" X 48" SIZE WITH MINIMUM 3/8" LETTERING SIZE.
C. STICKY BACK DETAILS MUST PRODUCE PRINTS WITHOUT CONTRASTING SHADES OF BACKGROUND COLOR.
17. FOR NEW BUILDINGS AND ADDITIONS, ONE COPY OF ONLY THE ARCHITECTURAL SET IS REQUIRED FOR THE COUNTY TAX ASSESSOR (CALIFORNIA REVENUE AND TAXATION SECTION 72).
18. AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 9.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION.
19. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(b) THROUGH 110.10(c) SHALL BE PROVIDED TO THE OCCUPANT.
20. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
21. CONSTRUCTION WASTE SHALL BE REDUCED BY 50% AND SHALL BE HANDLED BY CITY OF LOS ANGELES CERTIFIED HAULER.
22. PROVIDE ANTI-GRAFFITI FINISH WITH THE FIRST 8 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6309)
23. PROOF OF SURVEY (PROPERTY CORNERS) VERIFICATION BY THE CITY BUILDING INSPECTOR PROVIDED PRIOR TO BUILDING PERMIT ISSUANCE.
24. PLANTING LIST OF ALL PLANTS, INCLUDING WATER USE CLASSIFICATION PER WUCOLS (HTTP://WUCOLS.ECOPHYTANGROUP.ORG/) AND TABLE SHOWING SQUARE FOOTAGES OF SITE, BUILDING/DRIVEWAY FOOTPRINT, TOTAL LANDSCAPE/HARDSCAPE AREA, AND TOTAL AREA OF HIGH WATER USE PLANTS (20% MAX) SHALL BE ADDRESSED PRIOR TO BUILDING PERMIT ISSUANCE.
25. INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
26. CHANGE OF ADDRESS APPLICATION TO BE ADDRESSED PRIOR TO BUILDING PERMIT ISSUANCE.

VENICE CANAL CONSTRUCTION NOTES

- THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL ADHERE TO THE FOLLOWING MINIMUM GUIDELINES TO MITIGATE THE AFFECTS OF CONSTRUCTION ACTIVITIES ON NEIGHBORING RESIDENCES AND OCCUPANTS:
PARKING: PARKING SHALL ONLY OCCUR WITHIN THE SUBJECT PROPERTY OR IN LEGAL OFF-SITE STREET PARKING OR PARKING FACILITIES. PARKING SHALL NOT OCCUR IN ALLEY. PARKING SHALL NOT BE ALLOWED WITHIN NEIGHBORING RESIDENCES UNLESS SUCH NEIGHBOR PROVIDES WRITTEN AUTHORIZATION AND INSTRUCTIONS.
TRAFFIC: ALLEY TRAFFIC SHALL NOT BE OBSTRUCTED AT ANY TIME. IN THE EVENT THAT TEMPORARY CONSTRUCTION ACTIVITIES, SUCH AS MATERIAL TRUCK DELIVERIES, CONCRETE TRUCK DELIVERIES, PERMITTED WORK IN THE RIGHT-OF-WAY, OR SIMILAR TYPE ACTIVITIES CANNOT OCCUR WITHIN THE SUBJECT PROPERTY AND MUST TEMPORARILY OCCUR IN THE ALLEY TO PROVIDE THEIR SERVICES, CONTRACTOR SHALL NOTIFY ADJACENT NEIGHBORS, THE NEIGHBOR TO DIRECTLY ACROSS THE ALLEY, AND ALL NEIGHBORS HAVING VEHICULAR ACCESS TO THE NORTHEAST ALONG THE ALLEY, BY DIRECT TELEPHONE CALL, TEXT OR EMAIL AT LEAST 24 HOURS IN ADVANCE OF EACH OCCURRENCE AND SHALL SPECIFY THE EXTENT TO WHICH TRAFFIC WILL BE OBSTRUCTED.
WASTE/DEBRIS: THE ALLEY AND CANAL SIDEWALK SHALL BE KEPT CONTINUALLY CLEANED DURING CONSTRUCTION AND SHALL BE CLEANED DAILY TO REMOVE CONSTRUCTION DUST, DIRT AND DEBRIS. FENCING SHALL INCORPORATE MESH. WATERING SHALL OCCUR DURING GRADING OPERATIONS. SAWING, CUTTING AND SANDING SHALL OCCURS WITHIN THE SUBJECT STRUCTURE AND/OR AS FAR FROM PROPERTY LINES AS POSSIBLE.
CONSTRUCTION FENCING: CONSTRUCTION FENCING SHALL BE LOCATED WITHIN SUBJECT PROPERTY AND SHALL NOT EXTEND INTO NEIGHBORING PROPERTIES OR INTO THE RIGHT-OF-WAYS UNLESS TEMPORARY ACTIVITIES INVOLVING IMPROVEMENTS TO THE RIGHT-OF-WAY, UNDER SEPARATE PERMIT, ARE ACTIVELY BEING MADE.
NOISE: NOISE GENERATED FROM CONSTRUCTION ACTIVITIES SHALL BE REASONABLY REDUCED. NOISE REDUCTION MEASURES SHALL INCLUDE LIMITING AUDIO PLAYER VOLUME, AVOIDING YELLING, AND IN GENERAL REASONABLY REDUCING THE INTENSITY OF NOISE GENERATING ACTIVITIES.

VILLA ROSA DEL LEONE
renovation and addition to existing single-family residence with attached garage
2410 S Grand Canal, Venice, CA 90291

SYMBOL LEGEND



ABBREVIATION LEGEND

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes entries like A.B. ANCHOR BOLT, A.H. ACTUAL HEIGHT, A.W. AWNING WINDOW, BLKG. BLOCKING, BM. BEAM, BN. BOUNDARY NAIL, B.O.W. BOTTOM OF WALL, C.FRAME. CALIFORNIA FRAME, CB. COLUMNBASE, C.H. CRITICAL HEIGHT, CLG. CEILING, CLR. CLEAR, CC. COLUMNCAP, COL. COLUMN, CONC. CONCRETE, CONT. CONTINUOUS, C.W. CASEMENT WINDOW, DET. DETAIL, DIA. DIAMETER, DIM. DIMENSION, D.J. DECK JOIST, DN. DOWN, EMB. EMBEDMENT, ELEV. ELEVATION, E.N.V. END NAILING, E.W. EACH WAY, F.A. FROM ABOVE, FB. FLOOR BEAM, F.F.E. FINISH FLOOR ELEVATION, F.J. FLOOR JOIST, FLR. FLOOR, FX. FIXED, GA. GAUGE, GL. GLULAM, JST. JOIST, HD. HOLDOWN, HORZ. HORIZONTAL, HT. HEIGHT, HU/HUC/HUTF WOOD BEAM HANGER, IUT TRUSS JOIST HANGER, LAND. LANDING, L.B. LAG BOLT, MAX. MAXIMUM, M.B. MACHINE BOLT, MIN. MINIMUM, M.L. MICROLAM, ON CENTER, OP. OPERABLE, P.A. POST ABOVE, P.S.A. POST/STRAP ABOVE, PB. POSTBASE, P.C. PIPE COLUMN, PC. POSTCAP, PL. PARALAM, PLINE. PROPERTY LINE, R.B. ROOF BEAM, REIN. REINFORCEMENT, REQ. REQUIRED, R.R. ROOF RAFTER, SECT. SECTION, SHT. SHEET, SIM. SIMILAR, SK. SKEWED, SL. SLOPED, ST./MST./CMST./TS. STRAP, STL. STEEL, STRONGBACK, T&B TOP AND BOTTOM, THK. THICK, T.J. TRUSS JOIST, T.O.W. TOP OF WALL, T.S. TUBE STEEL, TYP. TYPICAL, U.N.O. UNLESS NOTED OTHERWISE, U.W.A. UNDER WALL ABOVE, VERT. VERTICAL, V.I.F. VERIFY IN FIELD, W.W.F. WELDED WIRE FABRIC, W/ WITH

PROPERTY OWNERS

RAZMIK DAVOUDIEN & JEFFREY HOFFMAN
2410 S GRAND CANAL, VENICE, CA 90291
(408) 489-6425 MOBILE
MICKDAVOUDIEN@YAHOO.COM
JEFFMAN_JEFFREY@YAHOO.COM

LEGAL DESCRIPTION

PIN NUMBER: 105A145 54
LOT AREA (ZIMAS): 2,698.8 S.F.
THOMAS BROTHERS GRID: PAGE 671-GRID H7
ASSESSOR PARCEL #: 4227-009-029
TRACT: SHORT LINE BEACH VENICE CANAL SUBDIVISION NO.1
MAP REFERENCE: M B 7-126/127
BLOCK: 38
LOT: 4
ARB (LOT CUT REFERENCE): 1
MAP SHEET: 105A145

ZONING

ZONING: RW1-1-0
GENERAL PLAN USE: LOW MEDIUM II RESIDENTIAL
SPECIFIC PLAN AREA: LOS ANGELES COASTAL TRANSPORTATION CORRIDOR & VENICE COASTAL ZONE
VENICE CANALS
COASTAL ZONE: COASTAL ZONE COMMISSION AUTHORITY & DUAL JURISDICTIONAL COASTAL ZONE
METHANE HAZARD SITE: METHANE ZONE
LIQUEFACTION: YES
TSUNAMI INUNDATION ZONE: YES

OCCUPANCY

OCCUPANCY: R3/U WITH 1-HOUR SEPARATION
CONSTRUCTION TYPE: V-B
NO. OF UNITS: 1
NO. OF STORIES: 3 + ROOF DECK
SPRINKLERS: NFPA 13D FULLY SPRINKLERED PER SECTION 313.2

THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

BUILDING HEIGHTS

- 1. PER LOS ANGELES ZONING CODE:
HEIGHT LIMIT BENCHMARK = 5.66'
HEIGHT LIMIT = 30'
MAXIMUM HEIGHT LIMIT ELEVATION = 35.66'
MAXIMUM RIDGE ELEVATION = 35.62'
MAXIMUM BUILDING HEIGHT = 29.96'
ROOF ACCESS STRUCTURE HEIGHT:
MAXIMUM ALLOWABLE HEIGHT ABOVE MAXIMUM BUILDING HEIGHT LIMIT = 10.0'
MAXIMUM ALLOWABLE BUILDING HEIGHT ELEVATION = 35.66'
MAXIMUM ROOF ACCESS STRUCTURE ELEVATION = 45.66'
ACTUAL HEIGHT ABOVE MAXIMUM BUILDING HEIGHT LIMIT = 9.5'
ACTUAL ROOF ACCESS STRUCTURE ELEVATION = 45.16'
ACTUAL ROOF ACCESS STRUCTURE HEIGHT ABOVE HEIGHT LIMIT BENCHMARK = 29'-6"

CONSULTANTS

SURVEYOR:
I/W/S SURVEYING, (310) 791-0904
2556 VIA TEJON
PALOS VERDES ESTATES, CA 90274
COASTAL NOTIFICATION:
ANE CONSULTING, INC., (213) 627-7046
3646 LONG BEACH BLVD, SUITE 105
LONG BEACH, CA 90807

JURISDICTIONS

STATE OF CALIFORNIA
COUNTY OF LOS ANGELES
CITY OF LOS ANGELES
COMMUNITY PLAN AREA: VENICE
AREA PLANNING COMMISSION: WEST LOS ANGELES
NEIGHBORHOOD COUNCIL: VENICE
COUNCIL DISTRICT: CD 11 MIKE BONIN
CENSUS TRACT #: 27399.02
LADBS DISTRICT OFFICES: WEST LOS ANGELES

APPLICABLE CODES

2020 LARBC, 2020 LAMC, 2020 LAPC, 2020 LAEC
2020 LAFG, 2020 LAGBSC

ON-SITE PARKING

(2) FULL SIZE SPACES LOCATED IN GARAGE W/ (1) COMPACT SPACE LOCATED IN UNENCLOSED REAR YARD.

TOTAL OF (3) OFF-STREET PARKING SPACES PROVIDED.

SCOPE OF WORK

RENOVATION AND ADDITION TO EXISTING 3-STORY SINGLE-FAMILY DWELLING WITH ATTACHED GARAGE.

FLOOR AREAS

VALUATION (COASTAL PERMIT APPLICATION)

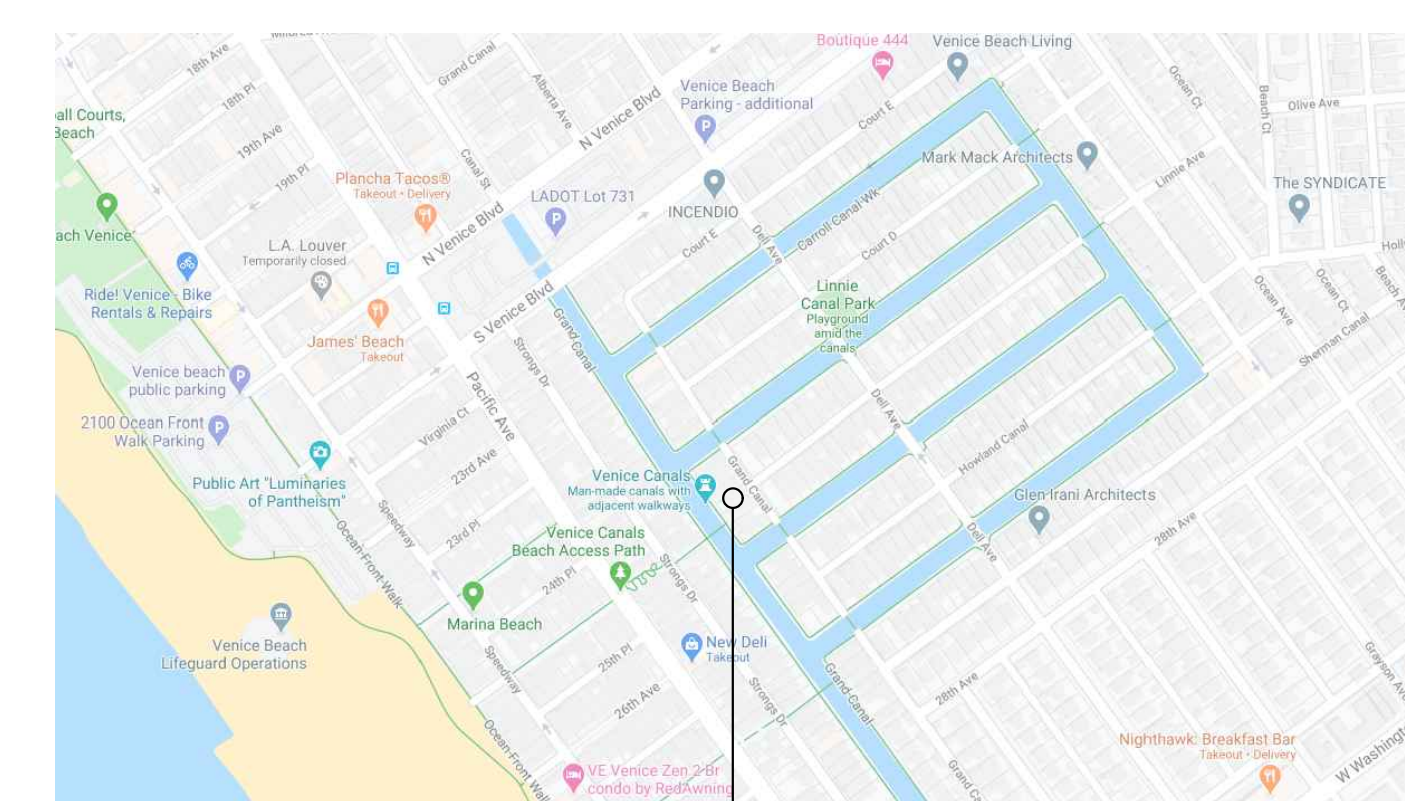
Table with 4 columns: ENCLOSED FLOOR AREAS, EXISTING, ADDED, PROPOSED. Includes rows for FIRST FLOOR LIVING, SECOND FLOOR LIVING, THIRD FLOOR LIVING, ROOF ACCESS STRUCTURE, TOTAL LIVING AREA, GARAGE AREA, and UNENCLOSED FLOOR AREAS (ROOF DECK, THIRD FLOOR DECK/BALCONY, SECOND FLOOR DECK/BALCONY, TOTAL DECK/BALCONY).

LOT COVERAGE

Table with 4 columns: LOT AREA, BUILDING COVERAGE, HARDSCAPE COVERAGE, LOT COVERAGE. Includes rows for LOT AREA, BUILDING COVERAGE, HARDSCAPE COVERAGE, and LOT COVERAGE.

VALUATION

Table with 4 columns: EXISTING, RENOVATION/ADDITION, INCREASE PERCENTAGE (RENOVATION/EXIST'G). Includes rows for LIVING AREA, GARAGE AREA, DECK AREA, and TOTAL VALUATION.



SUBJECT PROPERTY

VICINTY MAP



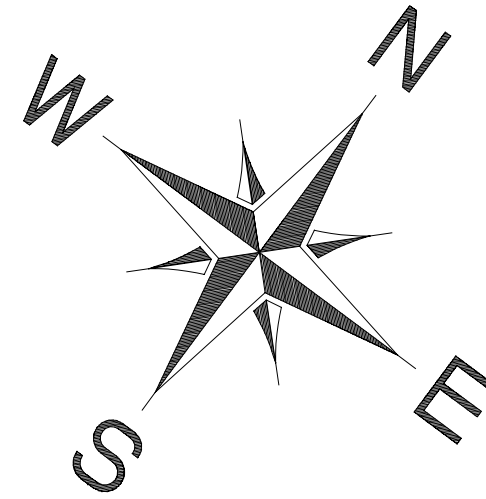
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REVISIONS

- 2021-08-18 COASTAL SUBMITTAL
2022-02-04 COASTAL RESUBMITTAL - LUPC

PROJECT INFORMATION

COVER

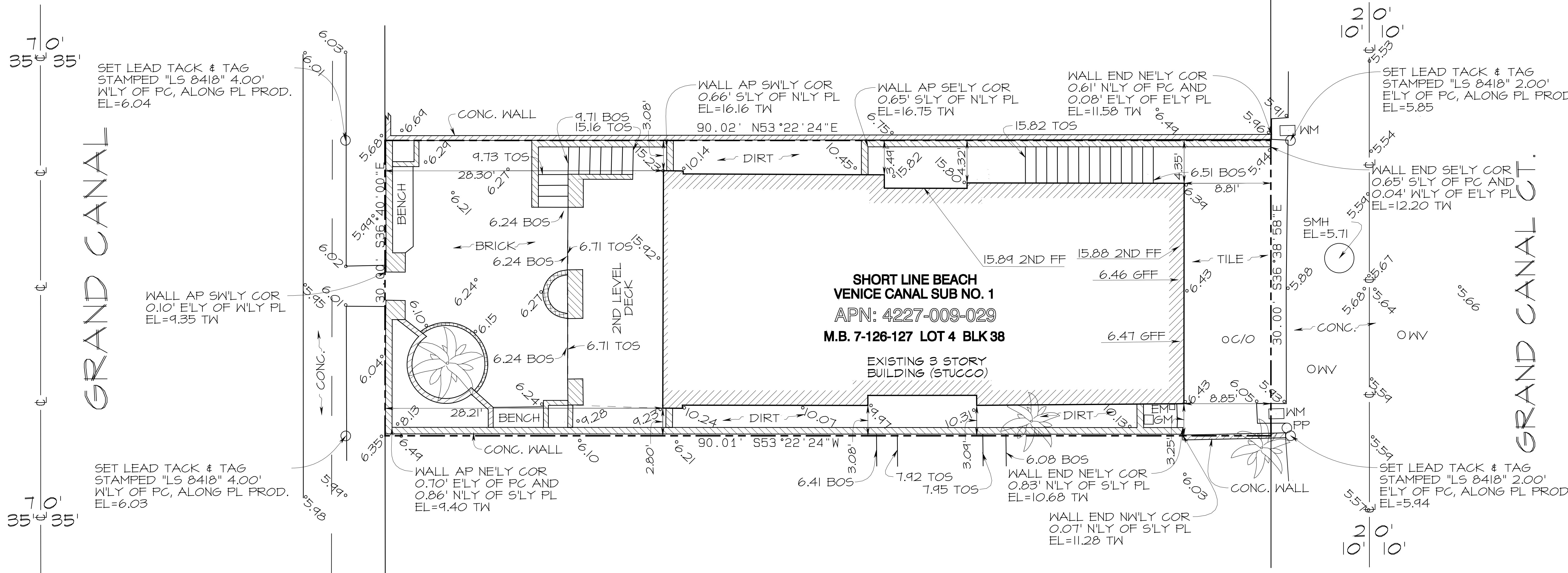


BASIS OF BEARINGS: N 38°40'00" W BEING THE CENTERLINE OF GRAND CANAL AS PER SHORT LINE BEACH VENICE CANAL SUB NO. 1, MAP 7 PAGES 126-127 AS FILED IN THE RECORDS OF THE COUNTY OF LOS ANGELES

BENCHMARK: LA CITY BM 16-00135: 15.574 FT AT WIRE SPK IN W CURB OF PACIFIC AVE, 5.8 FT S OF C/L OF 24TH AVE. DATUM: NAVD 1988

IWS
SURVEYING

CLIENT:
RAZMIK DAVOUDIAN
PROJECT NO.
21-049
DATE OF SURVEY:
MAY 2021
ASSESSOR'S I.D. NUMBER:
4227-009-029
LEGAL DESCRIPTION
LOT 4 BLK 38
SHORT LINE BEACH
VENICE CANAL SUB NO.
MB. 7-126-127



BOUNDARY / TOPOGRAPHIC SURVEY
2410 GRAND CANAL
LOS ANGELES, CA 90291
SITE ADDRESS:

7'0"
35'
35'
7'0"
35'
35'

GRAND CANAL

GRAND CANAL

SET LEAD TACK & TAG
STAMPED "LS 8418" 4.00'
W'LY OF PC, ALONG PL PROD.
EL=6.04

SET LEAD TACK & TAG
STAMPED "LS 8418" 4.00'
W'LY OF PC, ALONG PL PROD.
EL=6.03

SET LEAD TACK & TAG
STAMPED "LS 8418" 2.00'
E'LY OF PC, ALONG PL PROD.
EL=5.85

SET LEAD TACK & TAG
STAMPED "LS 8418" 2.00'
E'LY OF PC, ALONG PL PROD.
EL=5.94

NOTE
THIS SURVEY AND MAP ARE THE PROPERTY OF IWS SURVEYING AND MAY NOT BE MODIFIED, ALTERED, OR CHANGED IN ANY FASHION WITHOUT PRIOR WRITTEN APPROVAL BY IWS SURVEYING AND THE CLIENT FOR WHOM THE SURVEY WAS PREPARED. THIS PROVISIO EXTENDS TO THE RESULTING PLOT OF SAID MAP AND THE COMPUTER DISK OR E-MAIL OF THAT MAP AS PROVIDED TO THE CLIENT. ANY VIOLATION OF THIS PROVISIO WILL VOID ANY PROFESSIONAL OBLIGATION OR WARRANTY, EITHER EXPRESSED OR IMPLIED, BY IWS SURVEYING AS TO SUCH CHANGED MATERIAL.

ALL MEASUREMENTS SHOWN TO PROPERTY LINES (PL) ARE MEASURED AT A PERPENDICULAR (90° ANGLE) TO PROPERTY LINE.

EASEMENT NOTES:

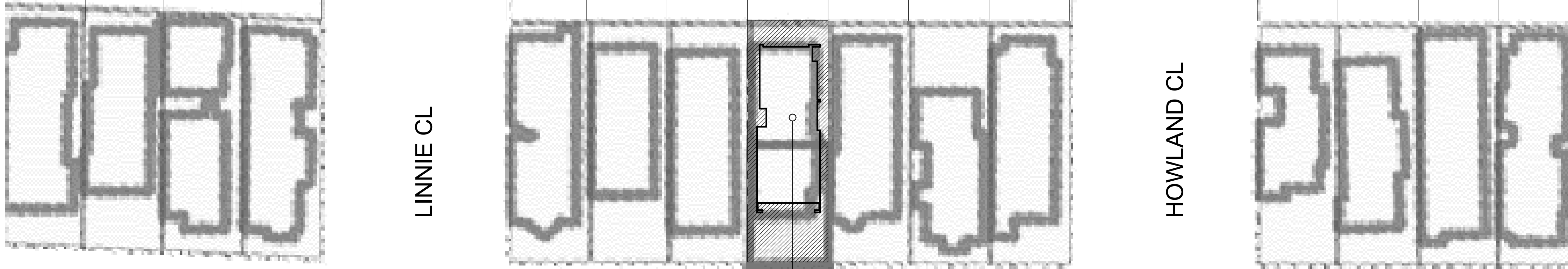
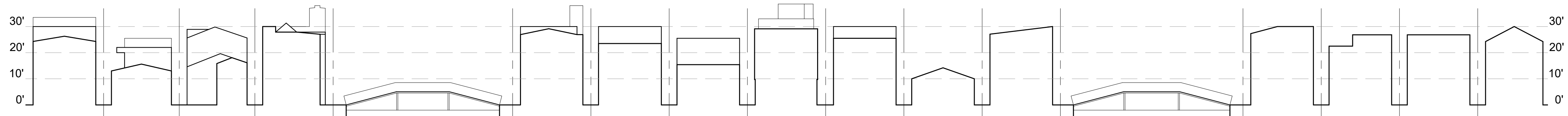
A TITLE POLICY WAS NOT REVIEWED FOR EASEMENTS DURING THIS SURVEY. NO CLAIM IS MADE AS TO WHETHER OR NOT EASEMENTS EXIST

ABBREVIATION LEGEND		MAP ISSUE DATE: 5-17-21 DATE OF REVISION: 8-16-21 DRAFTED BY: NM COMMENTS:		LICENSED SURVEYOR: ALL MAPS, PLATS, REPORTS, DESCRIPTIONS, OR OTHER DOCUMENTS ARE PREPARED UNDER THE RESPONSIBLE CHARGE OF A CALIFORNIA PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA: CHRISTOPHER N. VASSALLO, P.L.S. 8418, PURSUANT TO THE PROFESSIONAL LAND SURVEYORS ACT (BUSINESS AND PROFESSIONS CODE, CHAPTER 15, SECTIONS 8100-8805).	
N	NORTH	PLS, L5	LICENSED SURVEYOR	 SHEET: C1.0	
E	EAST	PP	POWER POLE		
S	SOUTH	PROD	PRODUCED		
W	WEST	PUE	PUBLIC UTILITY EASEMENT		
-----	ANGLE POINT	RBR	REBAR		
AC	ASPHALT CONCRETE	RCE	REGISTERED CIVIL ENGINEER		
AP	BEGINNING OF CURVE	RHO	RANCHO		
BM	BENCHMARK	RTW	RETAINING WALL		
Bos/ToS	BOTTOM/TOP OF STAIR	R/W	RIGHT-OF-WAY		
B5/T5	BOTTOM/TOP OF SLOPE	RXR	RAILROAD		
BW	BACK OF WALK	SDMH	STORM DRAIN MANHOLE		
BX/TX	BOTTOM/TOP OF X	SPK	SPIKE		
CBW	CONCRETE BLOCK WALL	SSMH	SANITARY SEWER MANHOLE		
CL	CENTERLINE	S/W	SPIKE AND WASHER		
CLF	CHAIN-LINK FENCE	TC	TOP OF CURB		
CN	CONCRETE NAIL	TEL PL	TELEPHONE POLE		
G/O	CLEAN OUT	T6	TOP OF GRATE		
CONC.	CONCRETE	ToS/BoS	TOP/BOTTOM OF STAIR		
D	DIRT, DIAMETER	W.I.F.	WROUGHT-IRON FENCE		
DWY	DRIVEWAY	WM	WATER METER		
EC	EDGE OF CURVE	W.H.	WEEP HOLE		
EG	EDGE OF GUTTER				
EP	EDGE OF PAVEMENT				
F	FENCE				
FF/FS	FINISH FLOOR/SURFACE				
FL	FLOW LINE				
FD	FOUND				
GB	GRADE BREAK				
G.M., G. MTR.	GAS METER				
G.W.	GUY WIRE				
I/L / O/L	INLET/OUTLET				
INV.	INVERT				
IP	IRON PIPE				
L. STD.	LIGHT STANDARD				
L4T	LEAD AND TACK				
LTT	LEAD, TACK, AND TAG				
N.A.P.	NOT A PART				
N/T	NAIL AND TAG				
O/S	OFFSET				
PC	PROPERTY CORNER				
PL	PROPERTY LINE				

LINE TYPE LEGEND	PROPERTY LINE	-----
	CENTERLINE	—C—C—
	EXISTING FENCE	—X—X—
	EXISTING WALL	▨▨▨▨

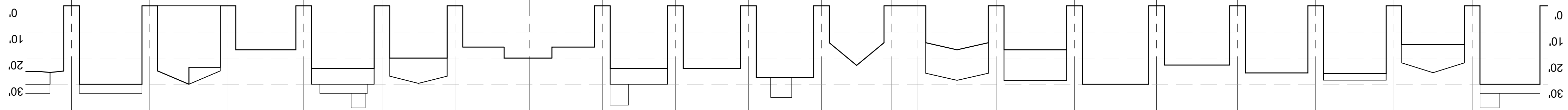
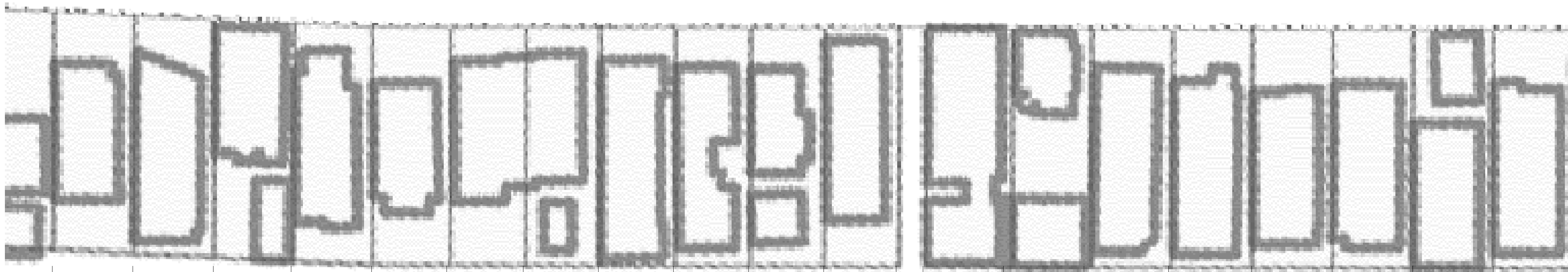
PREPARED BY:
IWS SURVEYING
2556 VIA TEJON
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GRAND CL (WATERWAY)

SUBJECT PROPERTY
2410 GRAND CL



STREETSCAPE CONTEXT
SCALE: 1"=25'-0" (APPROX.)

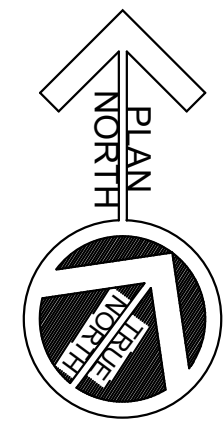


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del Leone**
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Venice, CA 90291

REVISIONS

- 1. 2021-08-16 COASTAL SUBMITTAL
- 2. 2022-02-04 COASTAL RESUBMITTAL - LUPC



STREETSCAPE
CONTEXT

A-0

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BEST MANAGEMENT PRACTICES

REFER TO CITY HANDOUTS OF THE FOLLOWING LIST FOR GRADING, BUILDING, & FINAL CONSTRUCTION PHASES OF THIS PROJECT

- CA1 DEWATERING OPERATIONS – REMOVE SEDIMENTS FROM GROUND WATER
- CA2 PAVING OPERATIONS – REDUCE DISCHARGE OF POLLUTANTS FROM PAVING OPERATIONS
- CA3 STRUCTURE CONSTRUCTION AND PAINTING – PREVENT AND REDUCE DISCHARGE FROM CONSTRUCTION SITES AND PAINTING PROJECTS
- CA10 MATERIAL DELIVERY AND STORAGE – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MATERIAL DELIVERY AND STORAGE
- CA11 MATERIAL USE – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MATERIAL USE
- CA12 SPILL PREVENTION AND CONTROL – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER SYSTEMS WITH GOOD HOUSEKEEPING
- CA20 SOLID WASTE MANAGEMENT – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER SYSTEMS FROM SOLID WASTE OR CONSTRUCTION
- CA21 HAZARDOUS WASTE MANAGEMENT – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM TOXIC MATERIALS
- CA22 CONTAMINATED SOIL MANAGEMENT – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONTAMINATED SOIL
- CA23 CONCRETE WASTE MANAGEMENT – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE
- CA24 SANITARY / SEPTIC WASTE MANAGEMENT – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM SANITARY AND SEPTIC SYSTEMS
- CA30 VEHICLE AND EQUIPMENT CLEANING – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CLEANING OF VEHICLES AND EQUIPMENT
- CA31 VEHICLE AND EQUIPMENT FUELING – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM FUELING OF VEHICLES AND EQUIPMENT
- CA32 VEHICLE AND EQUIPMENT MAINTENANCE – PREVENT AND REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MAINTENANCE OF VEHICLES AND EQUIPMENT
- CA40 EMPLOYEE / SUBCONTRACTOR TRAINING – SWPPP STORM WATER POLLUTION PREVENTION PLAN

CITY OF LOS ANGELES STORM WATER POLLUTION CONTROL

1. ERODED SEDIMENTS AND POLLUTANTS SHALL BE RETAINED ON SITE AND SHALL NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE OR WIND.
2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE COVERED AND/OR PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND SHALL NOT CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED TOXIC STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY AND SHALL NOT BE WASHED INTO THE DRAINAGE SYSTEM.
4. NON-STORM WATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED ON THE PROJECT SITE.
5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTE ON-SITE UNTIL IT CAN BE APPROPRIATELY DISPOSED OF OR RECYCLED.
6. TRASH AND CONSTRUCTION – RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF STORM WATER AND DISPERSAL BY WIND.
7. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED 0.4 INTO THE STREET/PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.
8. RETENTION BASINS OF SUFFICIENT SIZE SHALL BE PROVIDED TO RETAIN STORM WATER RUNOFF ON-SITE AND SHALL BE PROPERLY LOCATED TO COLLECT ALL TRIBUTARY SITE RUNOFF.
9. WHERE RETENTION OF STORM WATER RUNOFF ON-SITE IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, RUNOFF MAY BE CONVEYED TO THE STREET AND THE STORM DRAIN SYSTEM PROVIDED THAT AN APPROVED FILTERING SYSTEM IS INSTALLED AND MAINTAINED ON-SITE DURING THE CONSTRUCTION DURATION.

- ESC1 SCHEDULING – SEQUENCING THE CONSTRUCTION PROJECT TO REDUCE THE AMOUNT OF SOIL EXPOSED TO EROSION
- ESC2 PRESERVATION OF EXISTING VEGETATION – MINIMIZE DAMAGE AND EROSION BY PRESERVING THE EXISTING VEGETATION
- ESC10 SEEDING AND PLANTING – MINIMIZE EROSION WITH SEEDING AND PLANTING
- ESC11 MULCHING – FOR STABILIZING CLEARED AND FRESHLY SEEDED AREAS
- ESC20 GEOTEXTILES AND MATS – FOR STABILIZATION OF SOILS
- ESC21 DUST CONTROLS – REDUCE DUST AND SOIL EROSION
- ESC22 TEMPORARY STREAM CROSSING – RECOMMENDATIONS FOR INSTALLING A TEMPORARY CULVERT, FORD OR BRIDGE
- ESC23 CONSTRUCTION ROAD STABILIZATION – RECOMMENDATIONS FOR DUST AND EROSION CONTROL
- ESC24 STABILIZED CONSTRUCTION ENTRANCE – RECOMMENDATIONS FOR DUST, SEDIMENT AND EROSION CONTROL FOR PUBLIC STREETS
- ESC30 EARTH DIKE – TEMPORARY BERM OR RIDGE OF COMPACTED SOIL
- ESC31 TEMPORARY DRAINS AND SWALES – TO DIVERT OFF-SITE RUNOFF AROUND A CONSTRUCTION SITE
- ESC32 SLOPE DRAIN – TEMPORARY PIPE TO DIVERT RUNOFF FROM THE TOP OF A SLOPE TO THE BOTTOM WITHOUT CAUSING EROSION
- ESC40 OUTLET PROTECTION – INSTALL RIP-RAP TO REDUCE SEDIMENT IN THE SOIL
- ESC41 CHECK DAMS – REDUCES VELOCITY OF CONCENTRATED STORM WATER FLOWS AND REDUCES EROSION
- ESC42 SLOPE ROUGHENING / TERRACING – CREATES MICROCLIMATES FOR ESTABLISHING VEGETATION
- ESC50 SILT FENCE – FOR SEDIMENTATION CONTROL
- ESC51 STRAW BALE BARRIERS – FOR SEDIMENTATION CONTROL
- ESC52 SAND BAG BARRIER – FOR SEDIMENTATION CONTROL
- ESC53 BRUSH OR ROCK FILTER – FOR SEDIMENTATION CONTROL AND VELOCITY REDUCTION
- ESC54 STORM DRAIN INLET PROTECTION – DEVICES WHICH DETAIN SEDIMENT LADEN RUNOFF
- ESC55 SEDIMENT TRAP – SMALL EXCAVATED OR BERMED AREAS FOR SEDIMENTATION
- ESC56 SEDIMENT BASIN – POND CREATED TO ALLOW EXCESSIVE SEDIMENT TO SETTLE

CITY OF LOS ANGELES DEMOLITION NOTES

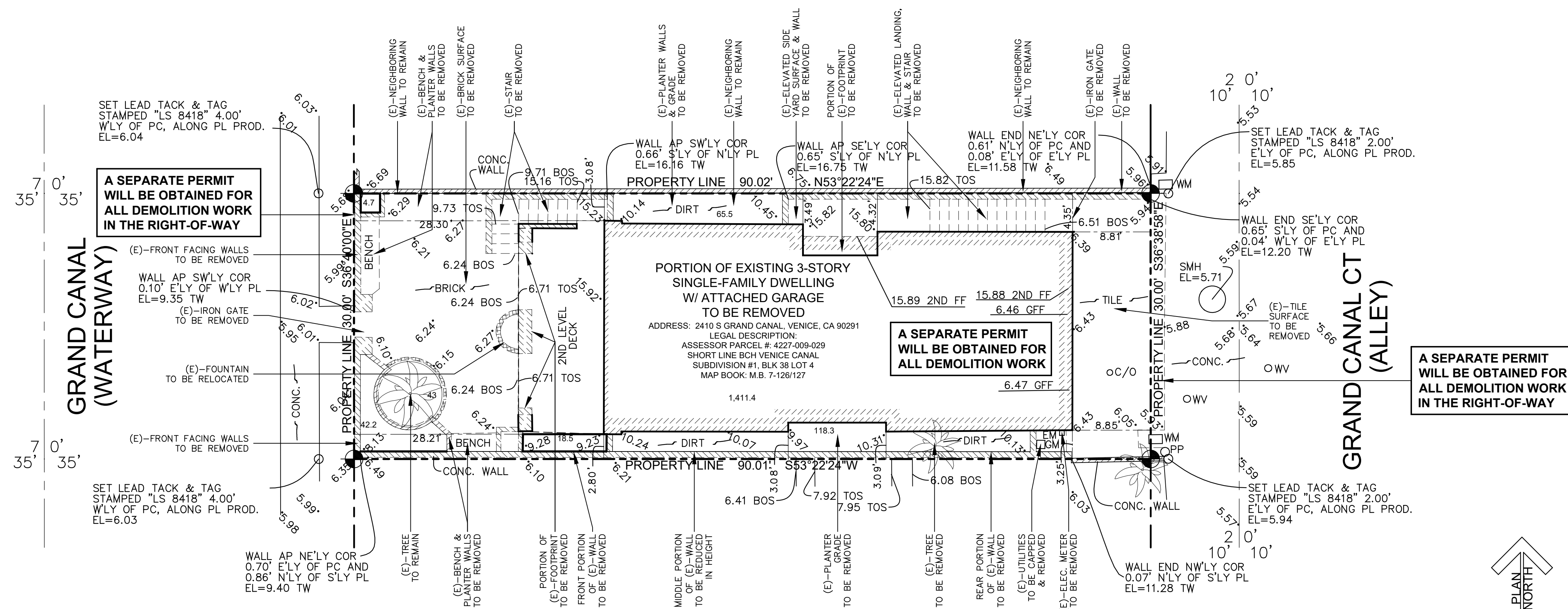
1. METHOD OF DEMOLITION (SEE IB P/BC 2014-39)
 - A) HANDWRECKING – USE OF SMALL WHEEL MOUNTED PNEUMATIC TOOLS WILL BE PERMITTED IF FIRST APPROVED BY BUILDING INSPECTOR.
2. COMPLY WITH THE FOLLOWING NOTES:
 - A) ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.
 - B) NO STRUCTURAL MEMBER IN ANY STORY SHALL BE DEMOLISHED UNTIL THE STORY ABOVE IS COMPLETELY REMOVED.
 - C) THERE WILL BE NO FREE FALL DUMPING OVER EXTERIOR WALL FOR A HEIGHT OF MORE THAN 25FT.
 - D) CALL FOR INSPECTION AT LEAST 24 HOURS BEFORE STARING WORK.
 - E) APPROVAL OF PROTECTION FENCES AND CANOPIES IS REQUIRED PRIOR TO DEMO.
 - F) ALL BASEMENT FILLS SHALL BE CLEAN AND UNIFORM.
 - G) STORAGE OF MATERIALS ON FLOORS SHALL NOT EXCEED ____ PSF LIVE LOAD.
3. AN 8' HIGH CHAIN LINK FENCE MUST BE PROVIDED TO PREVENT UNAUTHORIZED ENTRY TO THE VACANT LOT AFTER DEMOLITION.

EROSION CONTROL NOTES

1. 1- LAYER LAPPED SANDBAGS ALONG FRONT, REAR, AND SIDEYARD PROPERTY LINES TO REMAIN AND BE MAINTAINED THROUGHOUT CONSTRUCTION.
2. DURABLE TEMPORARY FENCING (CHAIN LINK FENCING) TO BE INSTALLED AT PERIMETER OF PROPERTY WITHIN PROPERTY LINES TO REMAIN AND BE MAINTAINED THROUGHOUT CONSTRUCTION.
3. TEMPORARY POND SEDIMENT TRAP CREATED BY EARTHEN EMBANKMENTS WITHIN LOW LYING AREA OF SITE, AWAY FROM CONSTRUCTION ACTIVITY, TO BE CREATED TO COLLECT AND ALLOW FOR THE SETTLING OF SEDIMENT FROM STORMWATER VOLUMES.
4. ON-SITE VEHICLE LOADING AREA, TO BE MULCHED OR GRAVELED WHERE SLAB DOES NOT OCCUR TO PREVENT TRACKING OF LOOSE SOILS DURING THE DURATION OF CONSTRUCTION.
5. ON-SITE STORAGE TO BE LOCATED IN BUILDING ONCE FOUNDATION AND SLAB ARE INSTALLED. ON-SITE STORAGE TO BE LOCATED IN FRONTYARD PRIOR TO INSTALLATION OF FOUNDATION AND SLAB.
6. ALL GRADING SHALL BE DONE WITH CONTINUOUS WATERING TO CONTROL DUST. PRIOR TO ANY EXCAVATION THE AREA SHALL BE SATURATED WITH WATER TO CONTROL DUST.
7. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED AND MANAGED IN A MANNER TO MINIMIZE THE POTENTIAL OF POLLUTANTS TO ENTER THE STORMDRAIN.
8. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.

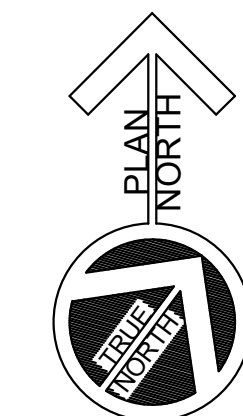
DEMOLITION NOTES

1. A SEPARATE PERMIT SHALL BE OBTAINED FOR ALL DEMOLITION WORK.
2. A SEPARATE PERMIT SHALL BE OBTAINED FOR ALL WORK IN THE RIGHT-OF-WAY.
3. CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT PRIOR TO ANY EXCAVATION.
4. NO WORK WHATSOEVER SHALL BE STARTED WITHOUT FIRST NOTIFYING THE INSPECTOR AND SOIL ENGINEER.
5. A QMND NOTIFICATION IS REQUIRED BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE BUILDING AND SAFETY DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.
6. CONTRACTOR OR OWNER TO OBTAIN ADJOINING NEIGHBOR'S WRITTEN PERMISSION TO REMOVE ANY WALLS AND/OR FENCES THAT STRADDLE SHARED PROPERTY LINES OF SUBJECT PROPERTY AND SAID ADJOINING NEIGHBOR.
7. CONTRACTOR SHALL OBTAIN APPROVED TEMPORARY EXCAVATION PLANS, WHEN REQUIRED, PRIOR TO THE REMOVAL OF ANY RETAINING STRUCTURES AND PRIOR TO ANY GRADING WORK.
8. CONTRACTOR OR OWNER TO OBTAIN ADJOINING NEIGHBOR'S WRITTEN PERMISSION TO PRUNE NEIGHBORING TREES THAT STRADDLE THE PROPERTY LINES, AND RESERVE THE RIGHT TO TRIM, PRUNE AND/OR REMOVE PORTIONS OF THE NEIGHBORING TREES EXTENDING INTO THE SUBJECT PROPERTY.
9. CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES PRIOR TO REMOVING ANY EQUIPMENT OR FEATURES RELATED TO UTILITIES.
10. ALL UTILITIES IN NEW CONSTRUCTION TO BE LOCATED UNDERGROUND.



EXISTING / DEMOLITION SITE PLAN

SCALE: 1/8"=1'-0"



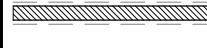

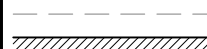
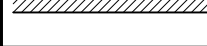
Villa Rosa del Leone
 2410 Grand Canal
 Venice, CA 90291

REVISIONS

- 1. 2021-08-18 COASTAL SUBMITTAL
- 2. 2022-02-04 COASTAL RESUBMITTAL - LUPC

EXISTING / DEMOLITION SITE PLAN

A-1

DEMO LEGEND	
DESCRIPTION	
	EXISTING STUD WALL TO REMAIN
	EXISTING STUD WALL TO BE REMOVED
	EXISTING BEAMS ABOVE TO BE REMOVED
	CONCRETE/MASONRY WALL TO REMAIN

NON -STRUCTURAL DEMOLITION NOTES:

EXISTING ROOFING TO BE REMOVED: ROOFING MEMBRANE, ROOFING FLASHING, GUTTERS AND DOWNSPOUTS, UNDERLAYMENT, PORTIONS OF WOOD FRAMING WITH EXCESSIVE ROT, DECAY, INSECT INFESTATION, OR OTHER IMPERFECTIONS REQUIRING REPLACEMENT. UNUSED MECHANICAL & PLUMBING VENTS

EXTERIOR FINISHES TO BE REMOVED: PRECAST AND/OR STUCCO FASCIA, STUCCO SIDING, PRECAST/STUCCO TRIM, BRICK VENEER, AND LIGHTING FIXTURES.

DOORS AND WINDOWS TO BE REMOVED: ALL EXISTING DOORS AND WINDOWS TO BE REMOVED.


INTERIOR FINISHES TO BE REMOVED: MOLDING, MILLWORK, FIXTURES, FLOORING, DRYWALL AND OTHER INTERIOR FINISHES TO BE REMOVED AT ALL AREAS.

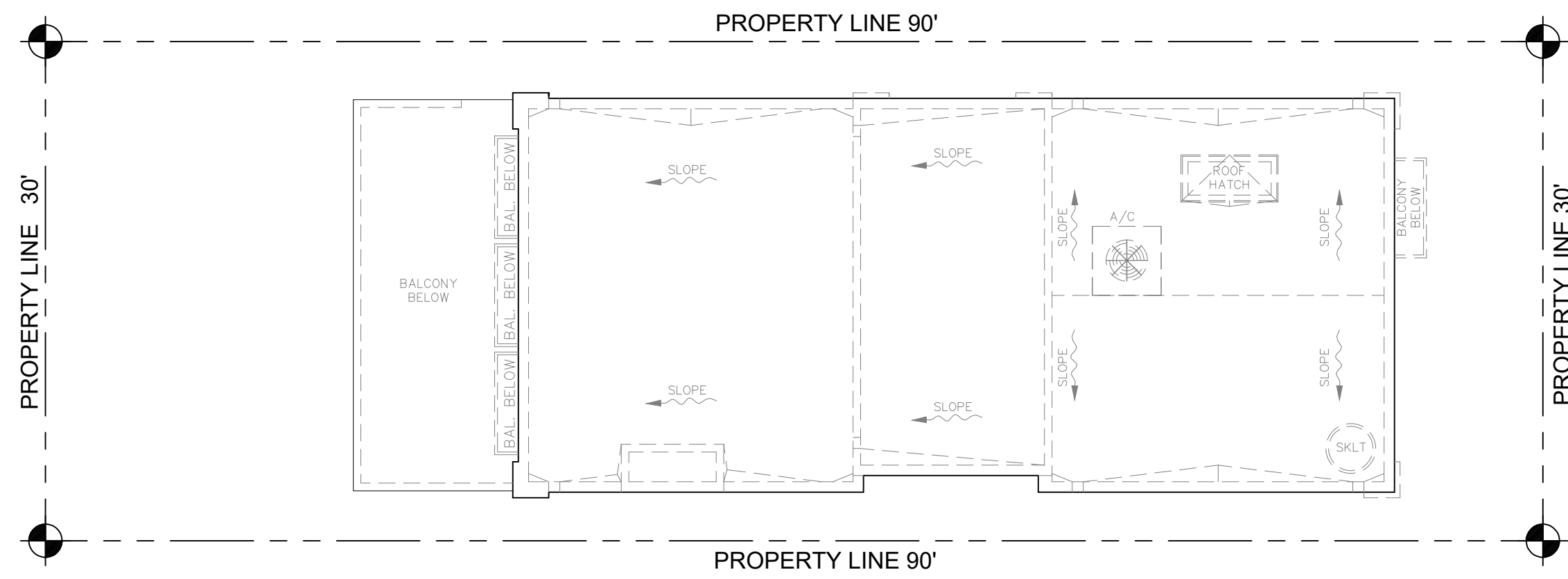
INSULATION: ALL EXISTING INSULATION TO BE REMOVED.

MECHANICAL: ALL EXISTING HVAC EQUIPMENT, DUCTING, REGISTERS & CONTROLS TO BE REMOVED.

ELECTRICAL: ALL EXIST'G ELECTRICAL EQUIPMENT, WIRING & FIXTURES TO BE REMOVED EXCEPT AS NOTED OTHERWISE ON DEMOLITION PLANS.

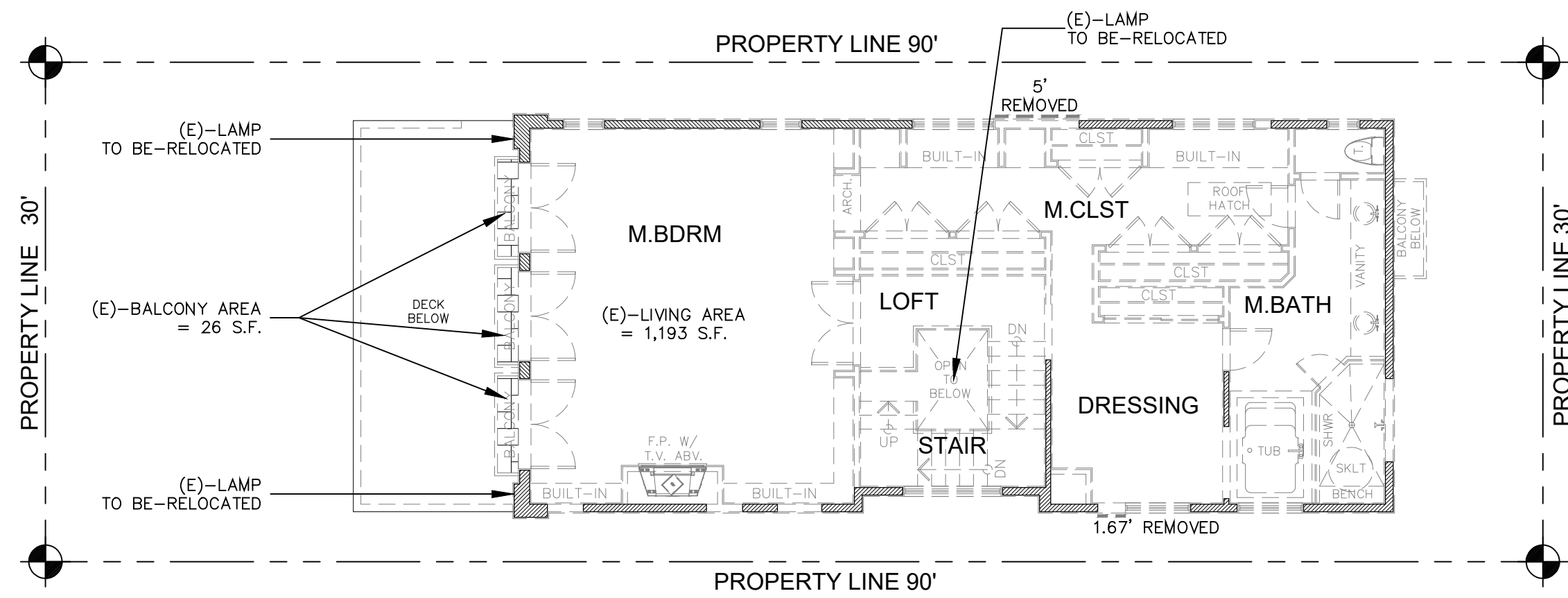
- DEMOLITION NOTES**
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 - A SEPARATE PERMIT SHALL BE OBTAINED FOR ALL WORK IN THE RIGHT-OF-WAY.
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 - NO WORK WHATSOEVER SHALL BE STARTED WITHOUT FIRST NOTIFYING THE INSPECTOR AND SOIL ENGINEER.
 - AQMD NOTIFICATION IS REQUIRED BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE BUILDING AND SAFETY DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.
 - CONTRACTOR OR OWNER TO OBTAIN ADJOINING NEIGHBOR'S WRITTEN PERMISSION TO REMOVE ANY WALLS AND/OR FENCES THAT STRADDLE SHARED PROPERTY LINES OF SUBJECT PROPERTY AND SAID ADJOINING NEIGHBOR.
 - CONTRACTOR SHALL OBTAIN APPROVED TEMPORARY EXCAVATION PLANS, WHEN REQUIRED, PRIOR TO THE REMOVAL OF ANY RETAINING STRUCTURES AND PRIOR TO ANY GRADING WORK.
 - CONTRACTOR SHALL PROVIDE 30-DAY MIN. WRITTEN NOTICE TO OWNER AND/OR TENANT OF NEIGHBORING PROPERTY PRIOR TO DEMOLISHING AND/OR REPLACING SEWER LATERAL(S) AND CLEANOUT(S), WATER SERVICE, GAS SERVICE, OR ANY OTHER EASTERLY PROPERTY UTILITY(S) THAT PASSES THROUGH SUBJECT PROPERTY.
 - CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES PRIOR TO REMOVING ANY EQUIPMENT OR FEATURES RELATED TO UTILITIES.
 - ALL CONSTRUCTION WASTE TO COMPLY WITH MINIMUM CITY REQUIREMENTS FOR RE-USE AND/OR RECYCLING.
 - ALL UTILITIES IN NEW CONSTRUCTION TO BE LOCATED UNDERGROUND.
 - OBTAIN CAL-OSHA PERMIT FOR ANY DEMOLITION WORK THAT INVOLVES ASBESTOS/HAZARDOUS WASTE REMOVAL/DISPOSAL/ABATEMENT.

REMOVAL CALCULATION	
FIRST FLOOR:	
1-(REMOVED WALLS)/(E)-LINEAR WALLS) = % TO REMAIN	= 1-(50.75'/174')
	= 70.8% TO REMAIN (29.2% TO BE REMOVED)
SECOND FLOOR:	
1-(REMOVED WALLS)/(E)-LINEAR WALLS) = % TO REMAIN	= 1-(21.25'/157.67')
	= 86.5% TO REMAIN (13.5% TO BE REMOVED)
THIRD FLOOR:	
1-(REMOVED WALLS)/(E)-LINEAR WALLS) = % TO REMAIN	= 1-(6.67'/156.67')
	= 95.7% TO REMAIN (4.3% TO BE REMOVED)
TOTAL (E)-LINEAR WALLS:	488.34'
TOTAL REMOVED WALLS:	78.67'
	= 83.9% TOTAL (E)-WALLS TO REMAIN
	= 16.1% TOTAL (E)-WALLS TO BE REMOVED
REMOVAL LEGEND:	
	REMOVED WALLS



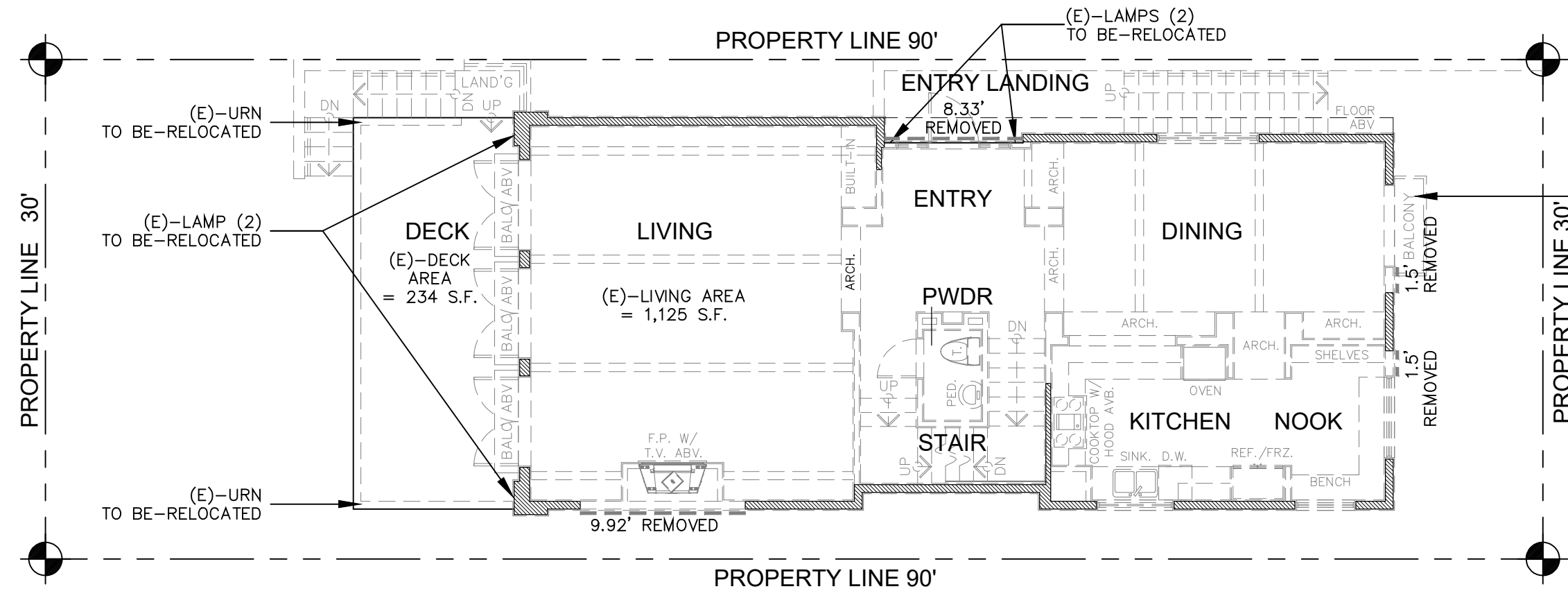
EXISTING/DEMO ROOF PLAN (LEVEL-4)

SCALE: 1/8"=1'-0"



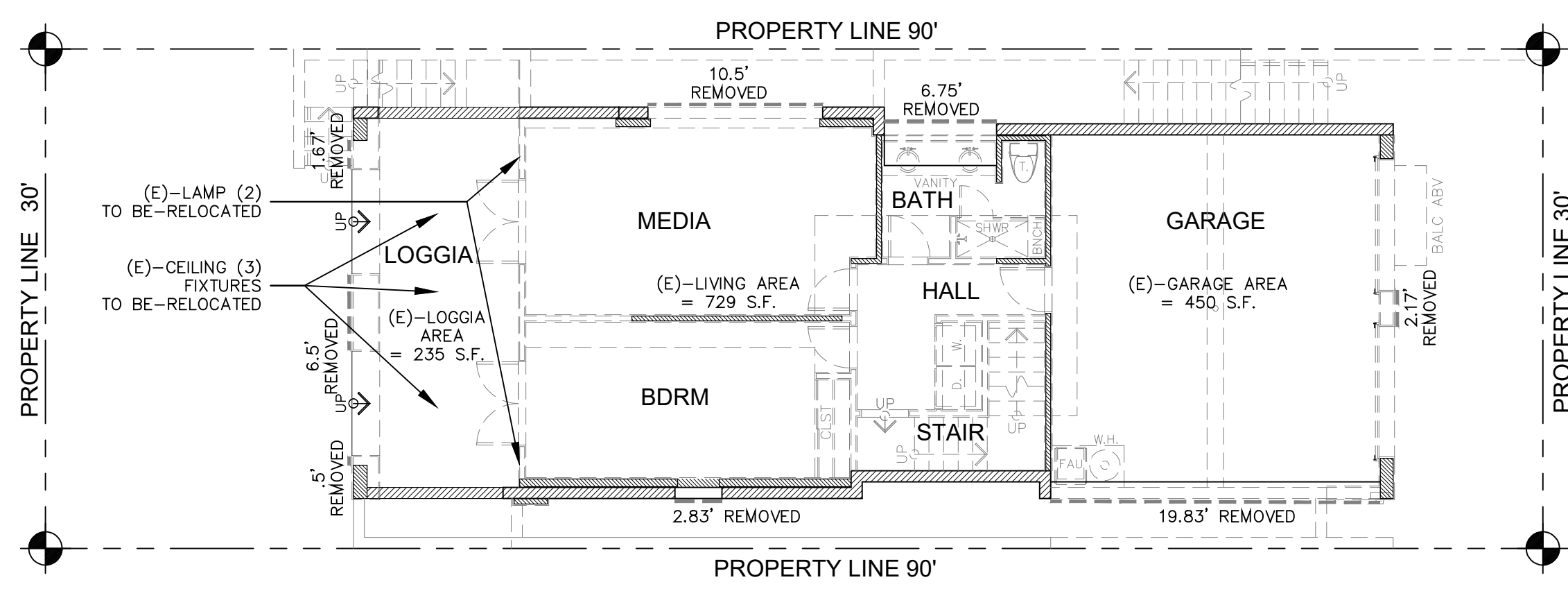
EXISTING/DEMO THIRD FLOOR PLAN (LEVEL-3)

SCALE: 1/8"=1'-0"



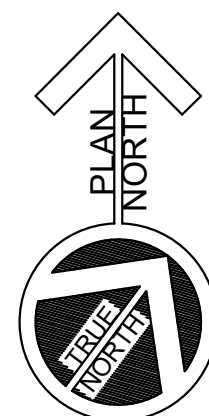
EXISTING/DEMO SECOND FLOOR PLAN (LEVEL-2)

SCALE: 1/8"=1'-0"



EXISTING/DEMO FIRST FLOOR PLAN (LEVEL-1)

SCALE: 1/8"=1'-0"



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1	2021-08-18 COASTAL SUBMITTAL
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3	

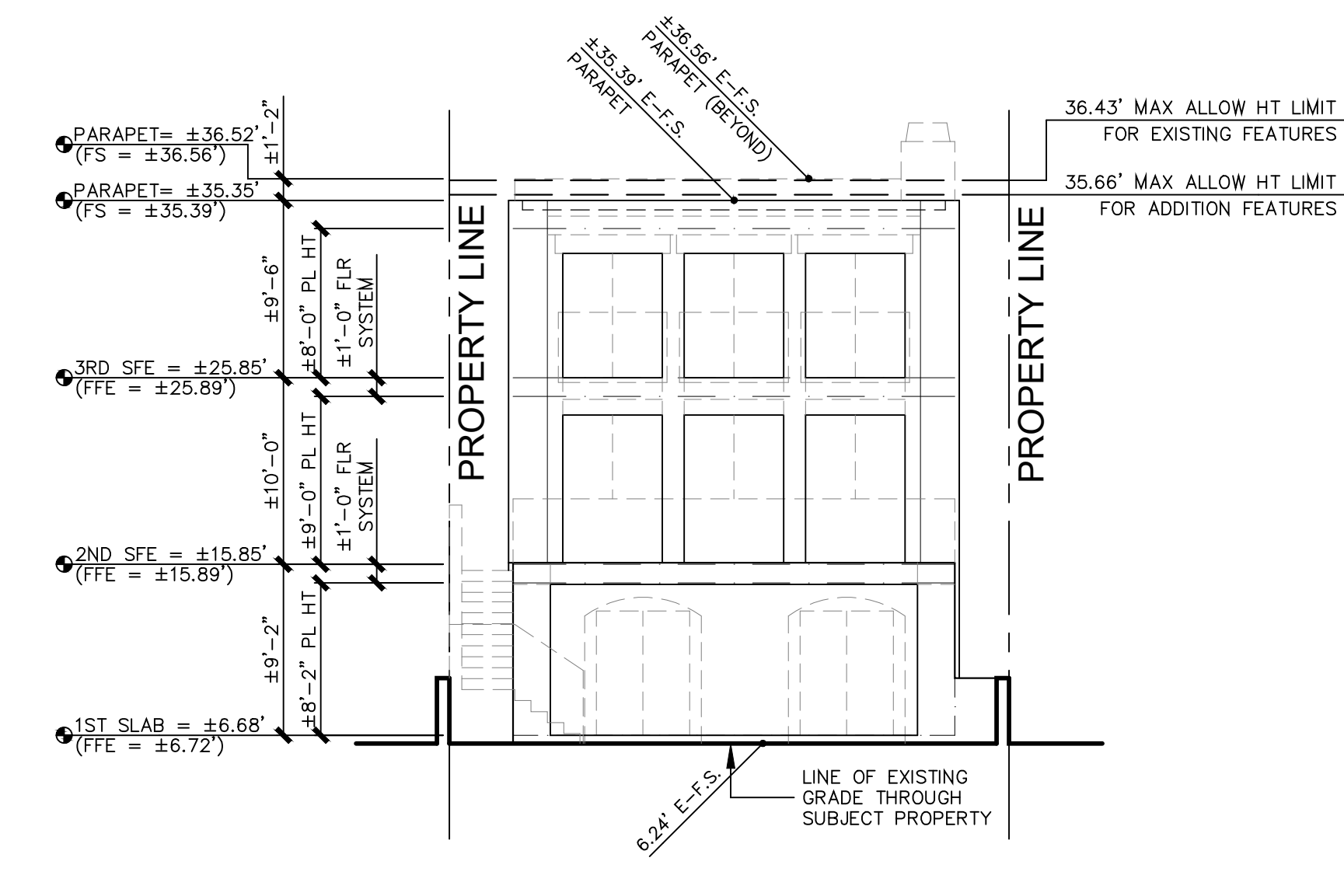
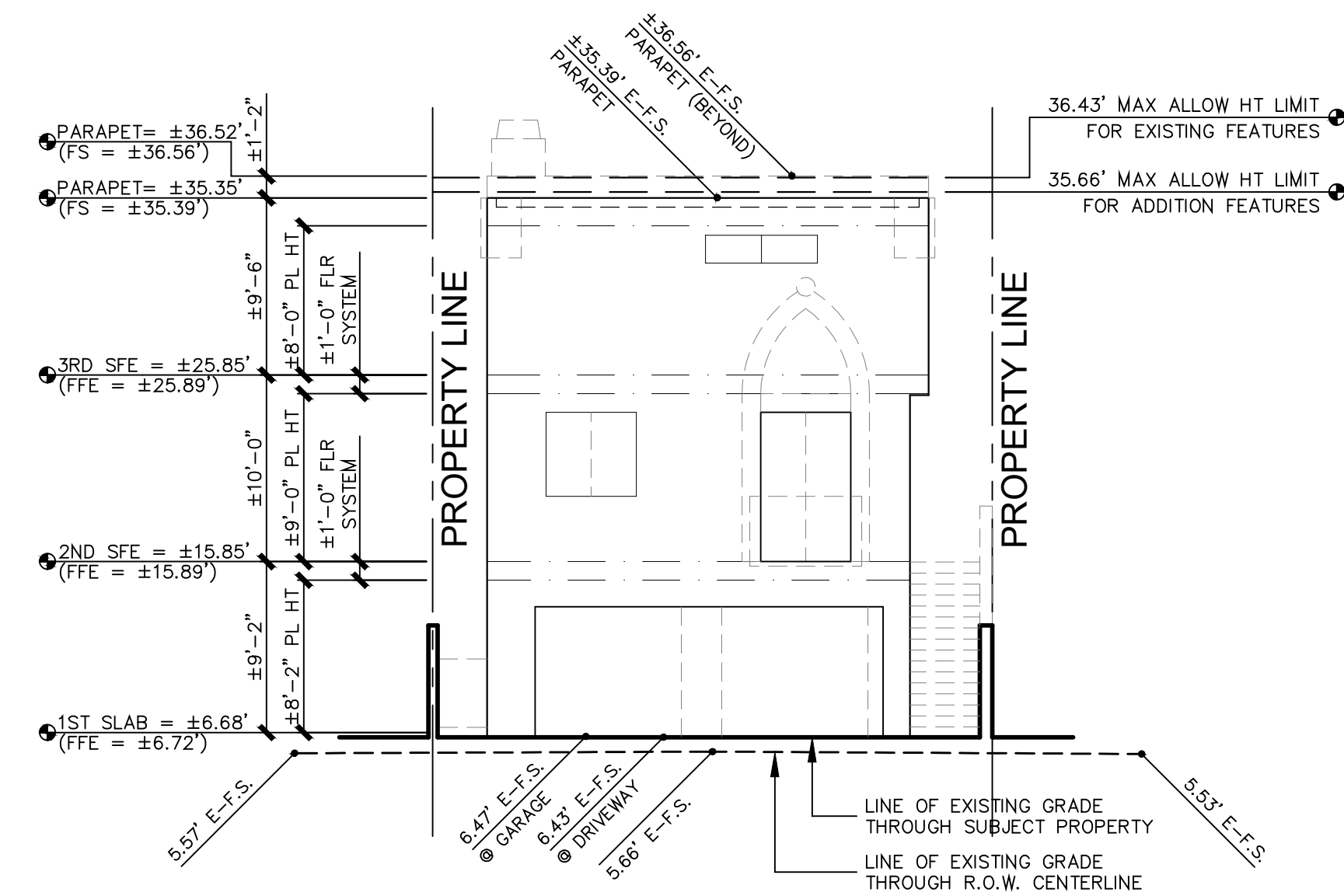
EXISTING / DEMOLITION FLOOR PLANS

A-2

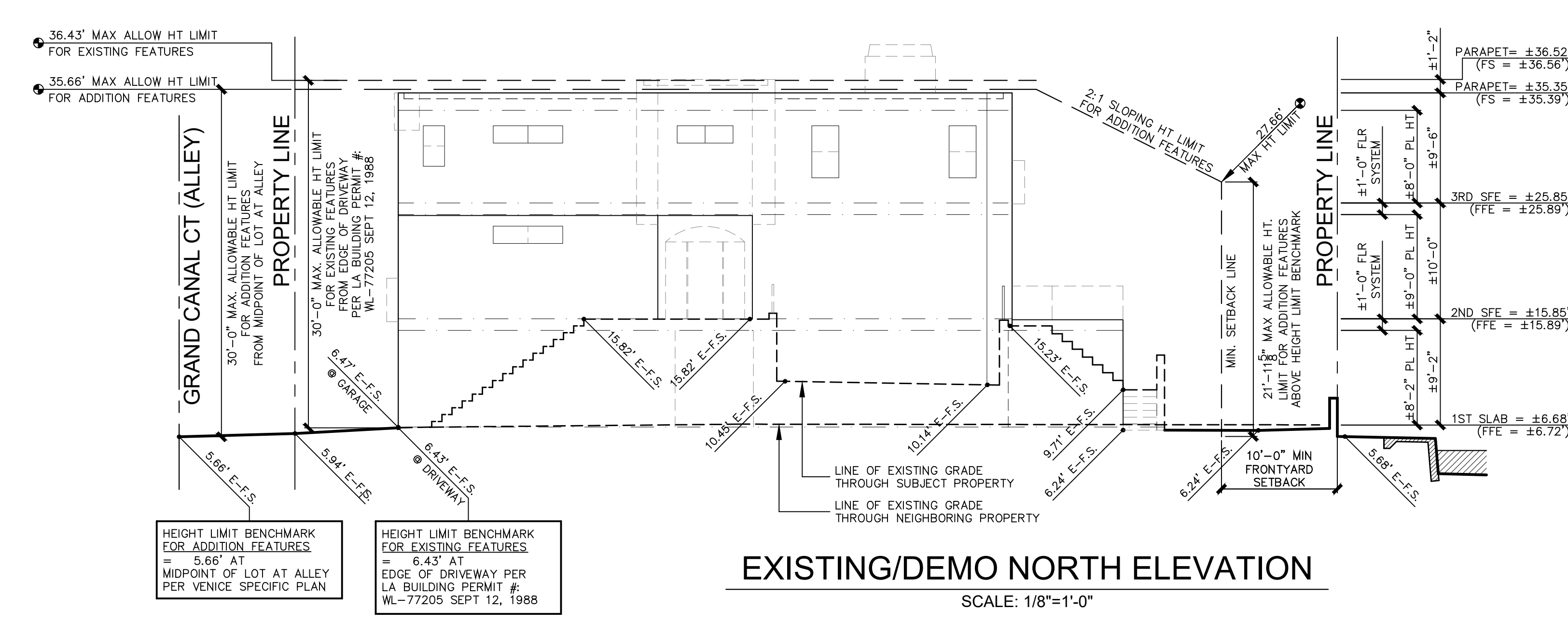
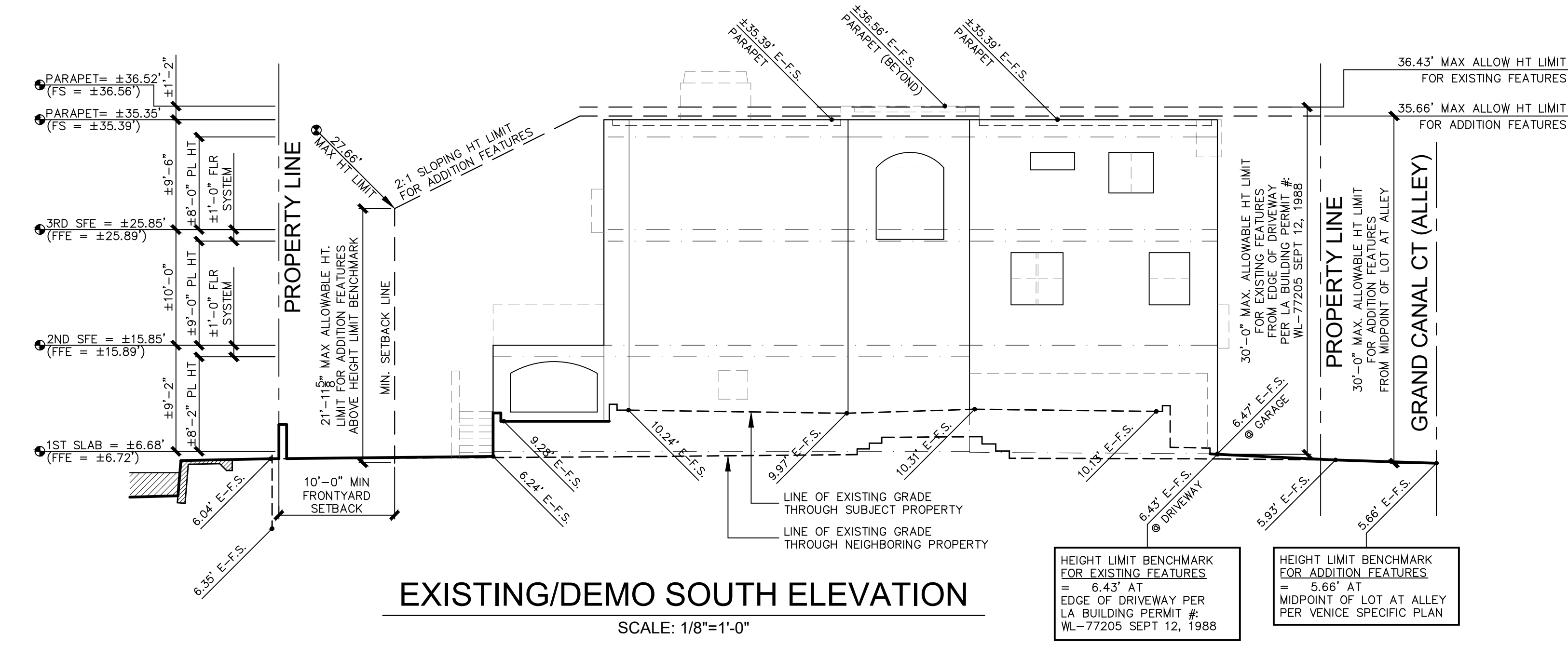
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 info@capeters.com
 www.capeters.com



DEMO LEGEND	
DESCRIPTION	
	EXISTING FEATURES TO REMAIN
	EXISTING FEATURES TO BE REMOVED



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REVISIONS	
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△	

EXISTING /
 DEMOLITION
 ELEVATIONS

A-3

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PERMEABLE YARD REQUIREMENT

1. (PER VENICE SPECIFIC PLAN SECTION 10.E.3.b) MIN. PERMEABLE YARD AREA LOCATED WITHIN CANAL PROPERTY LINE AND FRONT OF STRUCTURE = 15' X LOT WIDTH AND MIN. OF 450 S.F. = 15' X 30' = 450 S.F.
ACTUAL PROVIDED AREA = 450 S.F.

2. (PER VENICE SPECIFIC PLAN SECTION 5.R) MAX. 1 S.F. OF NON-POROUS SURFACE MATERIAL EACH AND COLLECTIVELY COMPRISING LESS THAN TWO-THIRDS OF THE TOTAL SURFACE AREA WITHIN THE REQUIRED PERMEABLE FRONT YARD AREA = 1/3 X 450 S.F. = 300 S.F.
ACTUAL NON-POROUS SURFACE MATERIAL = 33 S.F.

3. IMPERMEABLE GROUND COVER MATERIALS WITHIN REQUIRED PERMEABLE AREA LIMITED TO 15% OF REQUIRED AREA:
15% X MIN. PERMEABLE AREA = 15% X 450 S.F. = 67.5 MAX. S.F.
ACTUAL IMPERMEABLE GROUND COVER = 33 S.F.

PERMEABLE YARD AREA NOTE:
IN ORDER TO MAINTAIN AN OPEN AND VISIBLE ACCESS CORRIDOR, TO ENHANCE VISUAL QUALITY, AND TO PRESERVE THE WATER QUALITY AND BIOLOGICAL PRODUCTIVITY OF THE CANALS, AN UNCOVERED AND PERMEABLE YARD AREA TOTALING NO LESS THAN 15 X THE WIDTH OF THE SITE (IN THIS CASE: 15' X 30' = 450 S.F.) SHALL BE MAINTAINED ON THE PROJECT SITE IN THE FRONT YARD AREA BETWEEN THE STRUCTURE AND THE FRONT (SHERMAN CANAL) PROPERTY LINE. UNCOVERED MEANS THAT NO FILL OR BUILDING EXTENSIONS (I.E. CHIMNEYS, BALCONIES, STAIRS, TRELLISES) SHALL BE PLACED IN OR OVER THE PERMEABLE YARD AREA WITH THE EXCEPTION OF FENCES OR GARDEN WALLS (NOT TO EXCEED 42 INCHES IN HEIGHT), PERMEABLE DECKS AT GRADE (NOT TO EXCEED 18 INCHES IN HEIGHT), AND AN UNDERGROUND CISTERN FOR WATER RETENTION. THE PERMEABLE YARD AREA MAY INCLUDE MINIMAL COVERAGE WITH IMPERMEABLE PAVERS, STONES, CONCRETE WALKWAYS OR OTHER SIMILAR GROUND COVER, BUT IN NO EVENT SHALL IMPERMEABLE MATERIALS OCCUPY MORE THAN FIFTEEN PERCENT (15%) OF THE TOTAL AMOUNT OF THE REQUIRED PERMEABLE YARD AREA.

DRAINAGE NOTES

1. ALL ROOF & DECK SURFACE DRAINAGE QUANTITIES TO BE COLLECTED W/ GUTTERS OR AREA DRAINS. GUTTER OR AREA DRAIN LINES TO BE DIRECTED TO EITHER EXTERNAL OR INTERNAL DOWN SPOUTS. DOWN-SPOUTS TO DISCHARGE INTO ON-SITE PLANTER BOX SOIL AND PLANT-BASED FILTRATION DEVICE. OVERFLOW QUANTITIES SHALL SHEET FLOW INTO ALLEY. DOWN-SPOUTS SHALL NOT DISCHARGE ONTO OTHER SITE SURFACES.

2. ALL YARD SURFACE DRAINAGE QUANTITIES TO EITHER SHEET DIRECTLY TO ON-SITE PERCOLATION DRAIN OR SHALL BE COLLECTED WITH AREA DRAINS. AREA DRAINS TO TIE INTO SUB-TERRANEAN DRAIN LINES DISCHARGING DIRECTLY TO ON-SITE PERCOLATION DRAIN.

3. REFER TO 'LD' PLANS FOR COMPLETE INFORMATION ON ON-SITE PERCOLATION, COLLECTION AREAS, OVERFLOW SYSTEM, AND OTHER INFORMATION RELATED TO DRAINAGE.

4. DRAINAGE WITHIN BUILDING TO BE CONVEYED IN A MINIMUM 4" DIA. RIGID PIPE AT INTERNAL LINES AND 3" DIA. AT EXTERIOR DOWNSPOUTS.

5. DRAINAGE OUTSIDE BUILDING TO BE CONVEYED IN A MINIMUM 4" DIA. RIGID P.V.C. AREA DRAINS SHALL BE 6" SQUARE OR 6" ROUND.

6. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET. (R401.3)

7. MIN. PIPE STRENGTH IS SCHEDULE 40 OR SDR 35

8. MAXIMUM GRADIENT FOR SHEET FLOW IS 10%

9. MINIMUM ACCEPTABLE GRADIENTS FOR CONCENTRATED FLOWS:
EARTH 2.0%
ASPHALTIC CONCRETE 1.0%
CONCRETE IN EARTH 0.5%
TERRACE DRAINS 0.8%
INTERCEPTOR DRAINS 2.0%

EXTERIOR ADDITION LEGEND

GRAPHIC	DESCRIPTION
(NO HATCH OR POCHE)	EXISTING TO REMAIN
[Blue Hatched]	ADDED BUILDING FOOTPRINT
[Purple Hatched]	REMOVED BUILDING FOOTPRINT
[Orange Hatched]	ADDED DECK/BALCONY

UTILITY NOTE

THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOR-UPS. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

HEAT ISLAND NOTES:

"PER LAGBC SEC 4.106.7"

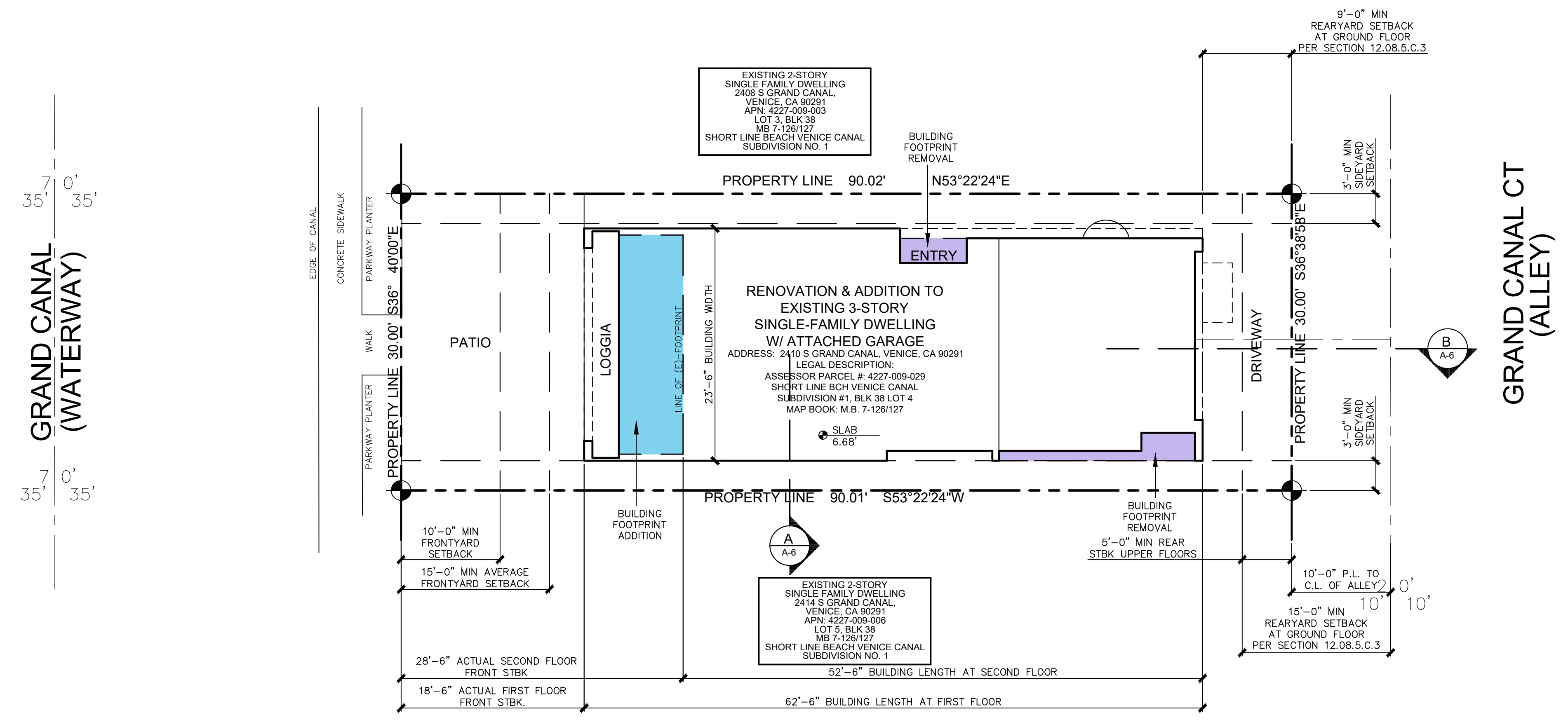
HARDSCAPE AREAS, INCLUDING PATHWAYS, PATIOS, DRIVEWAYS AND OTHER PAVED AREAS = 641 S.F.
100% OF HARDSCAPE AREAS SHALL BE UNCOLORED CONCRETE WITH SAND CEMENT FINISH ACHIEVING A SOLAR REFLECTANCE OF 0.30 PER ASTM E918 OR ASTM C1549.

IRRIGATION NOTES

AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BIDDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
1. CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.
2. WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS TO COMMUNICATIONS CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.

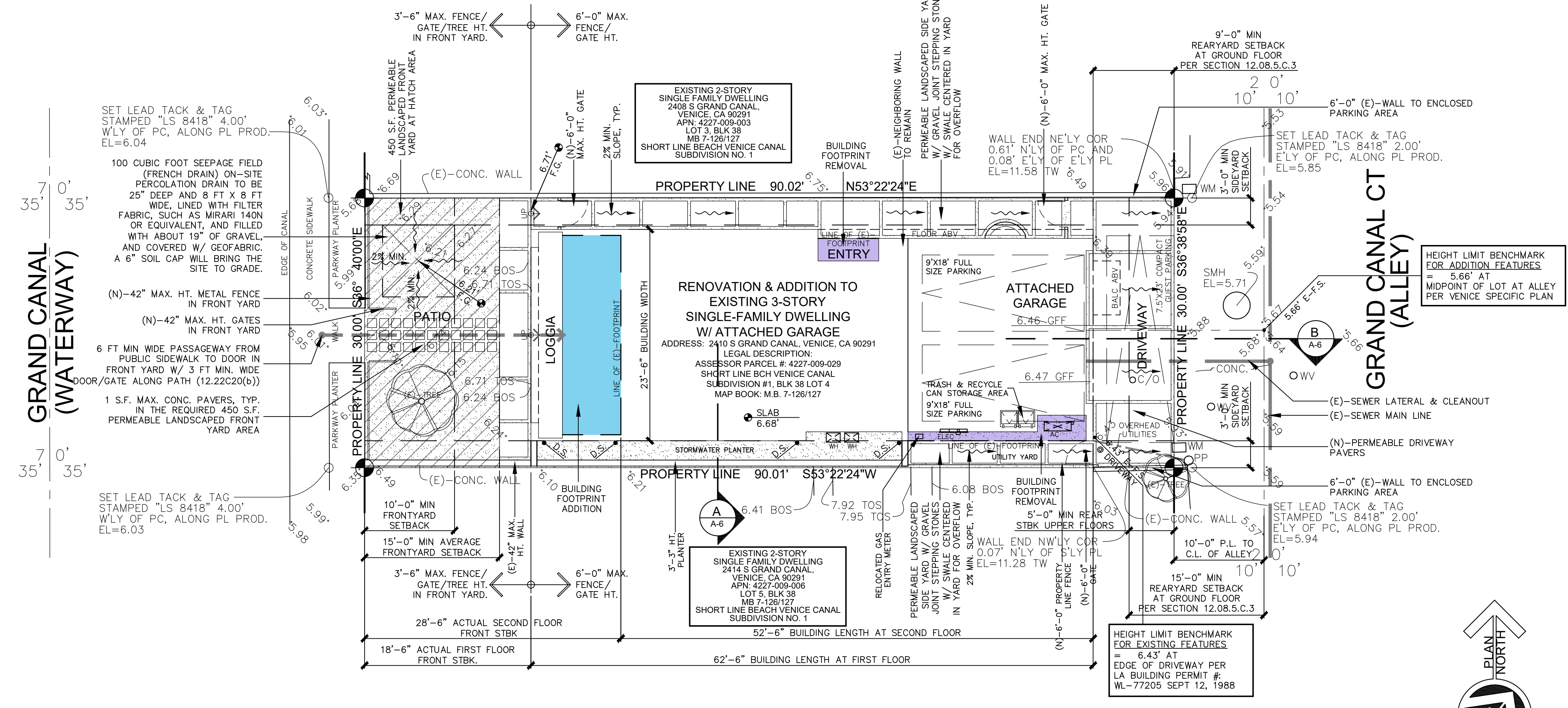
SITE PLAN LEGEND

GRAPHIC	DESCRIPTION
(NO HATCH OR POCHE)	HARDSCAPE IMPERVIOUS SURFACES
[Dotted]	PLANTED PERVIOUS SURFACES
[Diagonal Hatched]	PERMEABLE YARD REQUIRED AREA
[Solid Line]	SITE WALL OR FENCE
[Dashed Line]	PROPERTY LINE
[Dotted Line]	LINE OF FLOOR ABOVE SETBACK LINE
F.S.	FINISHED SURFACE
T.C.	INDICATES TOP OF CURB
F.L.	INDICATES FLOW LINE
F.S.	FINISH SURFACE
T.O.W.	TOP OF WALL
T.O.R.	TOP OF RAIL
○ 94.43	EXISTING POINT ELEVATION
●	PROPOSED POINT ELEVATION
○	PROPOSED SURFACE ELEVATION
○	EXISTING POINT ELEVATION
[Arrow]	DRAINAGE SURFACE FLOW DIRECTION
●	AREA DRAIN
○	D.S. DOWNSPOUT



PROPOSED SITE PLAN - PLANNING

SCALE: 1/8"=1'-0"



PROPOSED SITE PLAN

SCALE: 1/8"=1'-0"



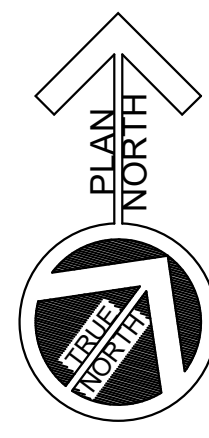
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Venice, CA 90291

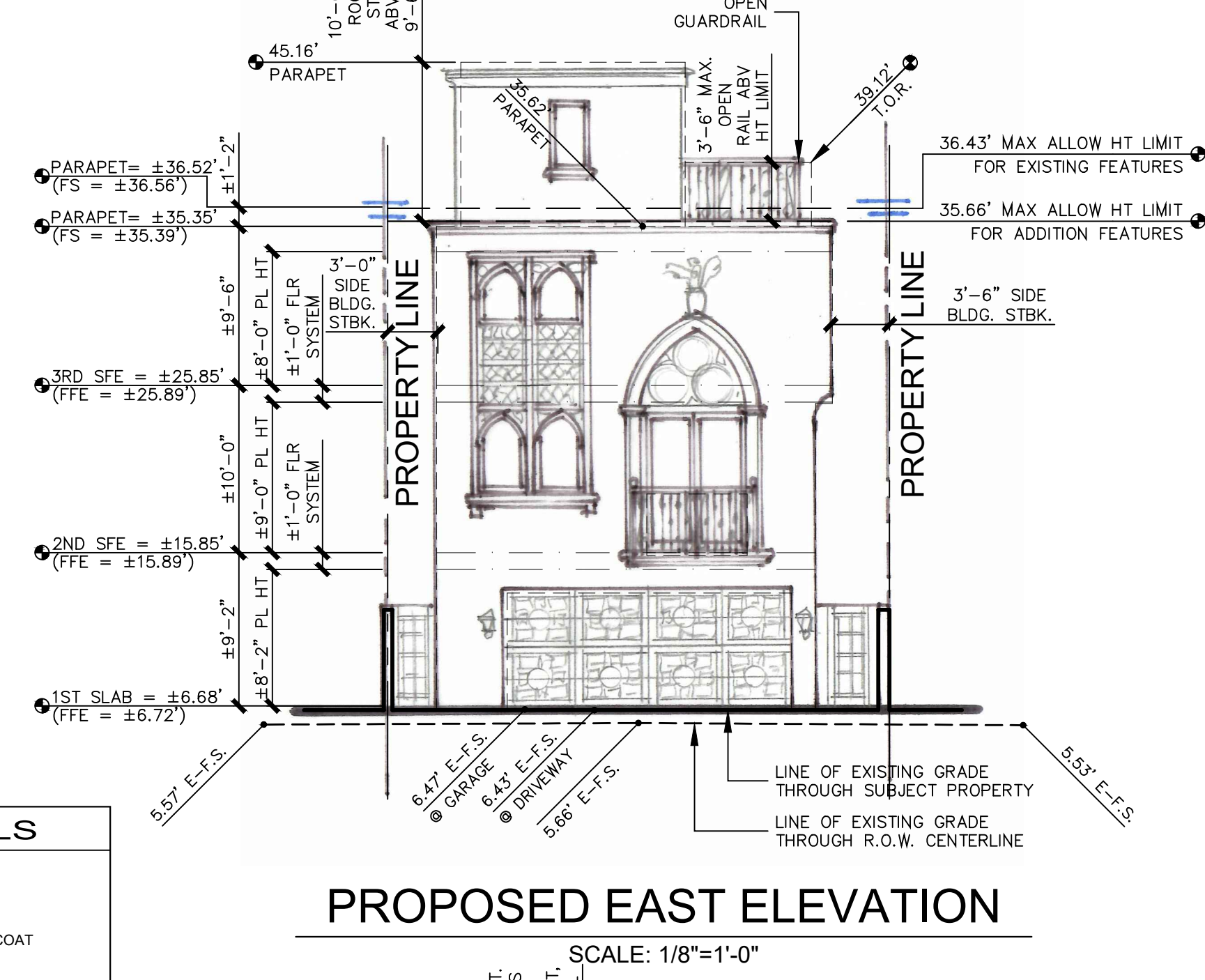
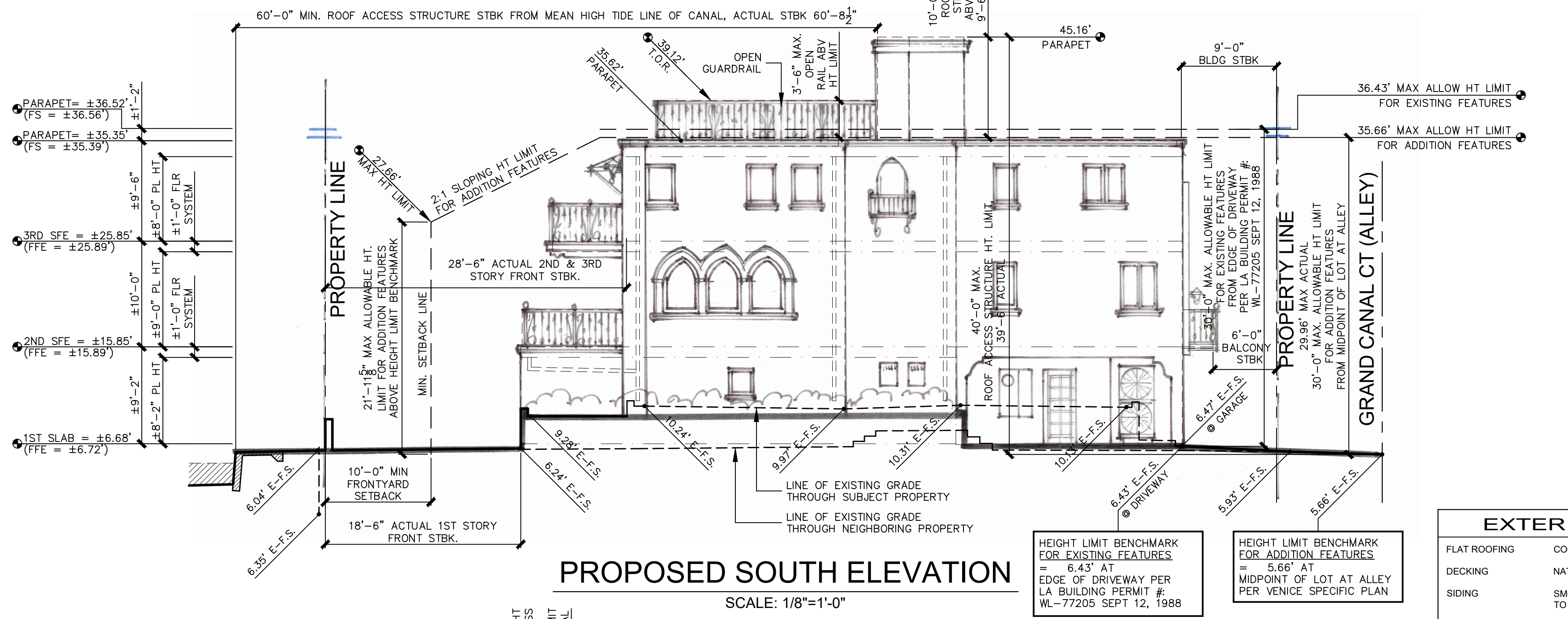
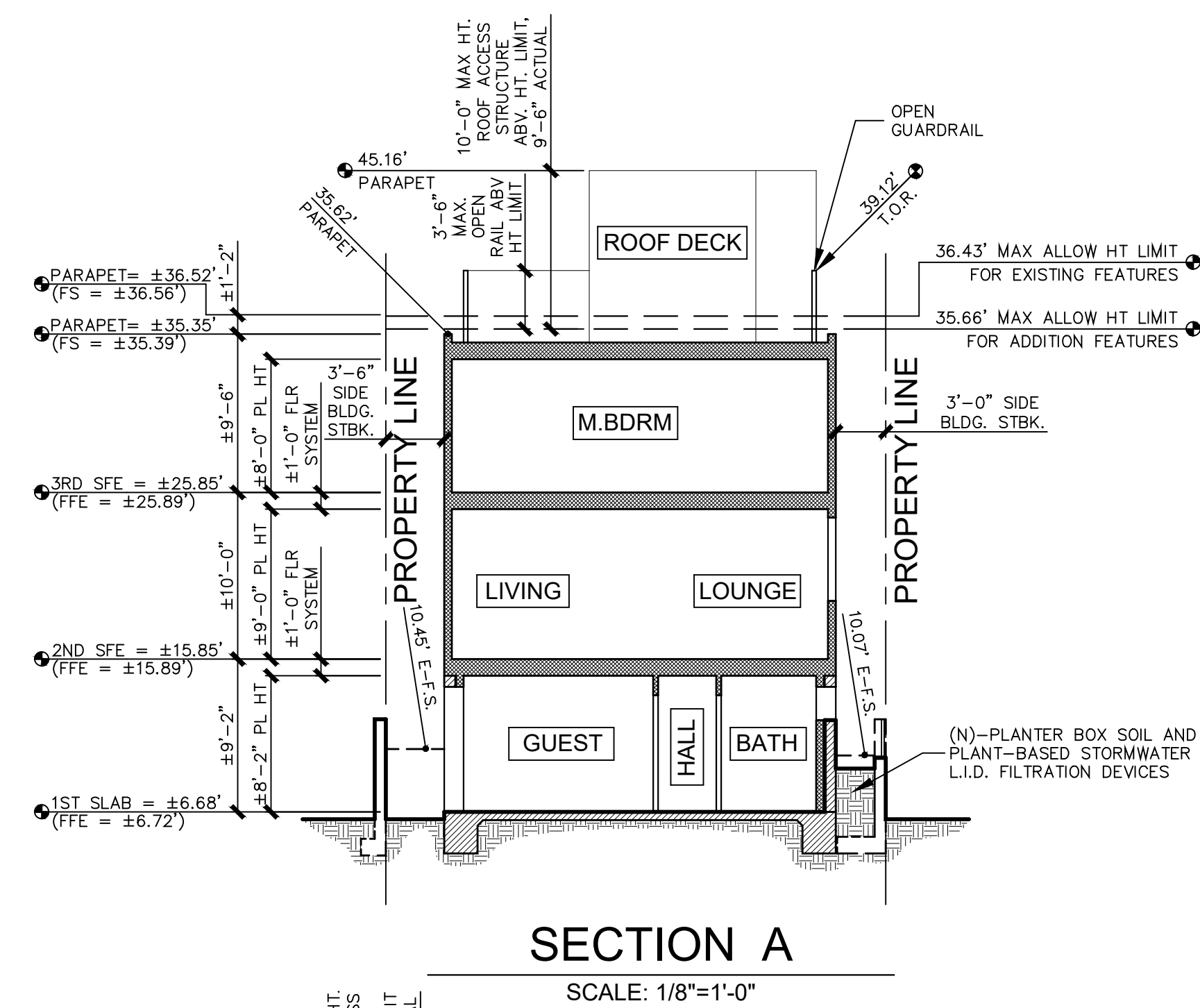
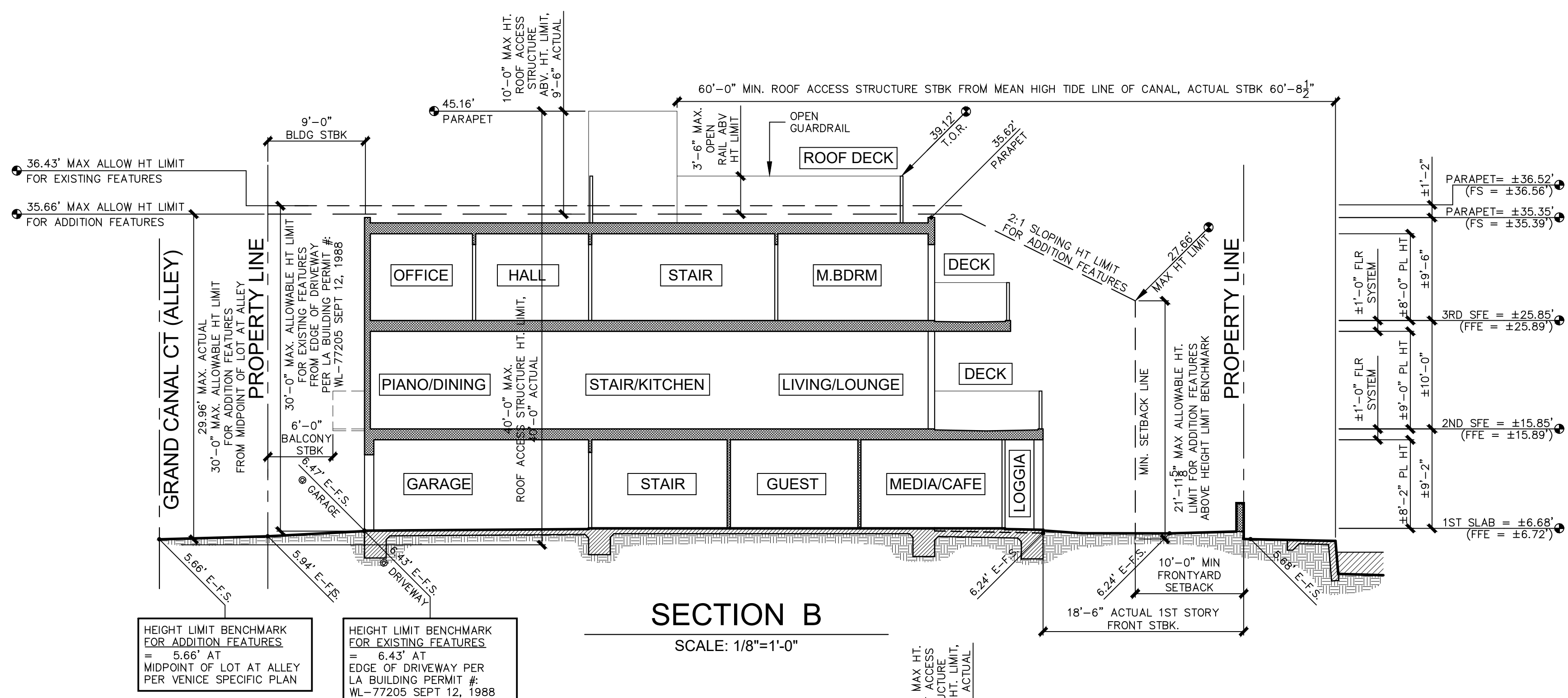
REVISIONS

- 1. 2021-08-18 COASTAL SUBMITTAL
- 2. 2022-02-04 COASTAL RESUBMITTAL - LUPC

PROPOSED SITE PLANS

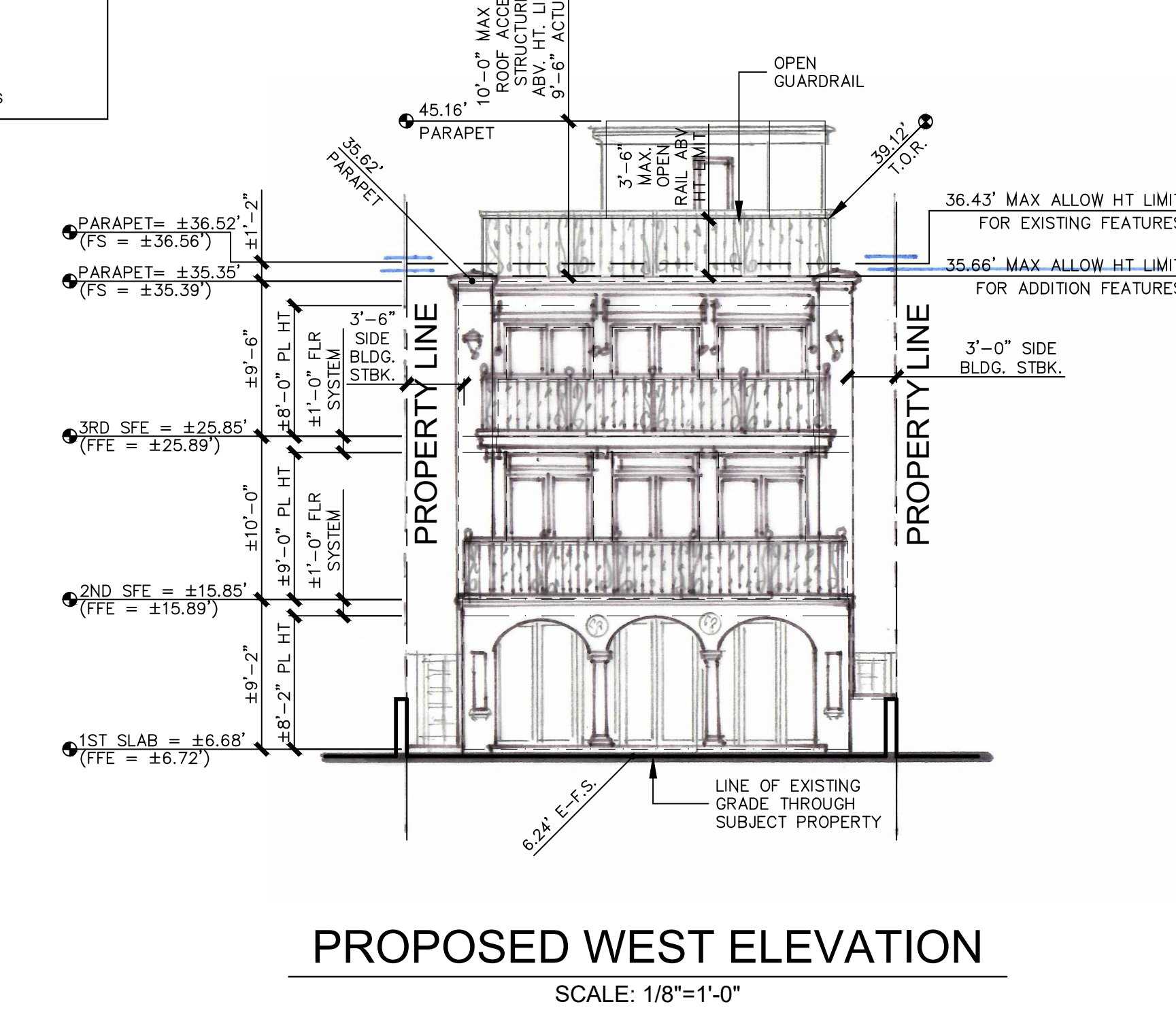
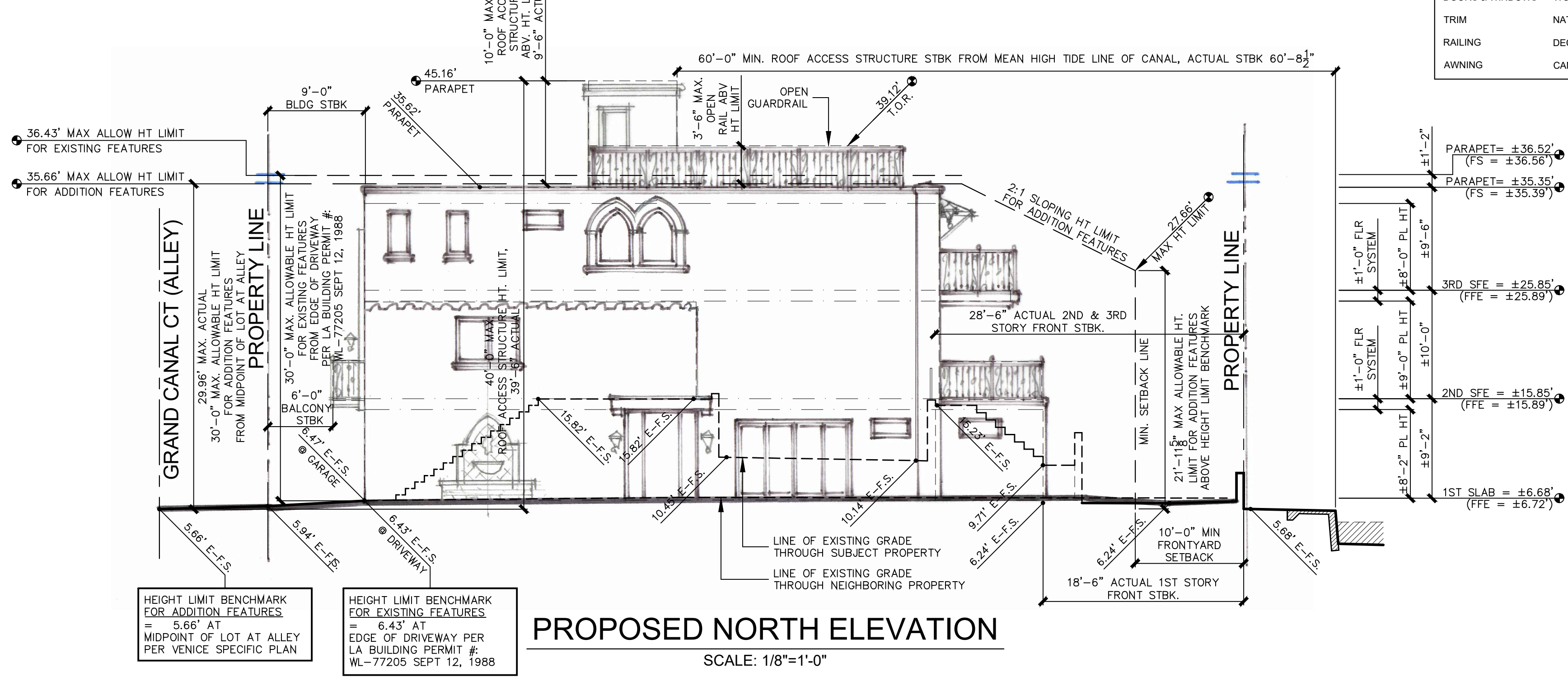


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EXTERIOR MATERIALS

FLAT ROOFING	COOL ROOFING MEMBRANE
DECKING	NATURAL STONE TILE
SIDING	SMOOTH TROWEL STUCCO W/ COLOR COAT TO MATCH EXISTING
DOORS & WINDOWS	WOOD-CLAD
TRIM	NATURAL-TONE PRECAST
RAILING	DECORATIVE WROUGHT-IRON
AWNING	CANVAS W/ WROUGHT-IRON SUPPORTS



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- REVISIONS**
- 1 2021-08-16 COASTAL SUBMITTAL
 - 2 2022-02-04 COASTAL RESUBMITTAL - LUPC

PROPOSED ELEVATIONS & SECTIONS