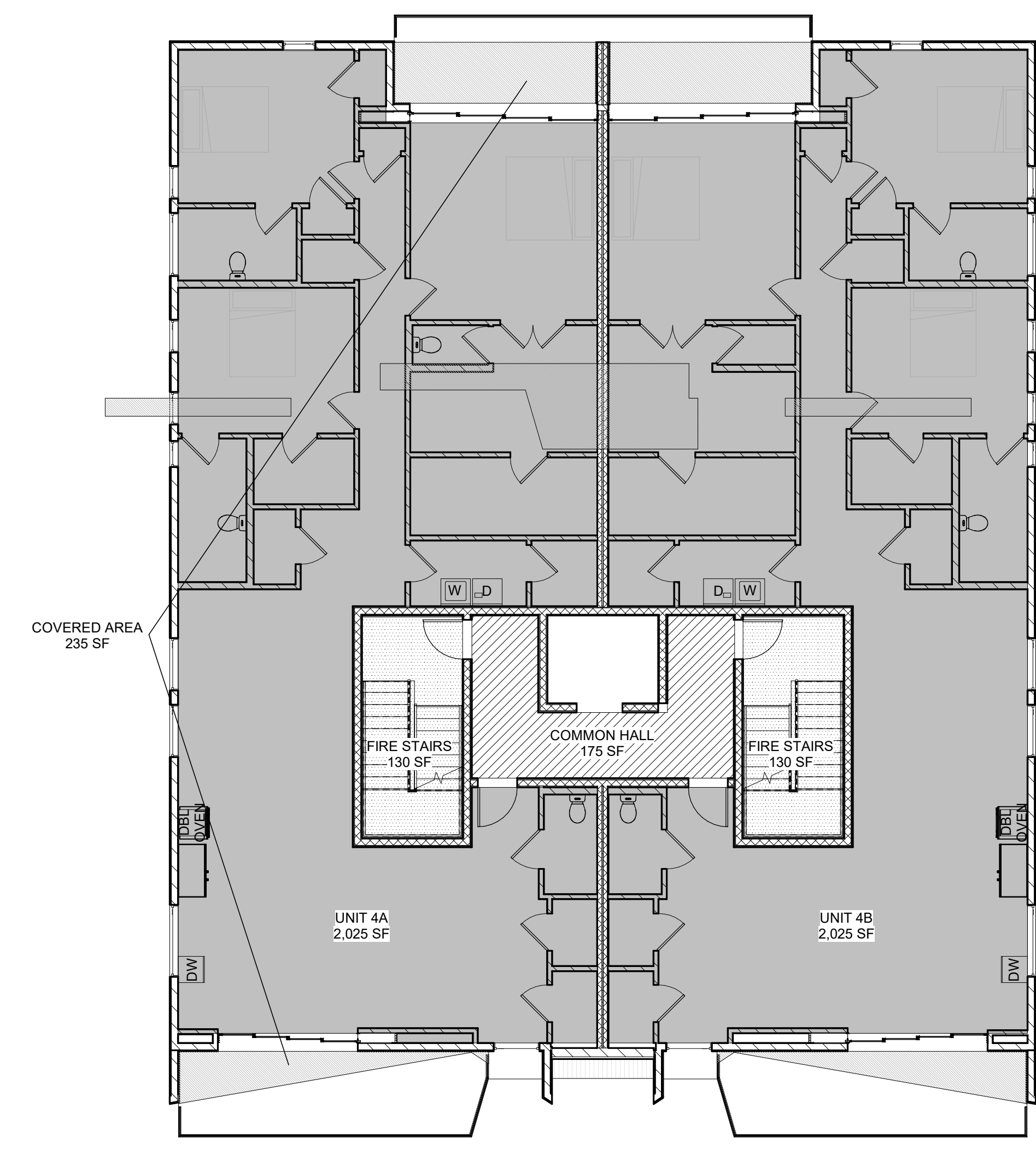
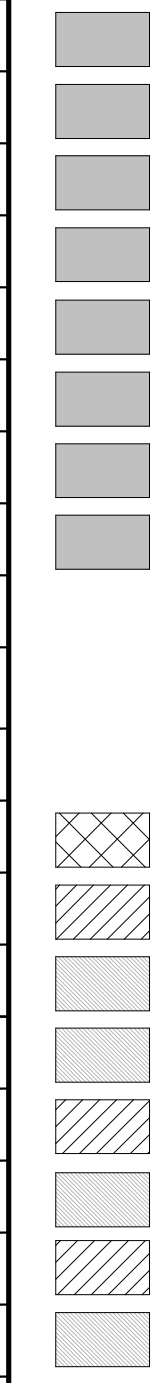


BUILDING CODE SF 15,578 SF

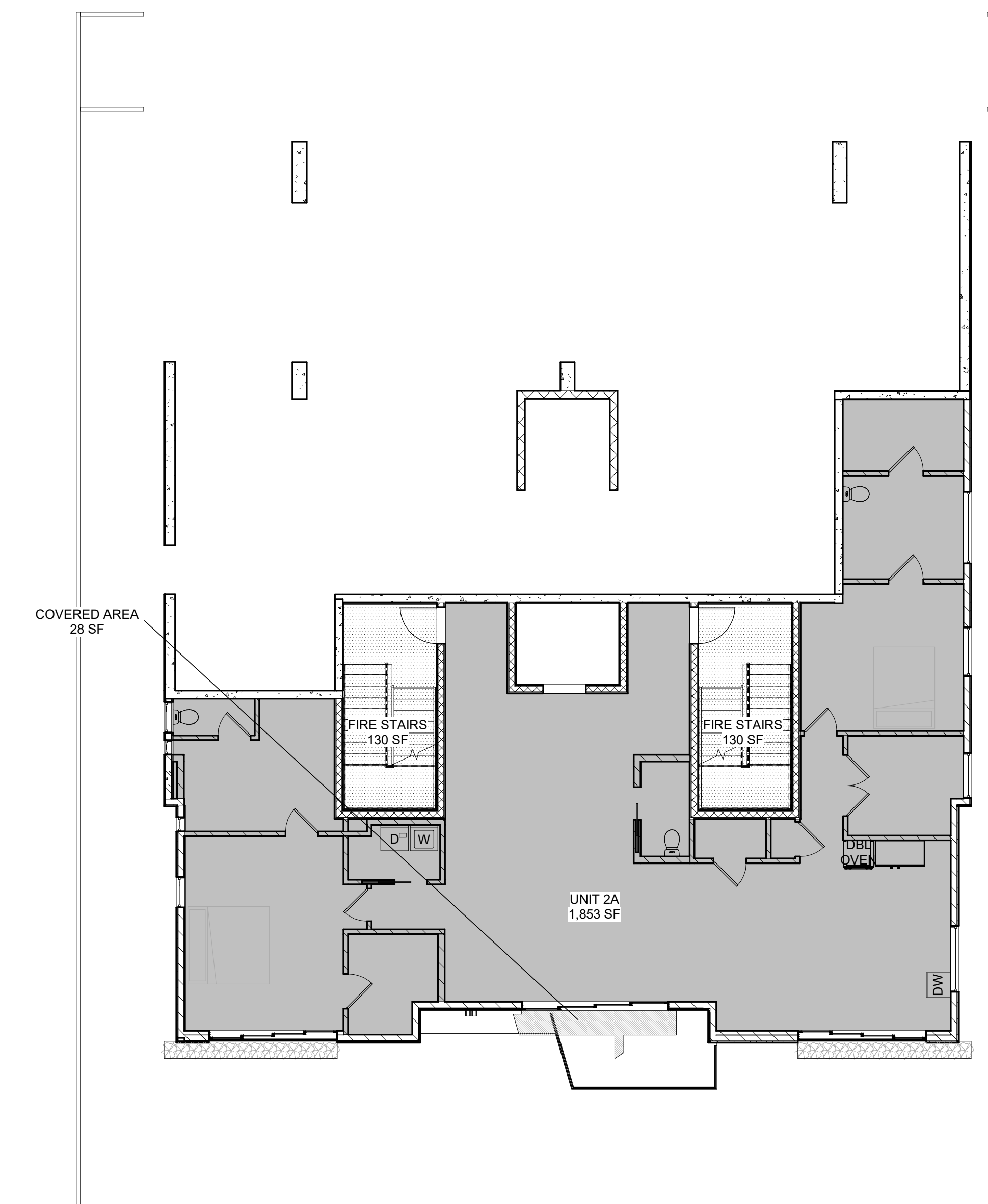
RESIDENTIAL		
DWELLING UNIT #	# OF BEDROOMS	DWELLING UNIT S.F.
1A	1 BED / 1 BATH	485 S.F.
1B	1 BED / 1 BATH	488 S.F.
1C	1 BED / 1 BATH	515 S.F.
2A	2 BED / 2.5 BATH	1,833 S.F.
3A	3 BED / 3.5 BATH	2,025 S.F.
3B	3 BED / 3.5 BATH	2,025 S.F.
4A	3 BED / 3.5 BATH	2,025 S.F.
4B	3 BED / 3.5 BATH	2,025 S.F.
TOTAL		= 11,421 S.F.

BUILDING MATRIX		
FLOOR #	ROOM	AREA
1ST	GARAGE	2,433 S.F.
1ST	LOBBY'S	284 S.F.
1ST	COVERED AREA	142 S.F.
2ND	COVERED AREA	28 S.F.
3RD	COMMON HALLWAY	175 S.F.
3RD	COVERED AREA	513 S.F.
4TH	COMMON HALLWAY	175 S.F.
4TH	COVERED AREA	235 S.F.
TOTAL		= 4,985 S.F.

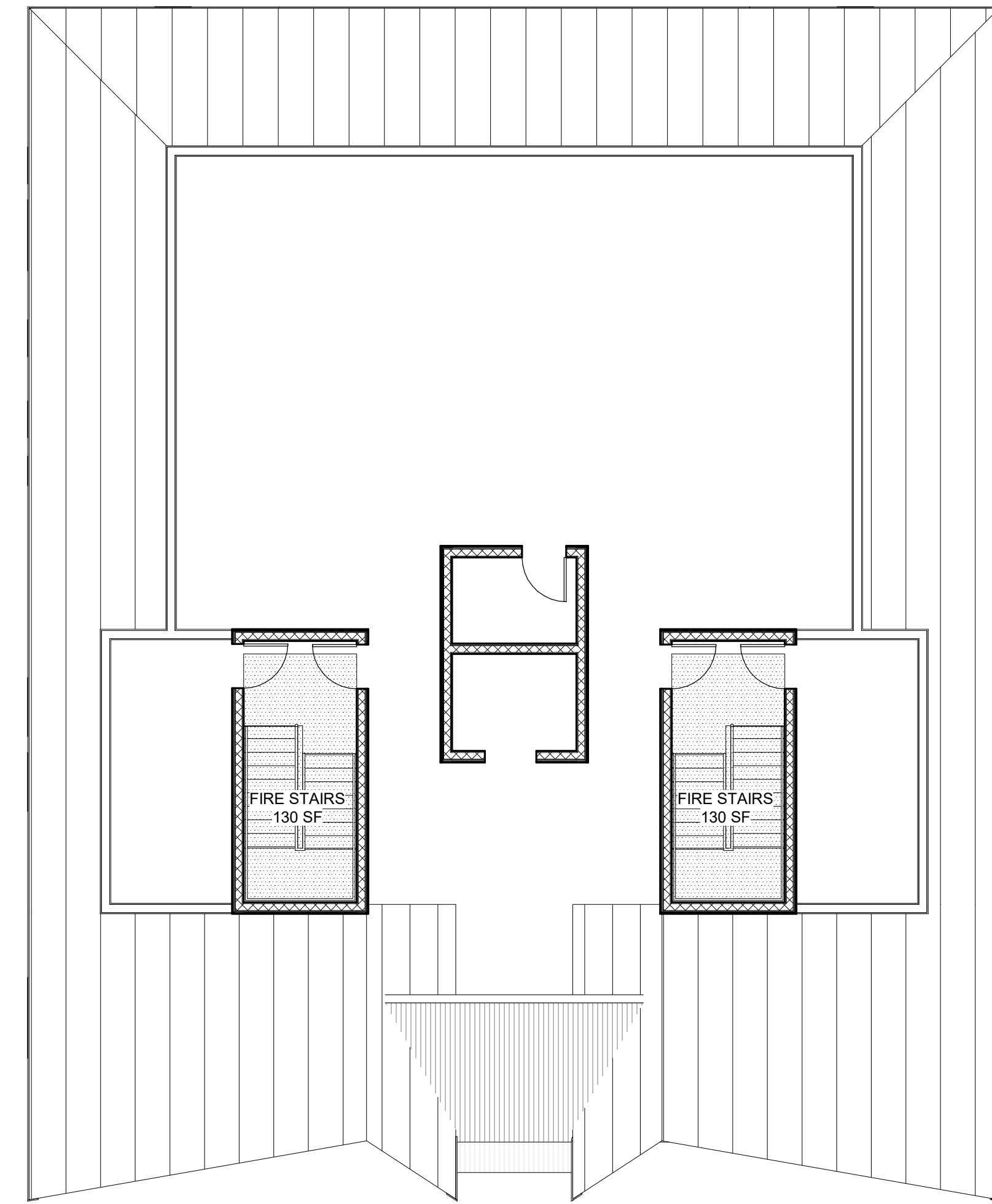
NOT COUNTED TOWARDS BUILDING CODE SF		
1ST	STAR A-1	130 S.F.
1ST	STAR A-2	130 S.F.
1ST	BIKE STORAGE	155 S.F.
1ST	RECYCLING / TRASH	70 S.F.



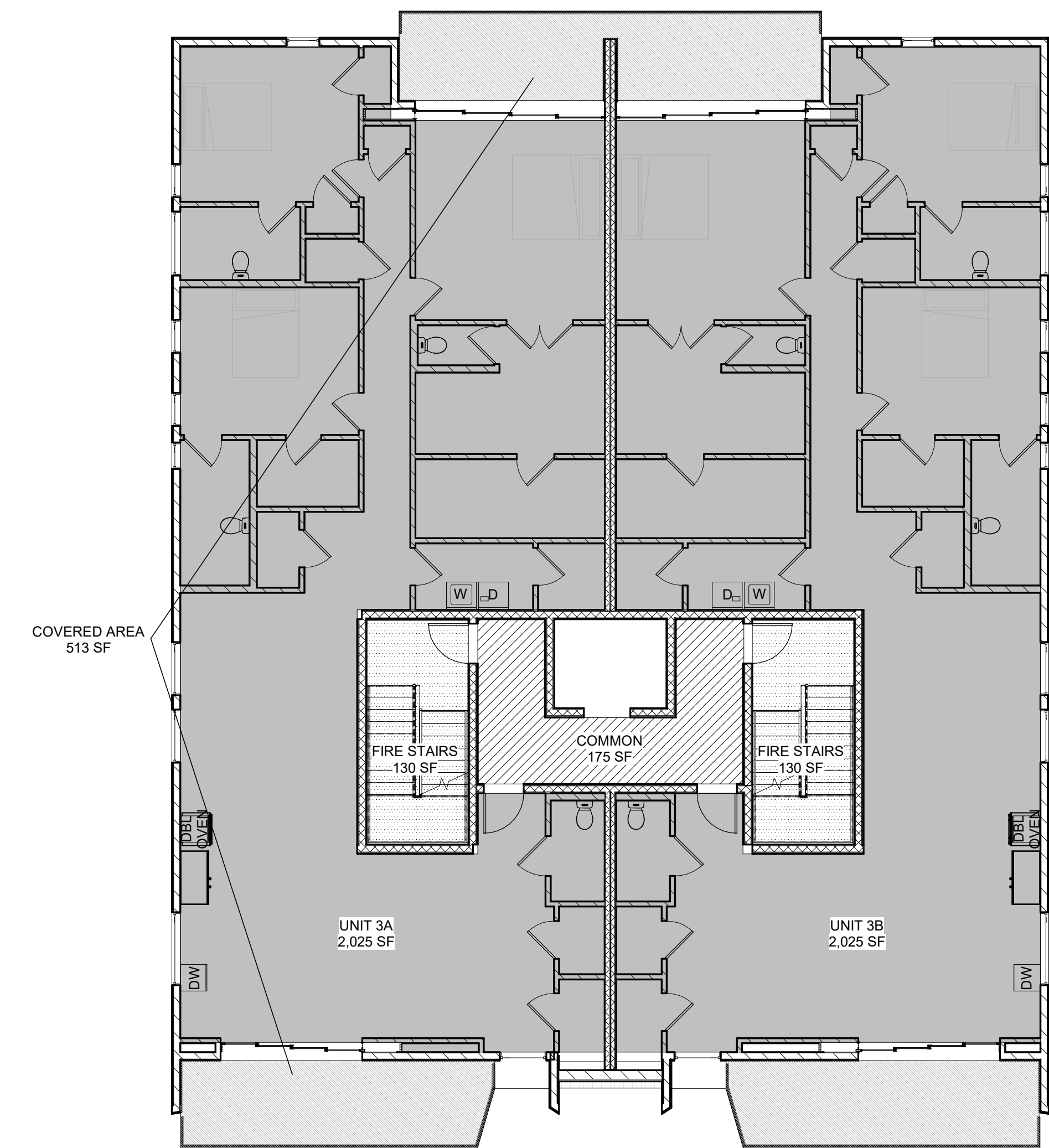
4TH FLOOR - BUILDING CODE SF 1/8" = 1'-0" 4



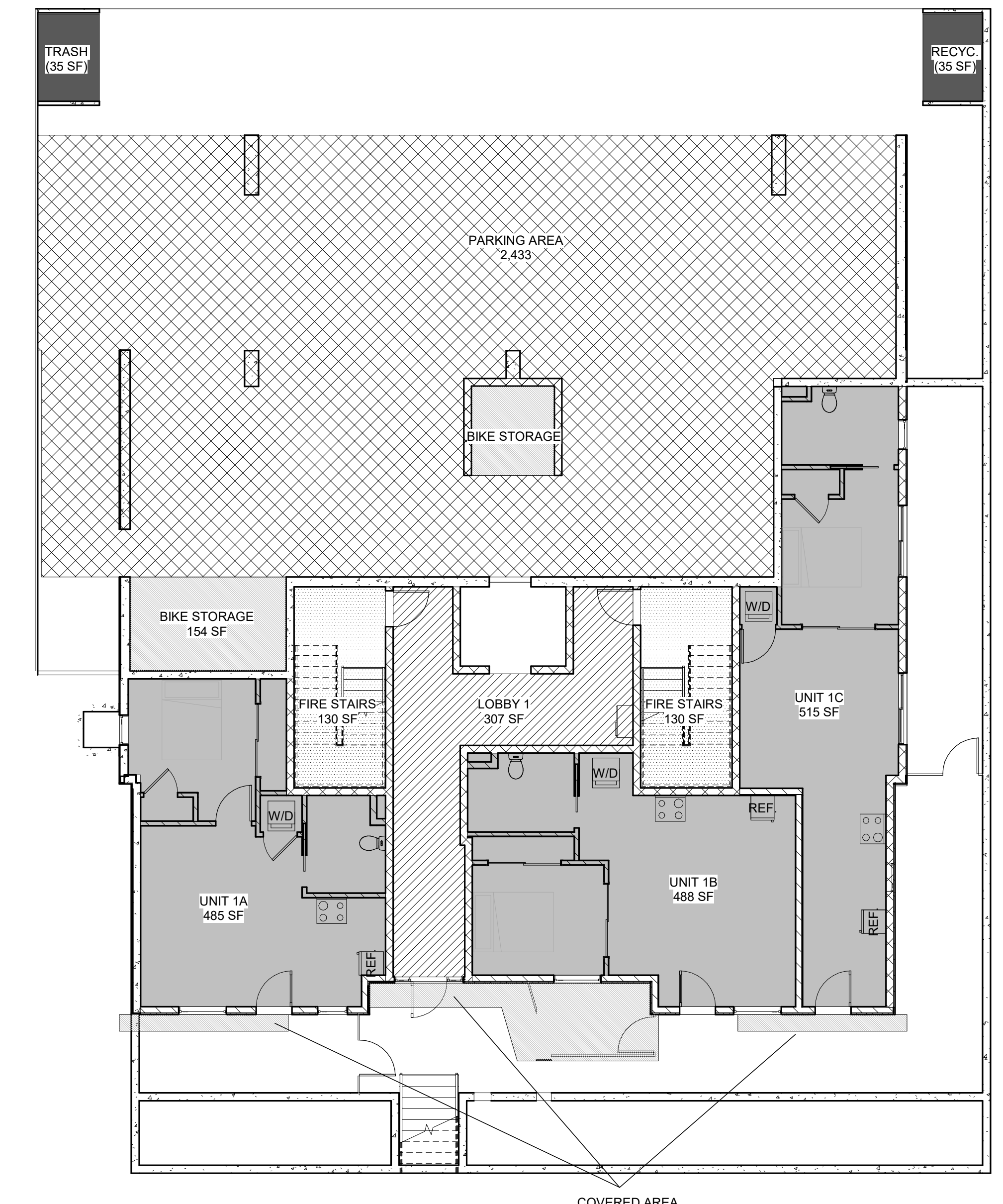
2ND FLOOR - BUILDING CODE SF 1/8" = 1'-0" 2



ROOF PLAN - BUILDING CODE SF 1/8" = 1'-0" 5



3RD FLOOR - BUILDING CODE SF 1/8" = 1'-0" 3



1ST FLOOR - BUILDING CODE SF 1/8" = 1'-0" 1

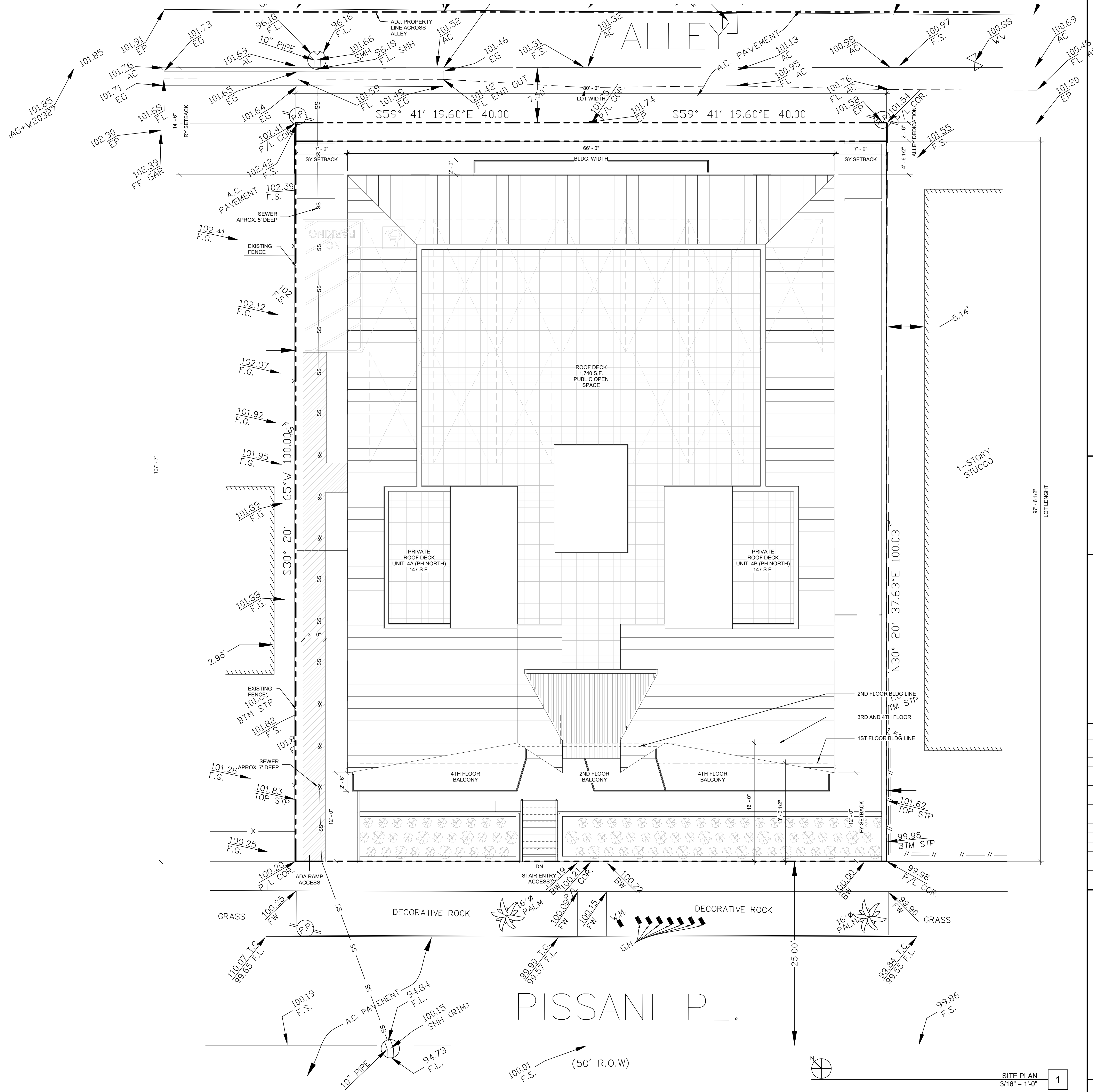


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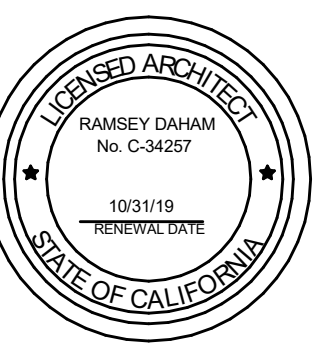
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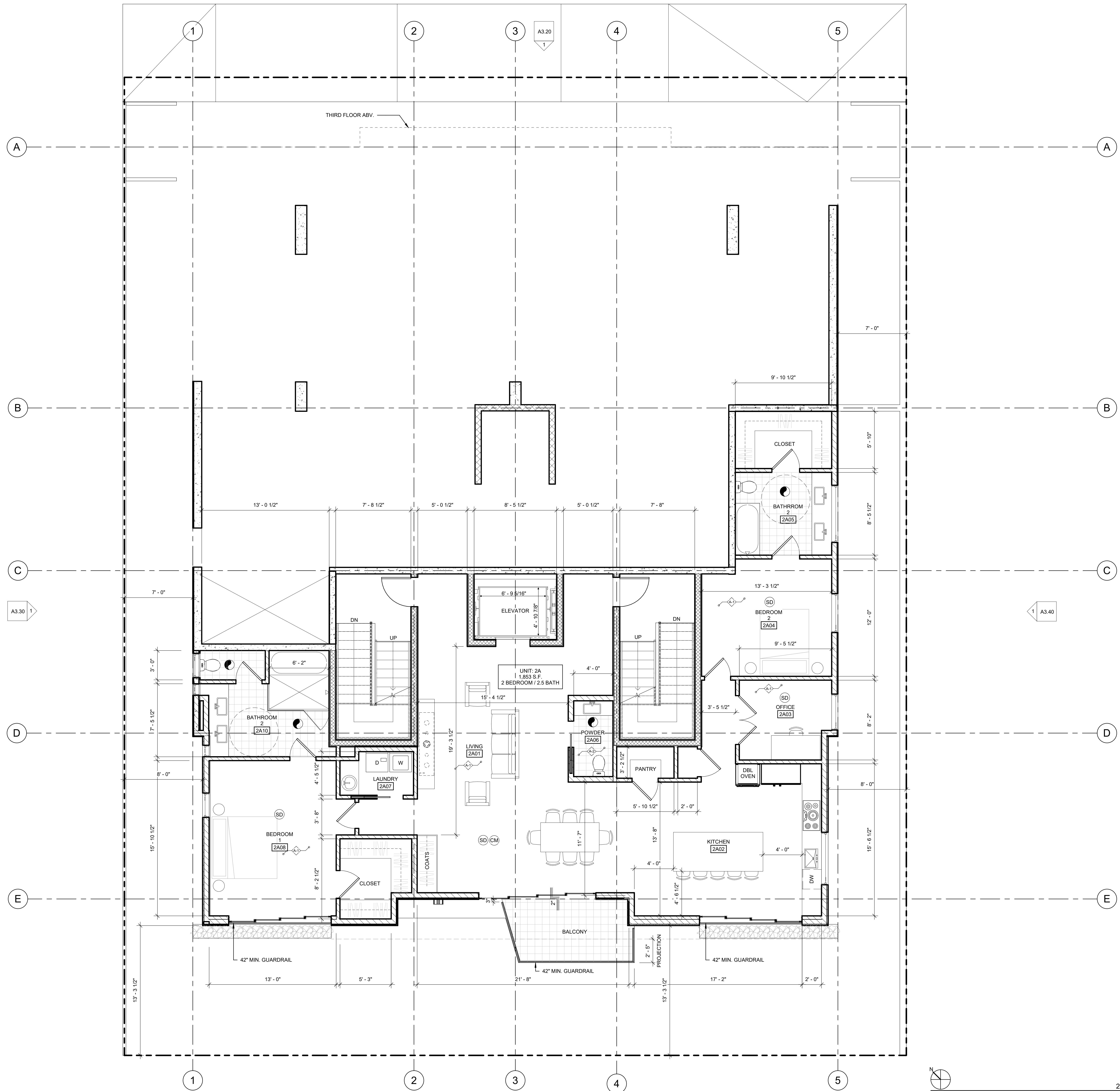
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SITE PLAN

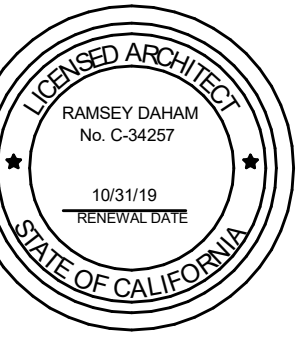
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- ASSEMBLY TYPES**
- | WALLS | FLOORS |
|----------------------------------------------|---------------------------------------------------|
| ① 12" CONC. PER STRC. | ① CONC FLOOR PER STRC. W/ WOOD FINISH |
| ② 8" CMU PER STRC. | ② CONC FLOOR PER STRC. W/ TILE FINISH |
| ③ 1HR 2X6 EXTERIOR WALL ASSM. | ③ CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH |
| ④ 2X6 EXTERIOR WALL ASSM. | ④ WOOD JOIST PER STRC. W/ WOOD FINISH |
| ⑤ 2X4 & 2X6 INTERIOR WALL ASSM. | ⑤ WOOD JOIST PER STRC. W/ POLISHED CONC. FINISH |
| ⑥ 2X6 PLUMBING WALL ASSM. | ⑥ WOOD JOIST W/ WOOD DECK PER SPEC. |
| ⑦ 1HR DBL. 2x4 INTERIOR WALL ASSM. | ⑦ WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. |
| ⑧ 2HR 2x6 VERTICAL EXIT ENCLOSURE WALL ASSM. | |
| ⑨ 10" CONC. PER STRC. | |

- FLOOR PLAN LEGEND**
- FLOOR TYPE
 - 1 HR
 - 2 HR
 - SMOKE DETECTOR
 - CARBON MONOXIDE
 - EXHAUST (GENERAL NOTES #2,3)
 - WINDOW TAG
 - DOOR TAG
 - WALL TYPE
 - ELEVATION MARKER
 - PROPERTY LINE
 - ACCESSIBLE ROUTE



2ND FLOOR
1/4" = 1'-0" 1



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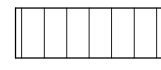
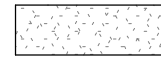




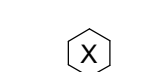
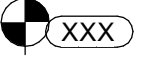
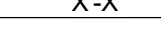

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2ND FLOOR PLAN

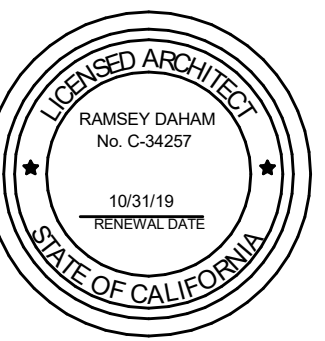
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ELEVATION LEGEND

-  VERTICAL STANDING SEAM ROOF
-  STUCCO
-  2\" - BLACK - VERTICAL - METAL PANEL
-  2X2 - WOOD SIDING
-  PROPERTY LINE (PL)
-  1 HR
-  2 HR
-  WINDOW TAG
-  DOOR TAG
-  ELEVATION MARKER



PROPOSED WEST ELEVATION
1/4\" = 1'-0\"



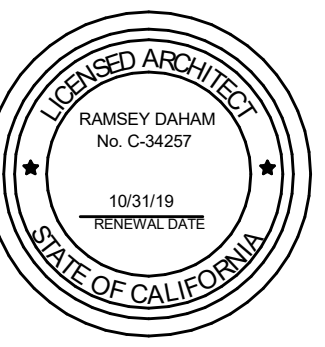
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ELEVATIONS

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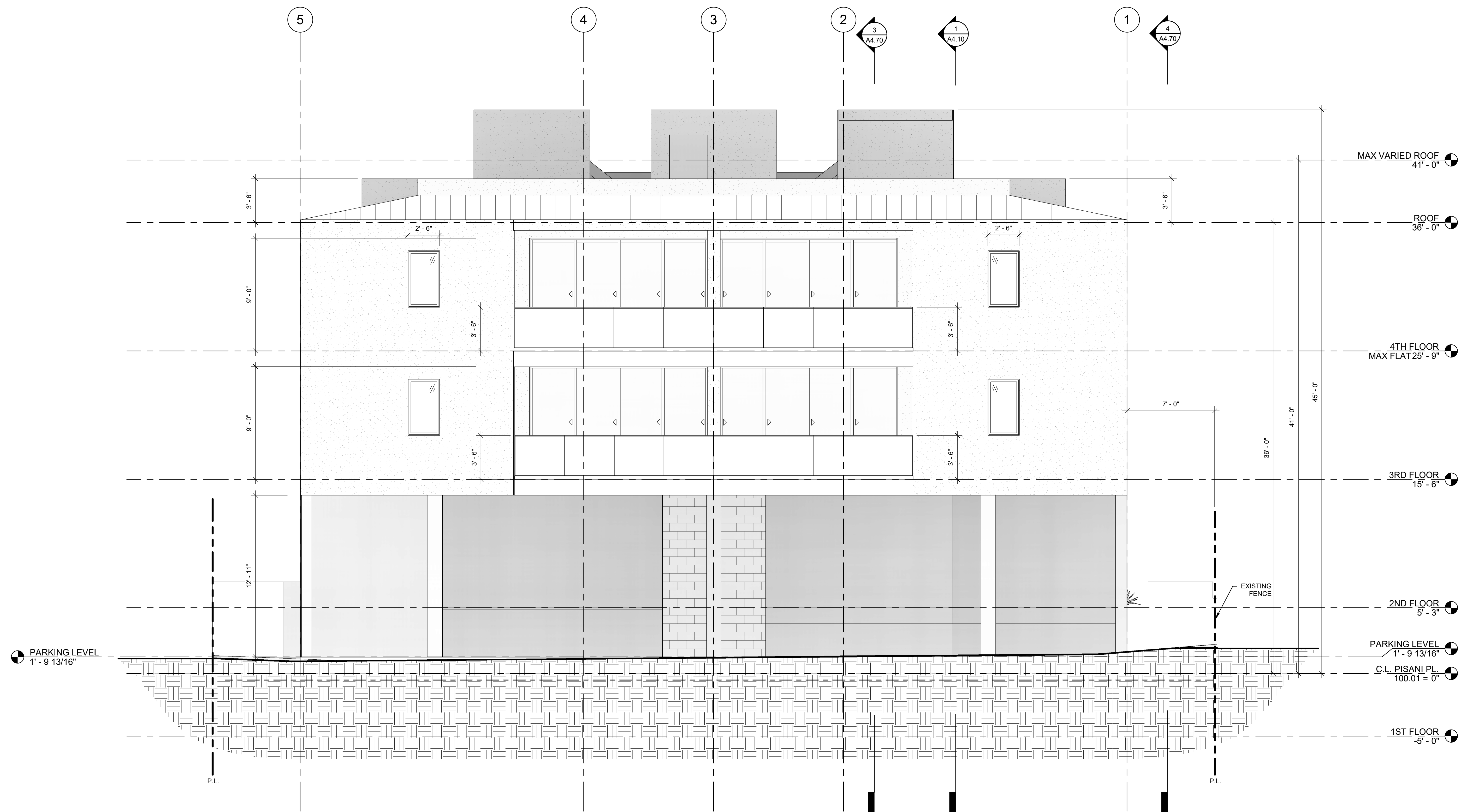
Revision Schedule

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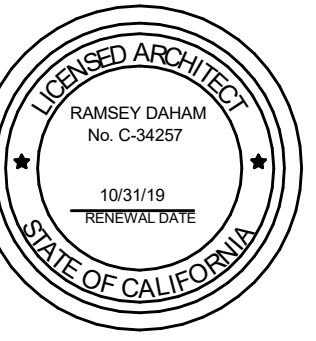
ELEVATIONS

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- ELEVATION LEGEND**
- VERTICAL STANDING SEAM ROOF
 - STUCCO
 - 2" - BLACK - VERTICAL - METAL PANEL
 - 2X2 - WOOD SIDING
 - PROPERTY LINE (PL)
 - 1 HR
 - 2 HR
 - WINDOW TAG
 - DOOR TAG
 - ELEVATION MARKER



PROPOSED EAST ELEVATION
 1/4" = 1'-0"



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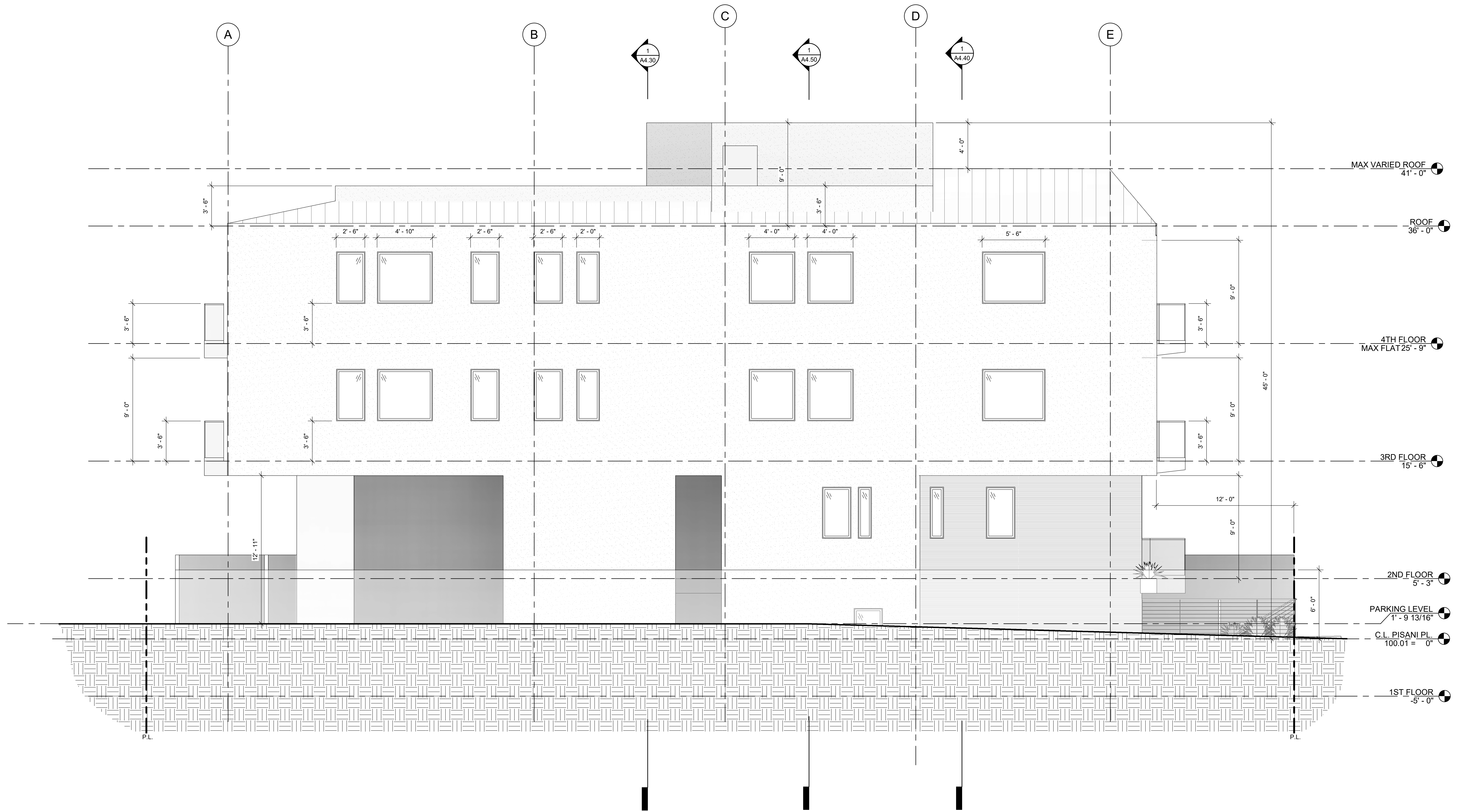
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ELEVATIONS

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- ELEVATION LEGEND**
- VERTICL STANDING SEAM ROOF
 - STUCCO
 - 2" - BLACK - VERTICAL - METAL PANEL
 - 2X2 - WOOD SIDING
 - PROPERTY LINE (PL)
 - 1 HR
 - 2 HR
 - WINDOW TAG
 - DOOR TAG
 - ELEVATION MARKER



PROPOSED NORTH ELEVATION
1/4" = 1'-0"

1



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ELEVATIONS

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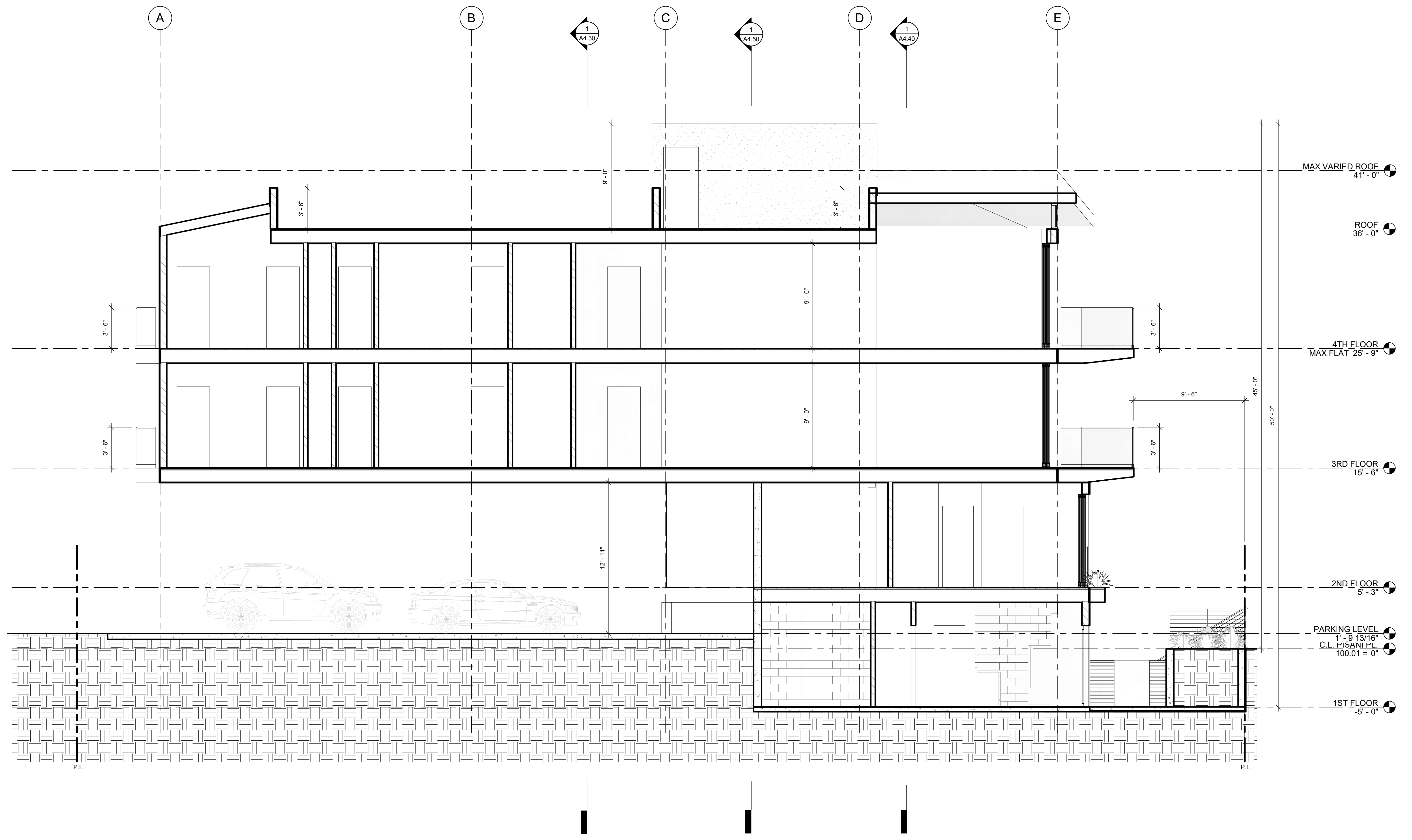
- ELEVATION LEGEND**
- VERTICAL STANDING SEAM ROOF
 - STUCCO
 - 2" - BLACK - VERTICAL - METAL PANEL
 - 2X2 - WOOD SIDING
 - PROPERTY LINE (PL)
 - 1 HR
 - 2 HR
 - WINDOW TAG
 - DOOR TAG
 - "X"-"



PROPOSED SOUTH ELEVATION
1/4" = 1'-0" 1

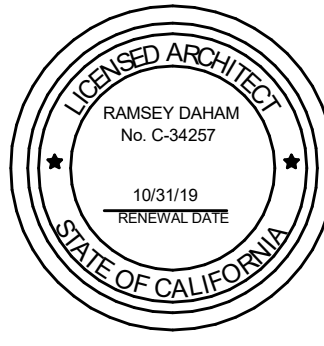
SECTION LEGEND

- 1 HR
- 2 HR
- ⊕ X-X' ELEVATION MARKER
- - - - - PROPERTY LINE



PROPOSED SECTION A
1/4" = 1'-0"

1



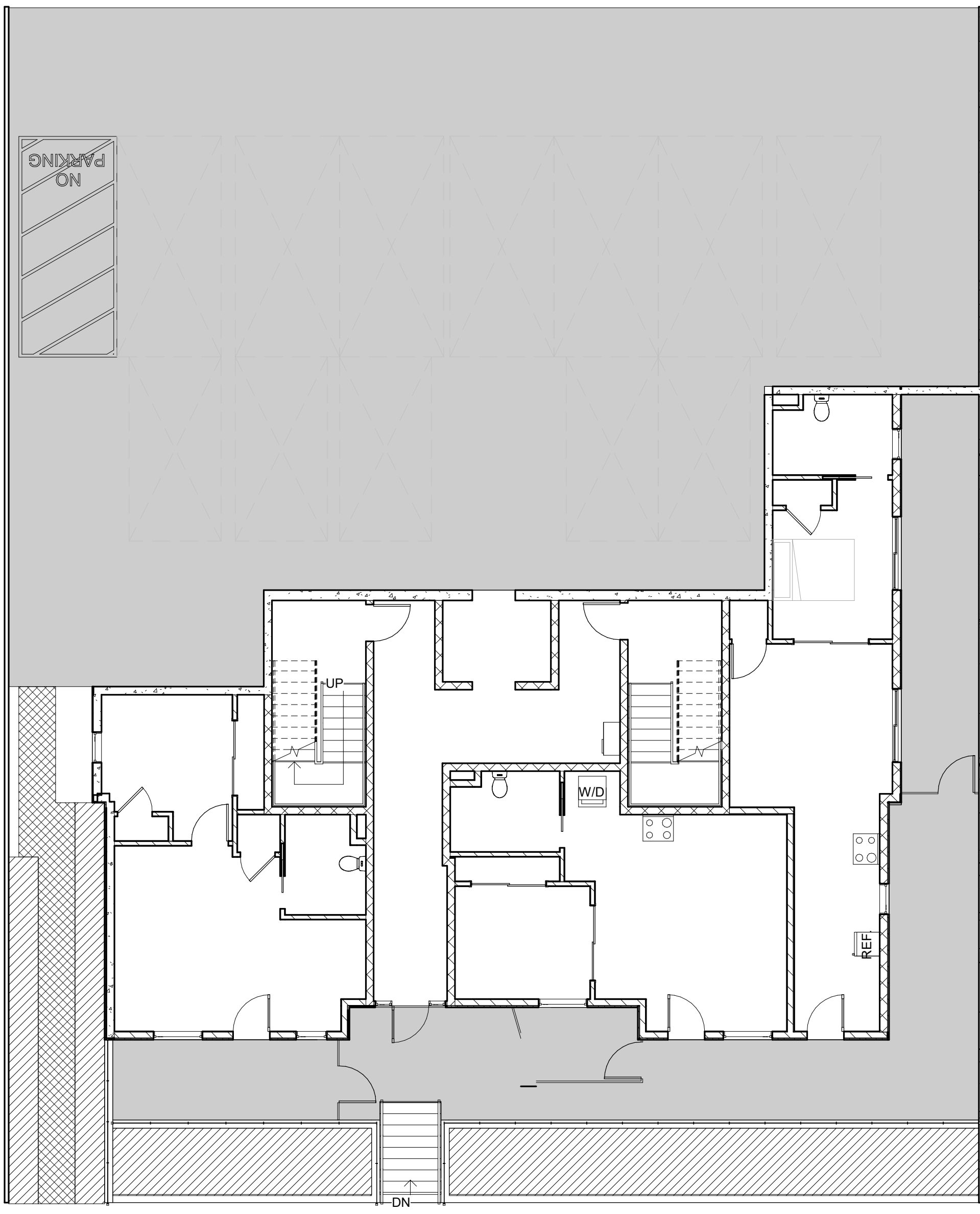
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PROPOSED SECTIONS

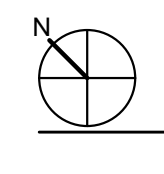
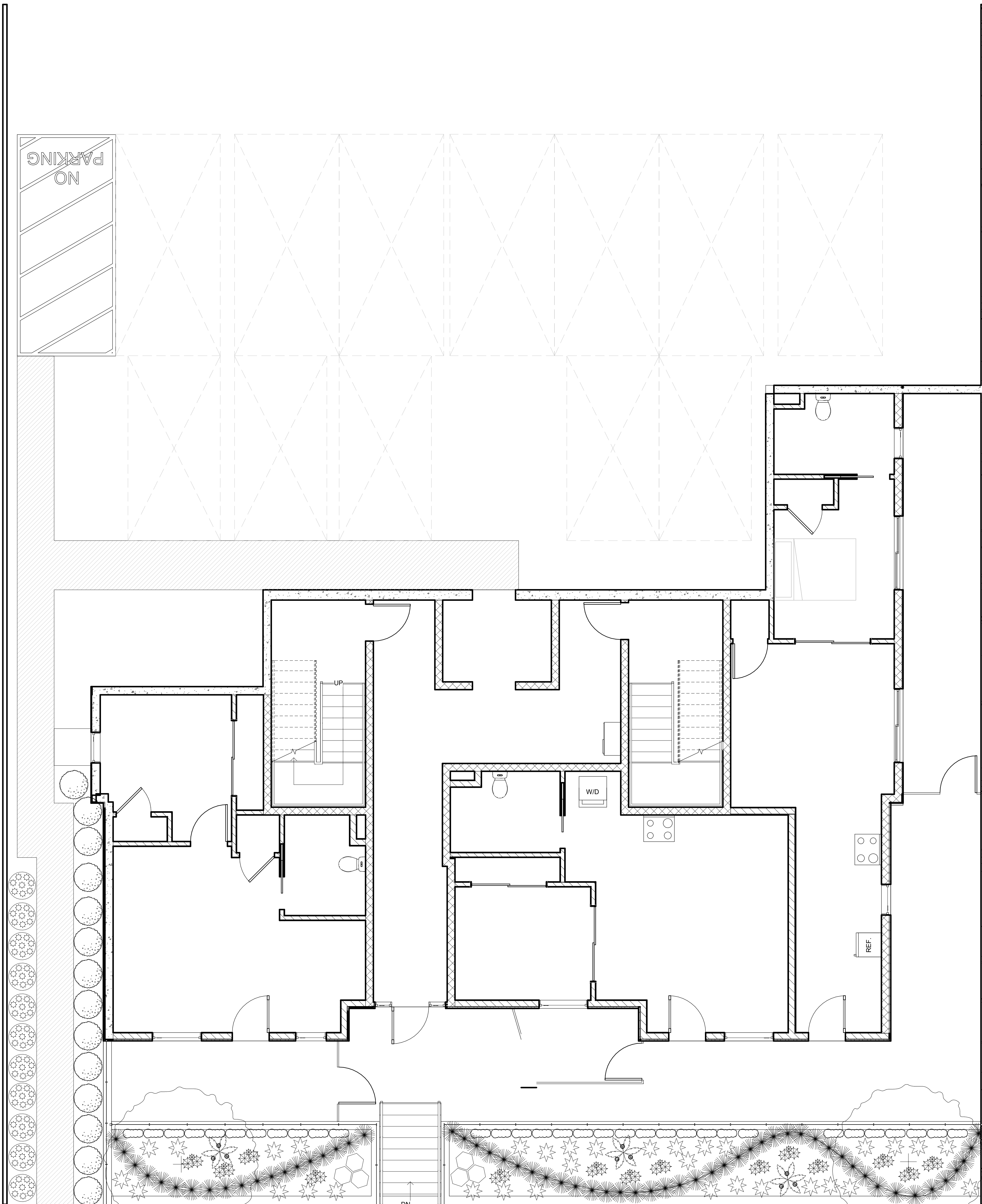
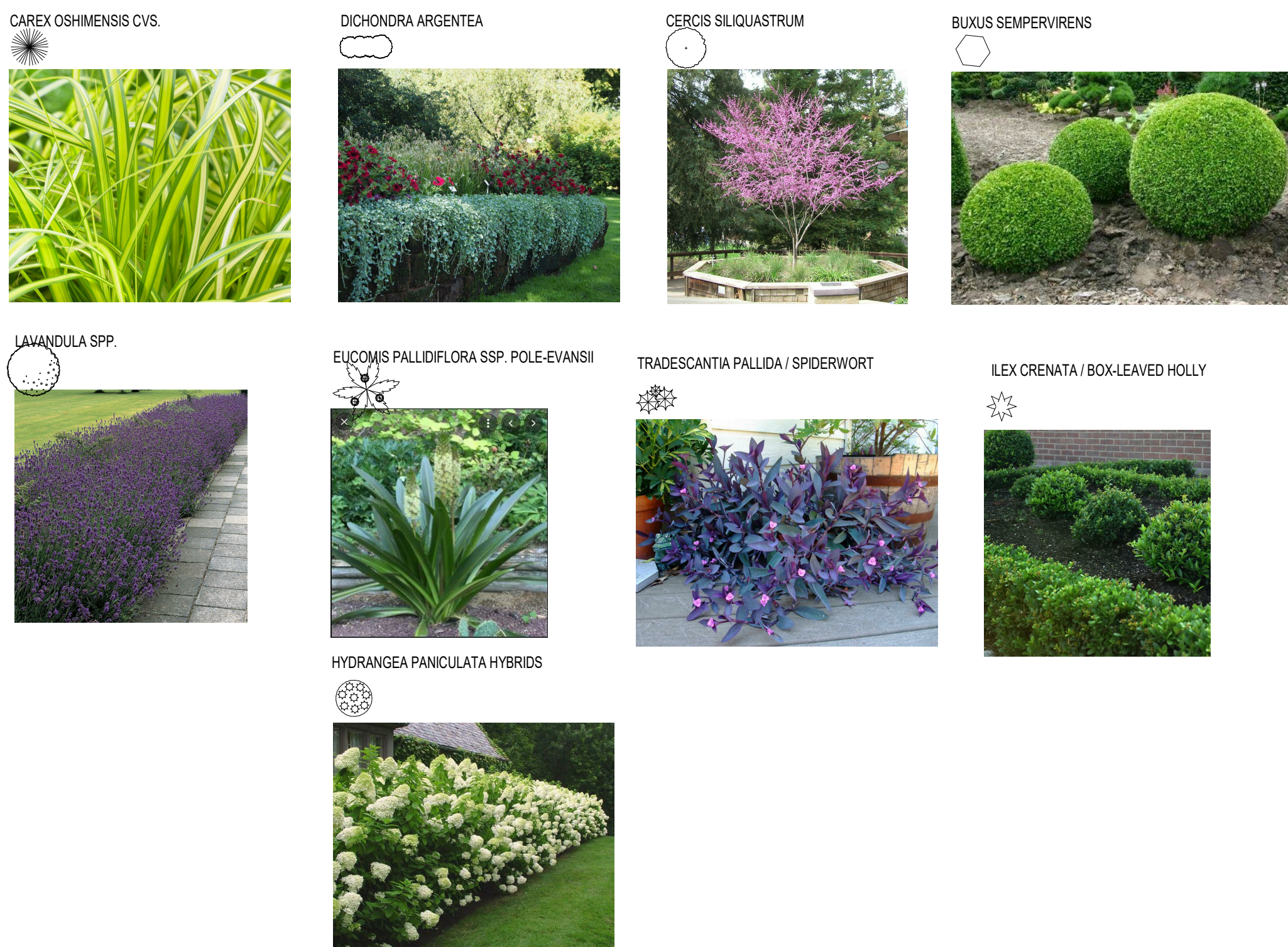
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LANDSCAPE		HARDSCAPE	
TURF AREA	0 S.F.	PERMEABLE	134 S.F.
PLANT AREA	500 S.F.	IMPERVIOUS	4,403 S.F.
TOTAL	500 S.F.	TOTAL	4,537 S.F.

LANDSCAPE PLAN 2
1/8" = 1'-0" 2

PLANTING LEGEND								
SYMBOL	QTY.	SIZE	SPACING	BOTANICAL NAME / COMMON NAME	NATIVE	WUCOLS WATER USE TYPES	WATER USE VALUES	HYDRO ZONE
	59	1'-1.5'	12"	CAREX OSHIMENSIS CVIS.	NO	MED	0.5	2
	25	N/A	18"-24" SPREADING	DICHONDRA ARGENTEA	NO	MED	0.5	2
	2	15'-25'	N/A	CERCIS SILIQUASTRUM	NO	MED	0.4	2
	6	5'-15'	5'-15'	BUXUS SEMPERVIRENS	NO	MED	0.4	2
	14	2'-3'	1'-2'	LAVANDULA SPP.	NO	LOW	0.3	1
	3	4'-6'	2'-3'	EUCOMIS PALLIDIFLORA SSP. POLE-EVANSII	NO	MED	0.5	2
	14	38"-48"	24"-38"	TRADESCANTIA PALLIDA / SPIDERWORT	NO	MED	0.4	2
	33	24"-36"	24"-36"	ILEX CRENATA / BOX-LEAVED HOLLY	NO	MED	0.4	2
	11	6'-8'	4'	HYDRANGEA PANICULATA HYBRIDS	NO	MED	0.4	1



LANDSCAPE PLAN 3
1/4" = 1'-0" 1

PROJECT SUMMARY:	NEW 8-UNIT MULTI-FAMILY RESIDENTIAL FOUR STORY BUILDING WITH PARKING. *UTILIZING INCENTIVES PER LAMC 12.22A.25
SCOPE OF WORK:	NEW FOUNDATION, STRUCTURE, ENCLOSURE CONSTRUCTION (MECHANICAL / ELECTRICAL / PLUMBING) OF NEW 8 UNIT MULTI-FAMILY RESIDENCES.
PROJECT ADDRESS:	2308 PISANI PLACE, VENICE, CA 90291
NET LOT AREA (AFTER DEDICATIONS):	7,800 S.F.
ZONE:	R3-1
NUMBER OF STORIES:	FOUR (4)
MAX HEIGHT:	41'-0" W/ VARIED ROOF, 38'-0" FLAT
TOTAL PARKING:	12 SPACES
TRACT:	VENICE GATEWAY
BLOCK:	N
LOT:	14, 15
ASSESSOR PARCEL NUMBER (APN):	4237009010
GROSS LOT AREA:	8,000 S.F.
BUILDABLE LOT AREA:	5,425 S.F.
RESIDENTIAL S.F.:	11,447 S.F.
PARKING S.F.:	2,433 S.F.
PROJECT TOTAL S.F.:	15,016 S.F.
NUMBER OF DWELLING UNITS:	EIGHT (8)
OPEN SPACE S.F.:	1,615 S.F.
CONSTRUCTION TYPE:	TYPE V-A
SPRINKLER:	NFPA-13

- PLANTING NOTES**
- QUANTITIES GIVEN FOR PLANT MATERIALS SPECIFIED FOR "ON CENTER" SPACING ARE SHOWN FOR CONVENIENCE ONLY AND ARE SUBORDINATE TO THE SPACING GIVEN. VERIFY AND SUPPLY SUFFICIENT NUMBER OF PLANTS TO FULFILL SPACING REQUIREMENTS.
 - ALL HEADER AND BAMBOO ROOT BARRIERS SHALL BE LOCATED BY THE ARCHITECT ON SITE.
 - CONTRACTOR SHALL INSTALL PLANT MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS AND DETAILS.
 - CONTRACTOR SHALL PROVIDE A MAINTENANCE PERIOD OF NOT LESS THAN 90 DAYS COMMENCING AT THE DATE OF FINAL ACCEPTANCE. SUCH MAINTENANCE SHALL INCLUDE ALL CARE PERTAINING TO ALL WORK INSTALLED AS PART OF THESE CONTRACT DOCUMENTS.
 - THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.
 - THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED.
 - REMOVE ALL DEBRIS, WEEDS, EXCESS MATERIAL AND ROCKS LARGER THAN 1" IN DIAMETER FROM PLANTING AREAS PRIOR TO PREPARATION & AGAIN PRIOR TO PLANTING.
 - SEE DETAILS AND SPECIFICATIONS FOR STAKING METHOD, PLANT PIT DIMENSIONS, SOIL PREPARATION, AND BACKFILL REQUIREMENTS.
 - ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.
 - GROUND COVER PLANTING SHALL BE CONTINUOUS UNDER ALL TREES AND SHRUBS. GROUND COVER SHALL BE PLANTED ACCORDING TO SPACING ON PLANT LEGEND.
 - TREES SHALL BE LOCATED A MINIMUM OF 5' FROM WALLS, OVERHEADS, WALKS, HEADERS, AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTORS LIABILITY TO RELOCATE THE MATERIALS.
 - ALL PLANTING AREAS SHALL BE LOOSENEED TO A DEPTH OF 8". APPLY 4 C.Y. OF ORGANIC AMENDMENT AND 15 LBS. OF 10-10-10 FERTILIZER PER 1000 S.F. AND BLEND WITH THE TOP 6" OF SOIL. THIS AMENDMENT IS FOR BIDDING PURPOSES, AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.
 - FOR ALL TREES AND SHRUB PLANTING, THE FOLLOWING PREPARED SOIL MIX SHALL BE USED FOR BACKFILL IN THE PLANTERS. THIS MIX IS FOR BIDDING PURPOSES, AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.
SITE SOIL - 6 PARTS BY VOLUME
ORGANIC AMENDMENT - 4 PARTS BY VOLUME
SOIL CONDITIONER / FERTILIZER 10-10-10 - 1 LB. PER C.Y. OF MIX
IRON SULFATE - 2 LBS. PER C.Y. OF MIX
 - TURF IS NOT ALLOWED ON SLOPES GREATER THAN 25% WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE.
 - RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
 - A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
 - FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
 - I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE THAT COMPLIES WITH THE PERFORMANCE APPROACH.
- DATE _____ SIGNED _____

- IRRIGATION NOTES**
- CONTRACTOR IS TO AUGMENT EXISTING IRRIGATION SYSTEM. CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING LANDSCAPE AND IRRIGATION DAMAGED FROM CONSTRUCTION TO AN ACCEPTABLE LANDSCAPE CONDITION WITH A FULLY FUNCTIONAL AND EFFICIENT IRRIGATION SYSTEM PER THE CONTAINED CONDITIONS.
 - ALL NEW TREES REQUIRE INDIVIDUAL POP-UP STREAM BUBBLERS, MIN. 2 PER TREE, WITHIN 4' OF TREE. TREE IRRIGATION SHALL BE ON A SEPARATE VALVE.
 - SPRAY OR ROTOR HEADS SHALL BE ON POP-UPS: 6" FOR LAWN, LOW GROUND COVER OR PARKED CAR OVERHANG AREAS, 12" FOR SHRUB AREAS. HEADS ON RISERS ARE ONLY ALLOWED ADJACENT TO WALLS WITH LIMITED SPACE FOR POP-UPS.
 - LOCATE SPRAY HEADS 24" FROM NON-PERVIOUS PAVING TO PREVENT OVERSPRAY. EXCEPTION ALLOWED IF ADJACENT SURFACE IS PERMEABLE OR IF USING ALTERNATIVE TECHNOLOGY IRRIGATION. ROTATOR OR ROTARY HEADS MAYBE LOCATED 12" FROM PAVING.
 - CONTRACTOR SHALL REPLACE ANY EXISTING IRRIGATION CONTROLLER WITH A MODULE AND SENSOR TO PROVIDE WEATHER BASED INFORMATION THAT WILL AUTOMATE THE IRRIGATION RUNTIMES BASED ON WEATHER. SEE HUNTER SOLAR SYNC, RAINBIRD ET MANAGER OR EQUIVALENT.
 - THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.
 - SIXTY DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMIT TO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION (12-40 G LAMC.)
 - THE DEVELOPER/BUILDER SHALL GUARANTEE ALL TREES AND IRRIGATION FOR A PERIOD OF SIX MONTHS AND ALL OTHER PLANS FOR A PERIOD OF 60 DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION.
 - PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
 - CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

STATEMENTS AND CERTIFICATION

- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

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Revision Schedule	
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LANDSCAPE PLAN

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SCALE _____ AS NOTED

JOB # _____ 16080

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