







**Luxer Lockers Specifications**

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### Outdoor Locker Tower Specifications

1 of 2 (Continued on next page)

89.5" HIGH (UNEVELED)

- 15-DOOR MAIN**
  - 15 doors
  - Touchscreen
  - Battery back-up
  - Large retention and electronics
  - One main unit is required with every installation.
  - Weight: 550 lbs.
- 17-DOOR ADD-ON**
  - 2 large doors
  - 4 medium doors
  - 10 small doors
  - Add as many as you need.
  - Weight: 550 lbs.
- 14-DOOR ADD-ON**
  - 14 medium doors
  - Add as many as you need.
  - Weight: 550 lbs.

Brackets required on exposed sides of locker bank. Brackets add 2" width to locker bank footprint on each side.

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### Outdoor Locker Tower Specifications

2 of 2 (Continued from previous page)

89.5" HIGH (UNEVELED)

- OVERSIZED**
  - 1 oversized door
  - 4 large doors
  - 10 small doors
  - Add as many as you need.
  - Weight: 600 lbs.
- 4-DOOR ADD-ON**
  - 4 extra tall doors
  - Add as many as you need.
  - Weight: 400 lbs.
- 24-DOOR ADD-ON**
  - 4 medium doors
  - 20 small doors
  - Add as many as you need.
  - Weight: 400 lbs.

Brackets required on exposed sides of locker bank. Brackets add 2" width to locker bank footprint on each side.

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### Locker Compartment Dimensions

OVERSIZED: 37.25" x 25.75" x 21.5"

EXTRA-TALL: 15" x 22" x 17.53"

LARGE: 15" x 18.75" x 17.53"

MEDIUM: 15" x 17.53" x 17.53"

SMALL: 15" x 15" x 17.53"

EXTRA SMALL: 7.5" x 15" x 17.53"

COMPARTMENT DIMENSIONS (grey arrow)

DOOR DIMENSIONS (yellow arrow)

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TECHNICAL SPECIFICATIONS	INDOOR LOCKERS	OUTDOOR LOCKERS
<b>Leveling</b>	Leveling feet	Leveling feet Outdoor mounting brackets
<b>Operating Temperature</b>	41°F to 113°F (5°C to 45°C)	-4° to 113°F (-20°C to 45°C)
<b>Humidity</b>	0-95% RH, non-condensing	
<b>Power Consumption</b>	.4A nominal   1A peak* Luxer Fridge: 1.5A *Based on single row of up to 8 locker towers including Main	.7A nominal 6.25 peak*
<b>AC Voltage</b>	Recommended: 120VAC Minimum: 110VAC 50/60Hz nominal	
<b>Ethernet/Data</b>	CAT5 with RJ45 jack Minimum upload speed: 1.5MB DHCP connection with open port preferred <small>Cellular and WiFi connectivity options available as an alternative to Ethernet</small>	

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### Outdoor Lockers: What's Included

- Roof Package**
  - Required for outdoor installs, unless located under an enclosed area.
  - Protects unit from the elements.
  - Provides mount for LED lights for nighttime illumination.
  - Provides mount for surveillance cameras.
- Electronics Package**
  - Protects the computer from extreme heat and cold.
  - Keeps the electronics dry contained in the main unit, and provides airflow and temperature modulation.
- Camera Package**
  - Weather-proof outdoor-compliant camera.
  - Mounts to roof package.
- Outdoor Mounting Package**
  - Brackets included for anchoring towers to the concrete pad.
  - Requires use of concrete anchors.
  - Please notify us if your installation site is located in an extreme weather region.

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### Outdoor Lockers: Installation Requirements

- Power & Data**
  - Power: 120VAC, 50/60Hz from 20A electrical disconnect. Outdoor-rated #12 electrical wire run from an accessible outdoor-rated disconnect in 3/4" conduit. Disconnect must be able to complete connectivity.
  - Ethernet: Outdoor-rated CAT6 cable run in 3/4" conduit. Ethernet cable terminated with an RJ45 sp.
  - Cellular connectivity option available as an alternative to ethernet.
- Video Surveillance**
  - Luxer One provides 24/7 video surveillance.
  - One (1) surveillance camera is included.
  - One camera needed for every four lockers.
  - Footage is available for ten (10) days.
  - Your team may request footage directly from your Luxer One Account Representative.

Concrete Pad Installation Requirements:

- Side: 8" required on each side of locker bank for mounting feet and anchors.
- Back: 3" required for power connections, network connectivity, and airflow.
- Front: Minimum of 60" of free space in front of lockers for ADA compliance.
- 8" above grade: ramp required for ADA accessibility.
- Maximum drainage slope of level pad not to exceed rise or fall of more than 1.5".

A concrete pad or equivalent surface is required.

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### Outdoor Lockers: Location Options

GRADED OPTION: 60" minimum, 3" back minimum, 8" side minimum.

ABOVE GRADE OPTION: 60" minimum, 30" minimum.

Place locker screen out of path of direct sunlight.

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### Locker Construction

Choose from four standard locker colors:

- Silver (RAL 9006)
- Black (RAL 9005)
- Brown (RAL 8028)
- White (RAL 9016)

**Superior Construction**

- Heavy duty, corrosion-resistant steel for long-term durability.
- IPad-based touchscreens at ADA-compliant height.
- Battery back-up included in case of power outage.
- Web-based interface with extensive metrics reporting.
- Image capture of labels, signatures, and proof of pickup.
- Minimal Luxer One branding standard on all locker variations.

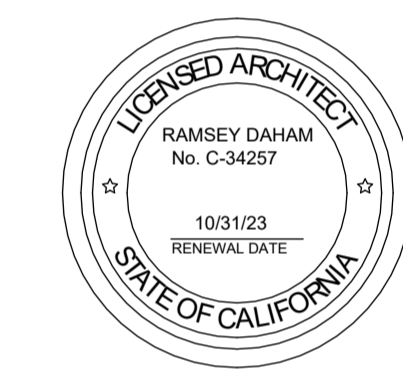
**Go Bold!**

Ask about trim pieces, custom colors, wraps, and adding your branding.

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**breakform design**

127 arena street, el segundo, ca 90245  
[o] 310.322.3700



522 S. VENICE BLVD.  
VENICE, CA 90291

Revision Schedule	
Revision Number	Revision Date

**SPECS / RESEARCH REPORTS**

### DS4 | E-Scooter Docking & Charging Station

Universal Four (4) E-Scooter Charging and Docking Station

- Premium & Compact Design for Class-A
- Supports all models of E-Scooters
- Weather Proof (Indoor or Outdoor Use)
- Premium Ambient LED Lighting
- Advanced Thermal Management
- Property Custom Branding with Laser Etching
- Built-in Power outlets for non-RIDY E-Scooters
- Made in the U.S.A.
- 30% FEDERAL Tax Credit - Potential Savings w/ RA

**Power Requirements and Setup**

- 100V, 20 Amp Standard Power Outlets
- Easy Setup with Free Standing Rails or Additional Security with Anchoring

RIDY

### DS4 | E-Scooter Station Dimensions

70.250

46.000

59.000

All dimensions are in inches unless otherwise specified.

RIDY

### DS4 | E-Scooter Station Dimensions

Power cord location options

All dimensions are in inches unless otherwise specified.

RIDY

### Pulsar | E-Bike & E-Scooter Docking & Charging Station

Universal Two (2) E-Bike & E-Scooter Charging and Docking Station

- Premium & Compact Design for Class-A
- Supports all models of E-Bikes & E-Scooters
- Weather Proof (Indoor or Outdoor Use)
- Premium Ambient LED Lighting
- Advanced Thermal Management
- Property Custom Branding with Laser Etching
- Built-in Power outlets for non-RIDY E-Scooters
- Made in the U.S.A.
- 30% FEDERAL Tax Credit - Potential Savings w/ RA

**Power Requirements and Setup**

- 100V, 20 Amp Standard Power Outlets
- Easy Setup with Free Standing Rails or Additional Security with Anchoring

RIDY

### Pulsar | E-Scooter Station Dimensions

47.036

53.520

All dimensions are in inches unless otherwise specified.

RIDY

### Pulsar | E-Scooter Station Dimensions

92.500

59.000

4.200

All dimensions are in inches unless otherwise specified.

RIDY

### Pulsar | E-Bike Station Dimensions

48.526

72.194

All dimensions are in inches unless otherwise specified.

RIDY

### Pulsar | E-Bike Station Dimensions

91.000

90.000

1.800

All dimensions are in inches unless otherwise specified.

RIDY



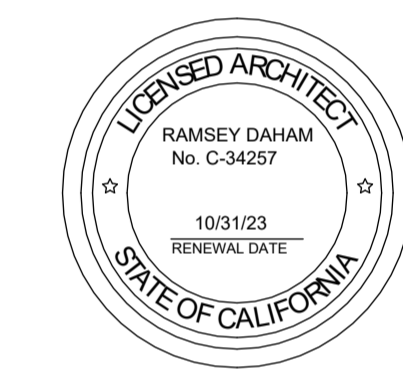






BUILDING CODE FLOOR AREA	
FIRST FLOOR - INCLUDED	4,635 SF
FIRST FLOOR - EXCLUDED	2,235 SF
SECOND FLOOR - INCLUDED	4,635 SF
SECOND FLOOR - EXCLUDED	1,027 SF
THIRD FLOOR - INCLUDED	4,635 SF
THIRD FLOOR - EXCLUDED	201 SF
<b>TOTAL PROVIDED</b>	<b>17,368 SF</b>

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**SQUARE FOOTAGE BREAKDOWNS**

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<b>SCALE</b>	As indicated
<b>JOB #</b>	17042

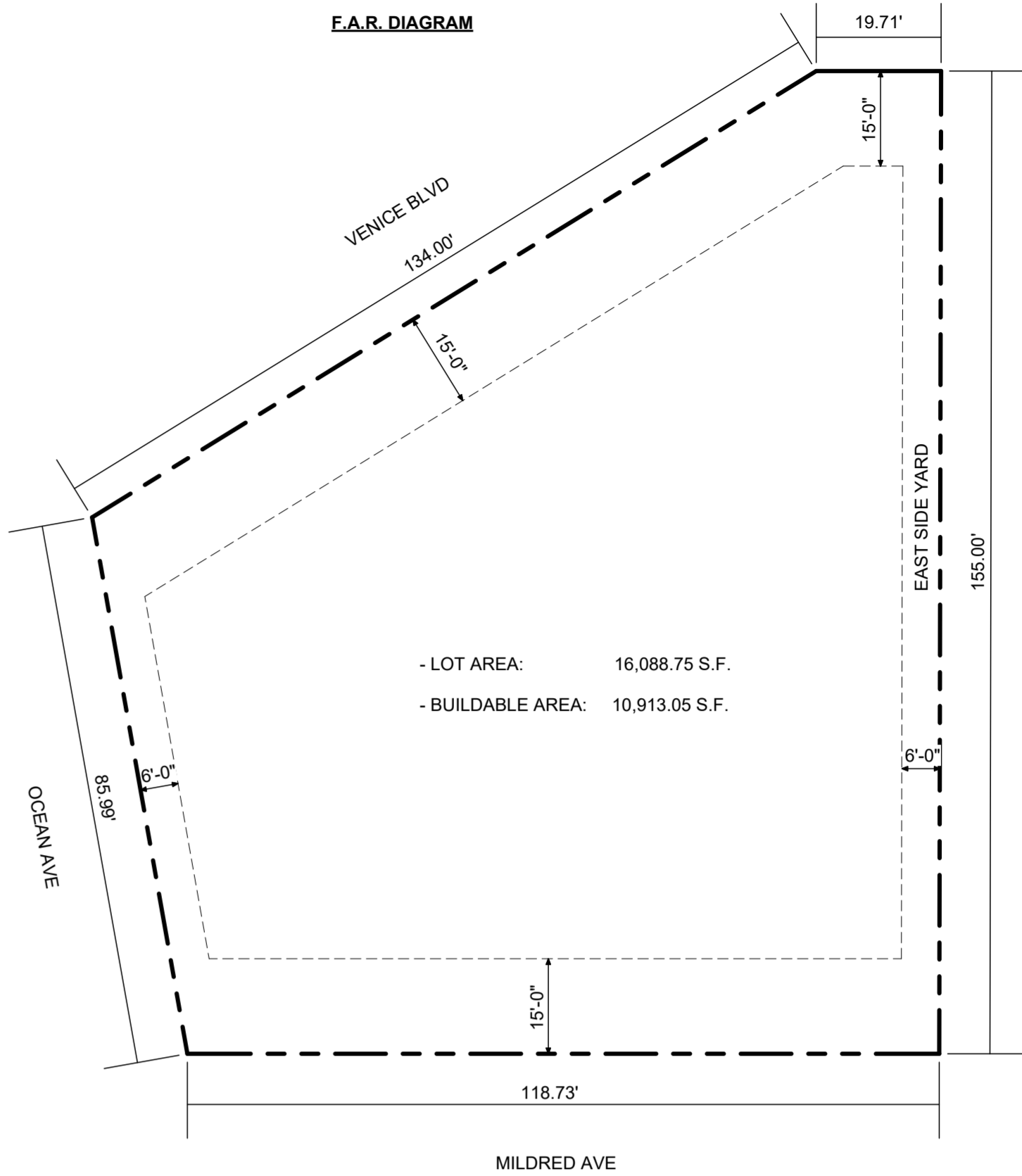
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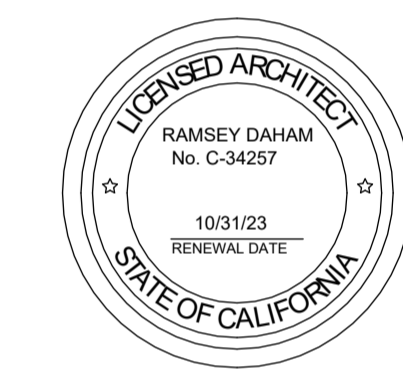




F.A.R. CALCULATIONS	
FIRST FLOOR - INCLUDED	4,635 SF
FIRST FLOOR - EXCLUDED	1,803 SF
SECOND FLOOR - INCLUDED	4,635 SF
SECOND FLOOR - EXCLUDED	334 SF
THIRD FLOOR - INCLUDED	4,635 SF
THIRD FLOOR - EXCLUDED	334 SF
<b>TOTAL PROVIDED</b>	<b>16,176 SF</b>



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Revision Schedule	
Revision Number	Revision Date

F.A.R. CALCULATIONS	
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JOB #	17042

A0.16

F.A.R. - THIRD FLOOR  
 3/32" = 1'-0"

F.A.R. - SECOND FLOOR  
 3/32" = 1'-0"

F.A.R. - FIRST FLOOR  
 3/32" = 1'-0"





























- GENERAL NOTES**
- EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.
  - BATHROOM EXHAUST FANS SHALL BE EMERGENCY STAR COMPLIANT AND BE DIRECTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
  - NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HANDBLAT WHICH SHALL BE READILY ACCESSIBLE.
  - INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED.
  - ALL BATHROOMS TO HAVE WATER RESISTANT GYP.
  - CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.
  - ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.5.
  - THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
  - THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED BY CAPABLE.
  - 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS.
  - ALL DOORS 4" FROM WALL U.O.N.
  - 80% OF THE TOTAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
    - VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE
    - PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM
    - CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFC) FLOORSCORE PROGRAM
    - MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION
  - THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 28-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.
  - THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
  - FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 5' ABOVE THE FLOOR. (8109 OF LADBC)
  - FOR EXISTING POOL ON SITE, PROVIDE AN ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)
  - FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.
  - AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMITS IS REQUIRED).
  - PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3).
  - KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325, (R314.6.2).
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000). (R314.6.2).
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SLEEPING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" INCH CYPRUM BOARD.
- ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.
- FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 IBC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4" (2407)
- LOOKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4)
- FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1)
- WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2)
- WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND CONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4)
- THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 88 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3.
- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED BY CAPABLE.

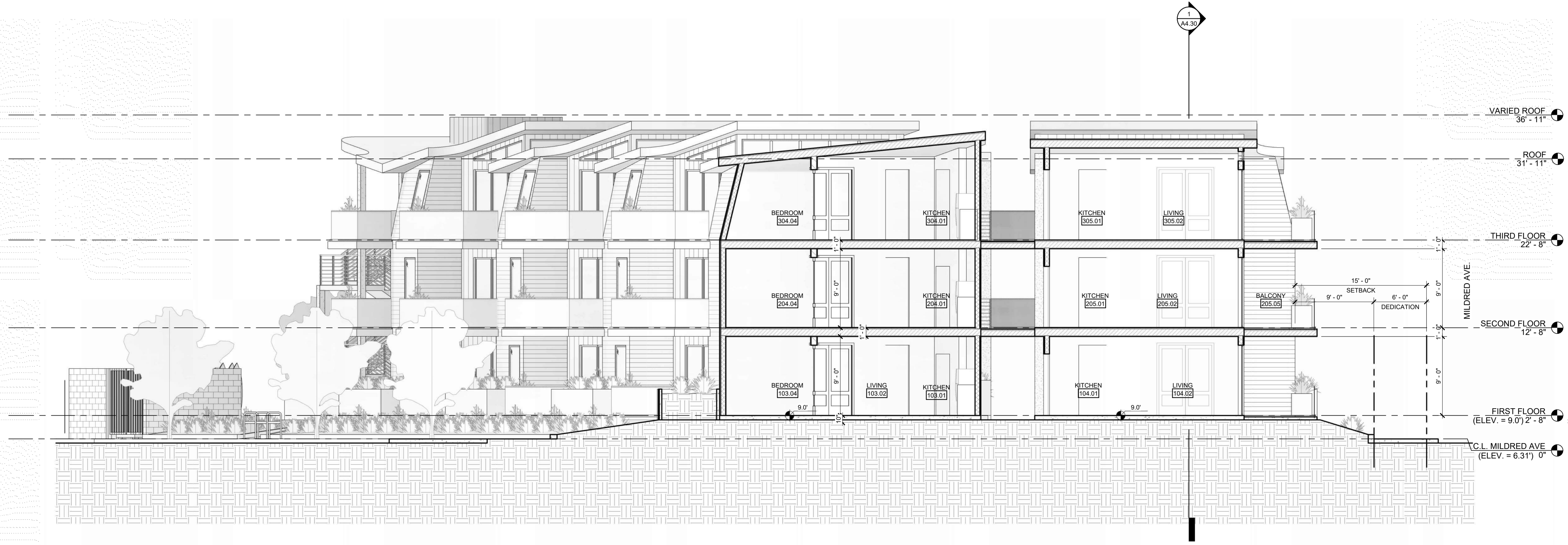
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  - THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
  - UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
- GARAGE / CARPORT:**
- DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)
  - GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)
- FIRE-RESISTANCE RATED CONSTRUCTION:**
- IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
  - IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)
  - THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21417(D))
  - THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
  - AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNAL. (R314)
  - AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE SLEEPING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
  - ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.

- WALLS**
- ① 2x4 & 2x6 INTERIOR WALL ASSM. (11A0.10)
  - ② 2x6 PLUMBING WALL ASSM. (21A0.10)
  - ③ 1-HR 2x6 INTERIOR WALL ASSM. (31A0.10)
  - ④ 1-HR 2x6 EXTERIOR WALL ASSM. (41A0.10)
  - ⑤ X (51A0.10)
  - ⑥ 4" CONC. PER STRC. (61A0.10)
  - ⑦ 8" CONC. RETAINING WALL PER STRC. (71A0.10)

- ASSEMBLY TYPES**
- FLOORS**
- ① CONC FLOOR PER STRC. W/ WOOD FINISH (91A0.10)
  - ② CONC FLOOR PER STRC. W/ TILE FINISH (10A0.10)
  - ③ CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (111A0.10)
  - ④ WOOD JOIST PER STRC. W/ WOOD FINISH (12A0.10)
  - ⑤ WOOD JOIST PER STRC. W/ TILE FINISH (13A0.10)
  - ⑥ WOOD JOIST W/ WOOD DECK PER SPEC. (14A0.10)
  - ⑦ WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (15A0.10)

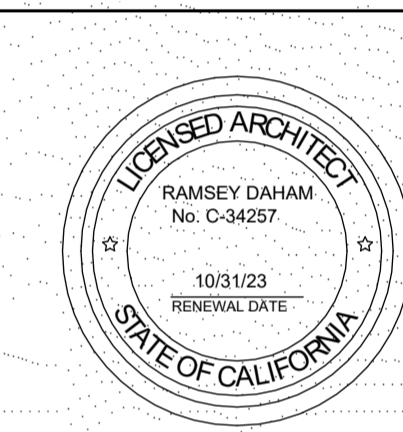
- SECTION LEGEND**
- 1 HR
  - 2 HR
  - ⊗-X-⊗ ELEVATION MARKER
  - - - - - PROPERTY LINE
  - - - - - EXISTING GRADE

FIRST FLOOR IS LOCATED AT AN ELEVATION OF 9'-0" PER THE FEMA FLOOD ZONE REQUIREMENTS



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**PROPOSED SECTIONS**

<b>DRAWN</b>	CR
<b>CHECKED</b>	PNK
<b>DATE</b>	2/8/2024 4:10:28 PM
<b>SCALE</b>	As indicated
<b>JOB #</b>	17042













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