

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	HR	HOUR
AFG	ABOVE FINISHED GRADE	HT	HEIGHT
ACOUS	ACOUSTICAL	IN	INCH
ADJ	ADJUSTABLE	INSUL	INSULATION
ALUM	ALUMINUM	INT	INTERIOR
ANCH	ANCHOR	LAV	LAVATORY
APPROX	APPROXIMATELY	LF	LIGHT FIXTURE
BASE	BS	MAX	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BLDG	BUILDING	MTL	METAL
BLK	BLOCK	MIN	MINIMUM
BEAM	BEAM	OC	ON CENTER
BO	BOTTOM OF	OD	OUTSIDE DIAMETER
BOT	BOTTOM	OPP	OPPOSITE
CAB	CABINET	PNT	PAINT
CPT	CARPET	PL	PLATE
CLR	CLEAR	PLAM	PLASTIC LAMINATE
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PT	PRESSURE TREATED
CONST	CONSTRUCTION	R	RISERS
CONT	CONTINUOUS	RAD	RADIUS
DBL	DOUBLE	RD	ROOF DRAIN
DET	DETAIL	REF	REFRIGERATOR
DIAM	DIAMETER	REINF	REINFORCED
DIM	DIMENSION	REQ'D	REQUIRED
DN	DOWN	RESIL	RESILIENT
DR	DOOR	RET	RETAINING
DWG	DRAWING	RM	ROOM
EA	EACH	RO	ROUGH OPENING
EL	ELEVATION	SCHED	SCHEDULE
ELECT	ELECTRICAL	SECT	SECTION
EQ	EQUAL	SHT	SHEET
EQUIP	EQUIPMENT	SIM	SIMILAR
EXIST	EXISTING	SPEC	SPECIFICATION
EXT	EXTERIOR	SQ	SQUARE
FD	FLOOR DRAIN	SS	STAINLESS STEEL
FEC	FIRE EXTINGUISHER CAB	STD	STANDARD
FFE	FINISHED FLOOR ELEVATION	STL	STEEL
FG	FINISHED GRADE	STRUCT	STRUCTURAL
FIN	FINISH	SUSP	SUSPENDED
FLR	FLOOR	T	TREADS
FLUOR	FLUORESCENT	T & B	TOP & BOTTOM
FT	FOOT	T & G	TONGUE & GROOVE
FTG	FOOTING	TEL	TELEPHONE
GI	GALVANIZED IRON	TO	TOP OF
GA	GAUGE	TOC	TOP OF CONCRETE
GL	GLASS	TYP	TYPICAL
GR	GRADE	VEN	VENER
GYP BD	GYPSPUM BOARD	VERT	VERTICAL
HD	HEAD	VIF	VERIFY IN FIELD
HDWD	HARDWOOD	W	WITH
HORIZ	HORIZONTAL	WP	WATERPROOF
		WD	WOOD



2 RENDERINGS & SITE CONTEXT

HEIGHT
27'- 1 5/8" PROPOSED MAX. FLAT ROOF HEIGHT, MEASURED FROM CENTER OF ALLEY D (CARROLL CANAL CT) AT THE CENTER OF THE LOT.
*A maximum height of 22 feet shall be permitted for any portion of a Venice Coastal Development Project which is within ten feet from the property line that faces the canal. Thereafter, an ascending height equal to one half the horizontal depth shall be permitted to a maximum height of 30 feet." [VENICE SPECIFIC PLAN- VENICE CANALS] (SECTION 10 E.2)

MECHANICAL EQUIPMENT, CHIMNEYS, VENTS, SKYLIGHTS MAY EXCEED FLAT ROOF HEIGHT BY 5'-0"

FLOOR-AREA-RATIO (FAR)
LAMC 12.21.1.A.1 FOR COASTAL ZONE:
"FLOOR AREA DIVIDED BY BUILDABLE AREA SHALL NOT EXCEED THREE"

FLOOR AREA / BUILDABLE AREA:
2,205 / 1,560 = 1.4 OF BUILDABLE AREA

FLOOR AREA / LOT AREA:
2,205 / 2,849.9 = .77 OF LOT AREA

BUILDABLE AREA
LOT AREA MINUS SETBACKS: 1,560 SF

FIRE HYDRANT
LOCATED AT CARROLL CT & EASTERN CANAL INTERSECTION

FIRE SPRINKLERS
THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(D)).

PERMEABLE AREA
MIN. 450 SF PERMEABLE FRONT YARD REQ.D (VSP Section 10 E.3b)

BUILDING FOOT PRINT: 1,535 SF
PERMEABLE LANDSCAPE: 864.9 SF
PERMEABLE FRONT YARD: 450 SF
TOTAL LOT AREA: 2,849.9 SF

PARKING SPACES:
FIVE TOTAL = TWO COVERED, TWO UNCOVERED COMPACT, ONE UNCOVERED COMPACT GUEST

DEMOLITION
DEMO EXISTING CANAL-FRONTING SFR ('BUILDING 2' IN ZIMAS). 'BUILDING 1' WAS DEMO-ED IN 2001 UNDER PERMIT # 01014 - 10000 - 06497, BUT WITHOUT A CDP. AN AFTER-THE-FACT CDP IS REQUESTED AS PART OF THE CDP APPLICATION.

HISTORIC PRESERVATION REVIEW:
YES

GRADING & SOIL
< 50% CY EXCAVATION FOR ADDITIONAL FOUNDATION FTGS.
FLAT LOT - NO CHANGE IN GRADE PROPOSED
IN LIQUIFICATION ZONE (PER ZIMAS)
IN METHANE ZONE (PER ZIMAS)

APPLICABLE BUILDING CODES:
2020 LOS ANGELES BUILDING CODE
2020 CITY OF LA GREEN BUILDING CODE

PROJECT INFO
THE PROJECT CONSISTS OF A NEW-CONSTRUCTION, MULTI-FAMILY RESIDENCE COMPRISING A TWO-STORY DUPLEX OF 2205 SF ON A LOT OF 2,849.9 sf. UNIT A IS 1,477 SF, UNIT B IS 728 SF. FIVE PARKING SPOTS INCLUDE TWO TANDEM (TWO COVERED, TWO UNCOVERED) & ONE GUEST.

LEGAL DESCRIPTION
ADDRESS: 414 CARROLL CANAL, 90291
LOT/ PARCEL AREA: 2,849.9 sf
LOT: 36
BLOCK: 49
TRACT: 4424
APN: 4227006034
OWNER: DAN SIMON
414 A-B CARROLL CANAL, 90291
DESIGNER: SUSAN BENINGFIELD DESIGN
213.268.9667
ENGINEER: PETER ERDELYI
2999 OVERLAND AVE, SUITE 103, LA, CA 90064

ZONING INFO
SITE AREA: 2,849.9 sf
ZONING: RW1-1-0
USE: LOW MEDIUM II RESIDENTIAL
USE CODE: 0200 - RESIDENTIAL - DOUBLE, DUPLEX, OR TWO UNITS - 4 STORIES OR LESS
SETBACKS: FRONT - 15' SIDES - 3' MIN. (10% OF 30' LOT WIDTH) REAR - 15' MIN; 5' MIN. FOR ACCESSORY BLDG.
SPECIFIC PLAN AREA: VENICE COASTAL ZONE
BUILDING HEIGHT: 30' MAX, AS MEASURED FROM CENTER LINE OF CARROLL CANAL CT @ CENTER OF LOT
STORIES: 2
CONSTRUCTION TYPE: TYPE_V_B
FIRE ZONE: NO

BUILDING AREA CALCULATIONS:
ZIMAS:
BUILDING 1 FLOOR AREA: 391 SF (EXCL. GARAGE, INCL. EXT. STUD WALLS) (demo-ed in 2001)
BUILDING 2 FLOOR AREA: 576 SF (EXCL. GARAGE, INCL. EXT. STUD WALLS) (to be demo-ed)

ZONING CODE FLOOR AREA
2020 CBC SECTION 202 DEFINITION OF FLOOR AREA: FLOOR AREA INSIDE OF EXTERIOR WALLS, EXCLUDES STAIRS EACH FLOOR, DO NOT INCLUDE GARAGE OR MECHANICAL ROOMS.
UNIT A, 1ST FLOOR: 214 SF
UNIT A, 2ND FLOOR: 1263 SF
TOTAL UNIT A: 1477 SF
TOTAL UNIT B, 1ST FLOOR: 728 SF
TOTAL 1ST FLOOR: 942 SF
TOTAL 2ND FLOOR: 1263 SF
TOTAL FLOOR AREA: 2205 SF

BLDG CODE FLOOR AREA
2020 CBC SECTION 202 DEFINITION OF GROSS FLOOR AREA: FLOOR AREA INSIDE OF EXTERIOR WALLS, INCLUDE STAIRS EACH FLOOR, DO NOT INCLUDE GARAGE OR MECHANICAL ROOMS.
NOTE: LAMC 12.03 BUILDINGS ZONED R1, EXCEPT PROPERTIES IN THE COASTAL ZONE WHICH ARE NOT DESIGNATED AS HILLSIDE AREA, ARE SUBJECT TO THE DEFINITION OF RESIDENTIAL FLOOR AREA.
1ST FLOOR: 942 SF
2ND FLOOR: 1346 SF
TOTAL FLOOR AREA: 2288 SF

SCHOOL DISTRICT FEE FLOOR AREA
2020 CBC SECTION 202 DEFINITION OF GROSS FLOOR AREA: FLOOR AREA INCLUDING EXTERIOR WALLS, DO NOT INCLUDE GARAGE OR MECHANICAL ROOMS.
1ST FLOOR TOTAL: 1006 SF
2ND FLOOR TOTAL: 1523 SF
TOTAL AREA ADDED: 2529 SF

INDEX OF DRAWINGS

ARCHITECTURAL

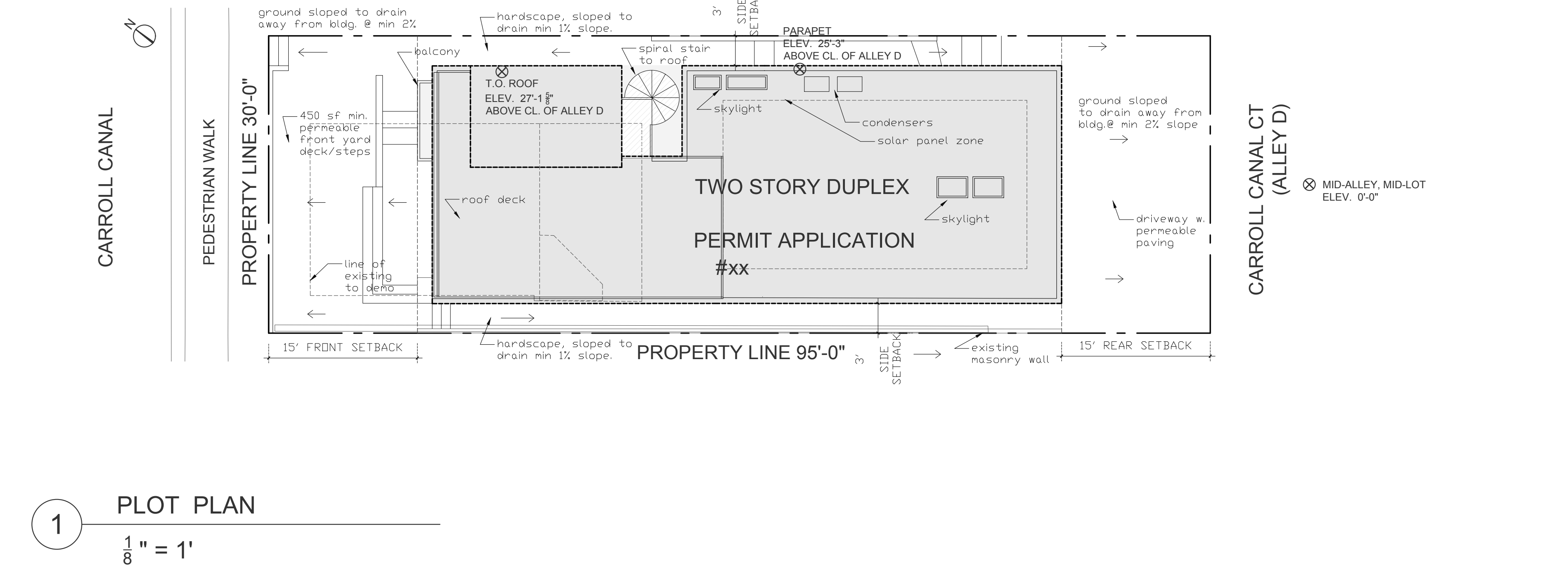
A0.0	Title sheet
A0.1	Title 24
A0.2	Title 24
A0.3	Title 24: Methane Certification
A0.4	General Notes
A0.5	Green Code Notes
A0.6	Determination Letter: Conditions of Approval
A1.0.0	Survey
A1.0.1	Existing Plan & Elevations
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A2.1	Floor Plans - House
A2.2	Roof Plan - House
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A5.3	Elevator Plans & Details
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A5.5	General Details
A5.6	General Details
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STRUCTURAL

S-0	General Notes
S-1	Foundation Plan
S-2	Floor Framing Plans
S-3	Structural Details
S-4	Structural Details
1	Spiral Stair Details

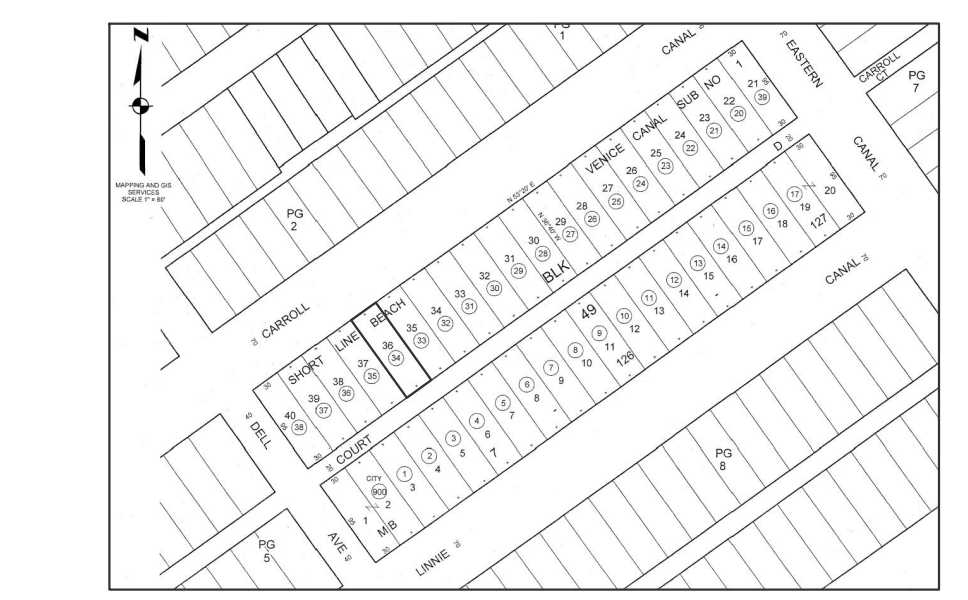


4 VICINITY MAP NTS



SYMBOLS:

	DINING 103	ROOM IDENTIFICATION: ROOM NAME ROOM NUMBER
	1/A3.2	ELEVATION KEY DRAWING, SHEET NUMBER
	2 A4.2	SECTION KEY DRAWING SHEET NUMBER ARROW INDICATES DIRECTION
	LEVEL 1 F.F.L. 0'-0"	BENCHMARK WORKPOINT ELEVATION
	104A	WINDOW IDENTIFICATION ROOM # - WINDOW LETTER
	104.1	DOOR IDENTIFICATION ROOM # - DOOR #
	207.31	SKYLIGHT IDENTIFICATION ROOM # - SKYLIGHT #
	2 A4.2	DETAIL IDENTIFICATION DRAWING # OVER SHEET LOCATION
	2	REVISION CLOUD CLOUD AROUND REVISION NUMBER OF REVISION
	CL	CENTER LINE
	⊗	SPOT ELEVATION



3 ASSESSOR'S MAP NTS

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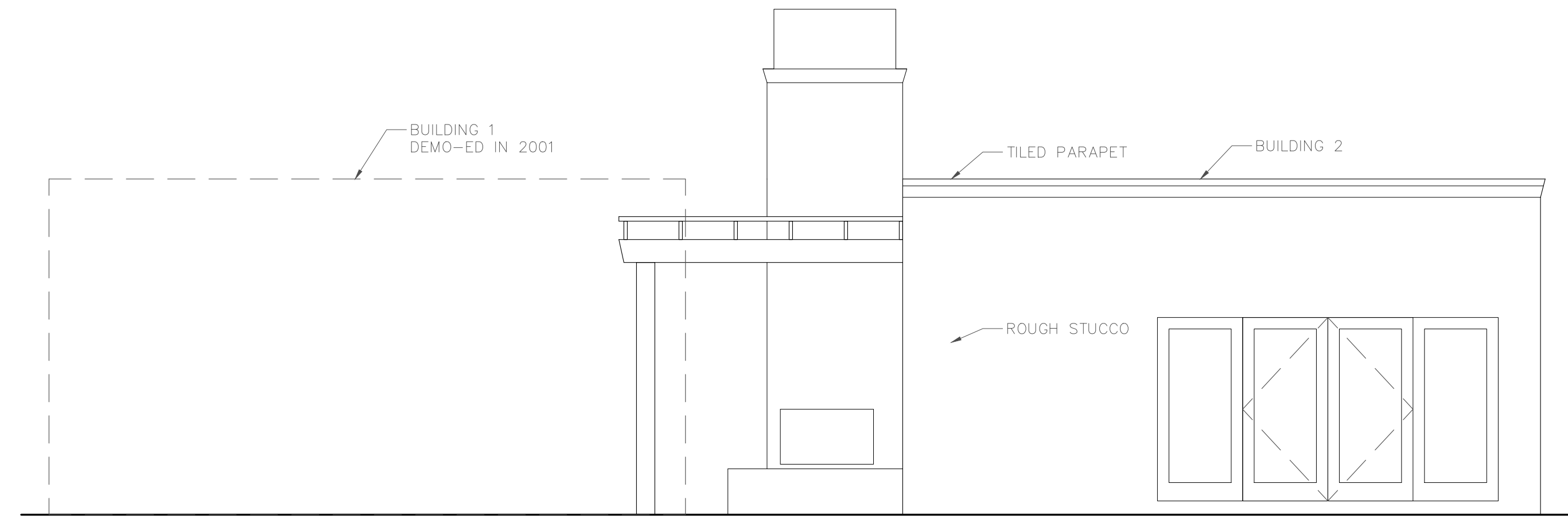
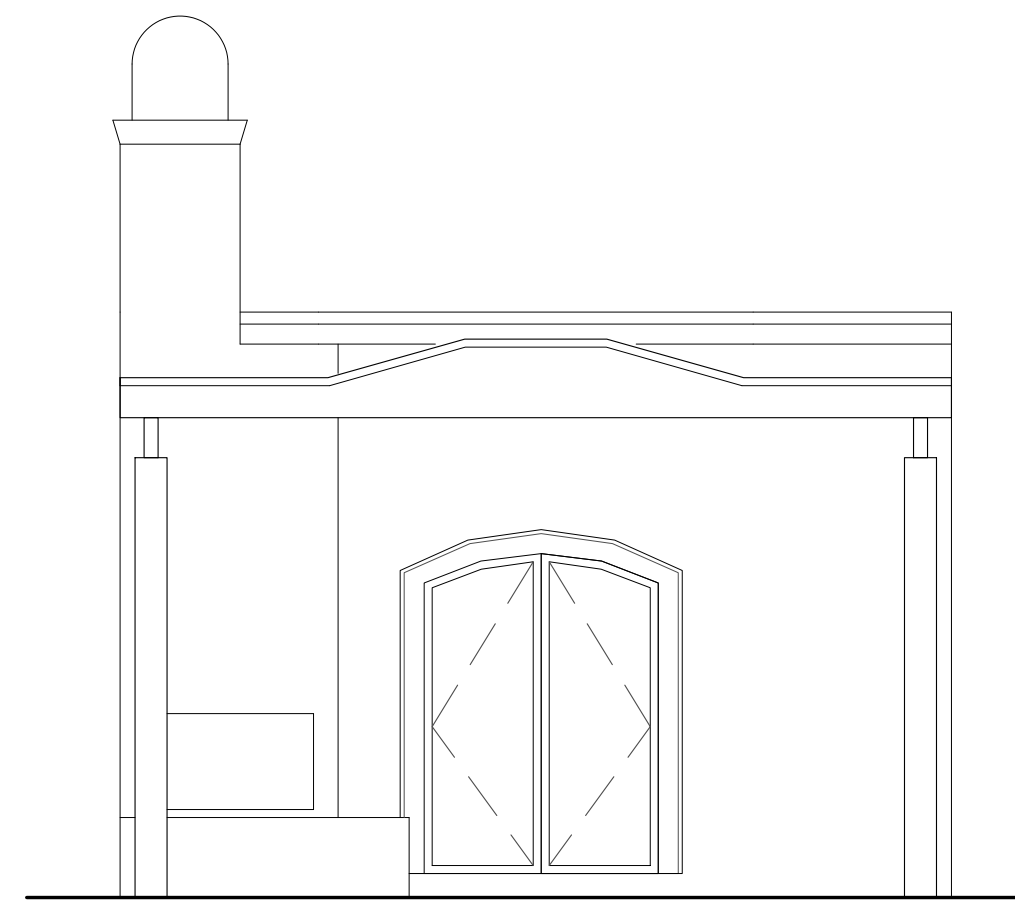
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REVISIONS:

CARROLL HOUSE
414 Carroll Canal
Venice, CA 90291

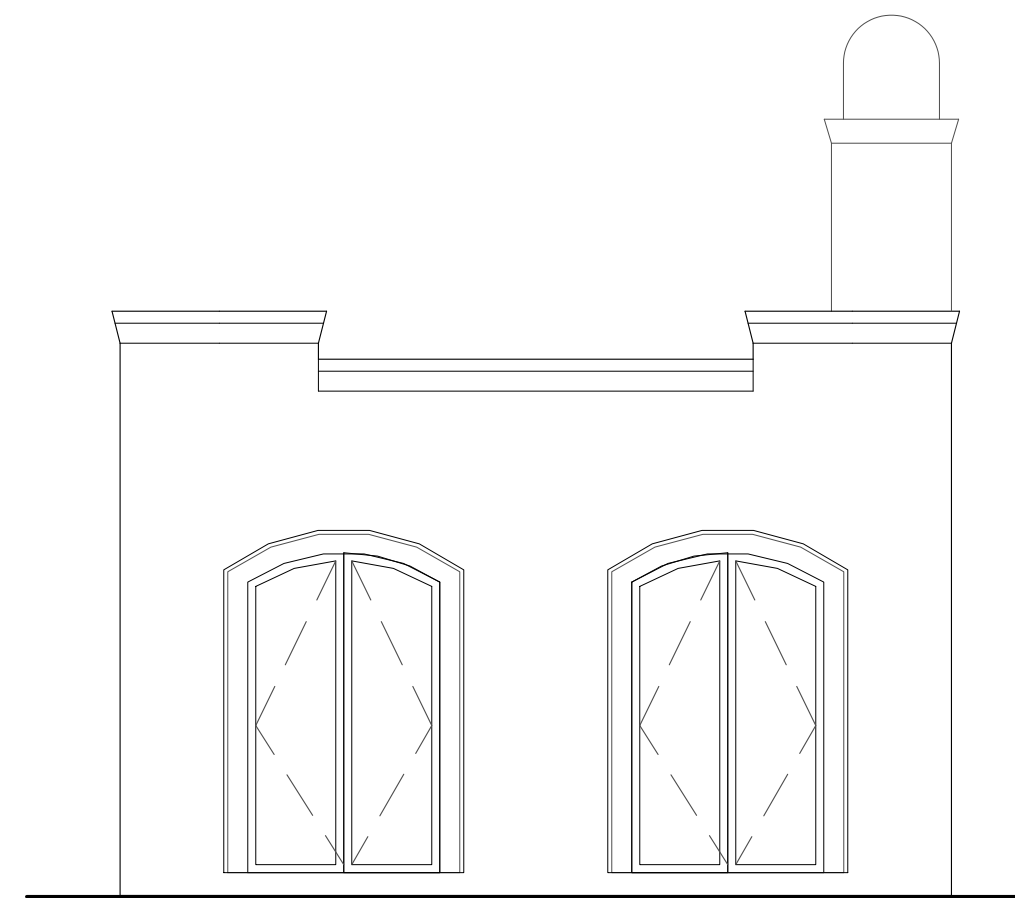
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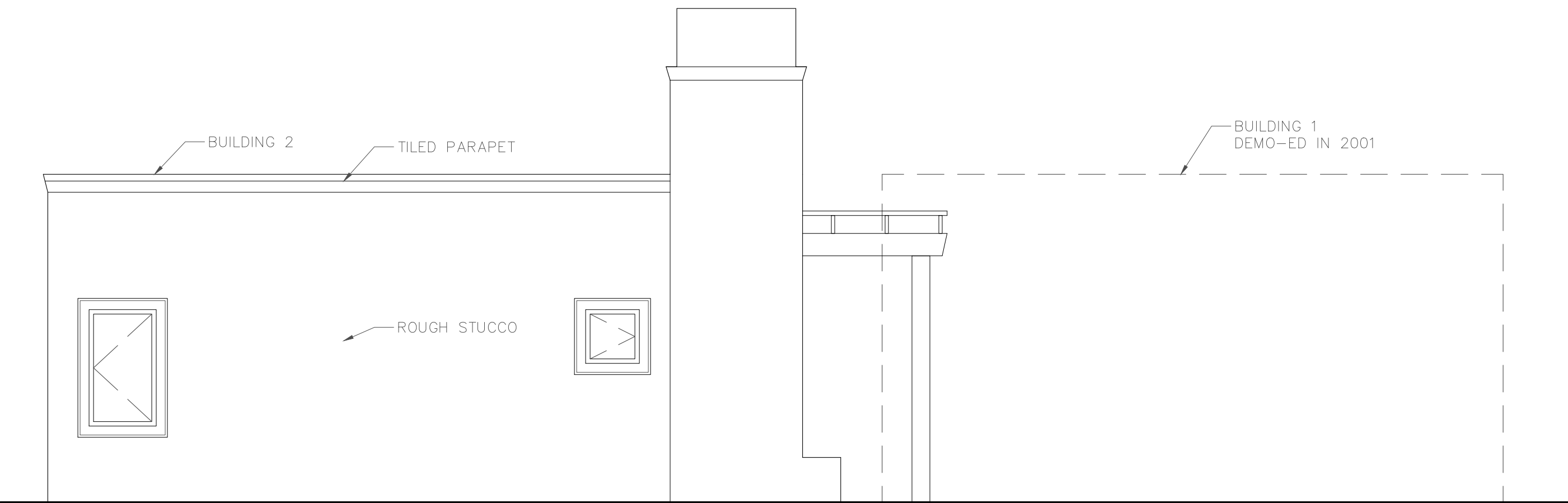


2 EAST ELEVATION

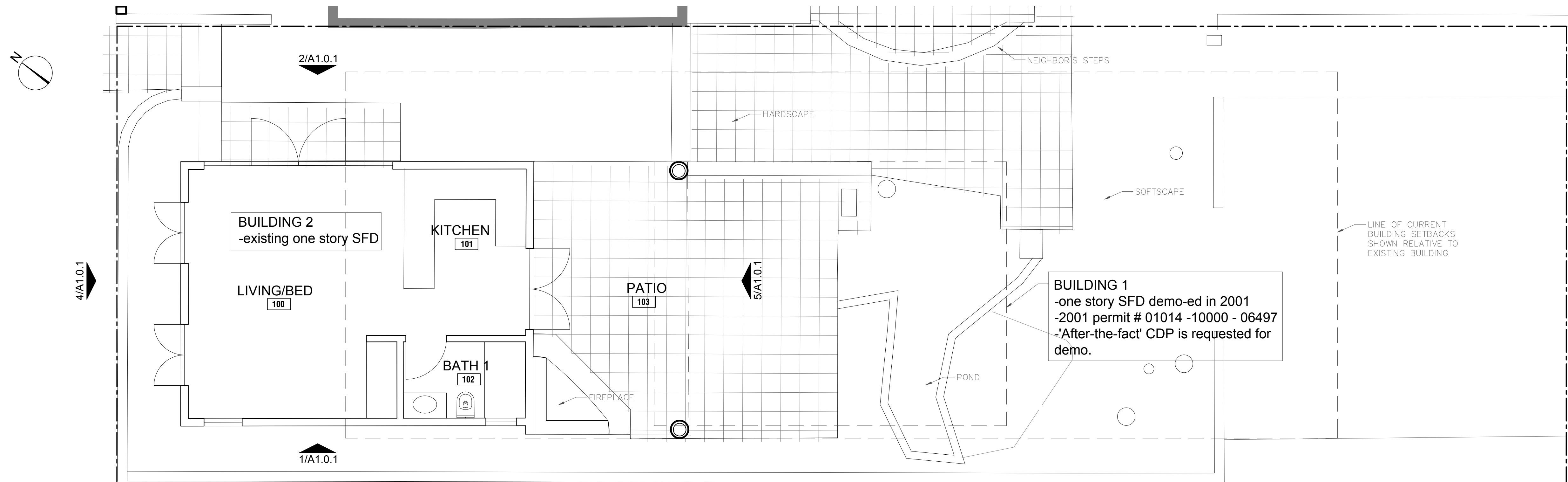
5 SOUTH ELEVATION



4 NORTH ELEVATION



1 WEST ELEVATION



3 FIRST FLOOR PLAN

EXISTING BUILDING
TO BE DEMO-ED

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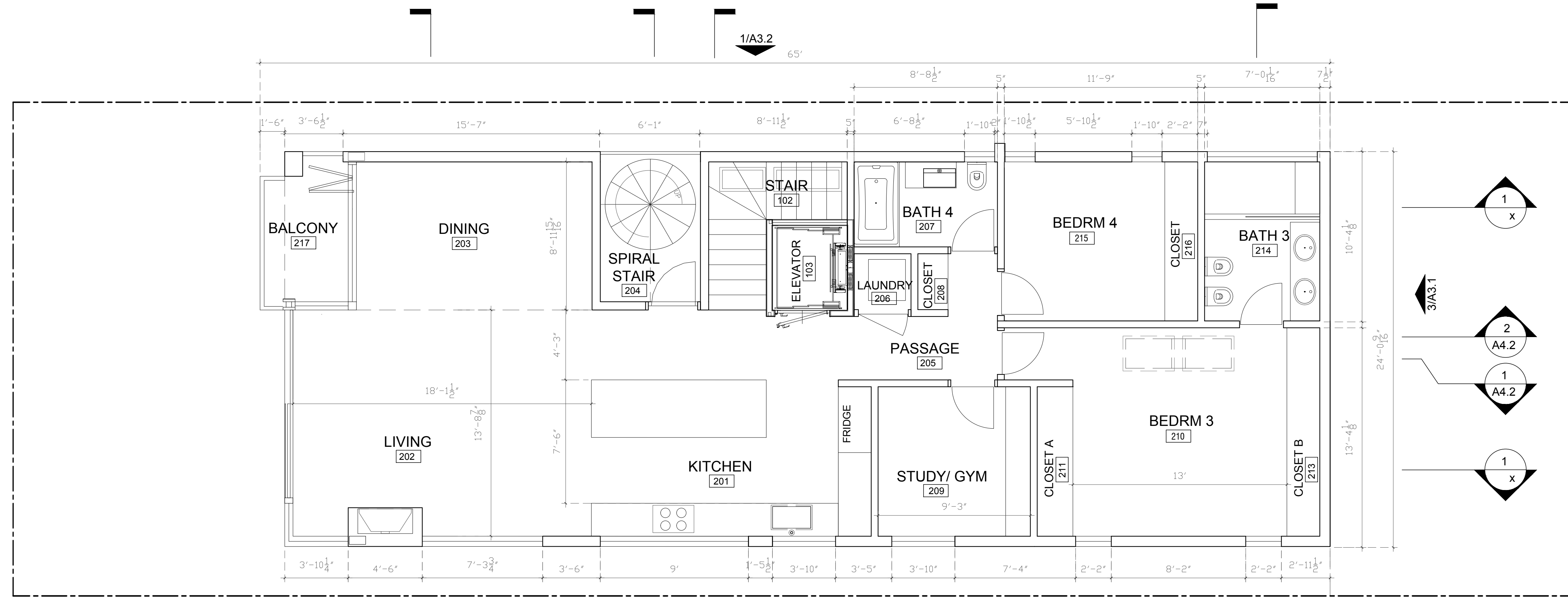
CARROLL
HOUSE

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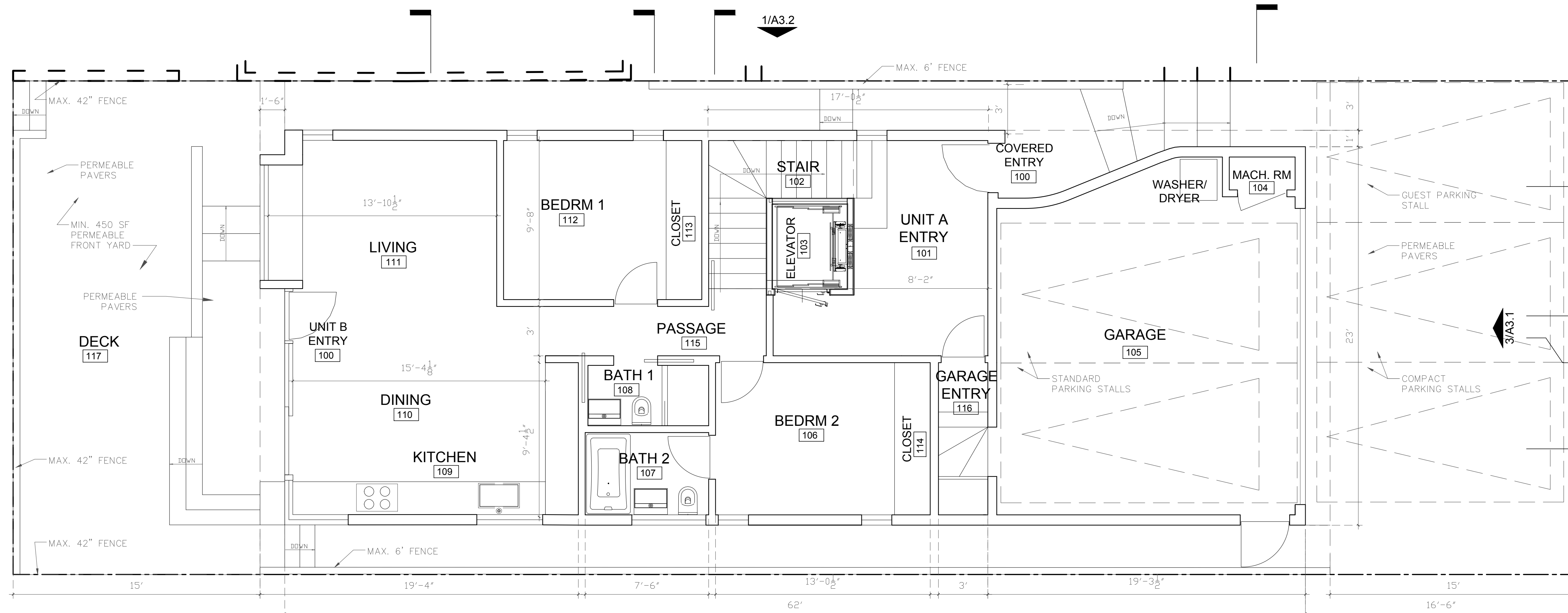
EXISTING PLAN &
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SCALE: 1/4" = 1'

A1.0.1



2 SECOND FLOOR PLAN



1 FIRST FLOOR PLAN

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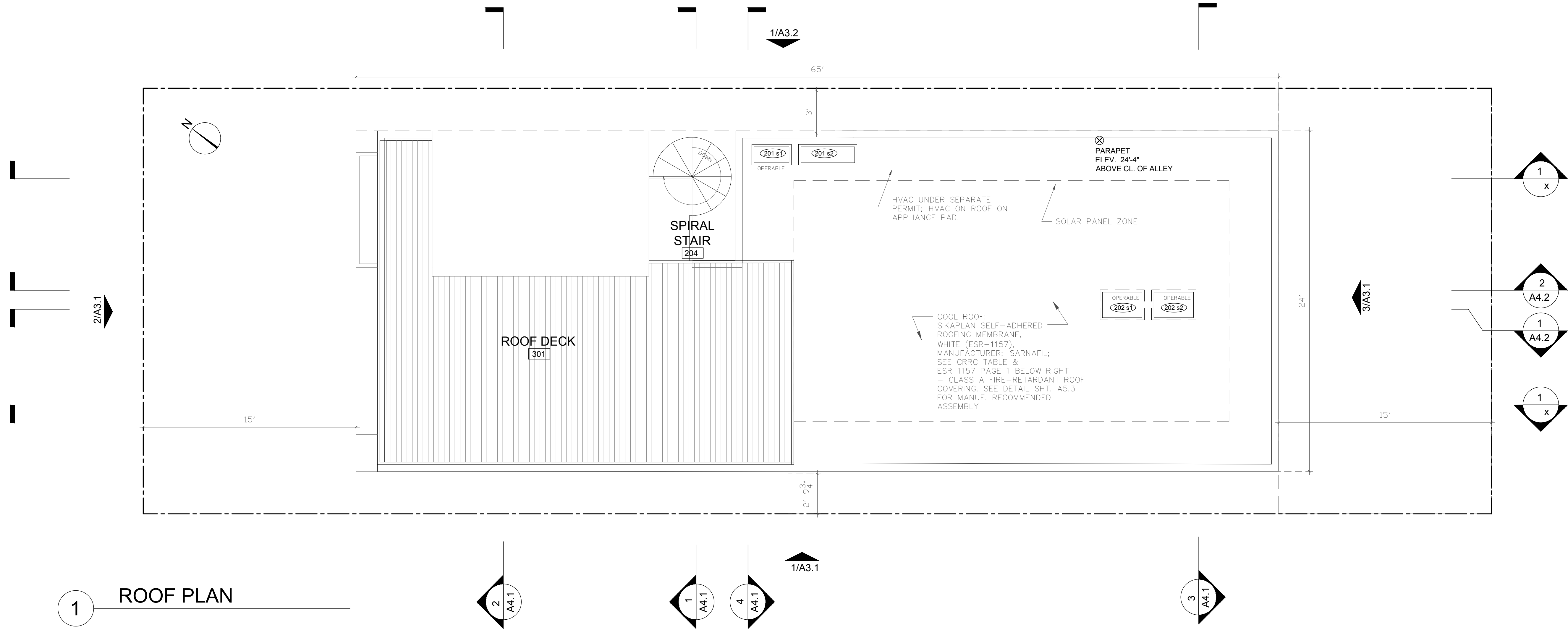
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HOUSE**

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**PRELIMINARY
PROPOSED PLANS**

SCALE: 1/4" = 1'

A2.1



1 ROOF PLAN

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HOUSE**

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Venice, CA 90291

**PROPOSED ROOF
PLAN**

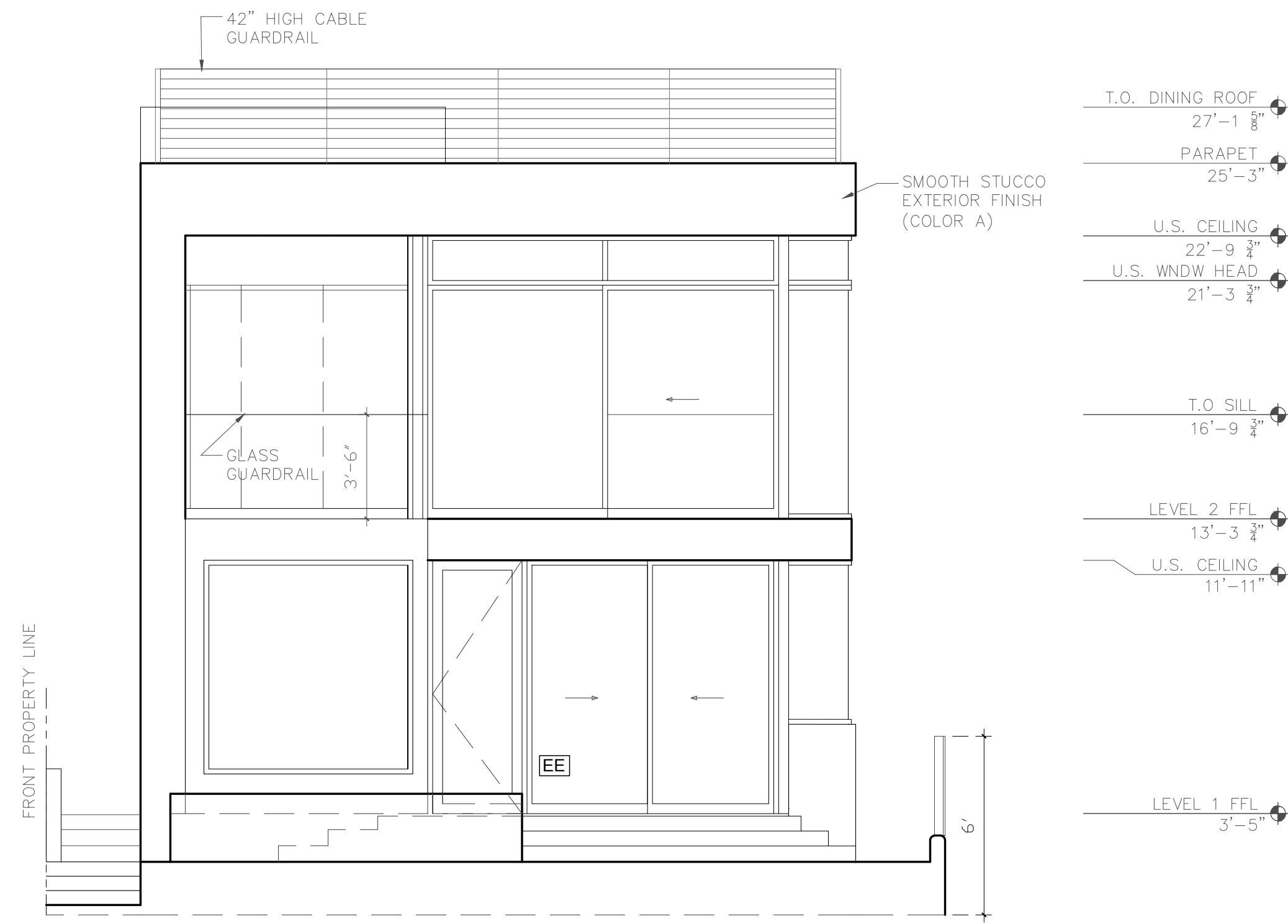
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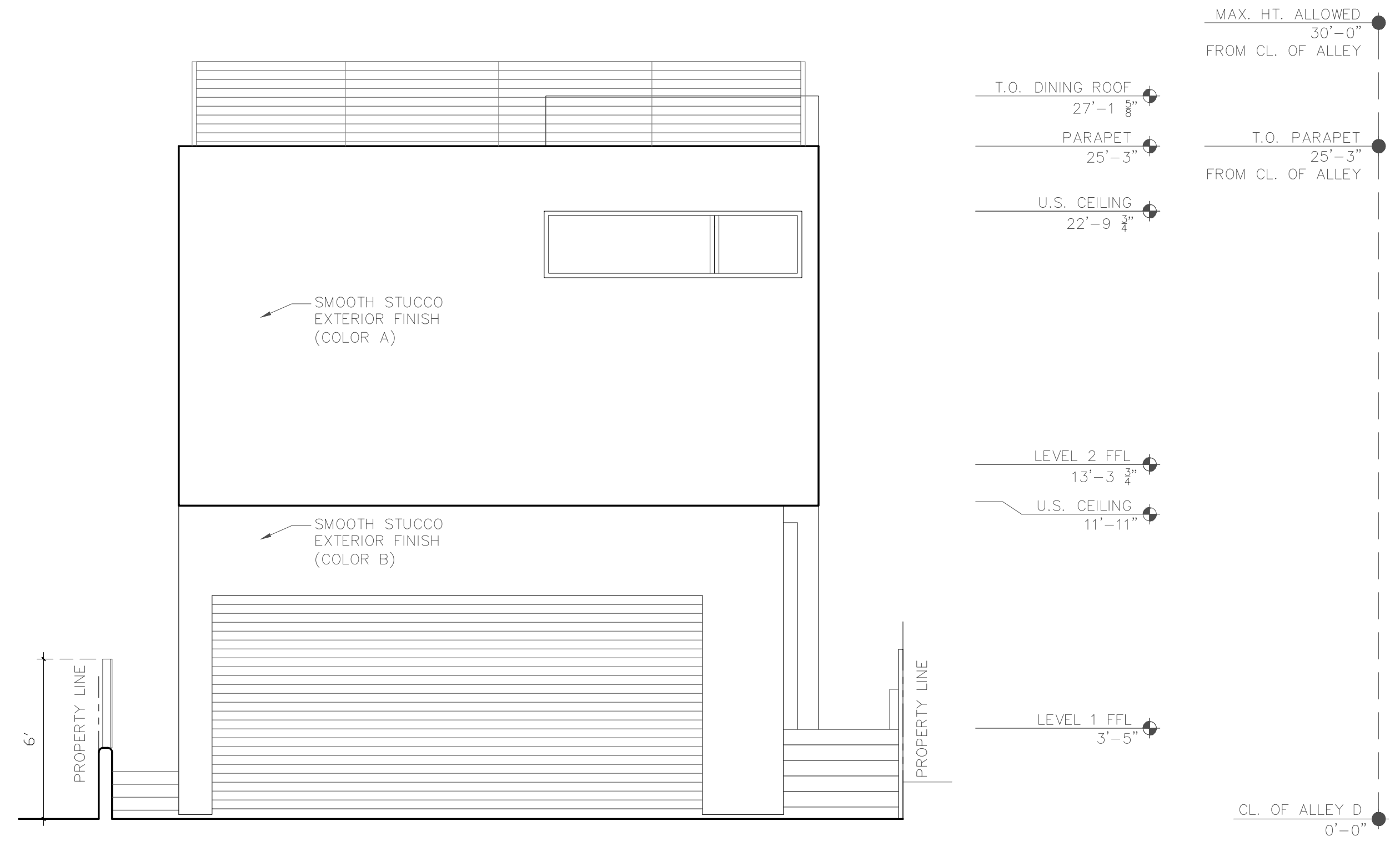
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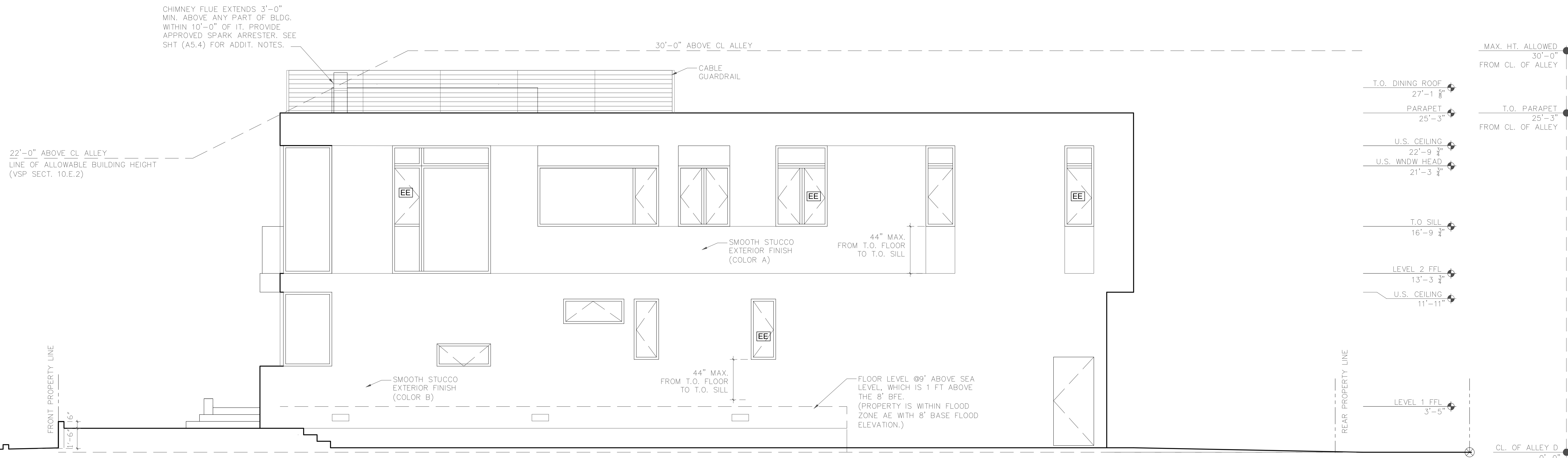
PROJECT ENGINEER:
TBD



3 NORTH ELEVATION



2 SOUTH ELEVATION



1 WEST ELEVATION

DATES ISSUED:

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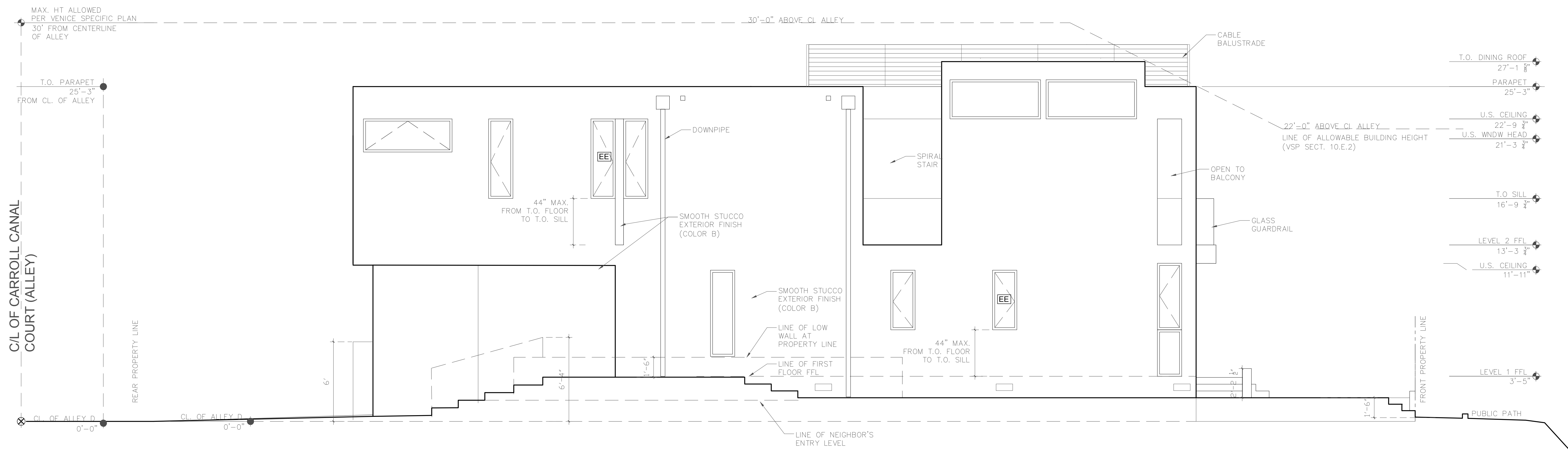
**CARROLL
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414 Carroll Canal
Venice, CA 90291

**PROPOSED
ELEVATIONS**

SCALE: 1/4" = 1'

A3.1



1 EAST ELEVATION

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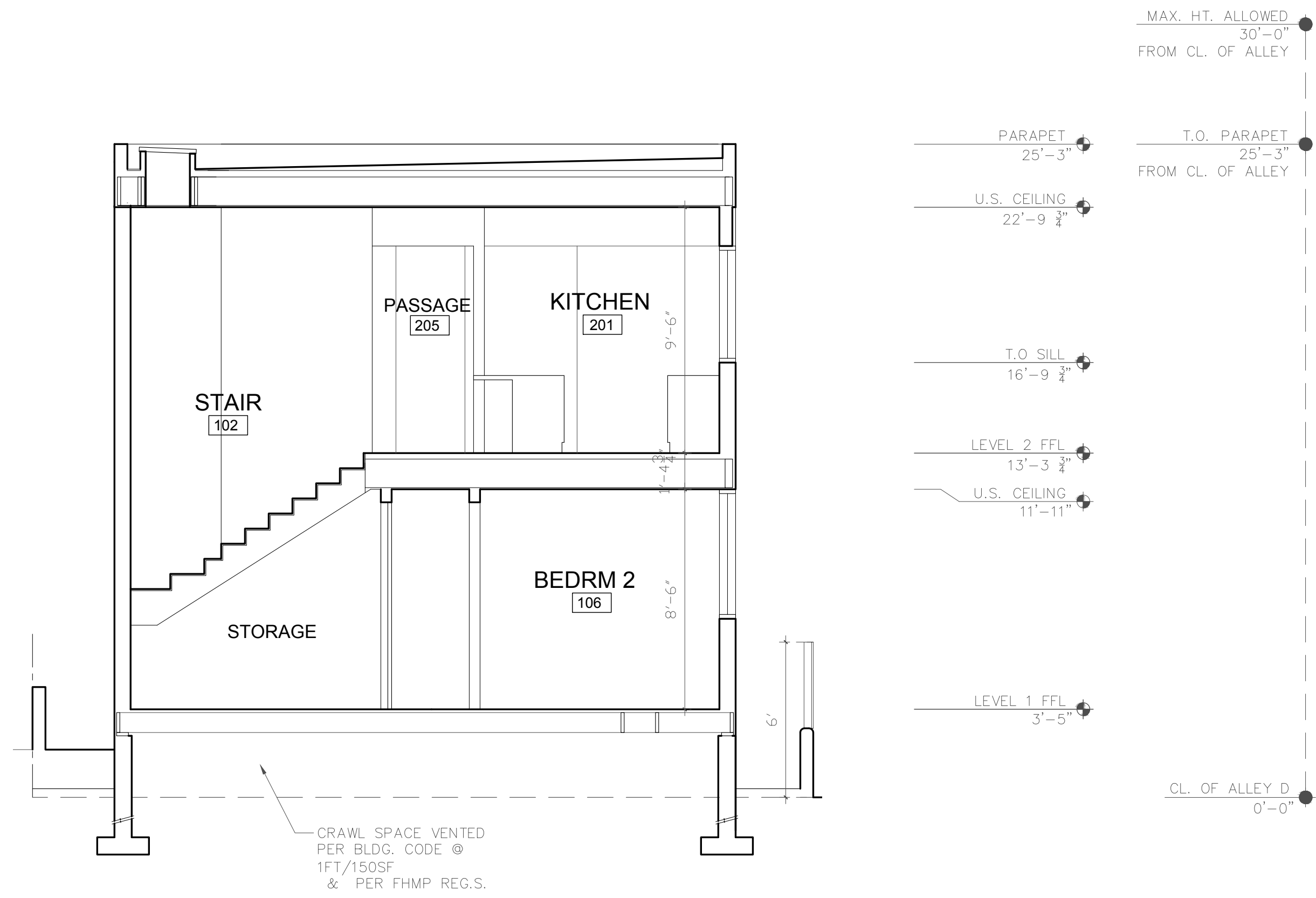
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CARROLL HOUSE

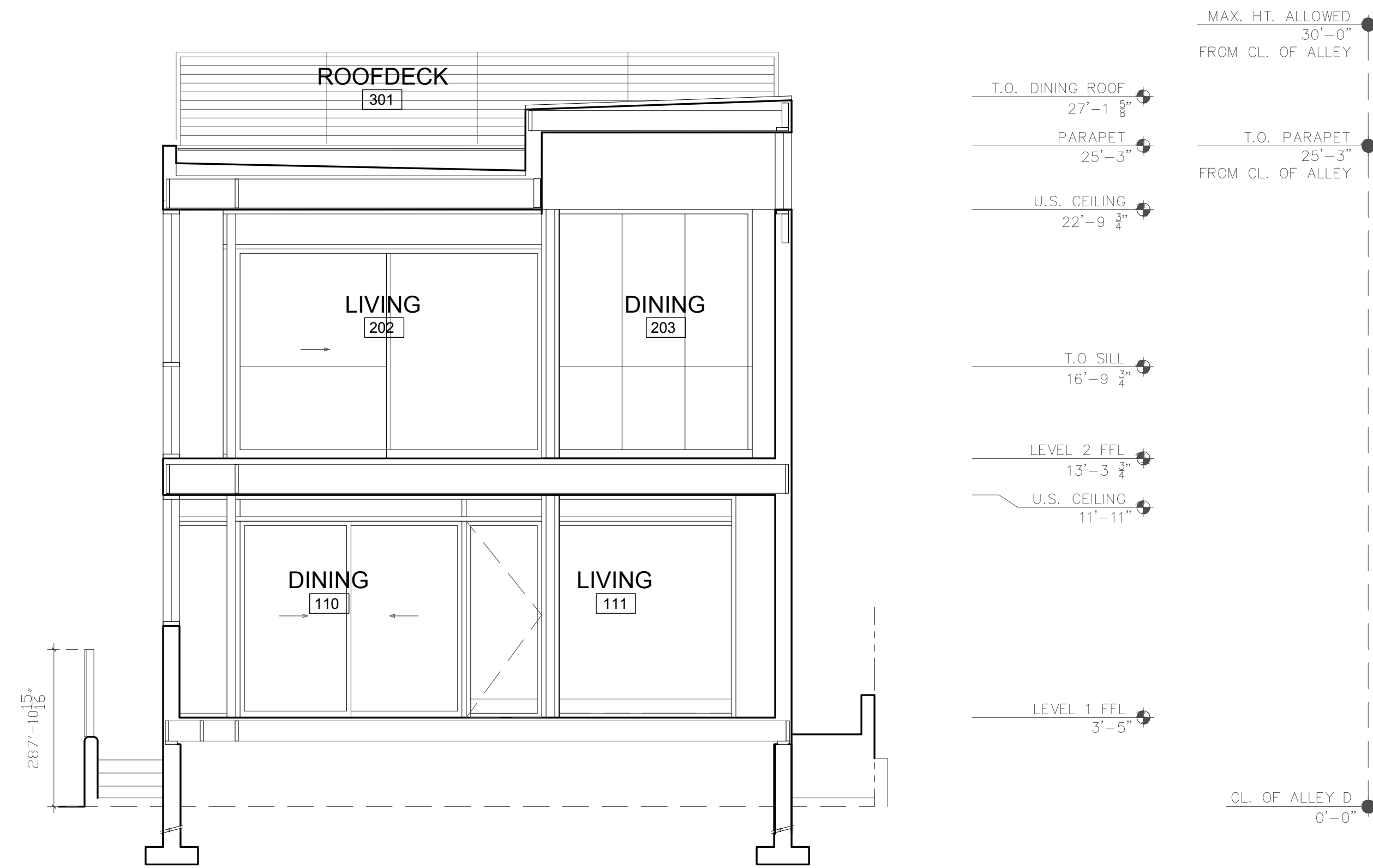
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 Venice, CA 90291

PROPOSED ELEVATIONS & STORMWATER FORMS

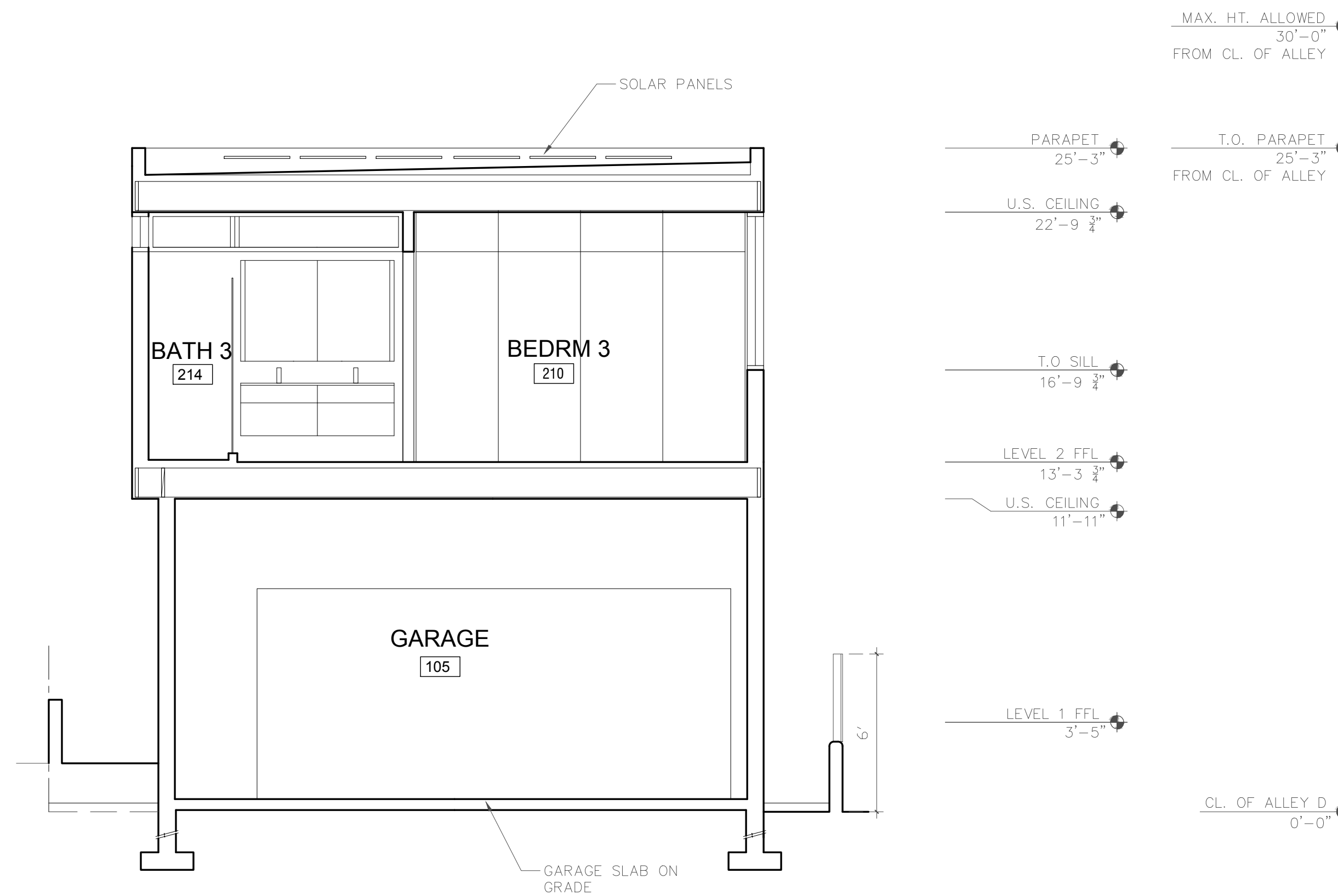
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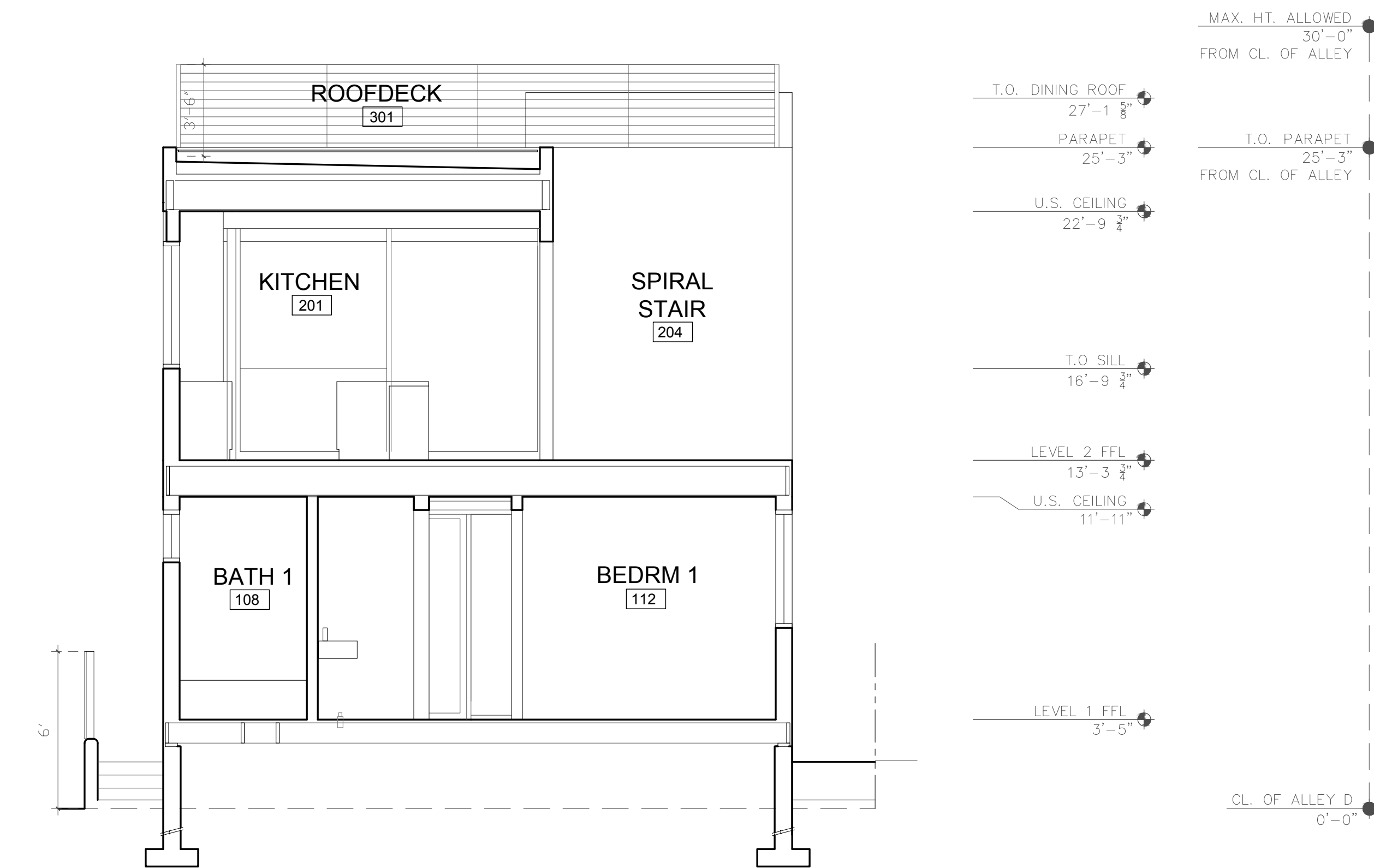
4 SECTION D



2 SECTION B



3 SECTION C



1 SECTION A

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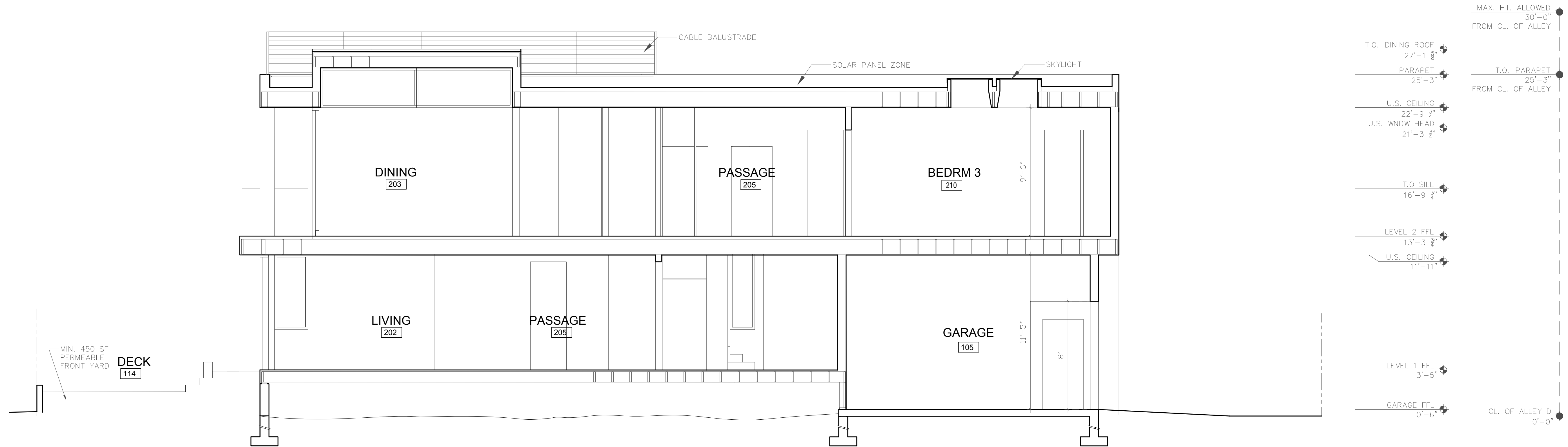
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**PROPOSED
SECTIONS**

SCALE: 1/4" = 1'

A4.1



2 SECTION 2



1 SECTION 1

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HOUSE**

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**PROPOSED
SECTIONS**

SCALE: 1/4" = 1'

A4.2