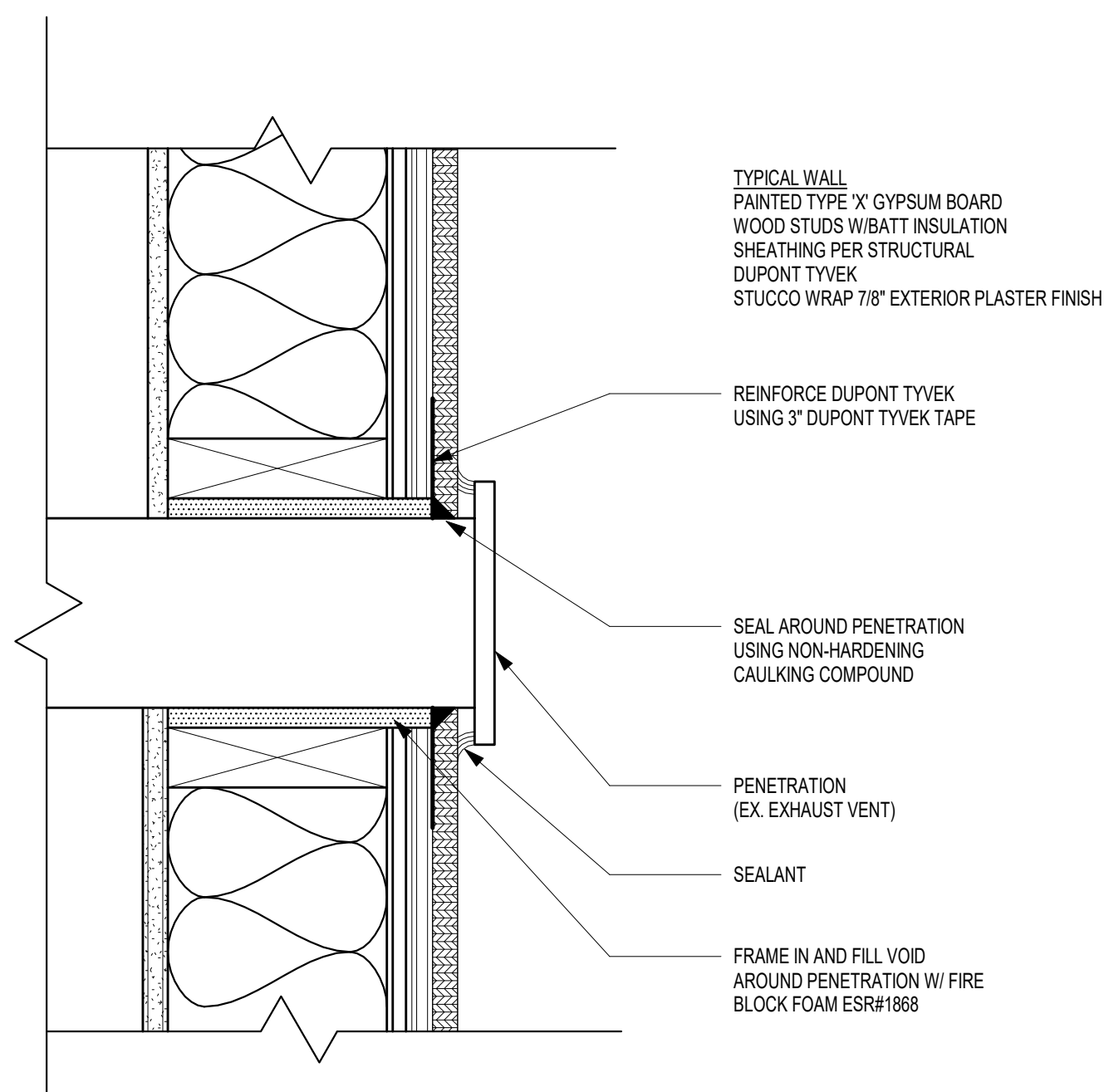
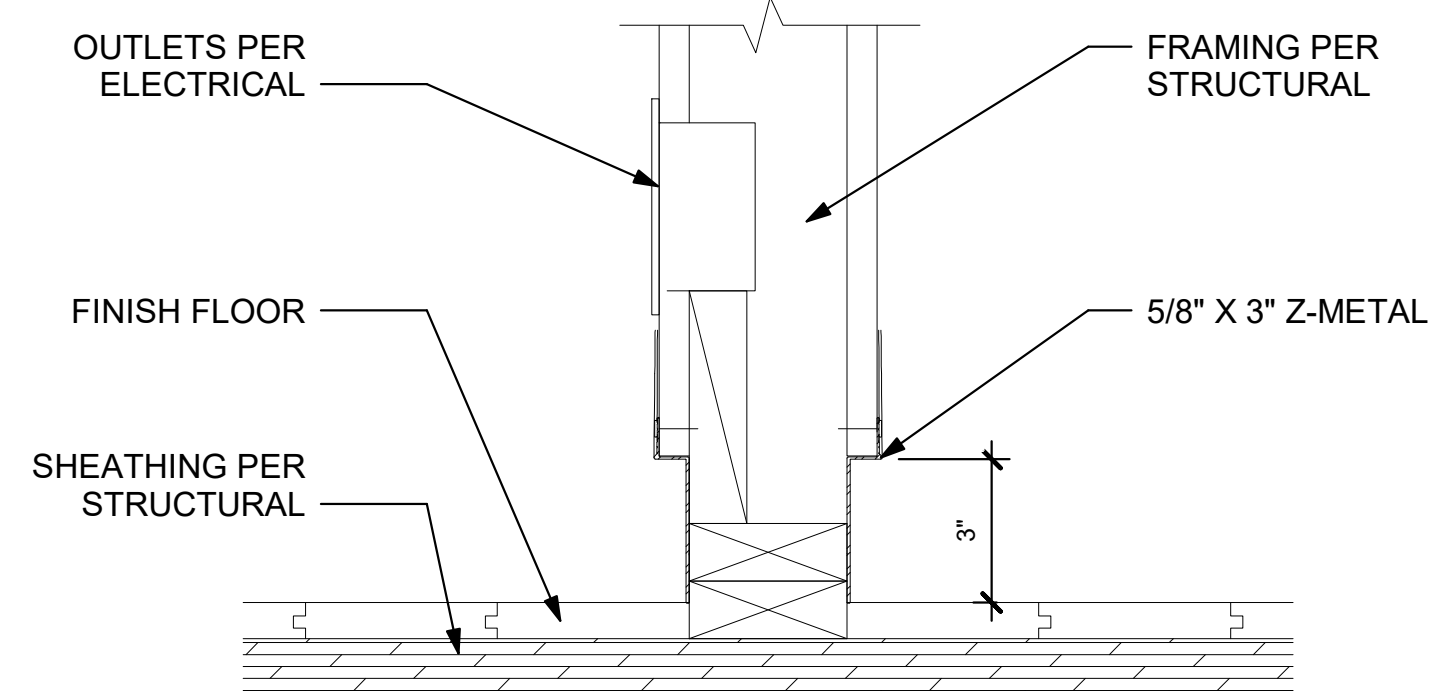


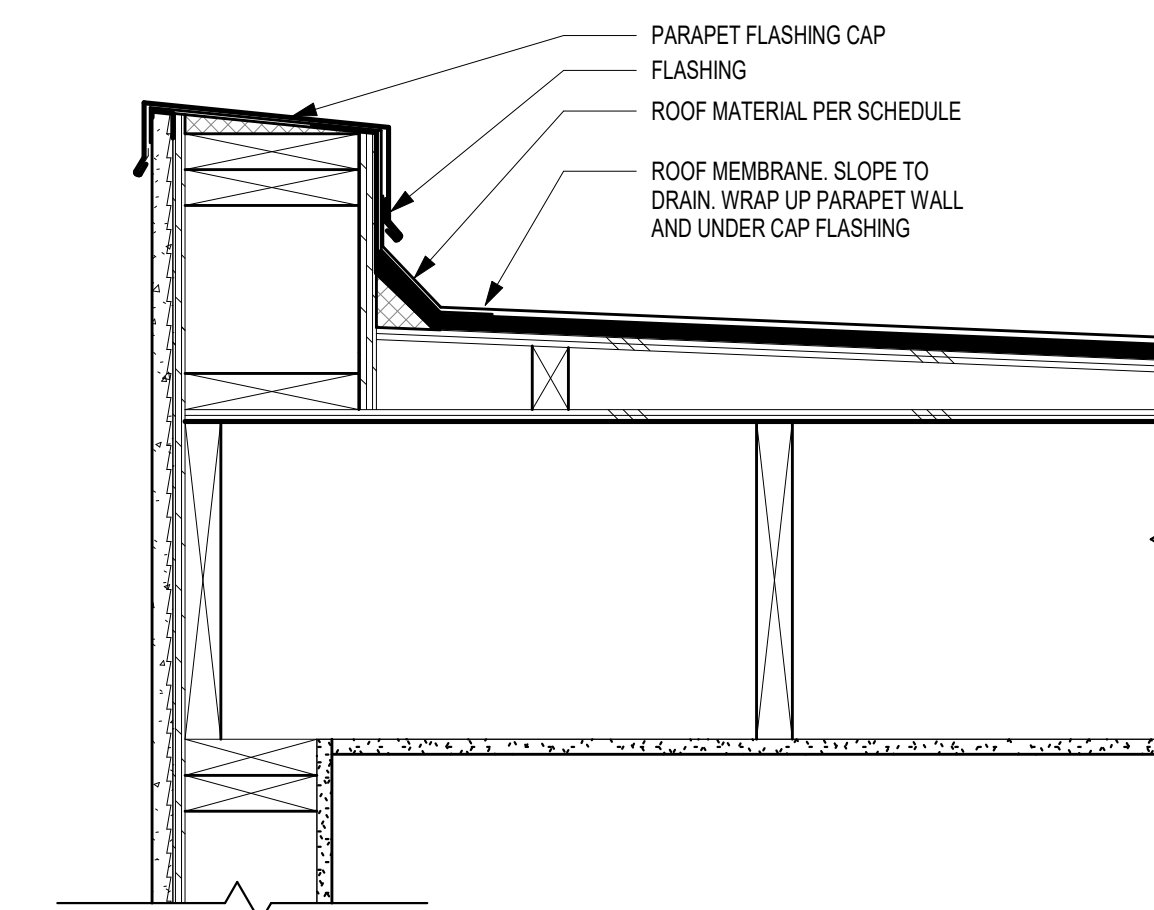
DETAIL - DRAIN
1 1/2" = 1'-0" 12



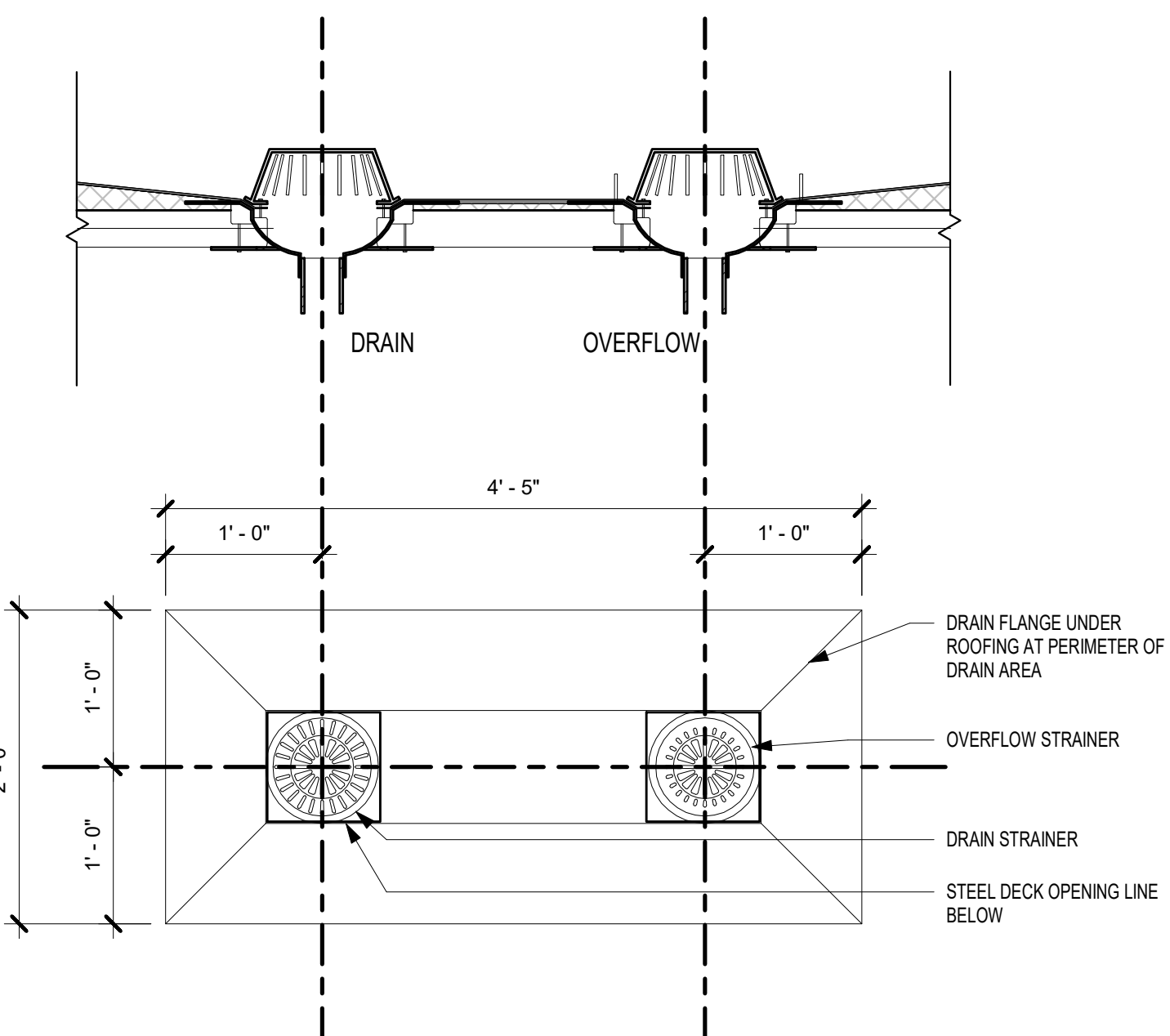
DETAIL - EXTERIOR WALL PENETRATION
3" = 1'-0" 9



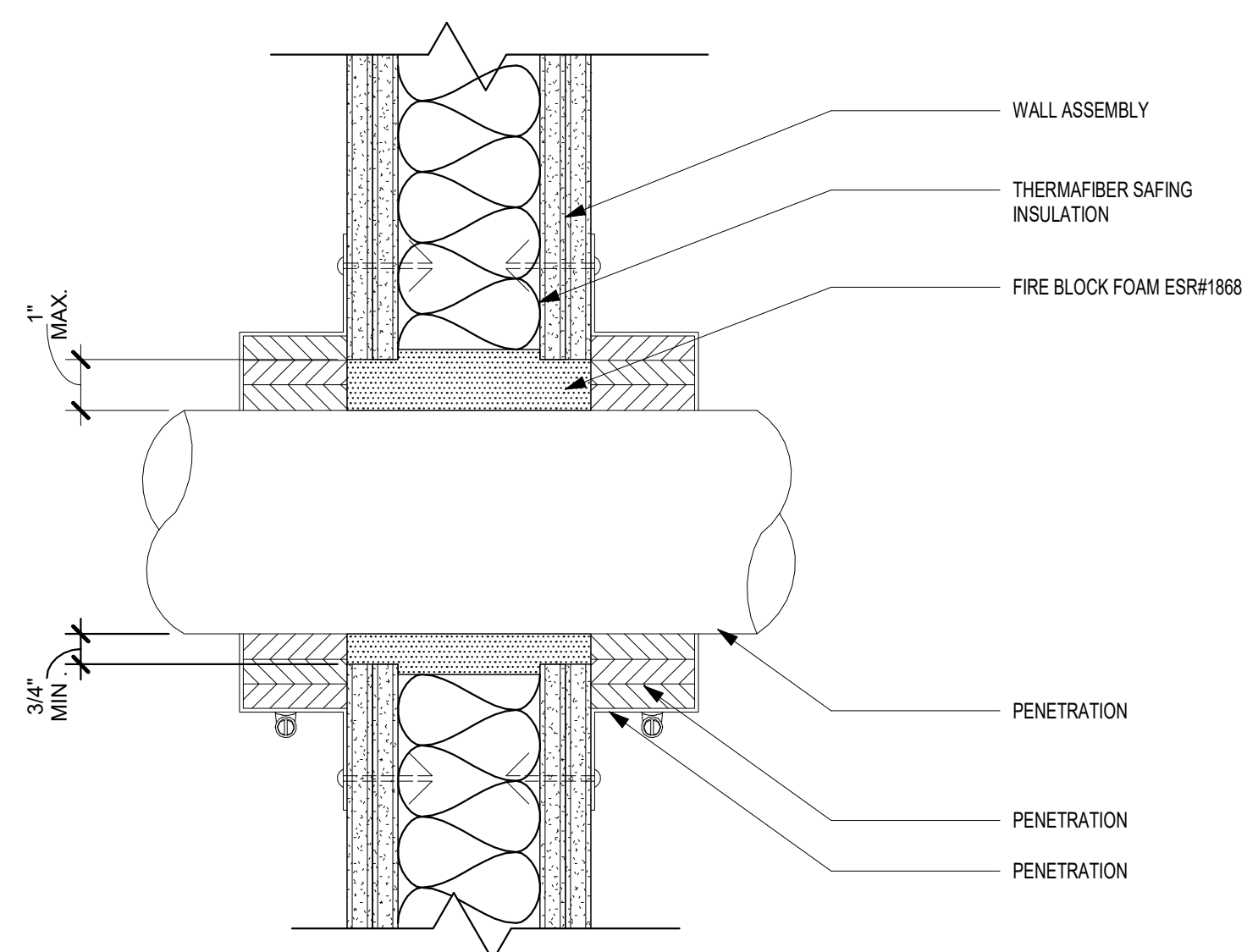
DETAIL - BASEBOARD
3" = 1'-0" 6



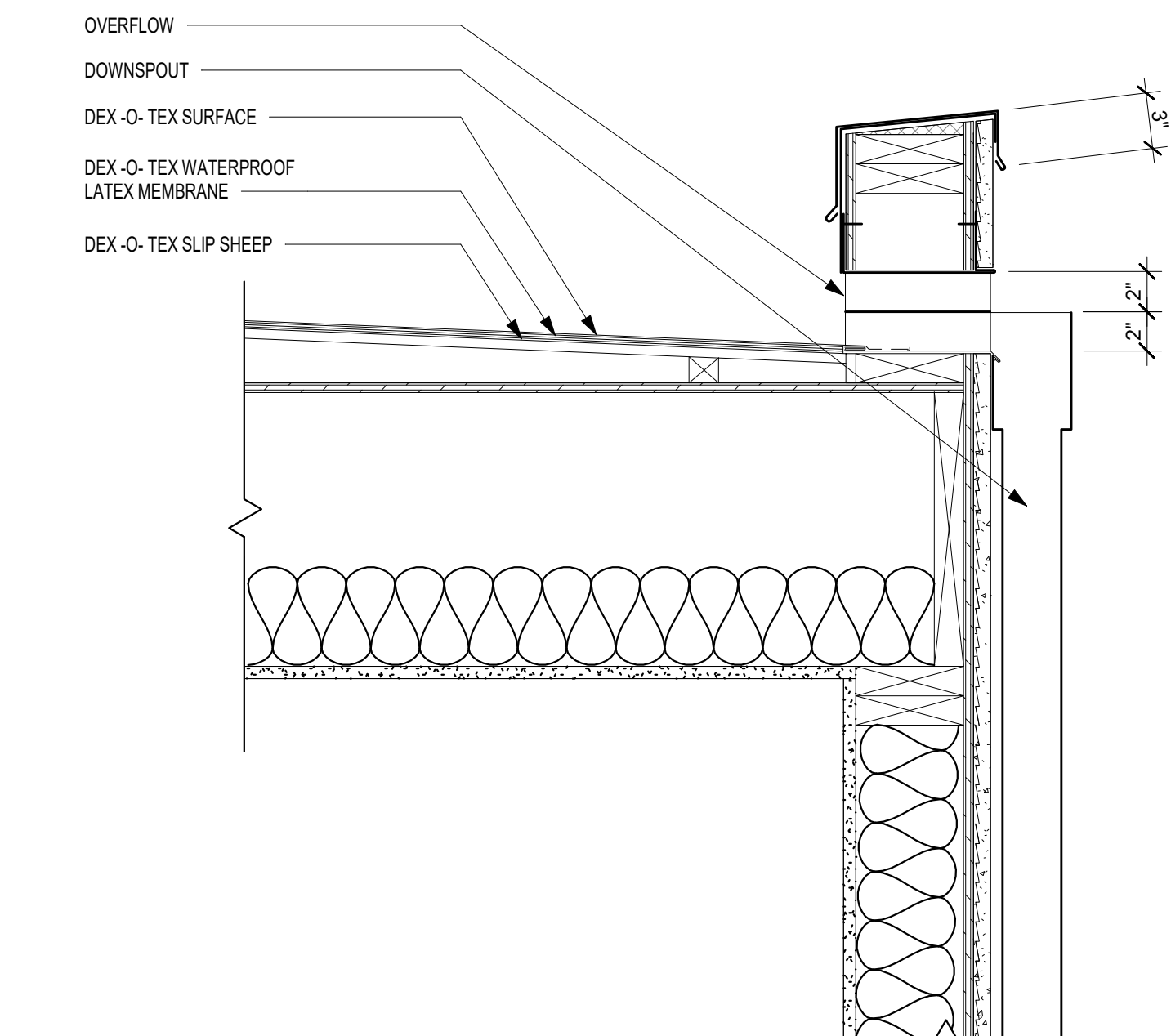
DETAIL - PARAPET
1 1/2" = 1'-0" 3



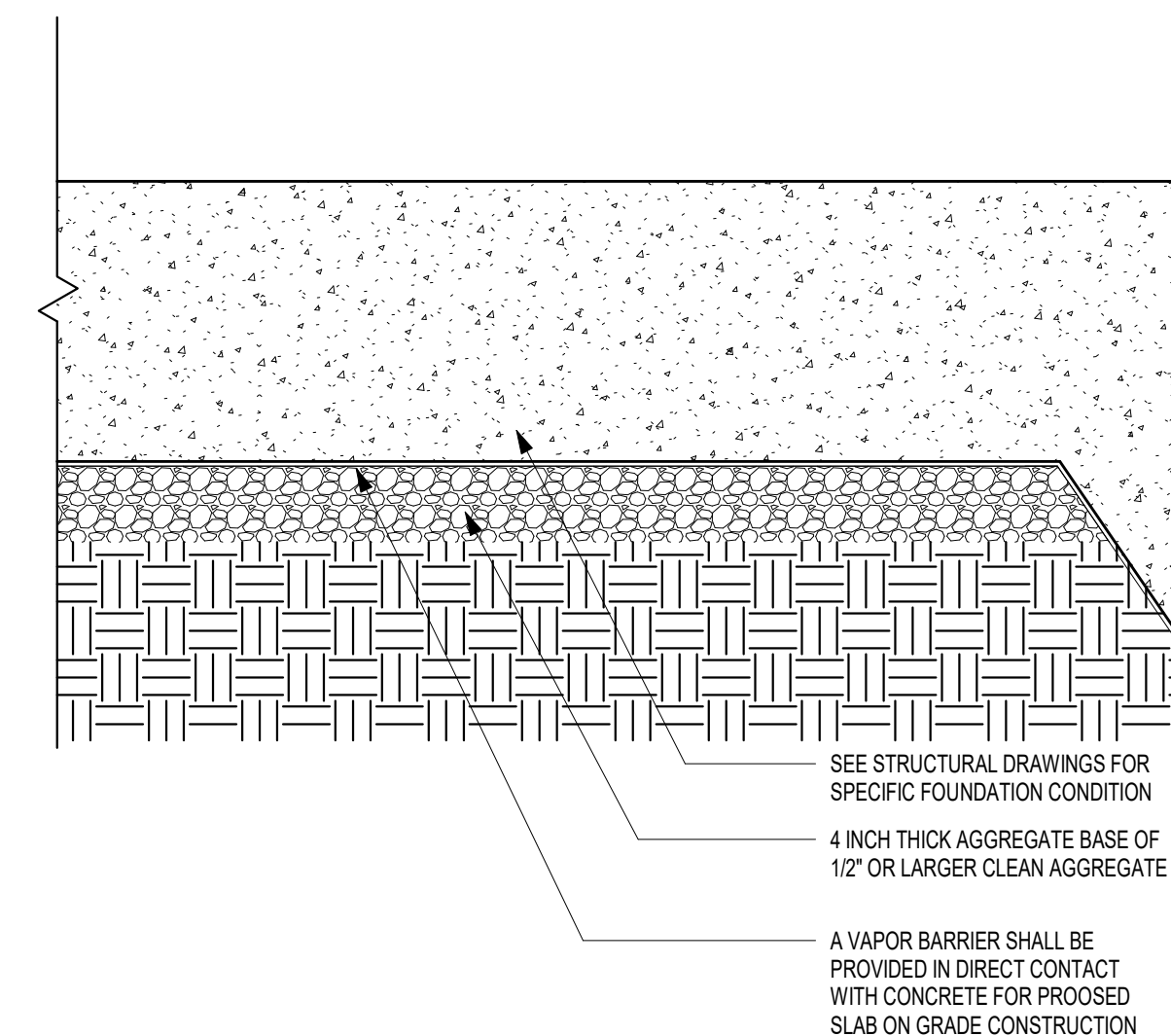
DETAIL - DRAIN / OVERFLOW DRAIN
1" = 1'-0" 11



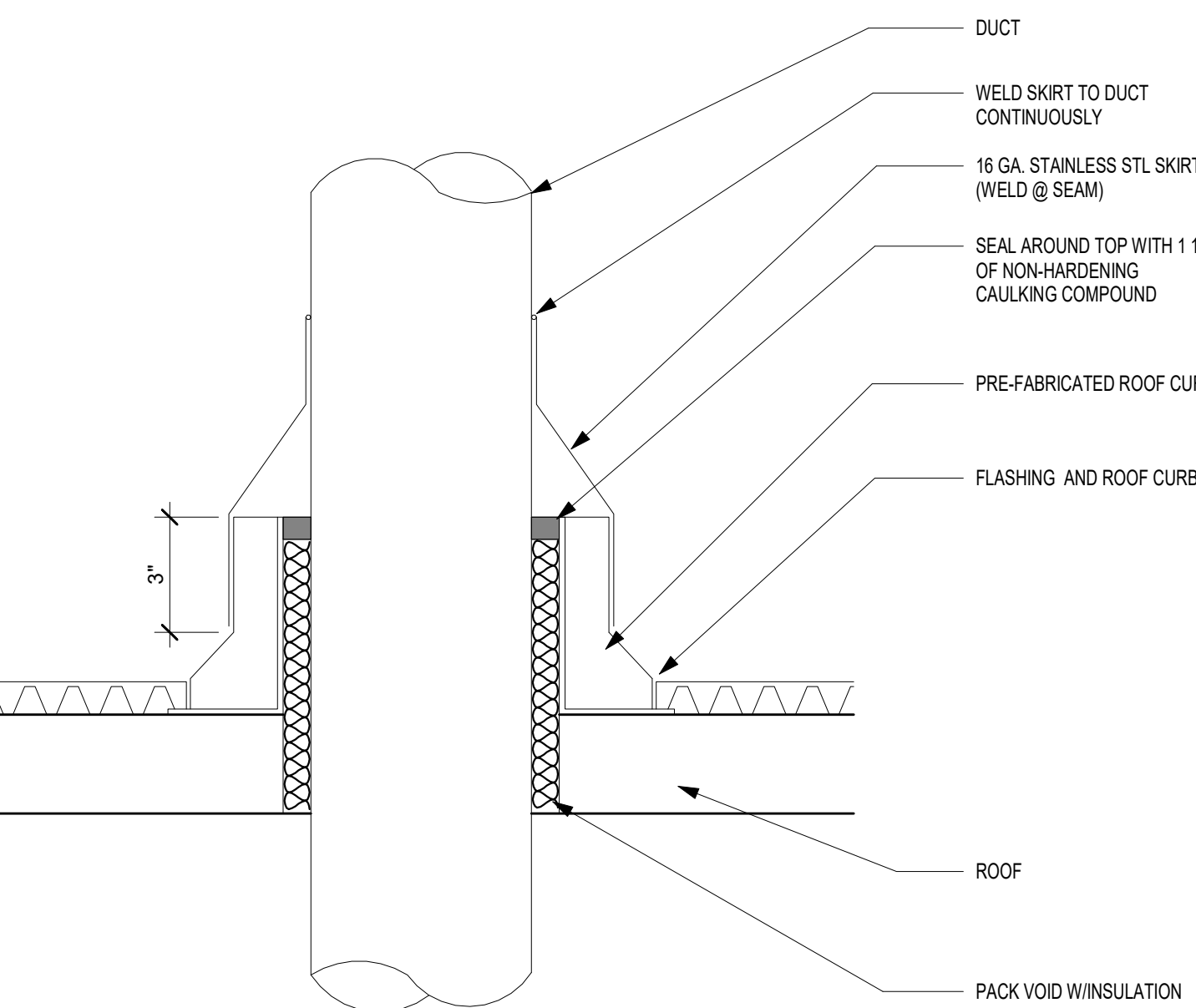
DETAIL - FIRE STOP / 2-HR WALL PENETRATION
3" = 1'-0" 8



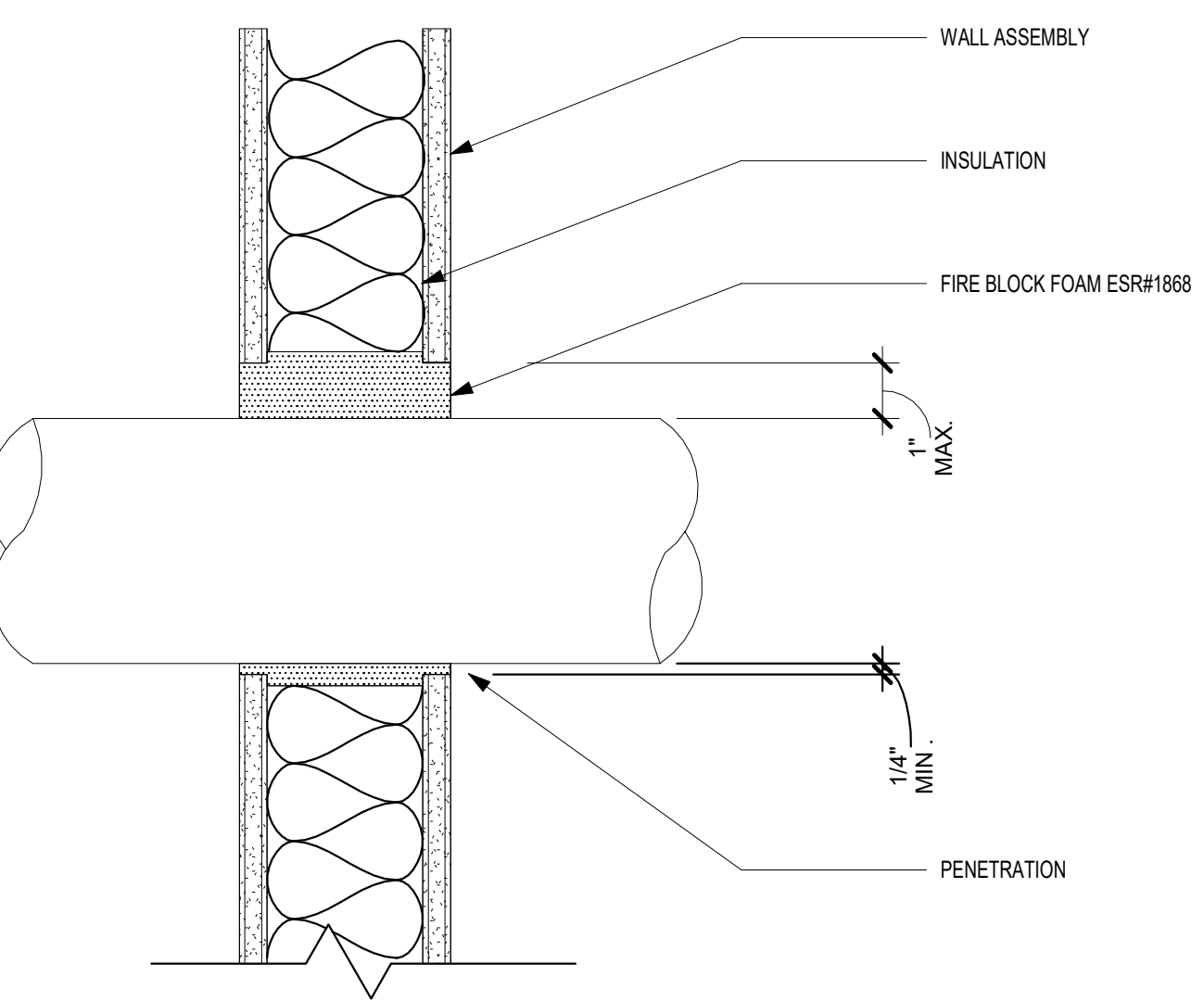
DETAIL - OVERFLOW / SCUPPER
1 1/2" = 1'-0" 5



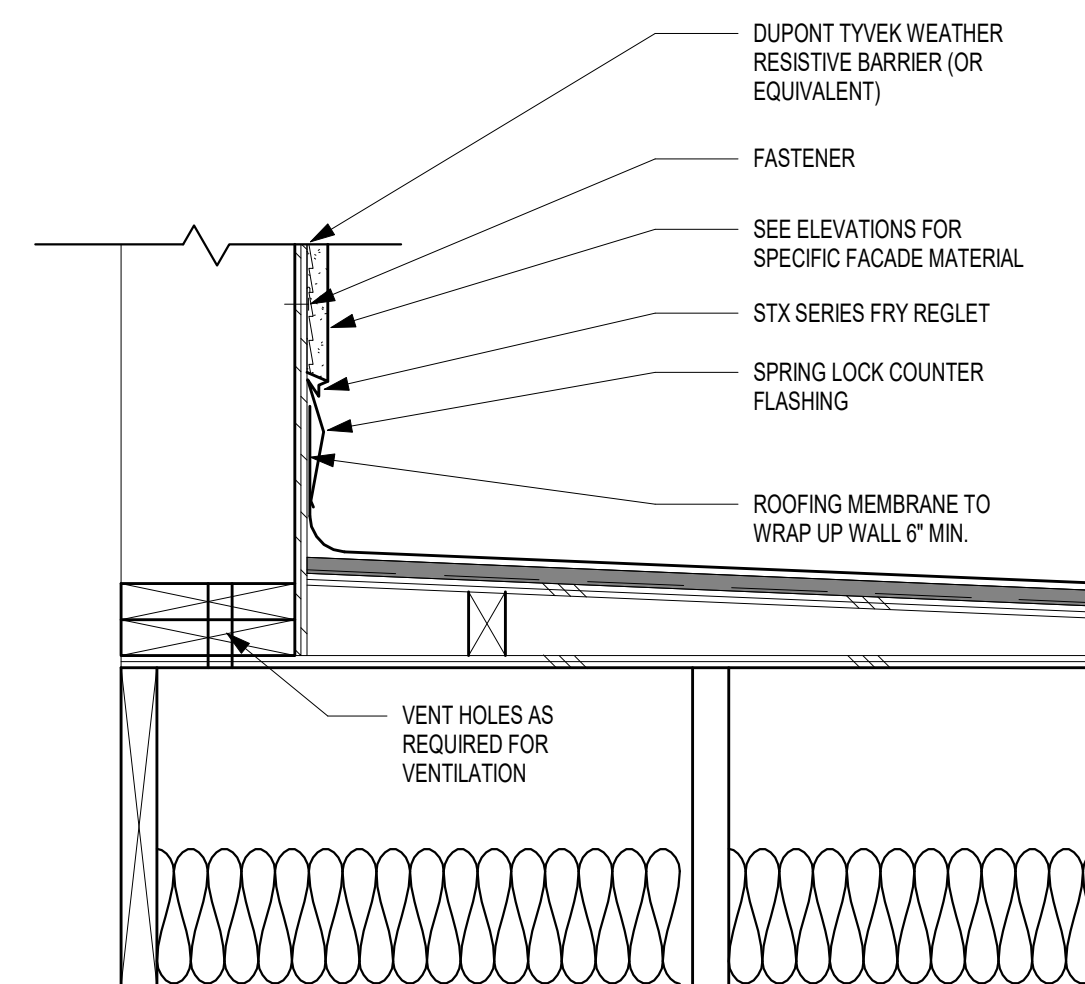
DETAIL - FOUNDATION SLAB ON GRADE
1 1/2" = 1'-0" 2



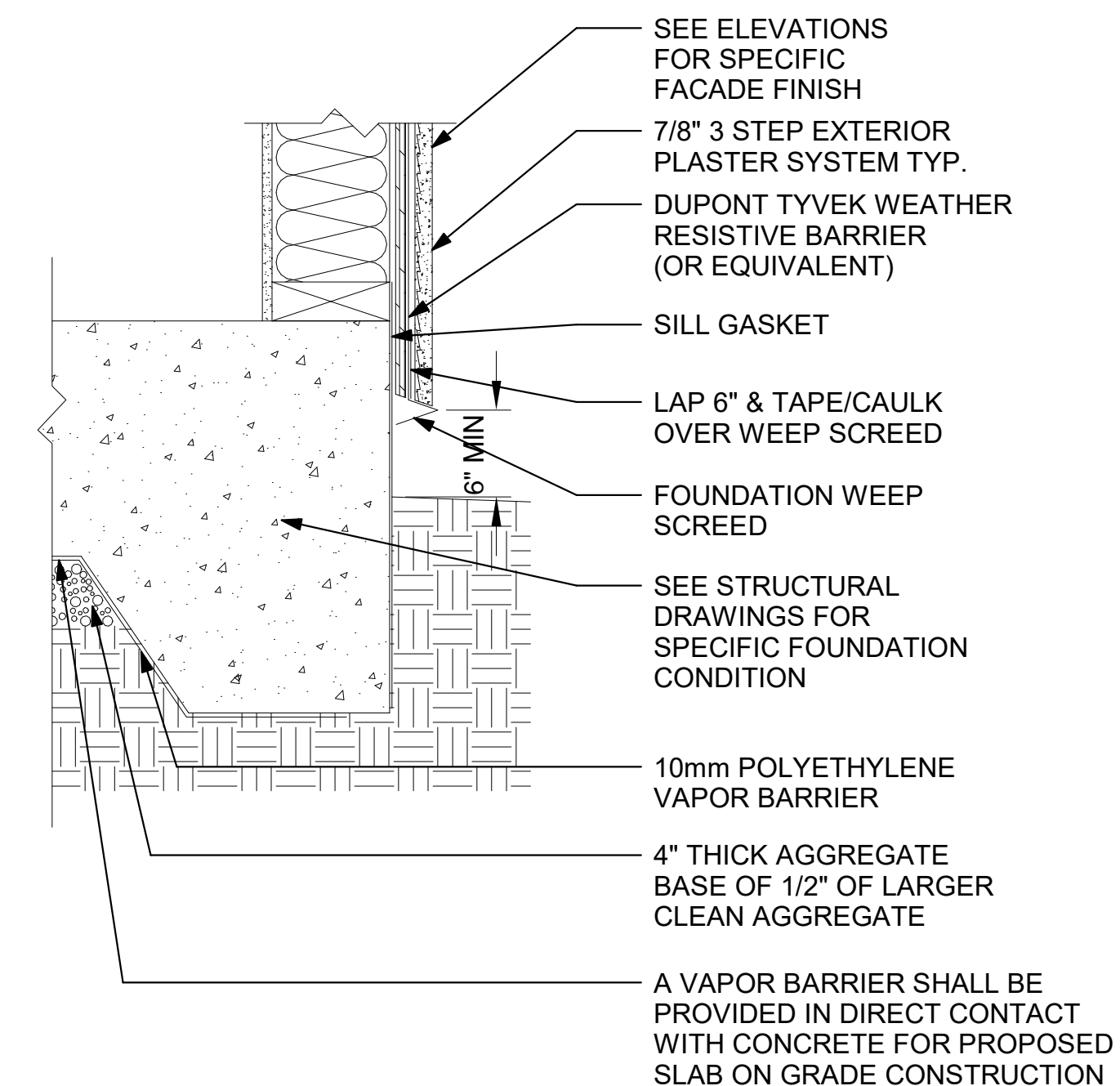
DETAIL - THROUGH DRAIN
3" = 1'-0" 10



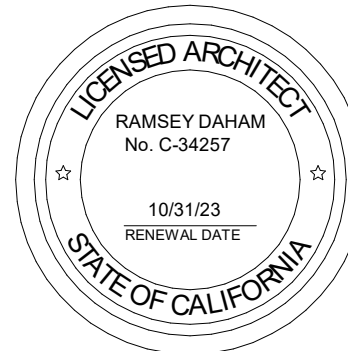
DETAIL - FIRE STOP / 1-HR WALL PENETRATION
3" = 1'-0" 7



DETAIL - ROOF DECK TO WALL
1 1/2" = 1'-0" 4



DETAIL - WALL TO GROUND
1 1/2" = 1'-0" 1

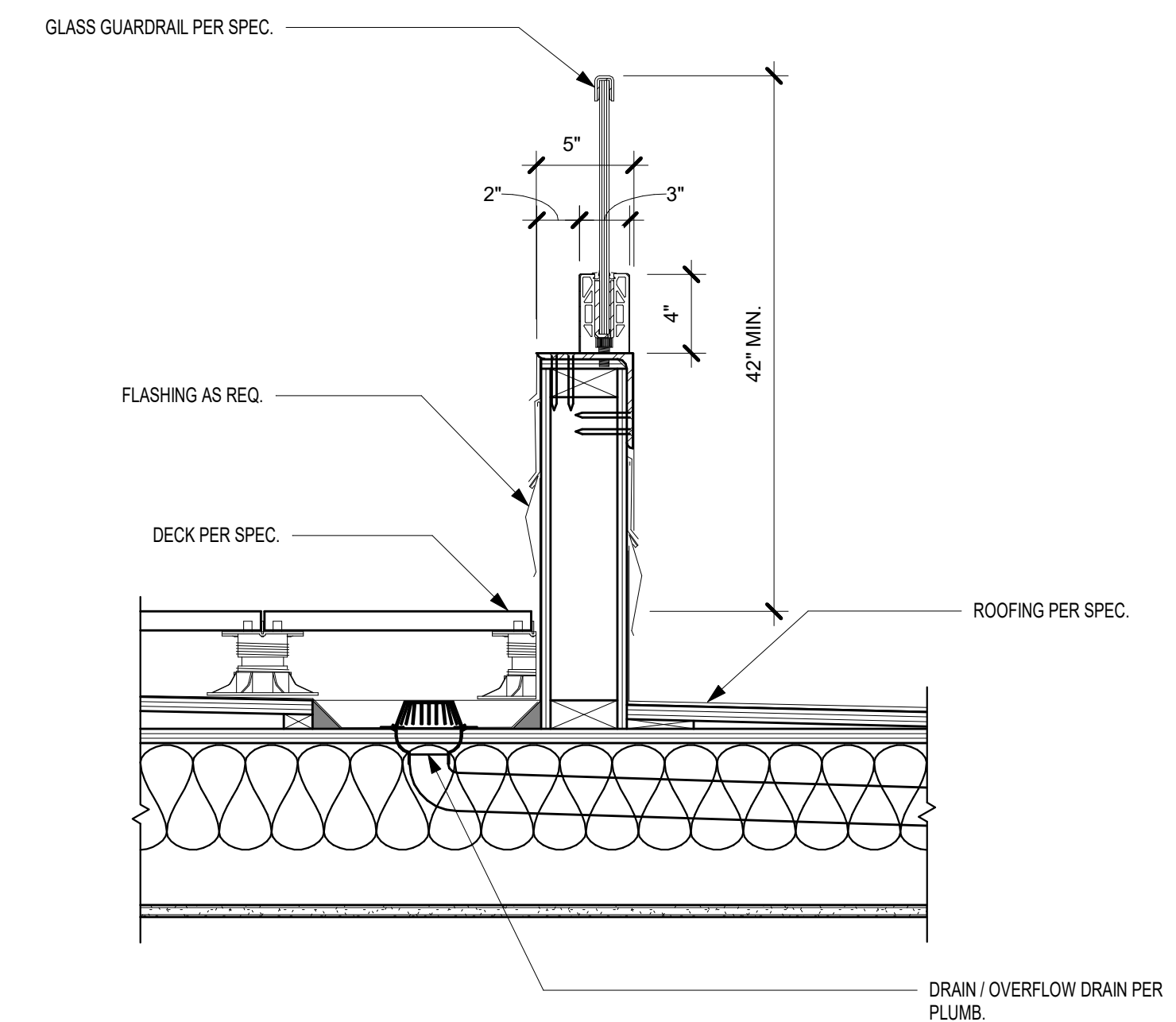


REVISIONS

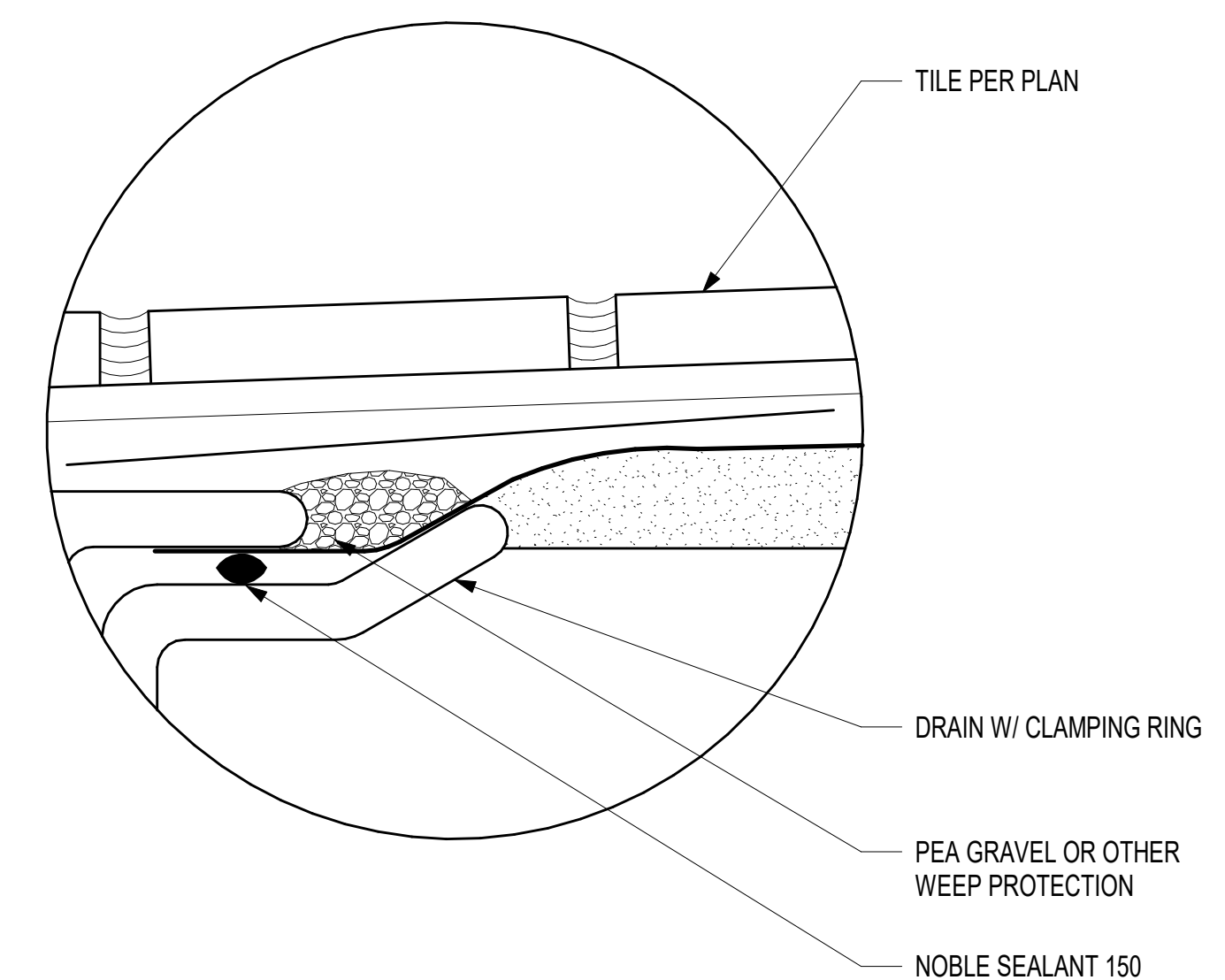
NO.	DATE	DESCRIPTION

GENERAL DETAILS

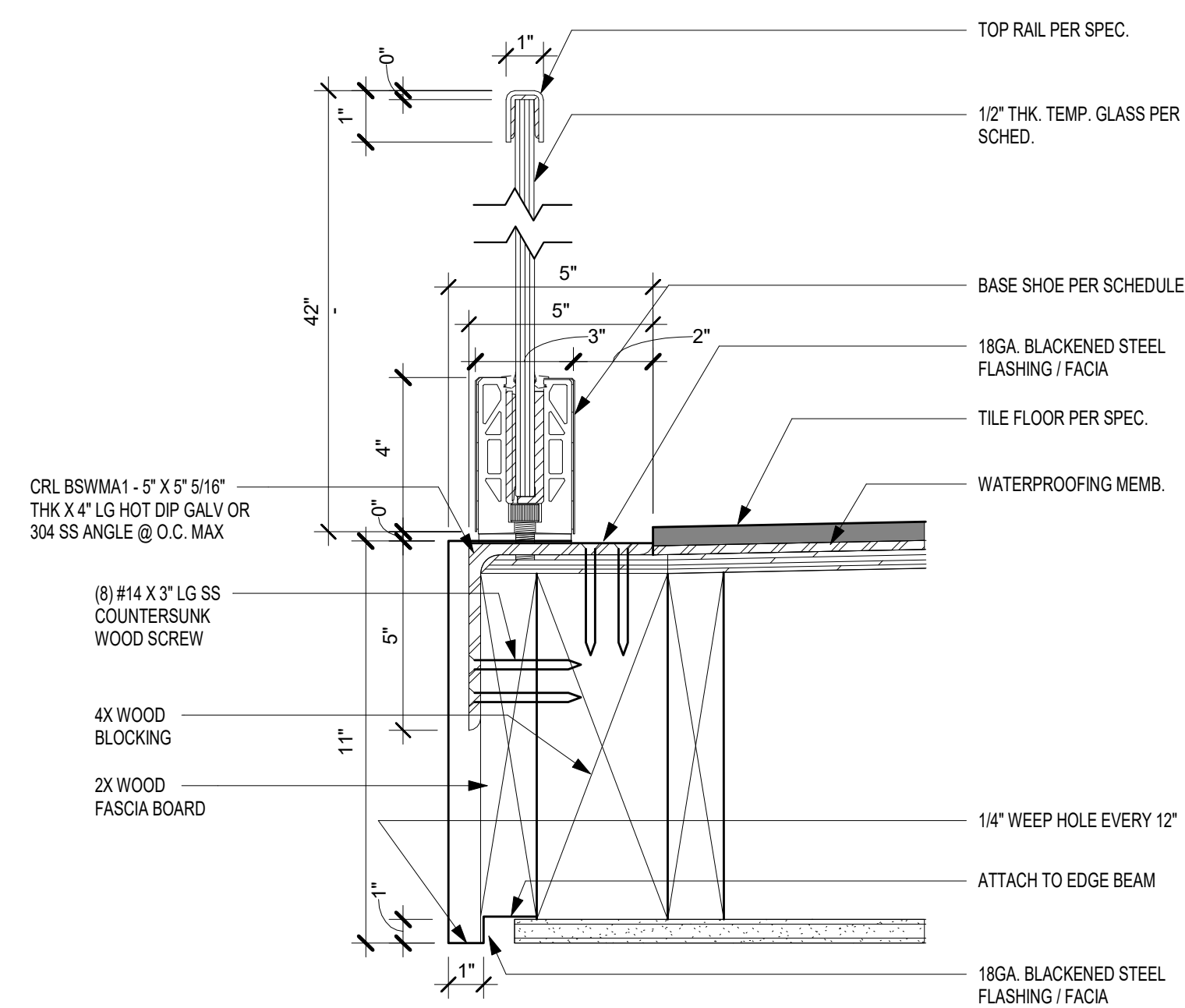
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CHECKED	PNK
DATE	7/7/2022 3:04:53 PM
SCALE	As indicated
JOB #	21-A009



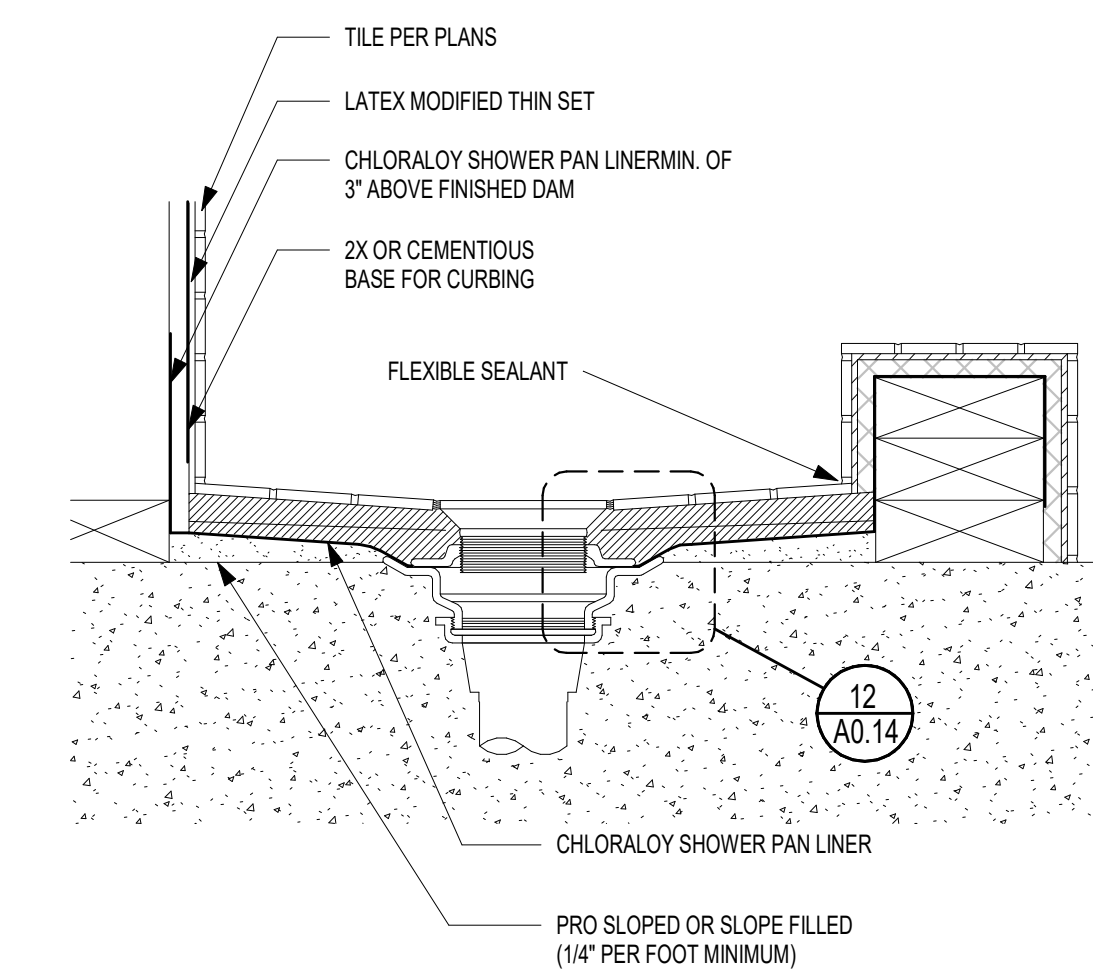
DETAIL - ROOF GAURDRAIL
1 1/2" = 1'-0" 10



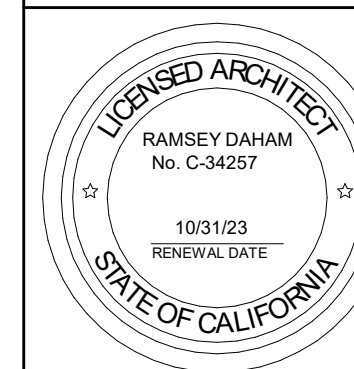
DETAIL - SHOWER ENLARGED
6" = 1'-0" 2



DETAIL - BALCONY GAURDRAIL
3" = 1'-0" 11



DETAIL - SHOWER
3" = 1'-0" 1



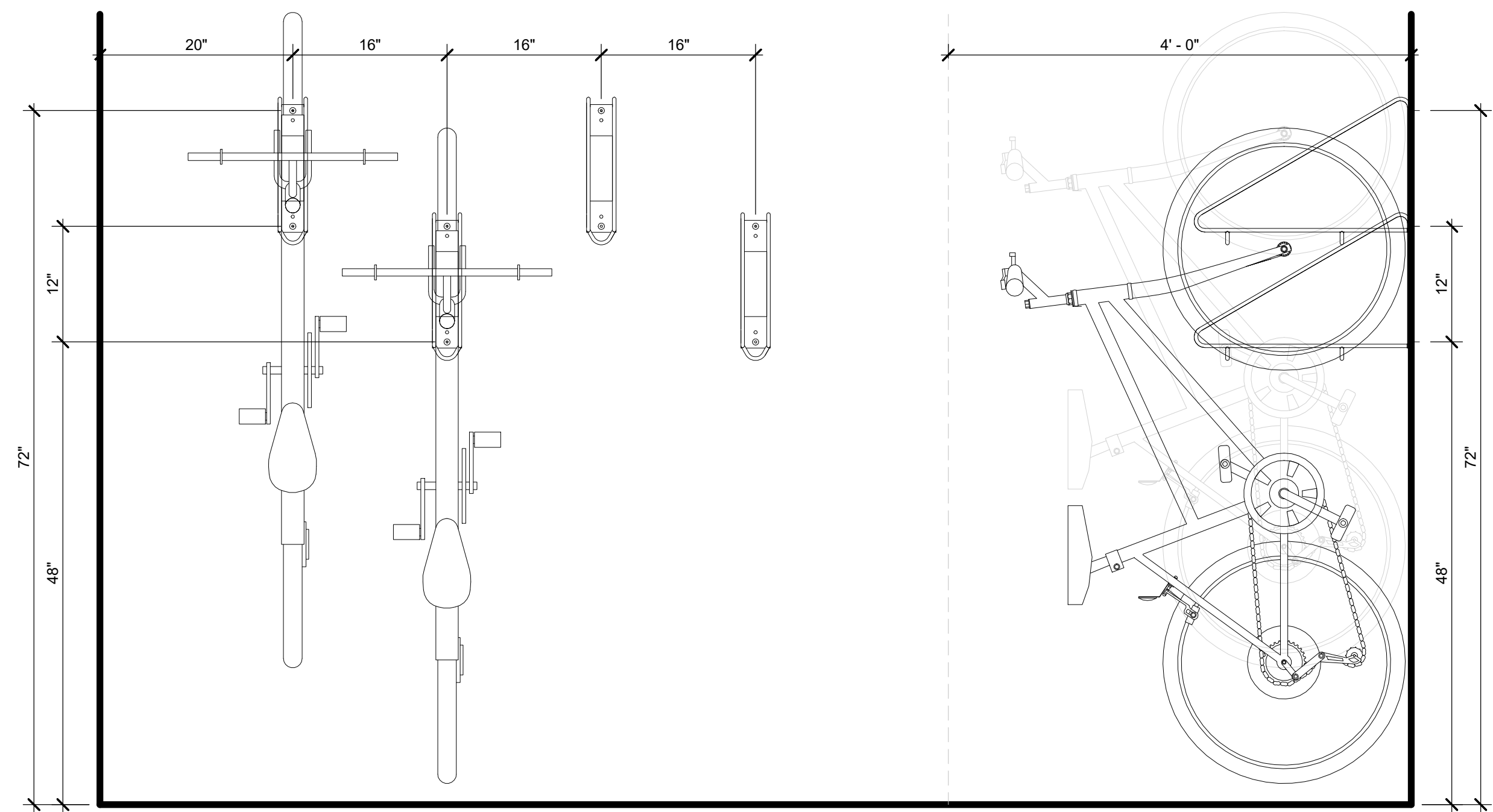
723 OCEAN FRONT WALK
VENICE, CA 90291

REVISIONS

NO.	DATE	DESCRIPTION

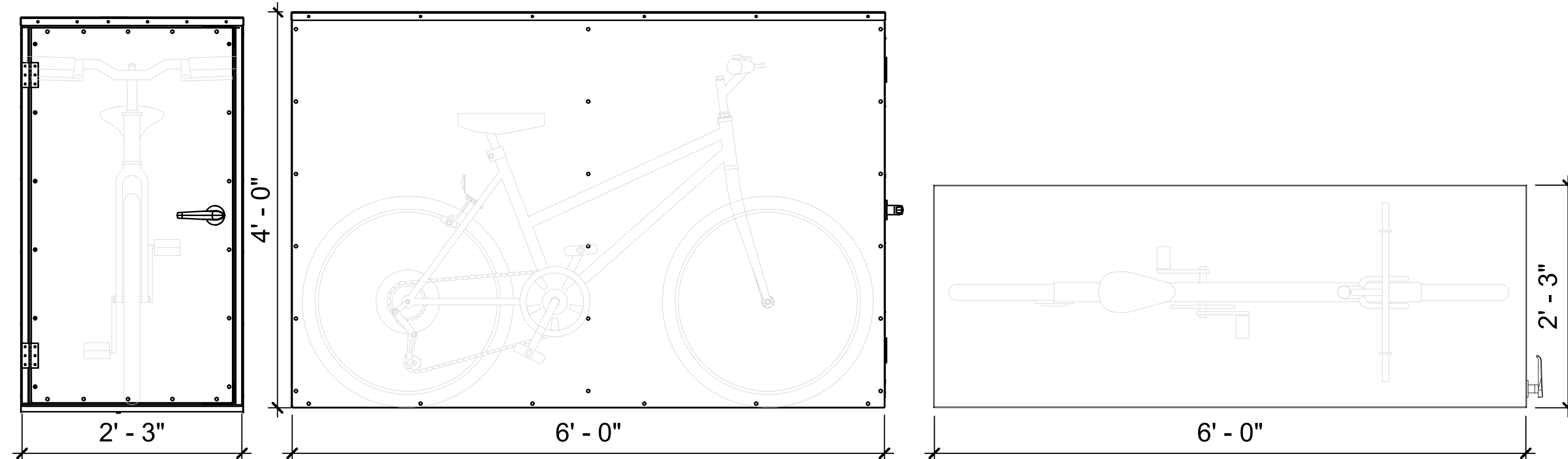
GENERAL DETAILS

DRAWN	CR
CHECKED	PNK
DATE	7/7/2022 3:04:53 PM
SCALE	As indicated
JOB #	21-A009



DETAIL - BICYCLE PARKING LONG TERM WALL RACK
1" = 1'-0"

8



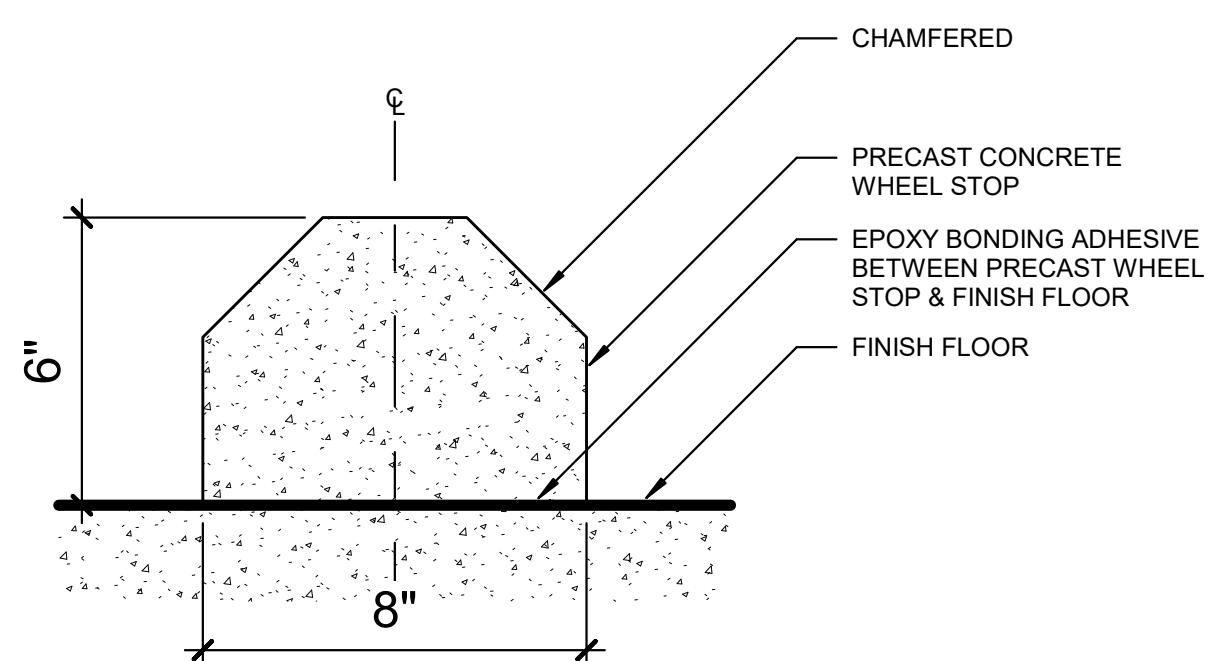
FRONT ELEVATION

SIDE ELEVATION

PLAN VIEW

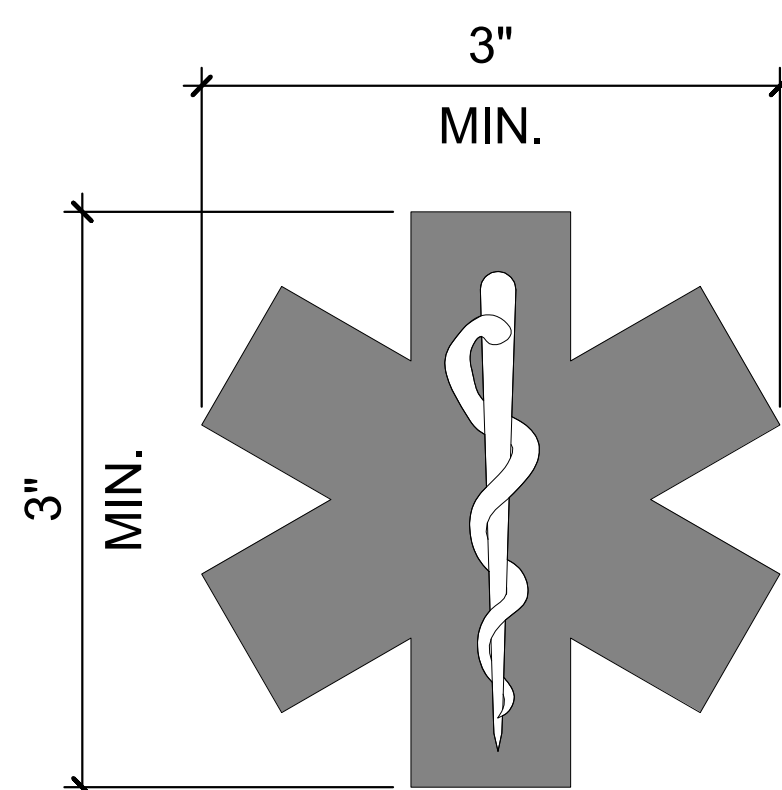
DETAIL - BICYCLE PARKING LONG TERM LOCKER TYP.
1" = 1'-0"

3



DETAIL - WHEEL STOP
3" = 1'-0"

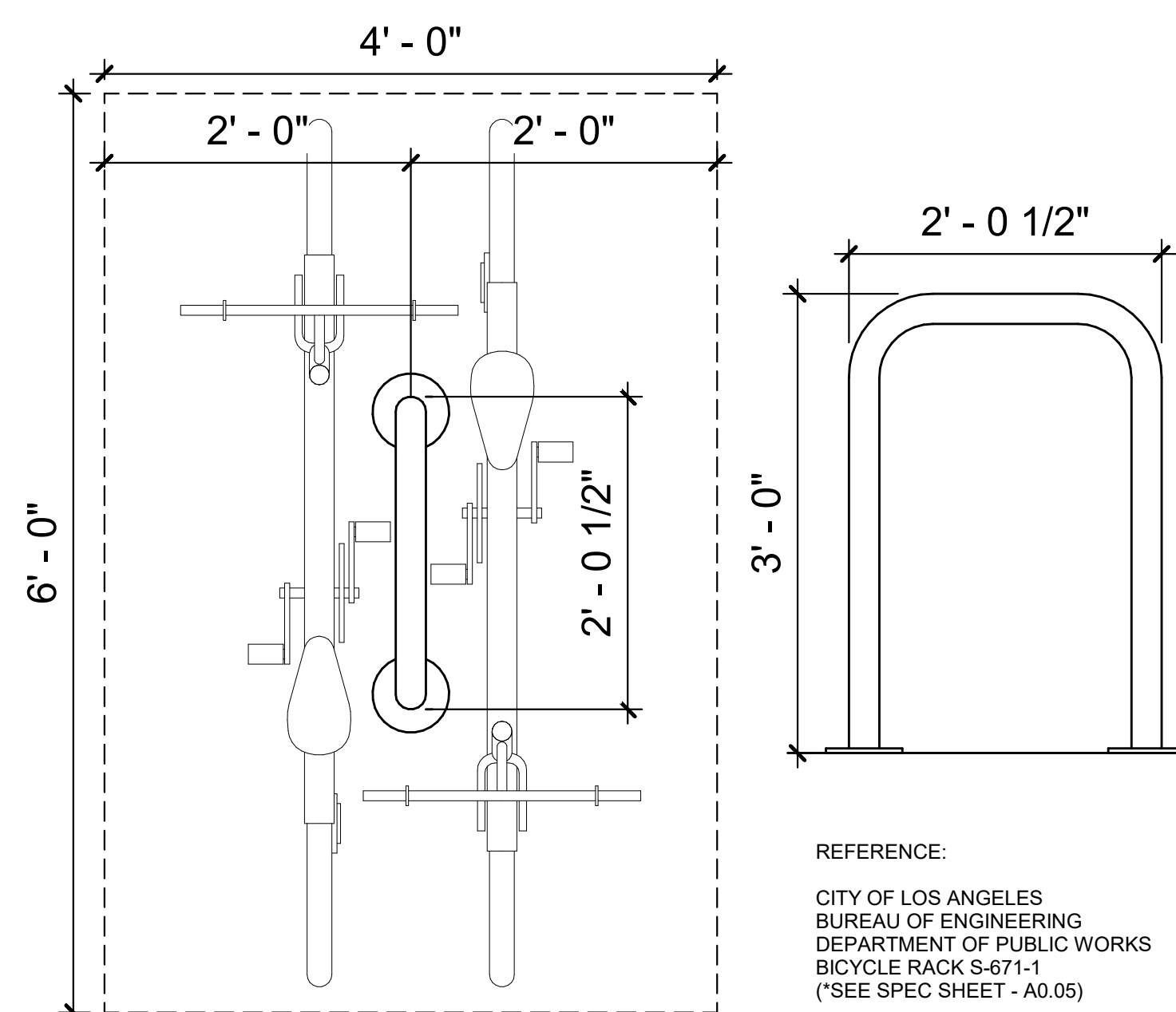
7



NOTE:
INTERNATIONAL SYMBOL FOR MEDICAL SERVICES (STAR OF LIFE). THE SYMBOL SHALL NOT BE LESS THAN 3 INCHES HIGH & SHALL BE PLACED INSIDE OF THE HOISTWAY DOOR FRAME.

DETAIL - MEDICAL SERVICES SYMBOL
12" = 1'-0"

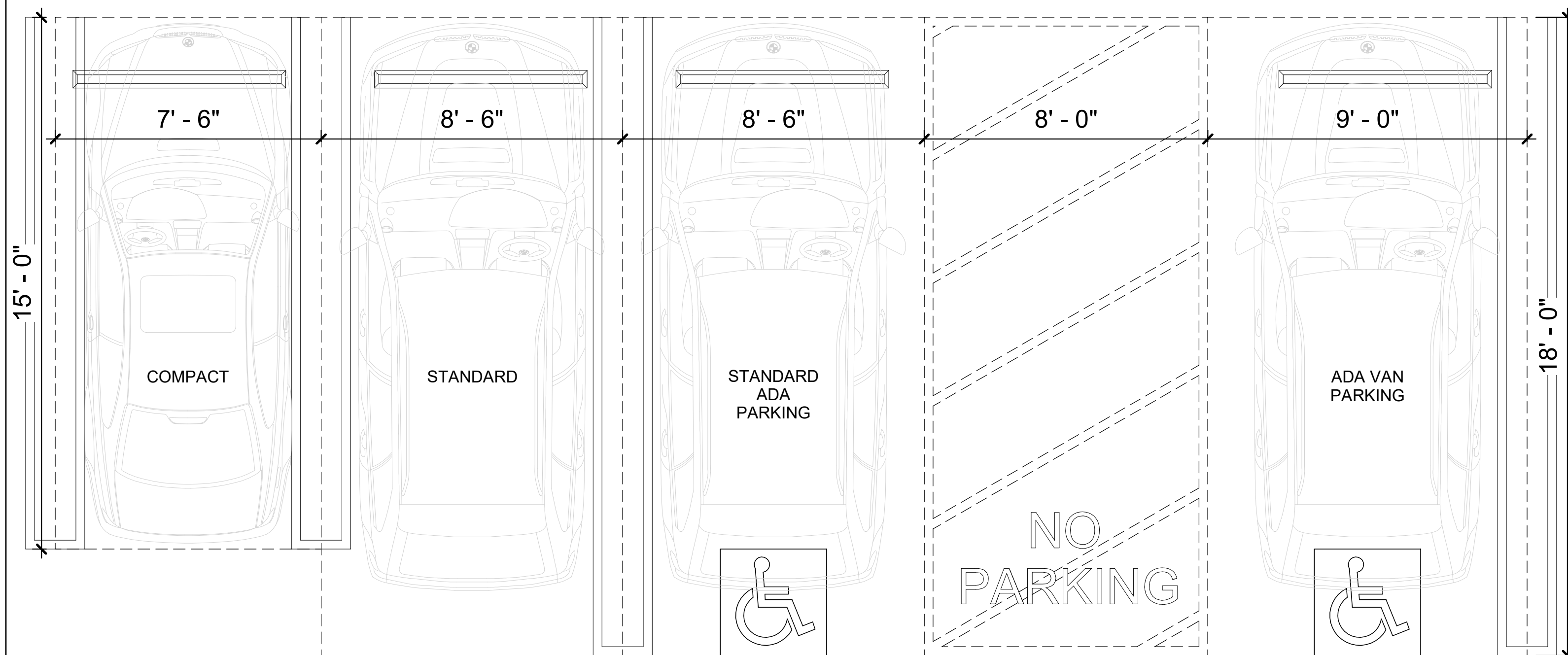
5



REFERENCE:
CITY OF LOS ANGELES
BUREAU OF ENGINEERING
DEPARTMENT OF PUBLIC WORKS
BICYCLE RACK S-671-1
(*SEE SPEC SHEET - A0.05)

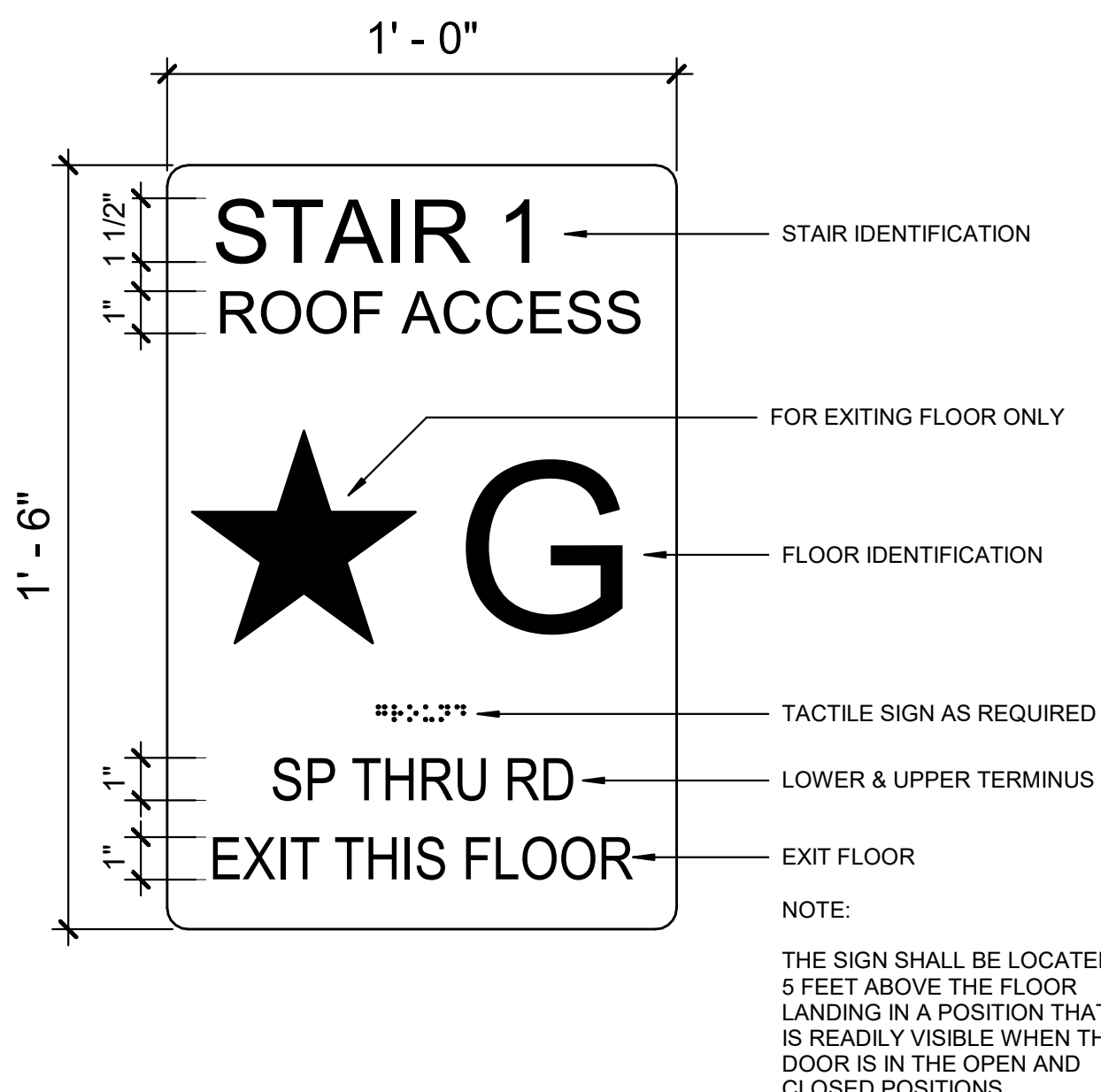
DETAIL - BICYCLE PARKING SHORT TERM TYP.
1" = 1'-0"

2



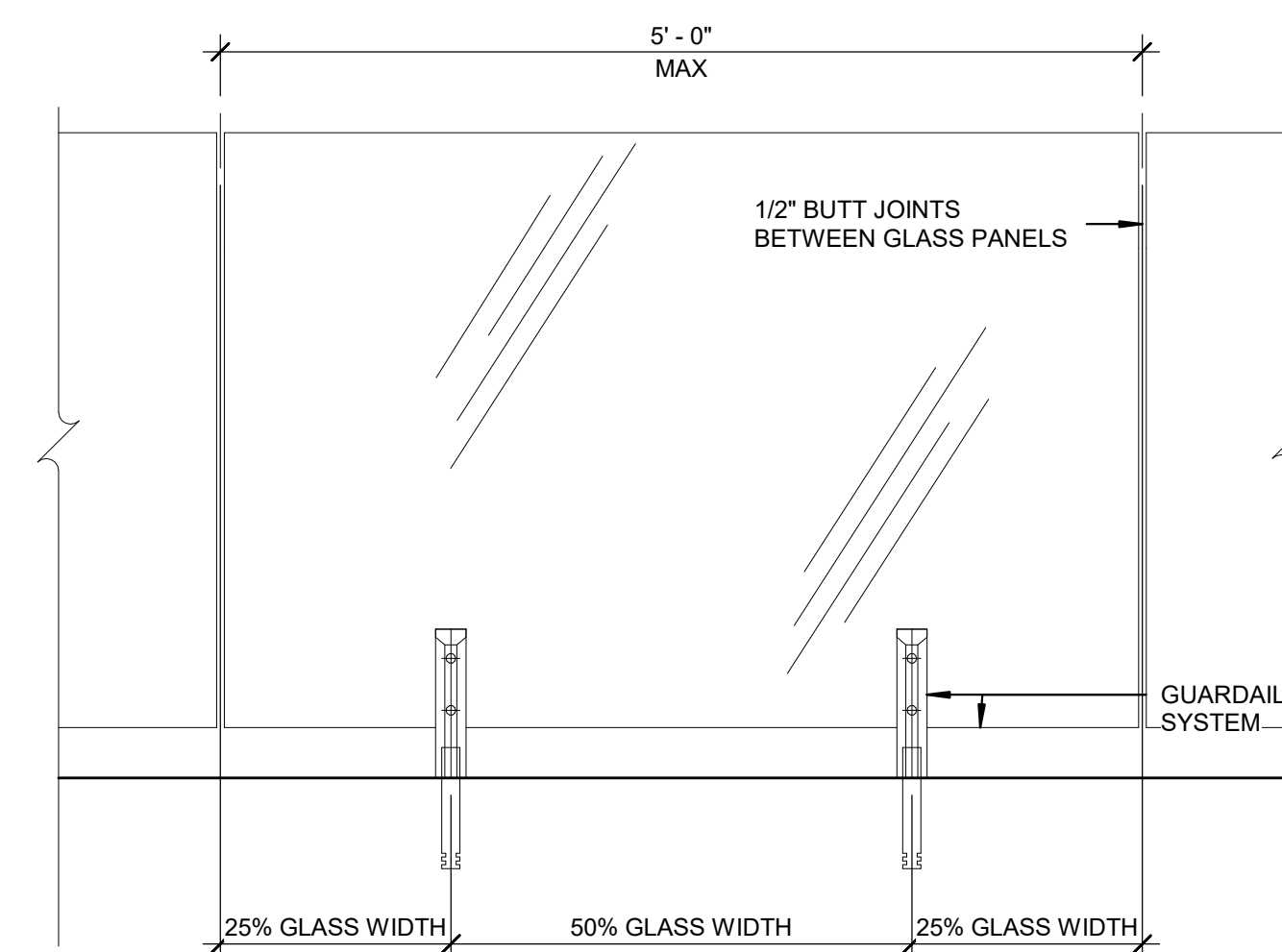
DETAIL - TYPICAL PARKING
3/8" = 1'-0"

6



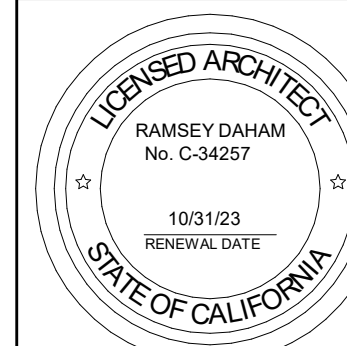
DETAIL - FLOOR I.D. SIGN TYP.
3" = 1'-0"

4



DETAIL - GLASS GAURDRAIL
1" = 1'-0"

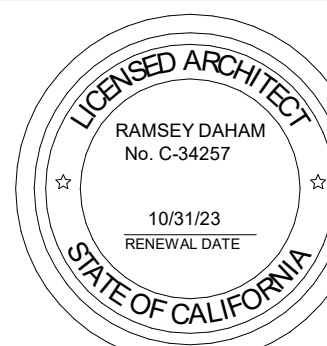
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GENERAL DETAILS

DRAWN	CR
CHECKED	PNK
DATE	7/7/2022 3:04:54 PM
SCALE	As indicated
JOB #	21-A009



REVISIONS

NO.	DESCRIPTION	DATE

EXISTING SITE SURVEY

DRAWN JS

CHECKED PNK

DATE 7/26/2022 6:43:22 PM

SCALE _____

JOB # 21-A009

LEGEND

A.C.	ASPHALT CONCRETE PAVEMENT
B.M.	BENCH MARK
C.B.W.	CONCRETE BLOCK WALL
C.B.R.W.	CONCRETE BLOCK RETAINING WALL
CONC.	CONCRETE
C/O	SEWER CLEANOUT
D.W.Y.	CONC. DRIVEWAY APRON
E.G.	EDGE OF CUTTER
E.M.	ELECTRIC METER
E.P.	EDGE OF PAVEMENT
E.V.	ELECTRIC VALVE
F.F.	FINISHED FLOOR
F.G.	FINISHED GRADE
F.H.	FIRE HYDRANT
F.S.	FINISHED SURFACE
F.L.	FLOW LINE
G.M.	GAS METER
INV.	DRAIN INVERT
I.C.V.	IRRIGATION CONTROL VALVE
L.P.	LIGHT POLE
P.B.	PULL BOX
P.C.R.W.	POURED CONC. RETAINING WALL
P.P.	POWER POLE
R.R.W.	ROCK RETAINING WALL
S.S.M.H.	SEWER MANHOLE
S.D.M.	STORM DRAIN MANHOLE
T.C.	TOP OF CURB
T.G.	TOP OF DRAIN GRATE
T.W.	TOP OF WALL
W.M.H.	WATER MANHOLE
W.V.	WATER VALVE

- OVERHANG
- EASEMENT LIMIT
- CONCRETE SURFACE
- 8" TREE AND TRUNK DIAMETER
- WOOD FENCE

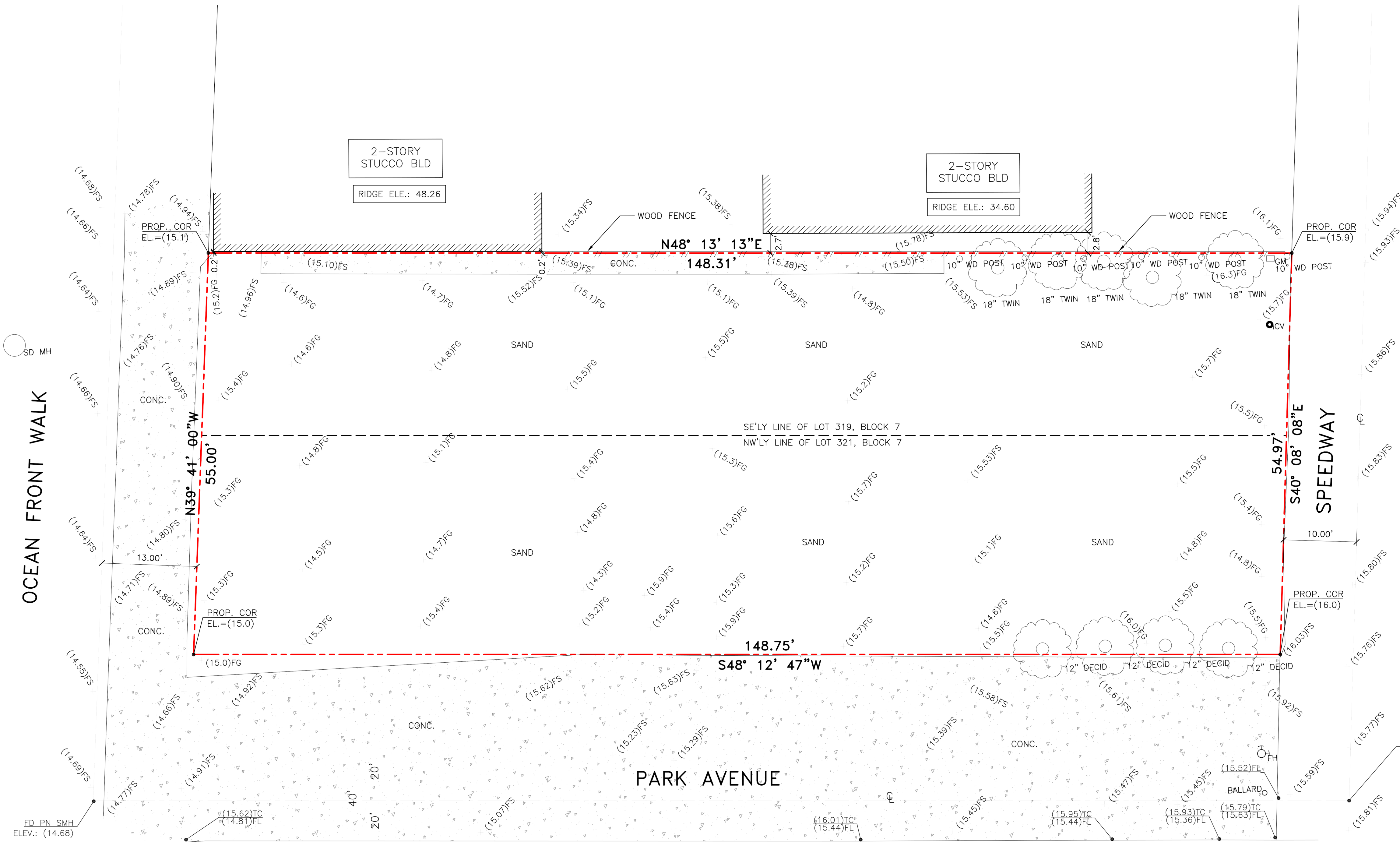
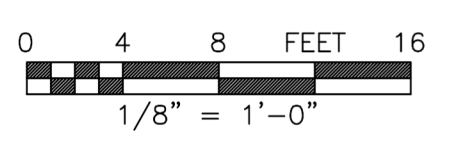
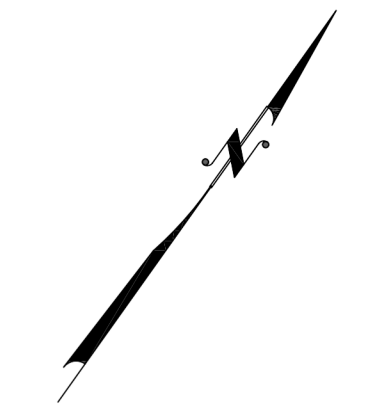
TOPOGRAPHIC NOTES

- CONTOUR LINES SHOWN ON THIS TOPOGRAPHIC SURVEY WERE GENERATED FROM RANDOM SPOT ELEVATIONS. THE EXPECTED LEVEL OF ACCURACY IS ±1/2 OF THE CONTOUR INTERVAL. ISOLATED ELEVATIONS, AS PLACED ON THE PLAT WERE PHYSICALLY MEASURED AT APPROXIMATELY THE LOCATIONS SHOWN. THEIR EXPECTED LEVEL OF ACCURACY IS ± 0.10 FOOT.
- IF SPECIFIC ELEVATIONS ARE REQUIRED, THE USER SHOULD CONTACT PACIFIC LAND CONSULTANTS, INC., TEL: (310)544-8689 FOR SAME. INTERPOLATIONS MADE FROM THIS TOPOGRAPHIC SURVEY SHOULD BE DONE IN ACCORDANCE WITH STANDARD SURVEYING PRACTICES, AND LIABILITY FOR INTERPOLATIONS IS NOT ASSUMED BY PACIFIC LAND CONSULTANTS, INC.

SURVEY CERTIFICATION

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS PLAT CONSISTING OF ONE SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN SEPTEMBER, 2021; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN. THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

Christopher W. Vassallo
CHRISTOPHER W. VASSALLO P.L.S. 8418 DATE 10/01/21
REGISTRATION EXPIRES 12-31-2022



PLEASE NOTE

IF THIS DRAWING IS PROVIDED IN AN ELECTRONIC FORMAT (VIA EMAIL OR ON COMPUTER DISC) AS A COURTESY TO OUR CLIENT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. PACIFIC LAND CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY PACIFIC LAND CONSULTANTS, INC.

UNDERGROUND UTILITIES

ALL INFORMATION SHOWN HEREON REGARDING UNDERGROUND UTILITIES WAS TAKEN FROM VISIBLE SURFACE EVIDENCE OR SOURCES NOT CONNECTED WITH THIS COMPANY AND WHILE SAID INFORMATION IS BELIEVED CORRECT, NO LIABILITY IS ASSUMED FOR THE ACCURACY OR COMPLETENESS OF SAID DATA.

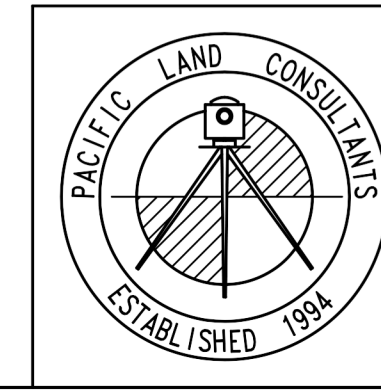
BENCHMARK

BM# 16-00682
SPK W CURB PACIFIC AV 1FT N/O
BCR N/O BROOKS AV.
ELEV.: 25.853'
NAVD 1988

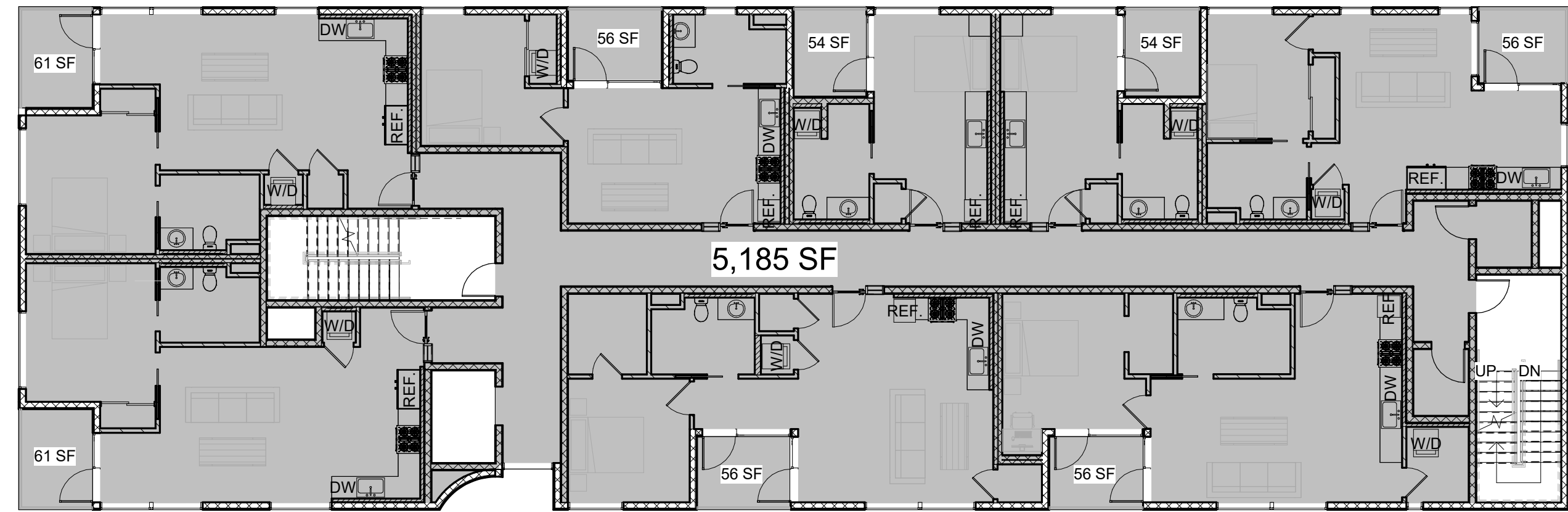
LEGAL DESCRIPTION

LOTS 319 AND LOT 321 BLOCK 7, GOLDEN BAY TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 2, PAGE 15, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

AREA = 8,162.40 SQ.FT. APN= 4286-028-017

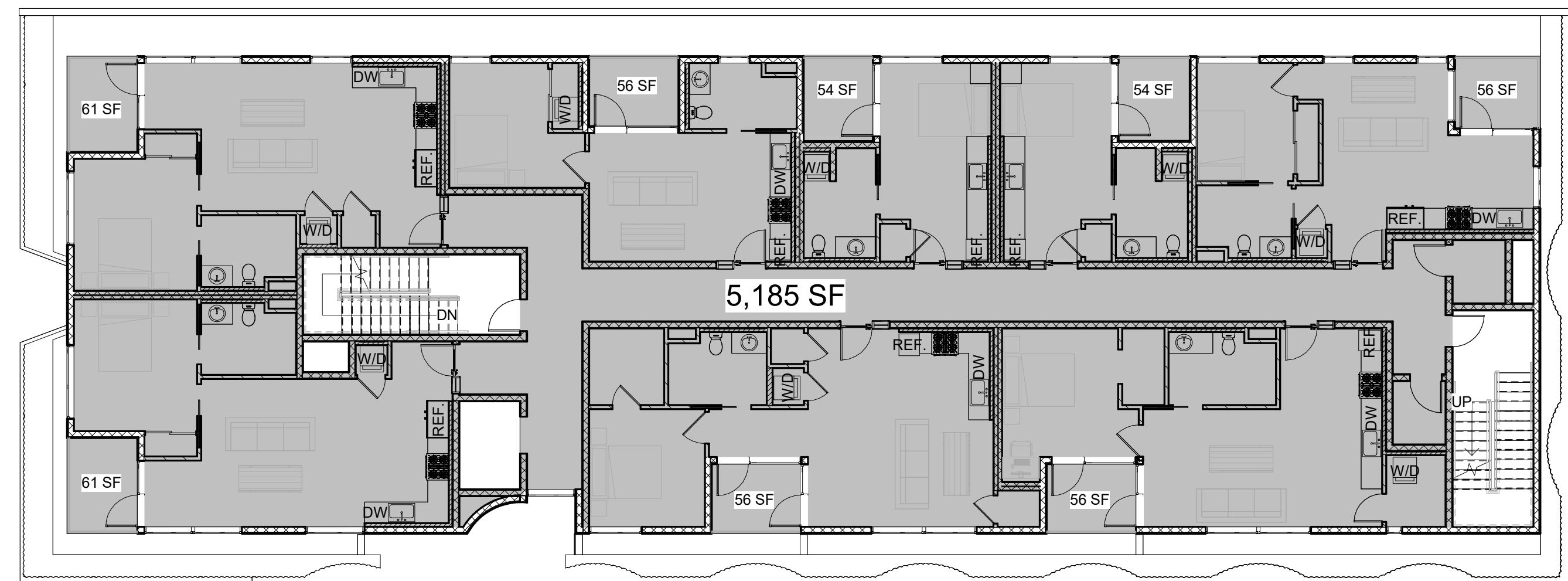


PACIFIC LAND CONSULTANTS, INC. 28441 HIGHRISE RD. SUITE 230 ROLLING HILLS ESTATES, CA 90274 (310) 544-8689		FILE NAME: 21099LS.DWG DATE: 9-19-2021
DRAWN BY: A.P.	PROJECT SITE: 723 OCEAN FRONT WALK LOS ANGELES, CA	SCALE: 1/8" = 1'-0"
		JOB NO. 21099
		SHEET 1 OF 1



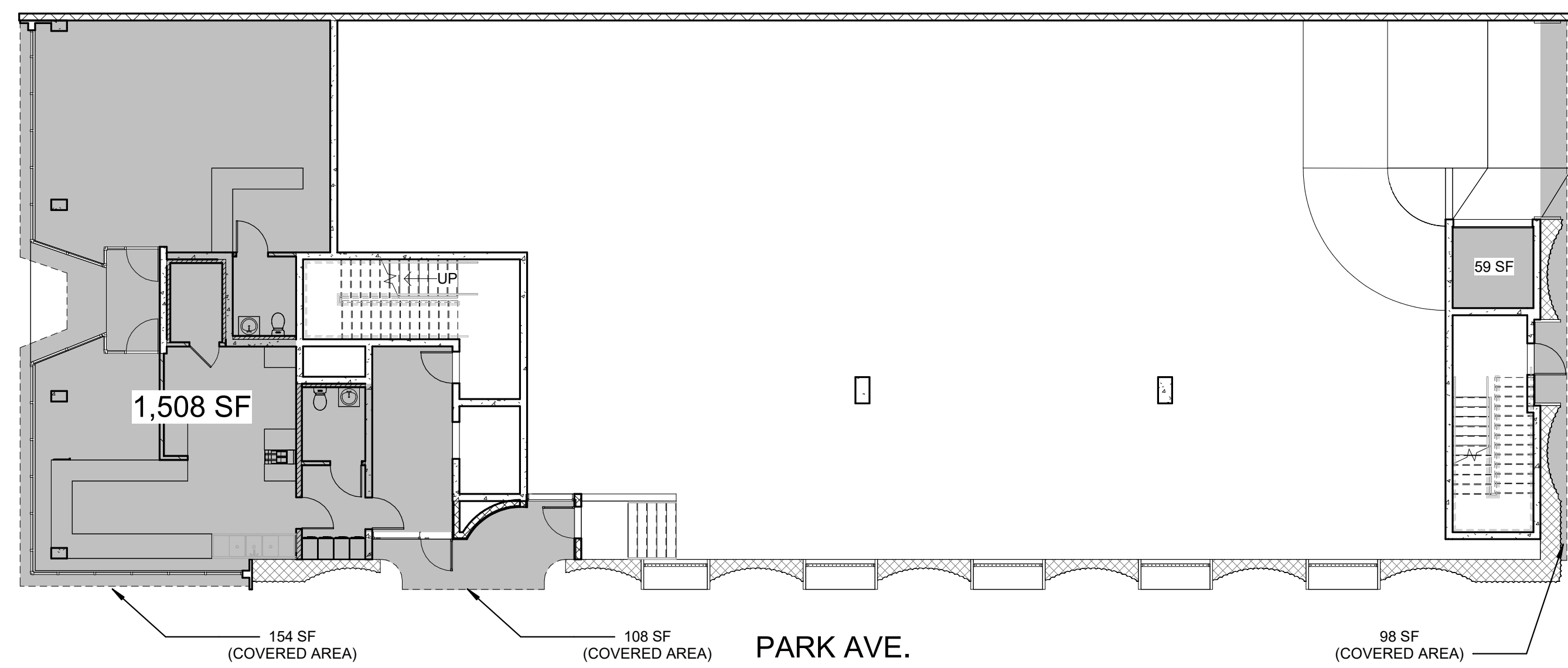
ZONING CODE - THIRD FLOOR
3/32" = 1'-0"

3



ZONING CODE - SECOND FLOOR
3/32" = 1'-0"

2



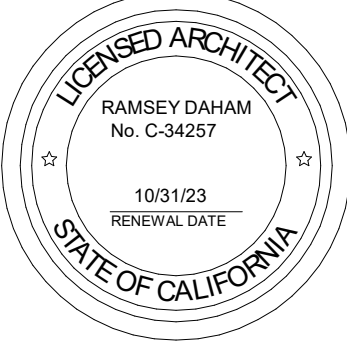
ZONING CODE - FIRST FLOOR
3/32" = 1'-0"

1

ZONING CODE FLOOR AREA	
FIRST FLOOR	1,567 SF
-COVERED	363 SF
SECOND FLOOR	5,185 SF
-COVERED	455 SF
THIRD FLOOR	5,185 SF
-COVERED	455 SF
TOTAL PROVIDED	13,210 SF

breakformdesign

127 arena st. el segundo, ca 90245
(9) 310.322.3700



723 OCEAN FRONT WALK
VENICE, CA 90291

REVISIONS

No.	Description

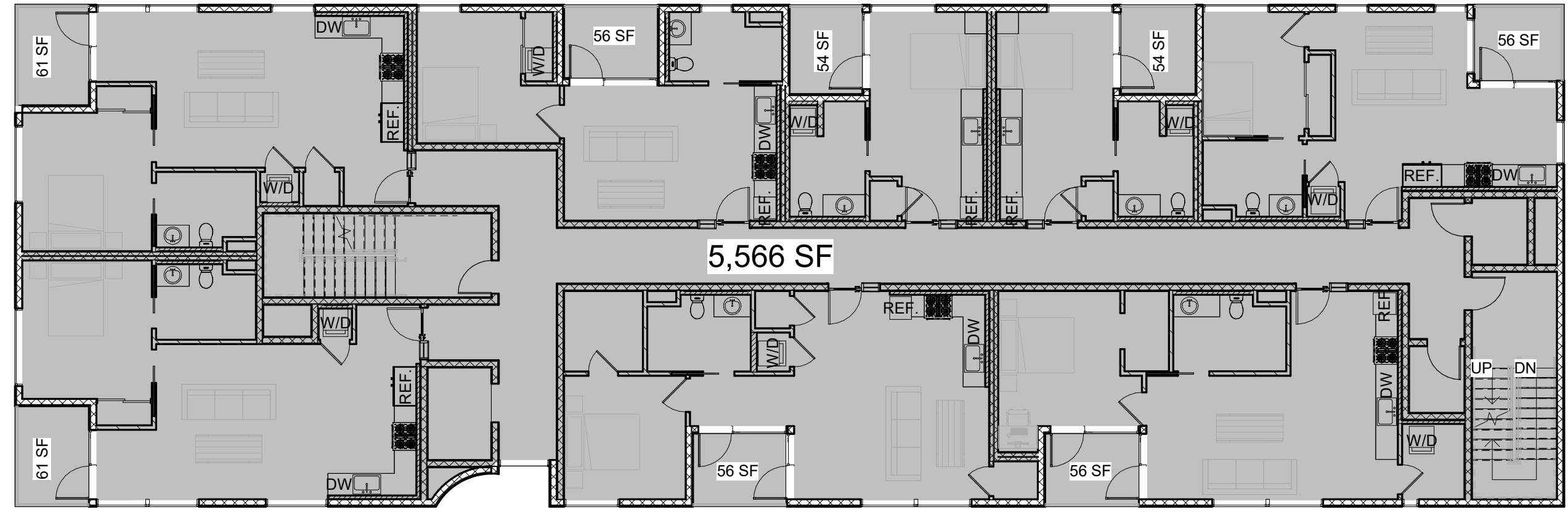
SQUARE FOOTAGE BREAKDOWNS

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CHECKED	PNK
DATE	7/26/2022 6:43:30 PM
SCALE	3/32" = 1'-0"
JOB #	21-A009

A0.27

BUILDING CODE FLOOR AREA	
FIRST FLOOR	7,465 SF
SECOND FLOOR	6,021 SF
THIRD FLOOR	6,021 SF
TOTAL PROVIDED	19,507 SF

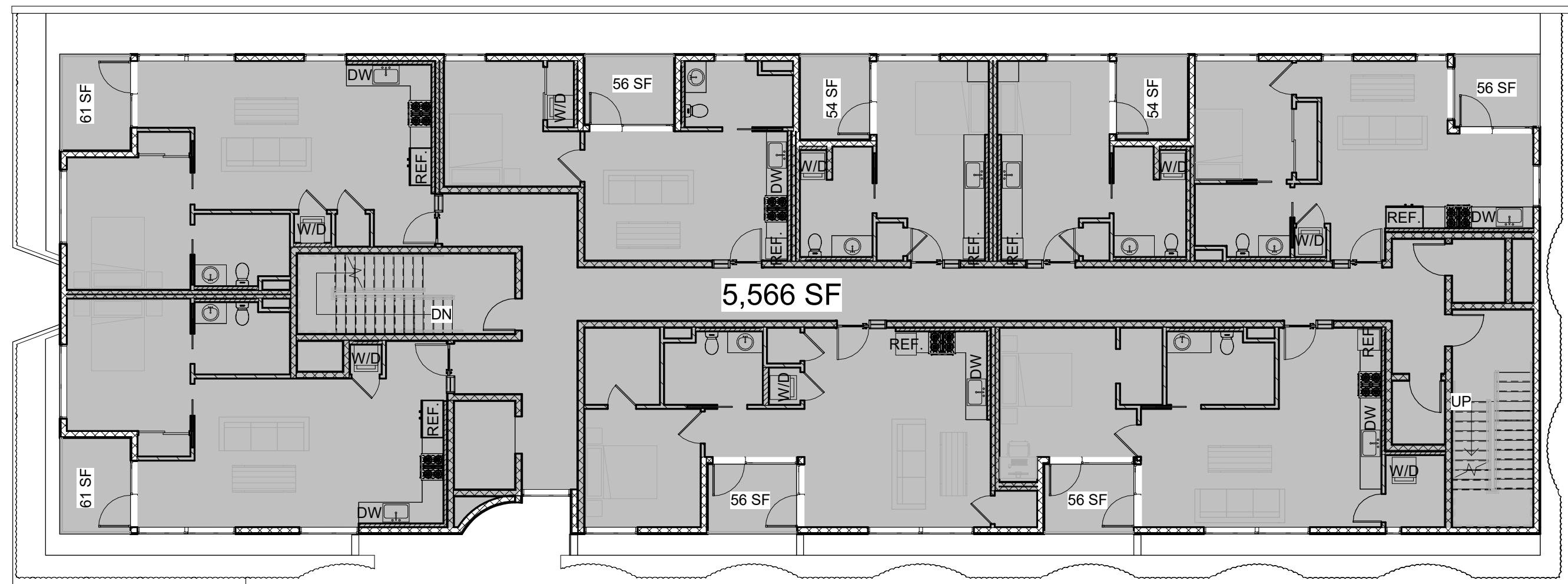
455 SF COVERED AREAS



BUILDING CODE - THIRD FLOOR
3/32" = 1'-0"

3

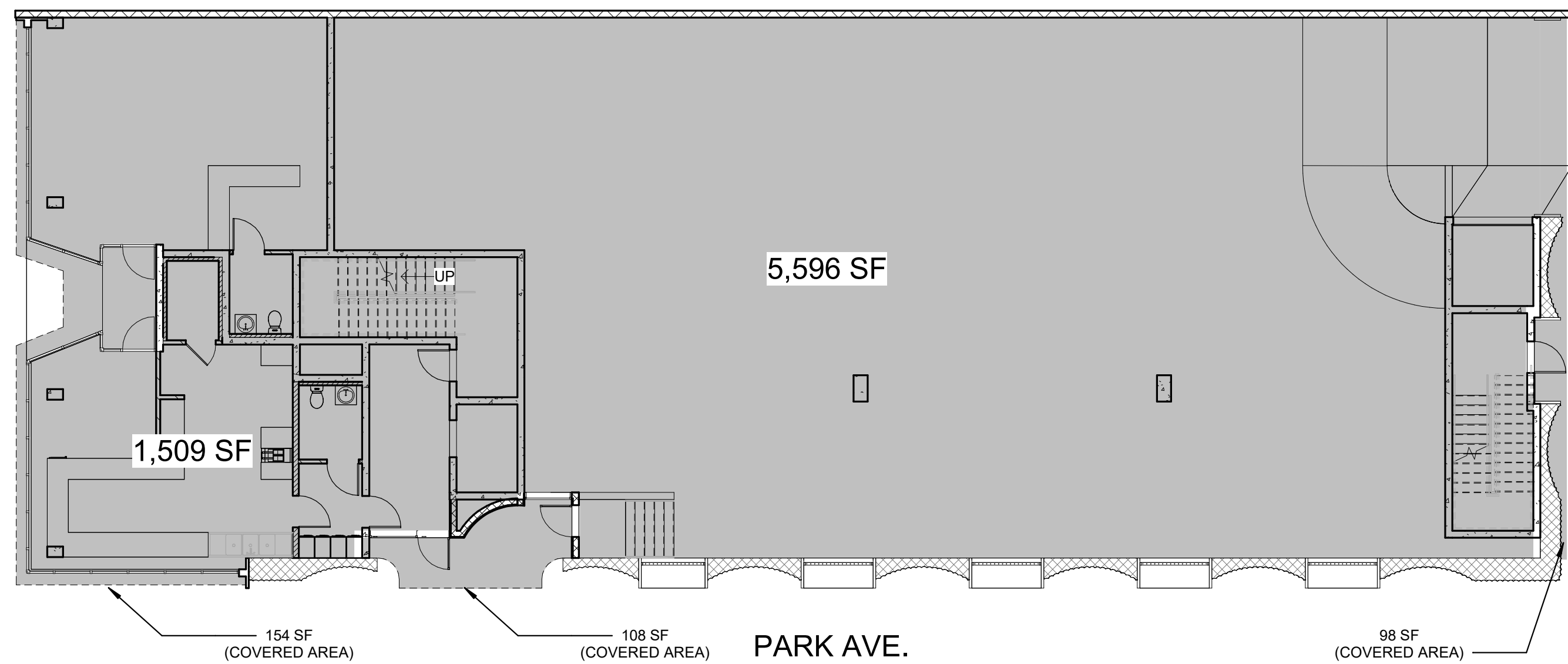
455 SF COVERED AREAS



BUILDING CODE - SECOND FLOOR
3/32" = 1'-0"

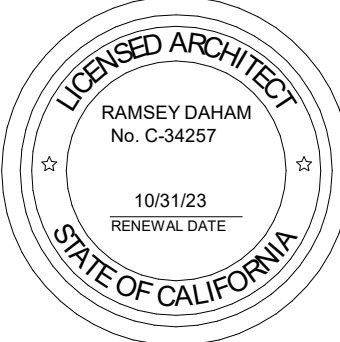
2

OCEAN FRONT WALK



BUILDING CODE - FIRST FLOOR
3/32" = 1'-0"

1



723 OCEAN FRONT WALK
VENICE, CA 90291

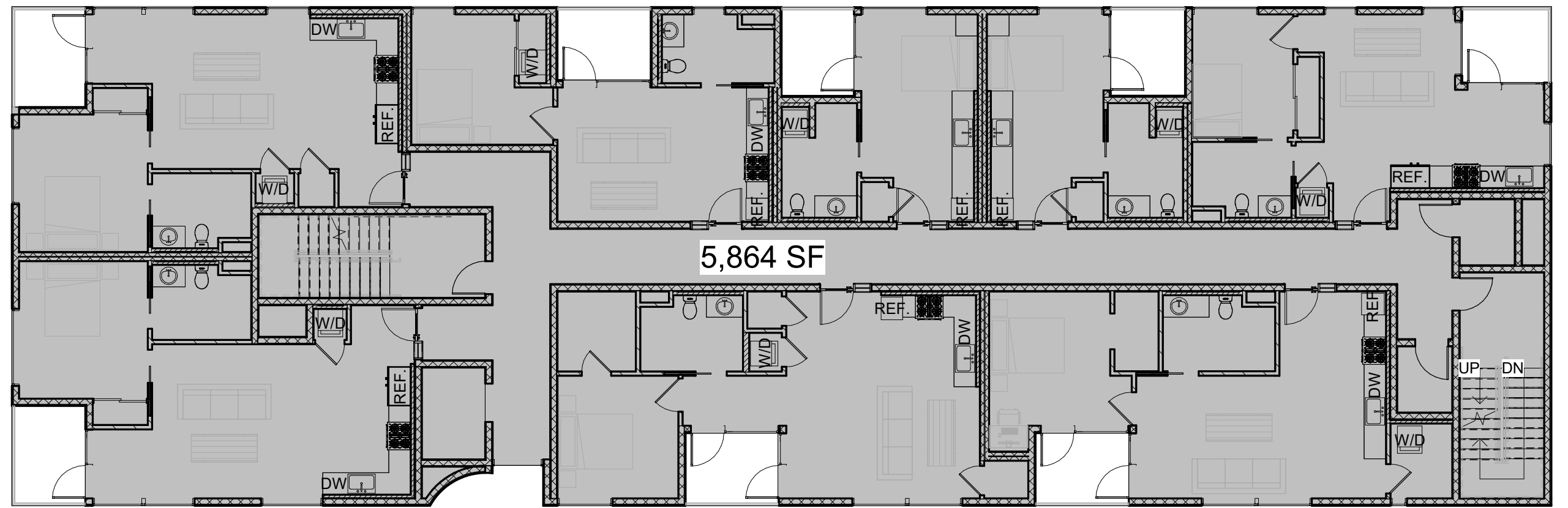
REVISIONS

NO.	DESCRIPTION

SQUARE FOOTAGE BREAKDOWNS

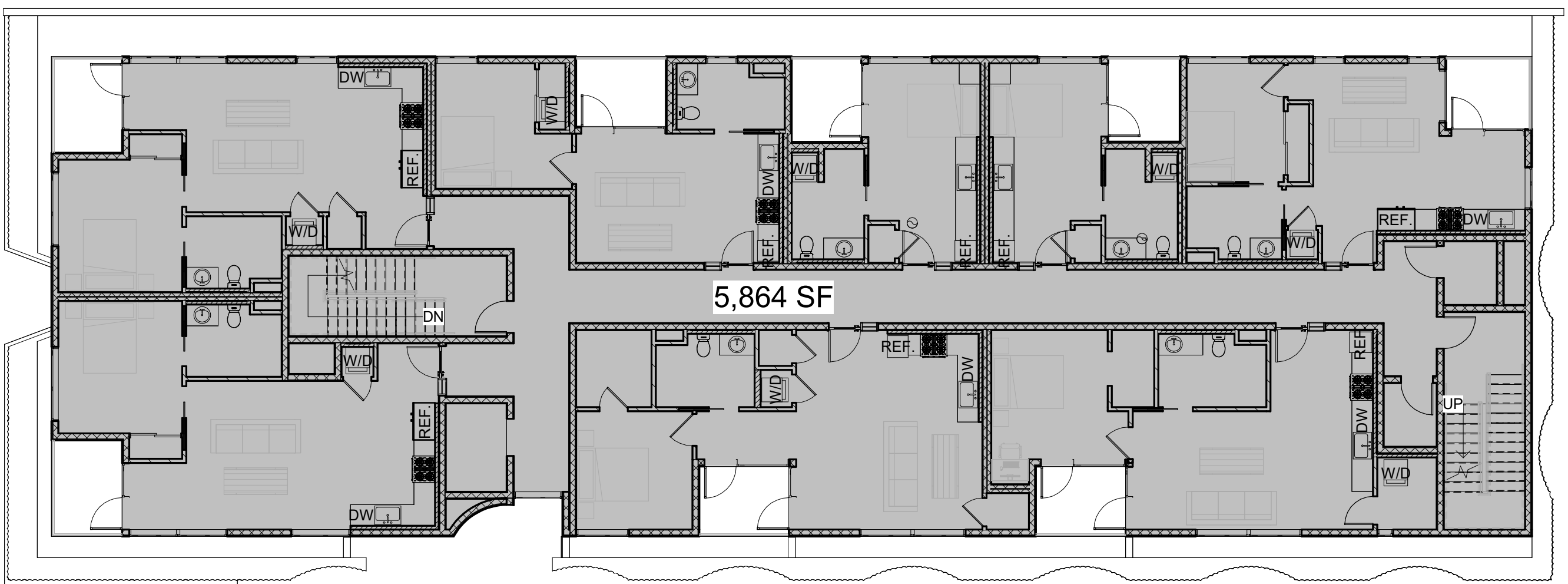
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SCALE	3/32" = 1'-0"
JOB #	21-A009

SCHOOL FEES FLOOR AREA	
FIRST FLOOR	2,186 SF
SECOND FLOOR	5,864 SF
THIRD FLOOR	5,864 SF
TOTAL PROVIDED	13,914 SF



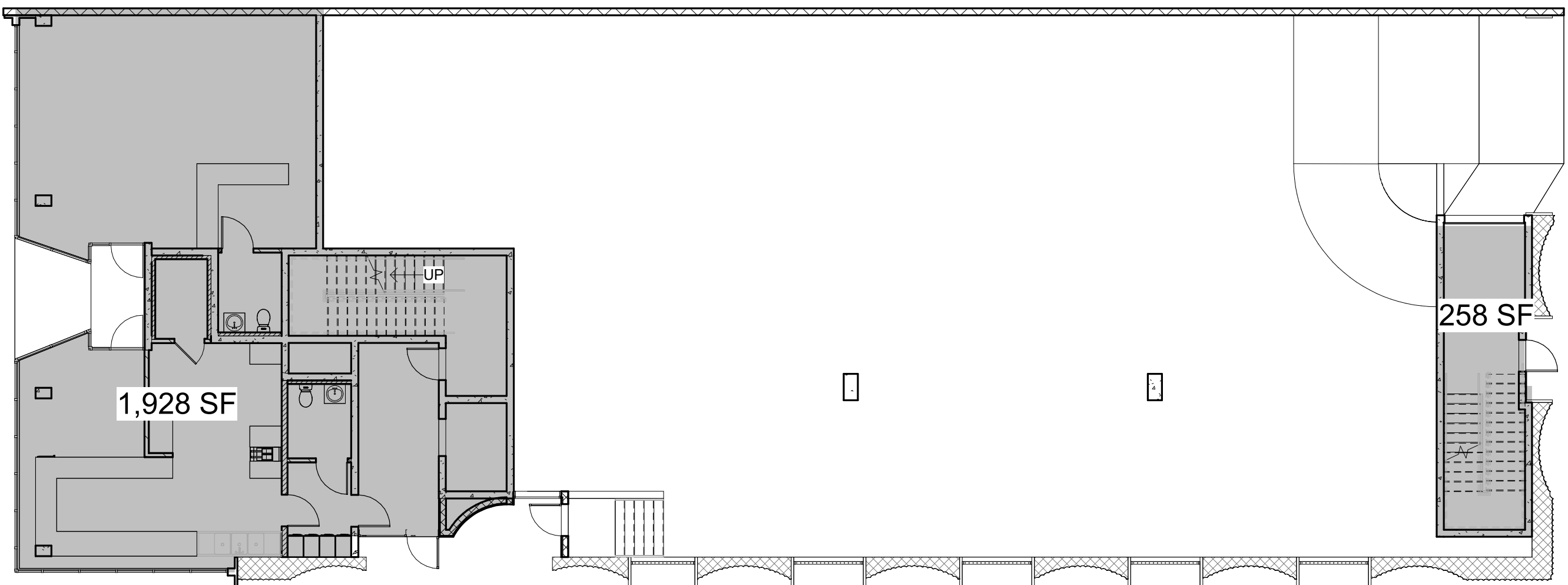
SCHOOL FEES - THIRD FLOOR
3/32" = 1'-0"

3



SCHOOL FEES - SECOND FLOOR
3/32" = 1'-0"

2



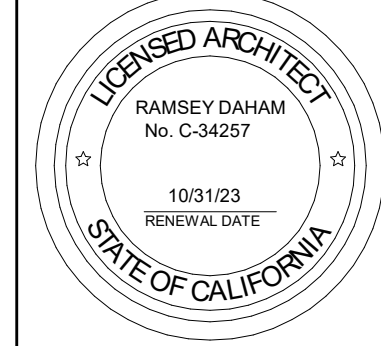
SCHOOL FEES - FIRST FLOOR
3/32" = 1'-0"

1

OCEAN FRONT WALK

PARK AVE.

SPEEDWAY AVE.

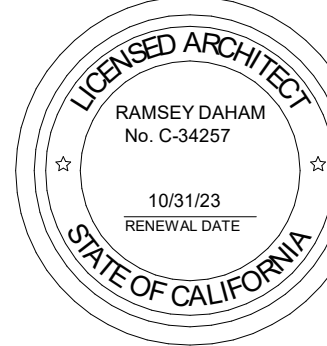


723 OCEAN FRONT WALK
VENICE, CA 90291

REVISIONS

SQUARE FOOTAGE BREAKDOWNS

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JOB #	21-A009



723 OCEAN FRONT WALK
VENICE, CA 90291

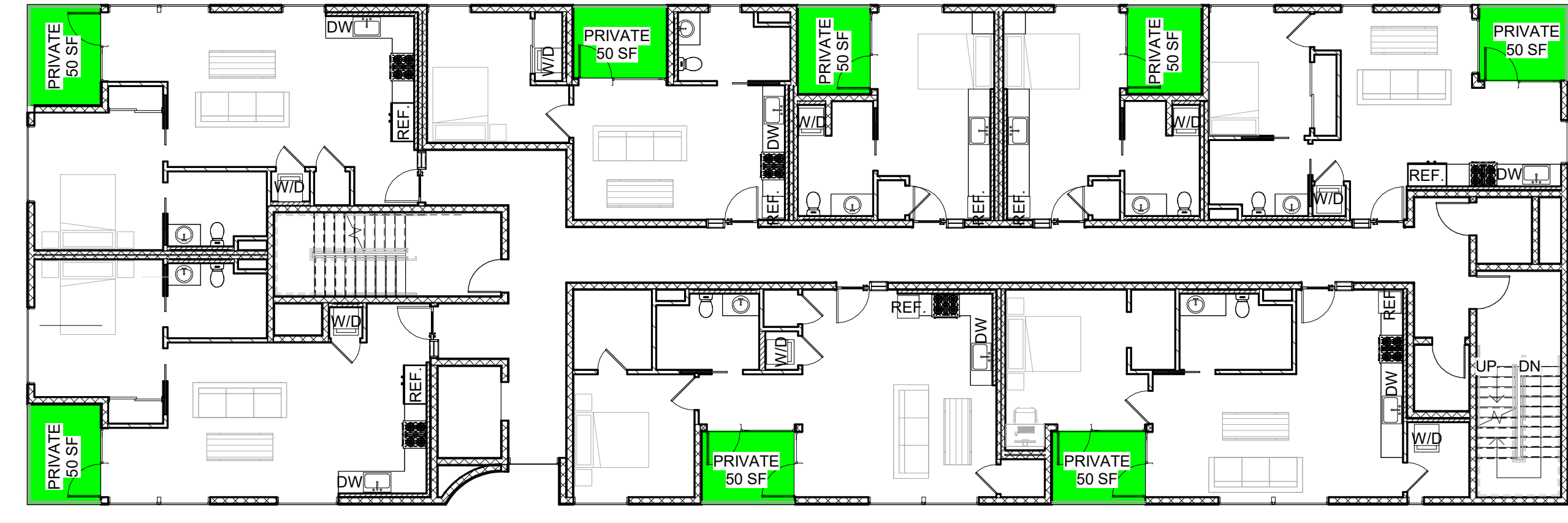
REVISIONS

NO.	DATE	DESCRIPTION

OPEN SPACE AREA CALCULATIONS

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DATE	7/26/2022 6:44:19 PM
SCALE	3/32" = 1'-0"
JOB #	21-A009

A0.30



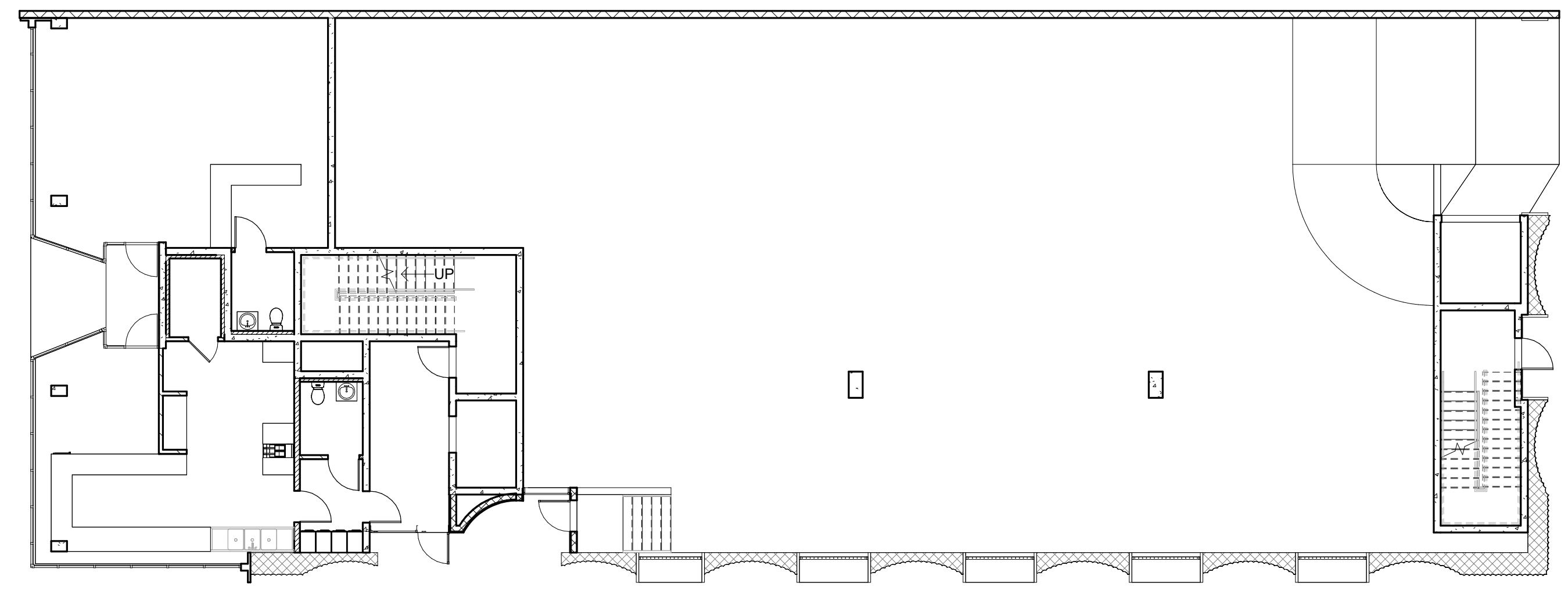
OPEN SPACE - THIRD FLOOR
3/32" = 1'-0"

3



OPEN SPACE - SECOND FLOOR
3/32" = 1'-0"

2

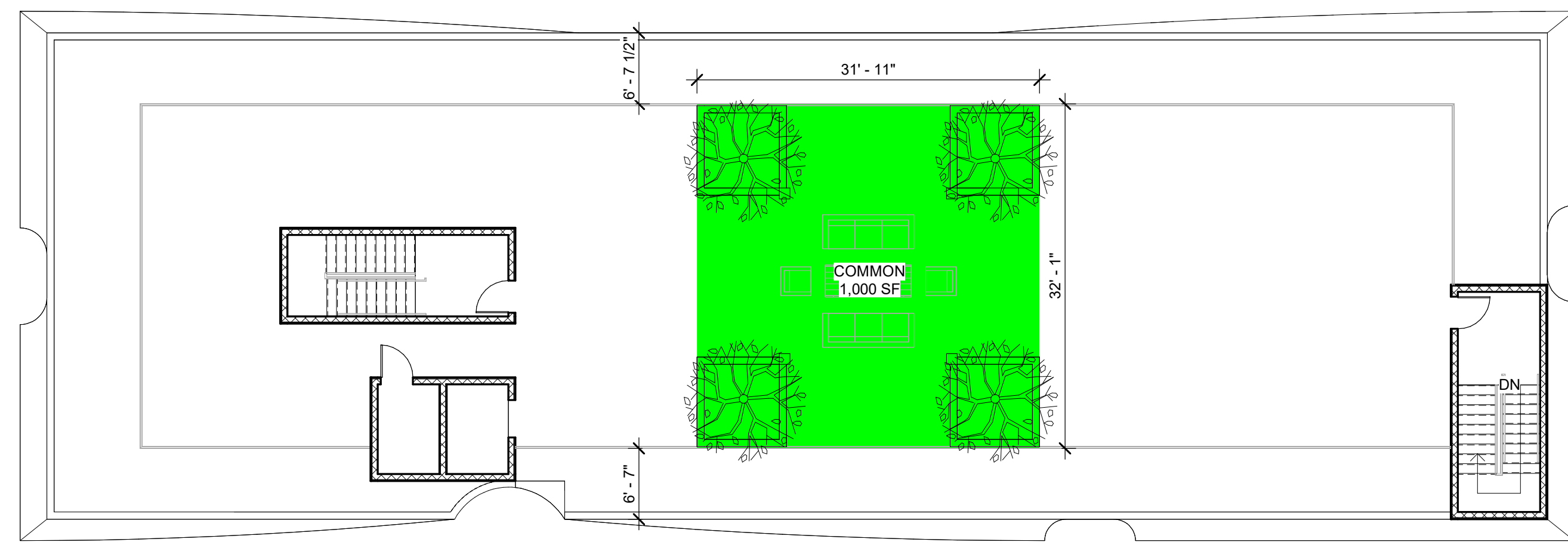


OPEN SPACE - FIRST FLOOR
3/32" = 1'-0"

1

OPEN SPACE PROVIDED VS. REQUIRED			
PROVIDED		REQUIRED	
COMMON OPEN SPACE	1,000 SF	16 UNITS @ < 3 HABITABLE ROOMS (100 S.F.) (1 UNITS)(100 S.F.) =	1,600 SF
PRIVATE OPEN SPACE TOWARDS CALCULATION BASED ON ZONING CODE 12.21 G	800 SF	0 UNITS @ 3 HABITABLE ROOMS (125 S.F.) (14 UNITS)(125 S.F.) =	0 SF
		0 UNITS @ > 3 HABITABLE ROOMS (175 S.F.) (0 UNITS)(175 S.F.) =	0 SF
TOTAL PROVIDED OPEN SPACE:	1,800 SF	TOTAL REQUIRED OPEN SPACE:	1,800 SF

COMMON OPEN SPACE TREE COUNT			
PROVIDED		REQUIRED	
ON SITE	4 TREES	1 TREE PER EVERY 4 UNITS	
		16 UNITS / 4 =	4 TREES
ON SIDEWALK	0 TREES		
TOTAL	4 TREES	TOTAL	4 TREES



OPEN SPACE - ROOF
3/32" = 1'-0"

4

OCEAN FRONT WALK

SPEEDWAY AVE.



723 OCEAN FRONT WALK
VENICE, CA 90291

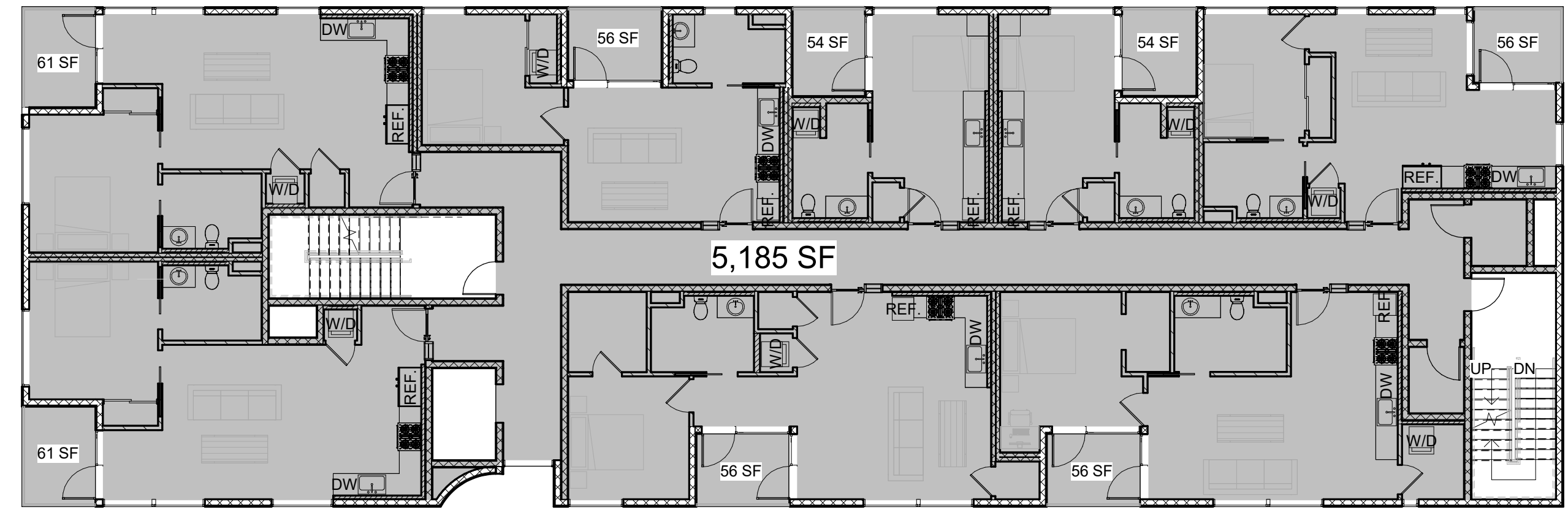
REVISIONS

NO.	DESCRIPTION	DATE

F.A.R. CALCULATIONS

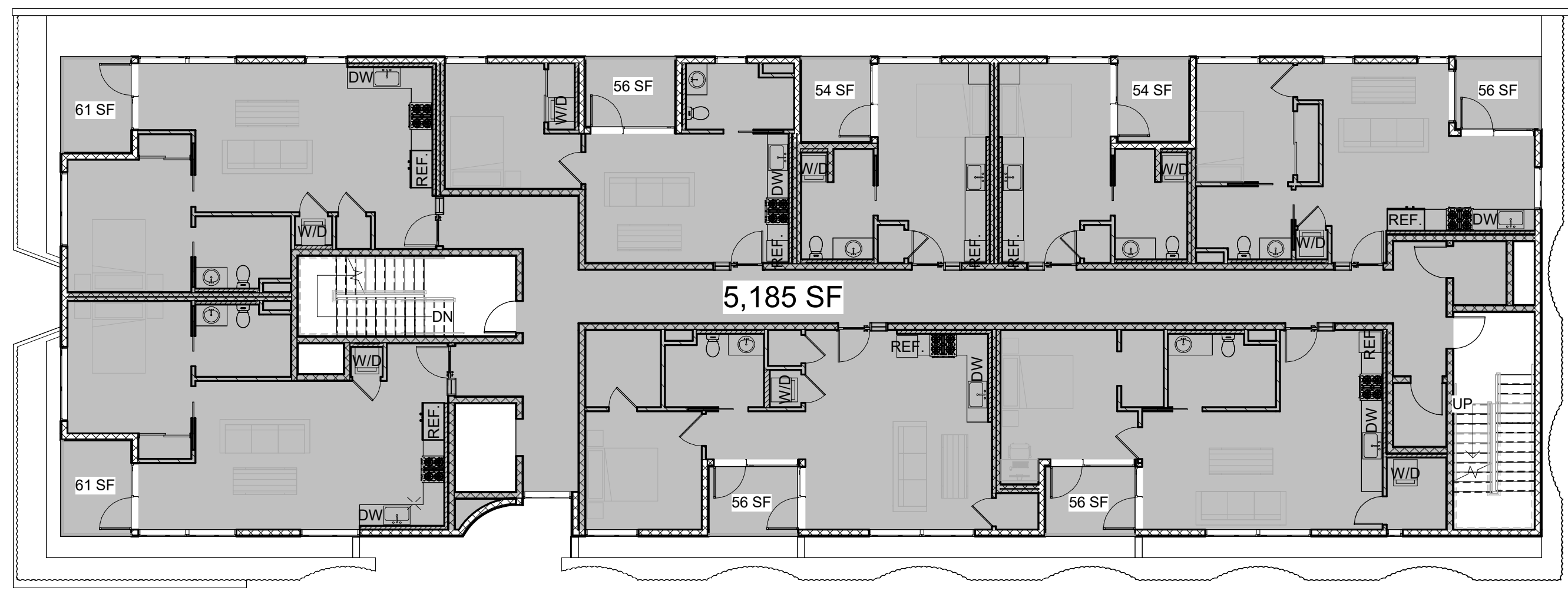
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DATE 7/26/2022 6:44:28 PM
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JOB # 21-A009

A0.31



F.A.R. - THIRD FLOOR
3/32" = 1'-0"

3



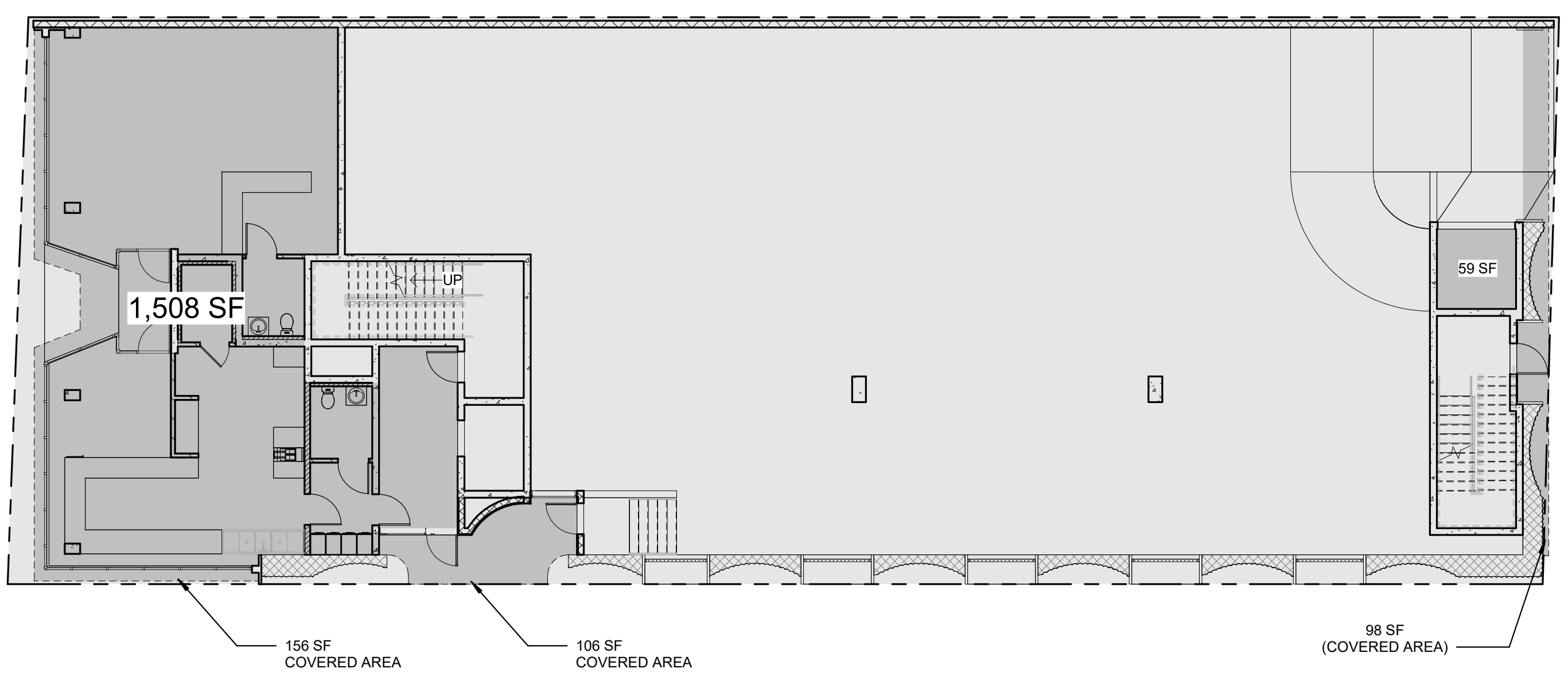
F.A.R. - SECOND FLOOR
3/32" = 1'-0"

2

- LOT AREA: 8,165.30 S.F.
- BUILDABLE AREA: 8,165.30 S.F.

OCEAN FRONT WALK

SPEEDWAY AVE



F.A.R. - FIRST FLOOR
3/32" = 1'-0"

1

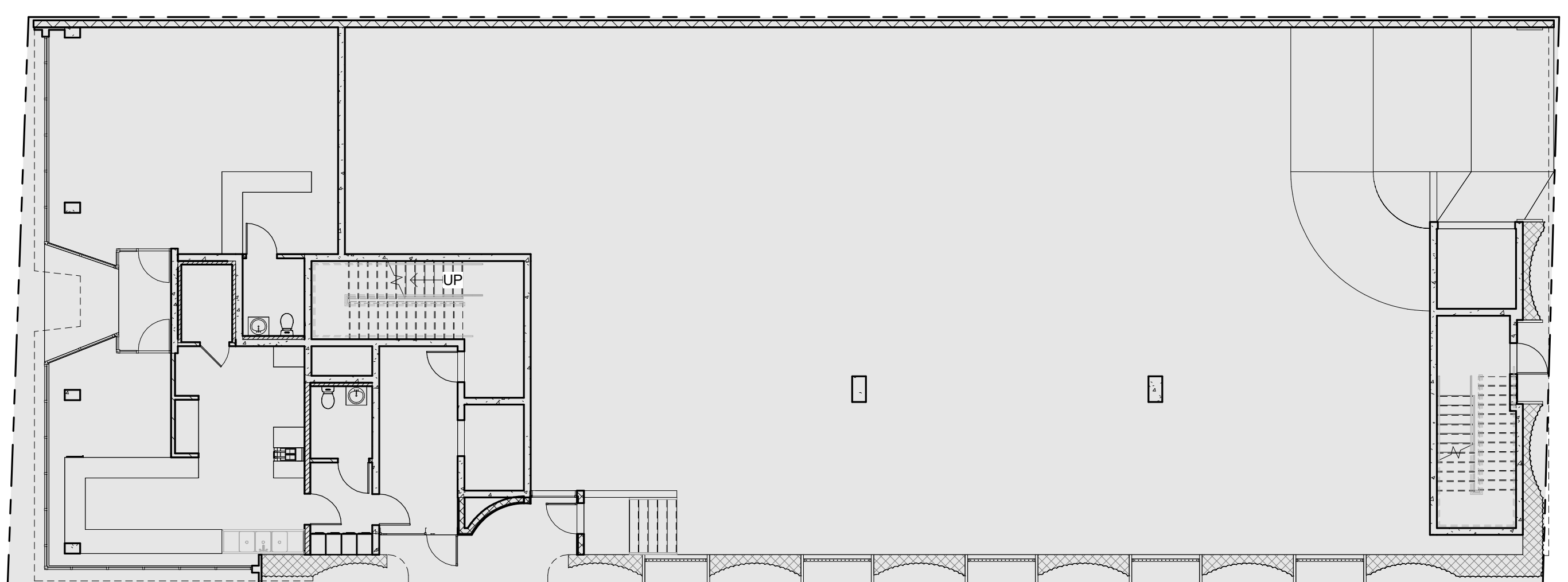
F.A.R. CALCULATIONS		
FIRST FLOOR	1,567 SF	
-COVERED	363 SF	
SECOND FLOOR	5,185 SF	
-COVERED	455 SF	
THIRD FLOOR	5,185 SF	
-COVERED	455 SF	
TOTAL PROVIDED	13,210 SF	

F.A.R. CALCULATIONS - RESIDENTIAL	
FIRST FLOOR -COVERED	N/A N/A
SECOND FLOOR -COVERED	5,185 SF 363 SF
THIRD FLOOR -COVERED	5,185 SF 363 SF
TOTAL PROVIDED	11,096 SF
RESIDENTIAL F.A.R. (11,096 / 8,165.3)	1.36:1

- LOT AREA: 8,165.30 S.F.
- BUILDABLE AREA: 8,165.30 S.F.

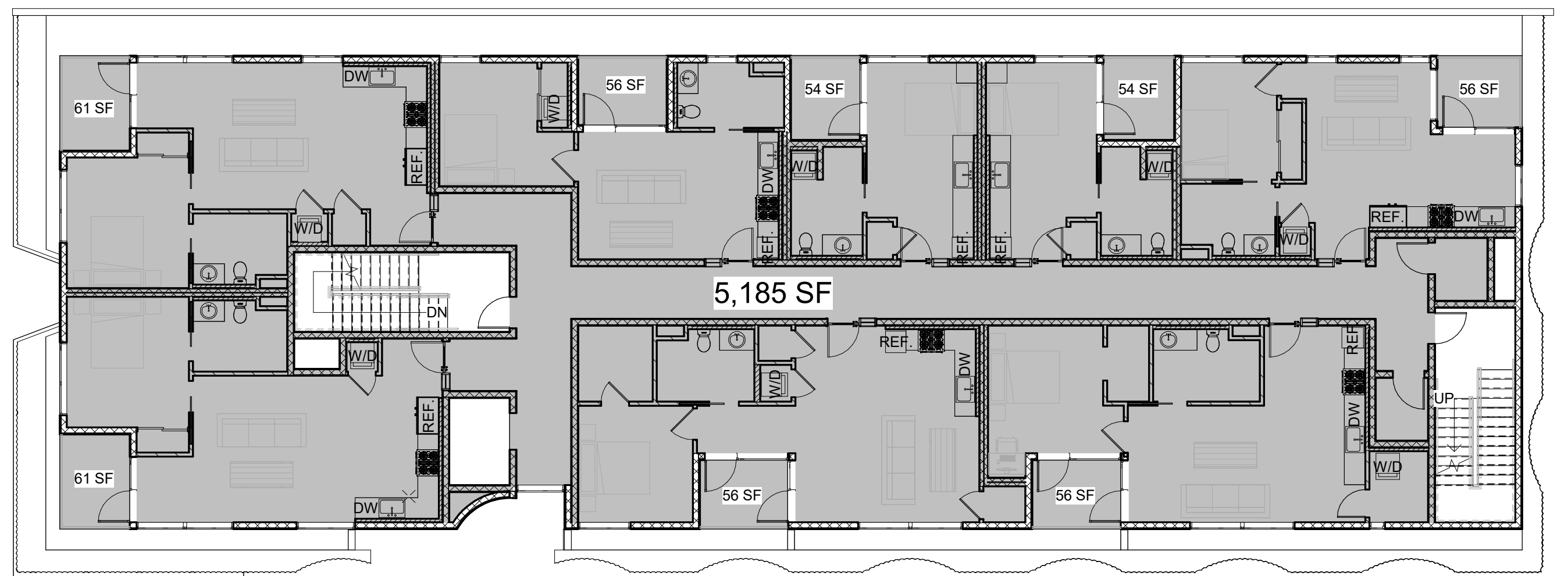
OCEAN FRONT WALK

SPEEDWAY AVE



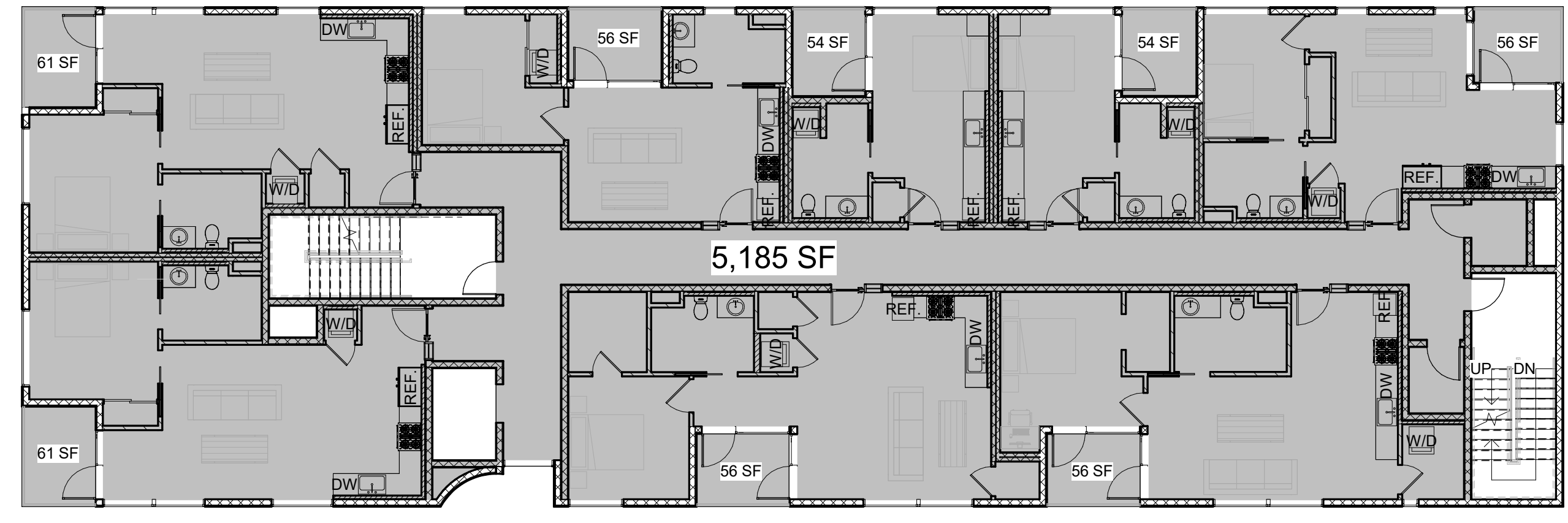
F.A.R. - FIRST FLOOR RESIDENTIAL
3/32" = 1'-0"

1



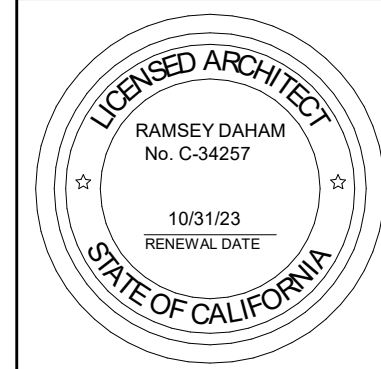
F.A.R. - SECOND FLOOR RESIDENTIAL
3/32" = 1'-0"

2



F.A.R. - THIRD FLOOR RESIDENTIAL
3/32" = 1'-0"

3

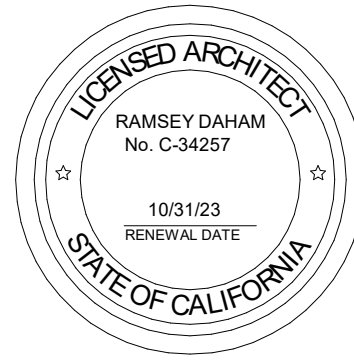


723 OCEAN FRONT WALK
VENICE, CA 90291

REVISIONS	

F.A.R. CALCULATIONS

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CHECKED	PNK
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SCALE	3/32" = 1'-0"
JOB #	21-A009



723 OCEAN FRONT WALK
VENICE, CA 90291

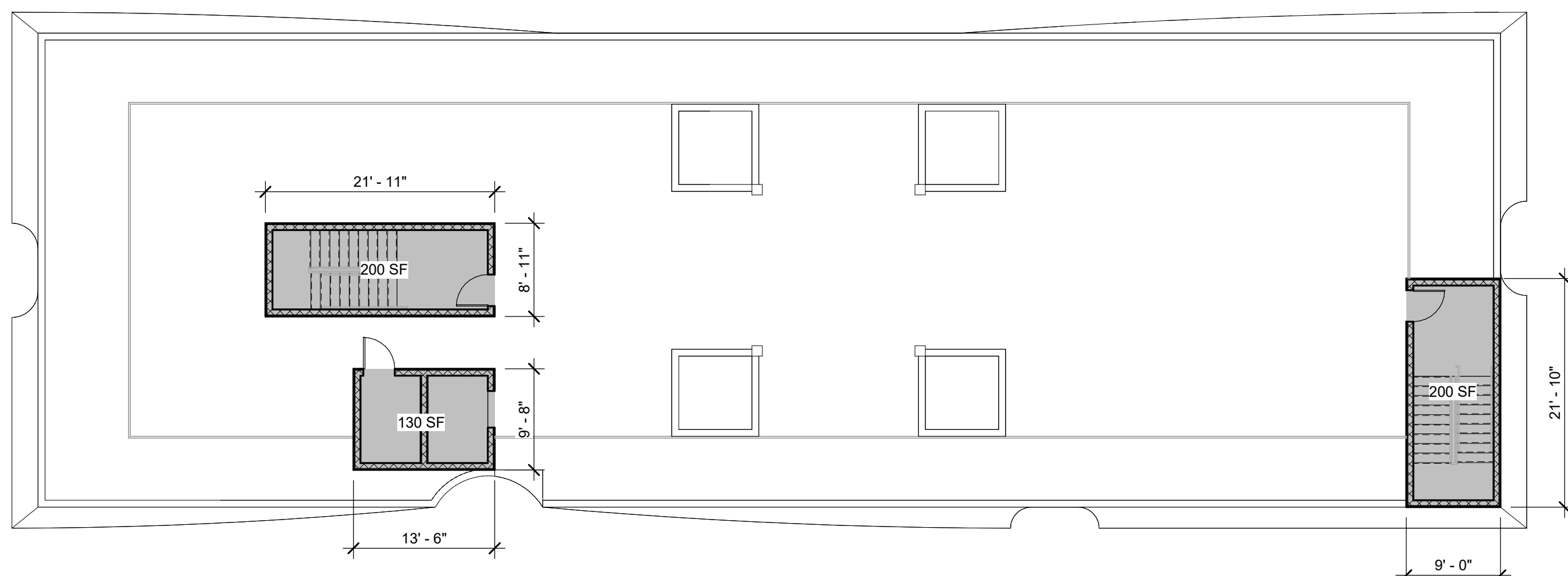
REVISIONS

NO.	DESCRIPTION	DATE

ROOF ACCESS STRUCTURES

DRAWN _____ Author
CHECKED _____ Checker
DATE 7/26/2022 6:44:45 PM
SCALE 3/32" = 1'-0"
JOB # 21-A009

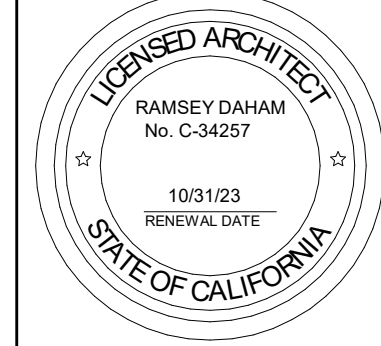
A0.33



FLOOR PLAN LEGEND

- | | | | |
|--|---------------------------------|--|---|
| | FLOOR TYPE | | WINDOW TAG
(SEE PAGE A0.11 FOR SCHEDULE) |
| | 1 HR | | DOOR TAG
(SEE PAGE A0.10 FOR SCHEDULE) |
| | 2 HR | | WALL TYPE |
| | SMOKE DETECTOR | | ELEVATION MARKER |
| | CARBON MONOXIDE | | PROPERTY LINE |
| | EXHAUST
(GENERAL NOTES #2,3) | | ACCESSIBLE ROUTE |
| | 6" - 0" WOOD FENCE | | EXTERIOR WALL
(SEE WALL TYPES FOR SPECIFICS) |
| | 3" - 6" WOOD FENCE | | INTERIOR WALL
(SEE WALL TYPES FOR SPECIFICS) |
| | | | NONE STRUCTURAL INTERIOR WALL |

- | | | | |
|-----|-----------------|-----|----------------|
| MB | MASTER BEDROOM | PWR | POWDER ROOM |
| BD | BEDROOM | CL | CLOSET |
| MBA | MASTER BATHROOM | WIC | WALK IN CLOSET |
| BA | BATHROOM | LR | LAUNDRY ROOM |
| LR | LIVING ROOM | BC | BALCONY |
| KI | KITCHEN | EN | ENTRY |
| DR | DINING ROOM | | |

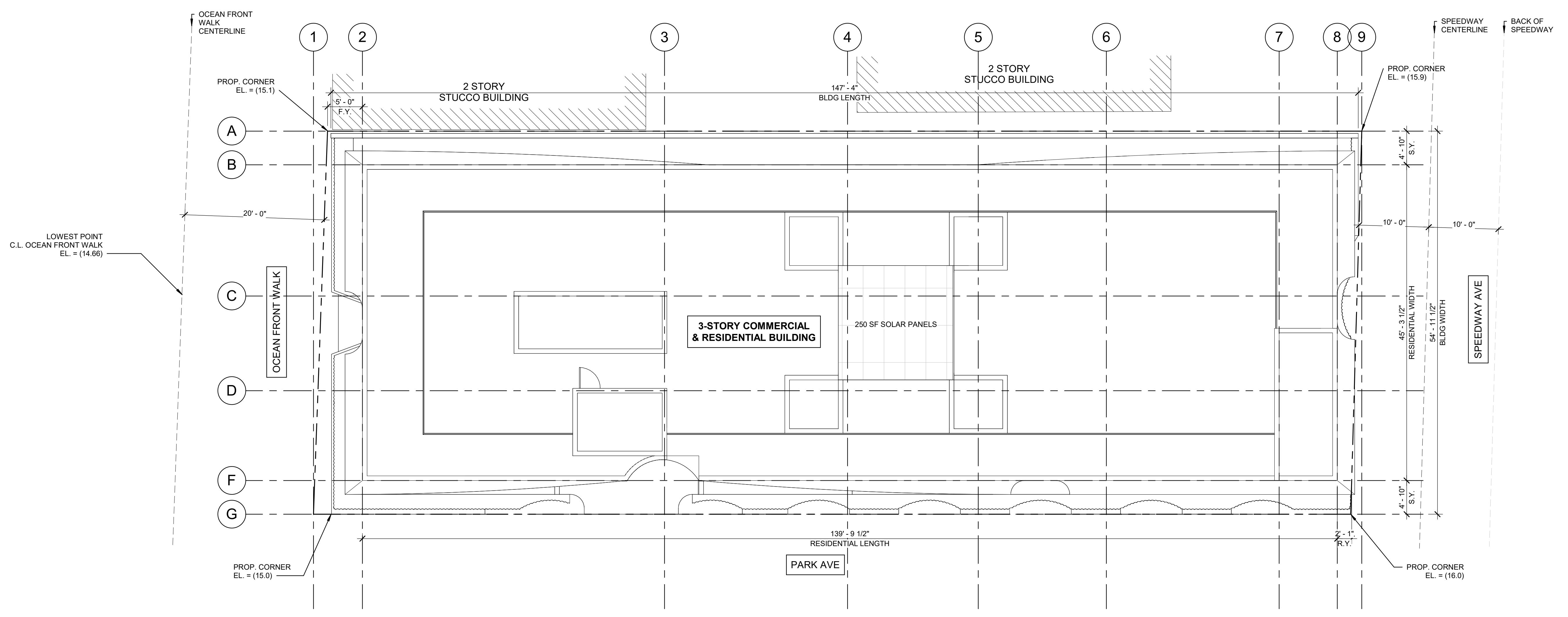


723 OCEAN FRONT WALK
 VENICE, CA 90291

REVISIONS

PROPOSED SITE PLAN

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CHECKED	PNK
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SCALE	As indicated
JOB #	21-A009

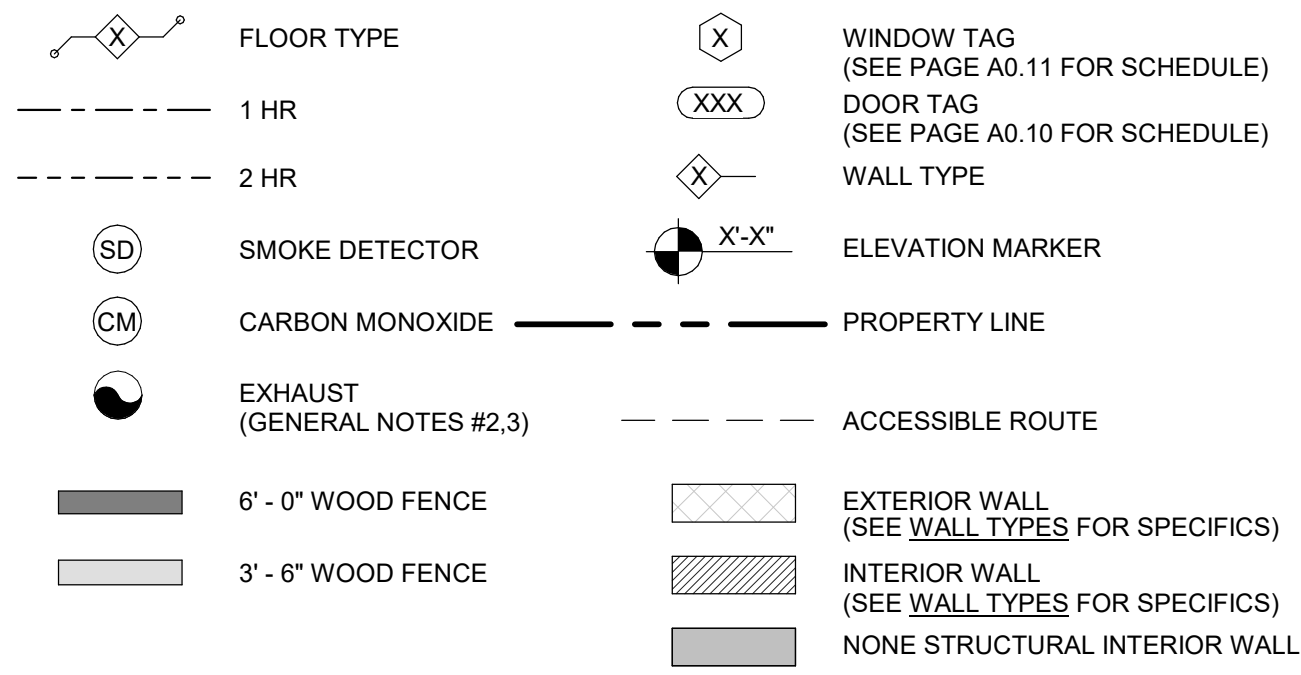


ASSEMBLY TYPES

- WALLS**
- 1 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.15)
 - 2 2x4 & 2x6 PLUMBING WALL ASSM. (2/A0.15)
 - 3 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.15)
 - 4 1-HR INTERIOR DBL WALL ASSM. (4/A0.15)
 - 5 2-HR 2x6 INTERIOR WALL ASSM. (5/A0.15)
 - 6 CONC. WALL PER STRC. (6/A0.15)
 - 7 CONC. WALL PER STRC. W/ GFRP PANELS (7/A0.15)
 - 8 CONC. WALL PER STRC. W/ 1x4 CEDAR T+G (8/A0.15)
 - 9 CMU WALL PER STRC. (9/A0.15)
 - 10 1-HR 2x6 EXTERIOR WALL ASSM. W/ GFRP PANELS (10/A0.15)
 - 11 1-HR 2x6 EXTERIOR WALL ASSM. W/ 1x4 CEDAR T+G (11/A0.15)
 - 12 1-HR 2x6 EXTERIOR WALL ASSM. W/ STUCCO (12/A0.15)
 - 13 2-HR 2x6 EXTERIOR WALL ASSM. W/ GFRP PANELS (13/A0.16)
 - 14 2-HR 2x6 EXTERIOR WALL ASSM. W/ STUCCO (14/A0.16)

FLOORS

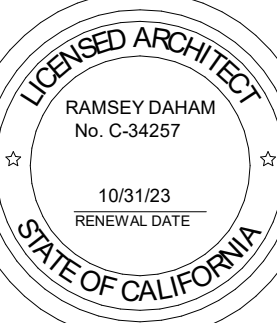
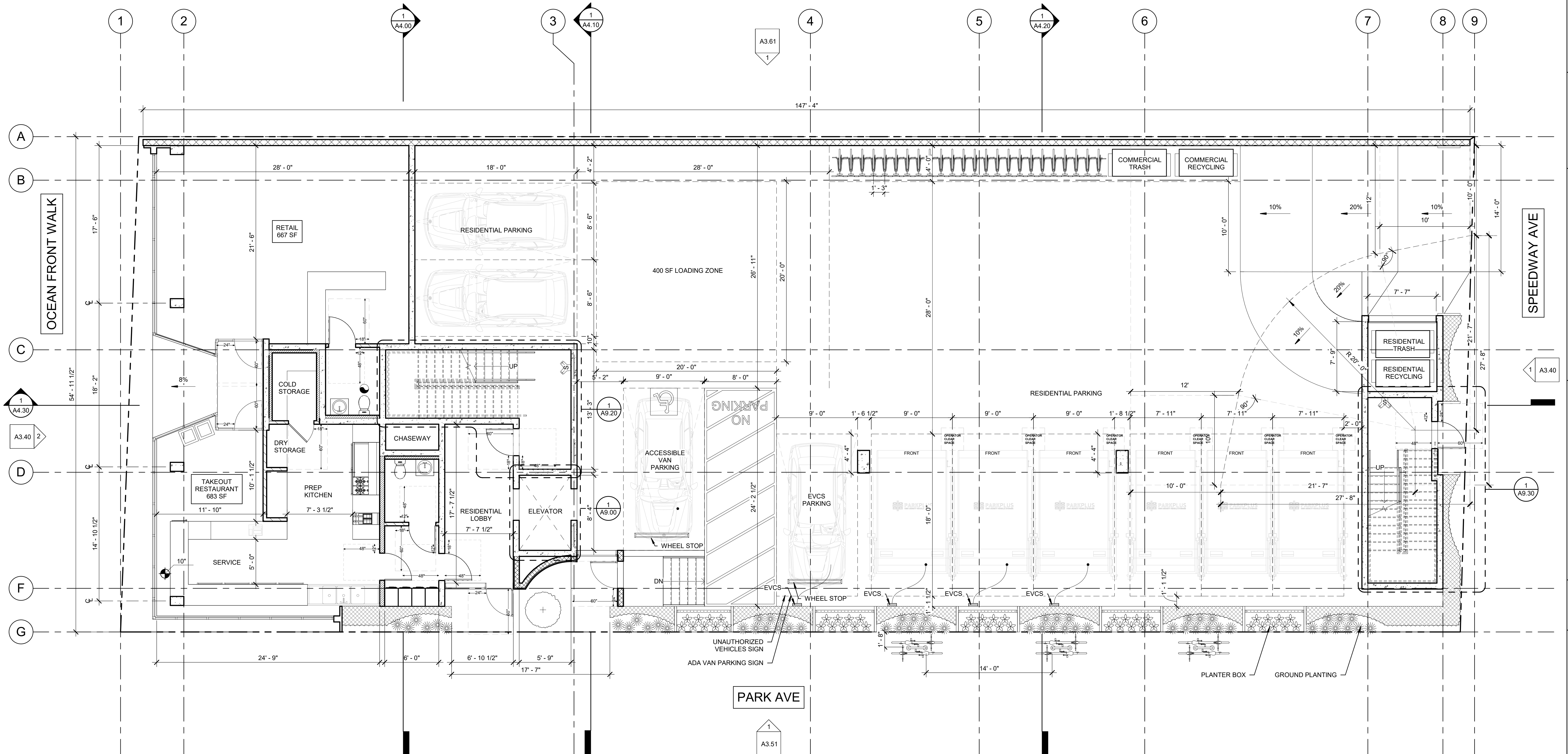
- 1 CONC FLOOR PER STRC. W/ WOOD FINISH (1/A0.16)
- 2 CONC FLOOR PER STRC. W/ TILE FINISH (2/A0.16)
- 3 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (3/A0.16)
- 4 WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.16)
- 5 WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.16)
- 6 WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.16)
- 7 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (7/A0.16)



- MB MASTER BEDROOM
- BD BEDROOM
- MBA MASTER BATHROOM
- BA BATHROOM
- LR LIVING ROOM
- KI KITCHEN
- DR DINING ROOM
- PWR POWDER ROOM
- CL CLOSET
- WIC WALK IN CLOSET
- LR LAUNDRY ROOM
- BC BALCONY
- EN ENTRY

KEYNOTE LEGEND

- 1 LONG TERM BICYCLE PARKING (STACKED 2 BIKES PER NUMBER) *SEE 3/A0.20 FOR DETAIL
- 2 ADA PARING SPACE
- 3 STANDARD PARKING SPACE
- 4 COMPACT PARKING SPACE
- 5 ACCESSIBLE PATH
- 6 DRIVEWAY
- 7 EGRESS STAIR
- 8 ELEVATOR
- 9 TRASH / RECYCLING
- 10 GAS METERS
- 11 ELECTRIC METERS
- 12 FIRST FLOOR ENTRY
- 13 MECH. CHASE
- 14 ELEVATOR MECH. ROOM
- 15 UNIT MAIL BOXES
- 16 SHORT TERM BICYCLE PARKING *SEE 2/A0.20 FOR DETAIL



REVISIONS

NO.	DESCRIPTION

PROPOSED PLANS

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DATE	7/26/2022 6:44:50 PM
SCALE	As indicated
JOB #	21-A009

ASSEMBLY TYPES

- WALLS**
- 1 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.15)
 - 2 2x4 & 2x6 PLUMBING WALL ASSM. (2/A0.15)
 - 3 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.15)
 - 4 1-HR INTERIOR DBL WALL ASSM. (4/A0.15)
 - 5 2-HR 2x6 INTERIOR WALL ASSM. (5/A0.15)
 - 6 CONC. WALL PER STRC. (6/A0.15)
 - 7 CONC. WALL PER STRC. W/ GFRC PANELS (7/A0.15)
 - 8 CONC. WALL PER STRC. W/ 1x4 CEDAR T+G (8/A0.15)
 - 9 CMU WALL PER STRC. (9/A0.15)
 - 10 1-HR 2x6 EXTERIOR WALL ASSM. W/ GFRC PANELS (10/A0.15)
 - 11 1-HR 2x6 EXTERIOR WALL ASSM. W/ 1x4 CEDAR T+G (11/A0.15)
 - 12 1-HR 2x6 EXTERIOR WALL ASSM. W/ STUCCO (12/A0.15)
 - 13 2-HR 2x6 EXTERIOR WALL ASSM. W/ GFRC PANELS (13/A0.16)
 - 14 2-HR 2x6 EXTERIOR WALL ASSM. W/ STUCCO (14/A0.16)

FLOORS

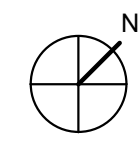
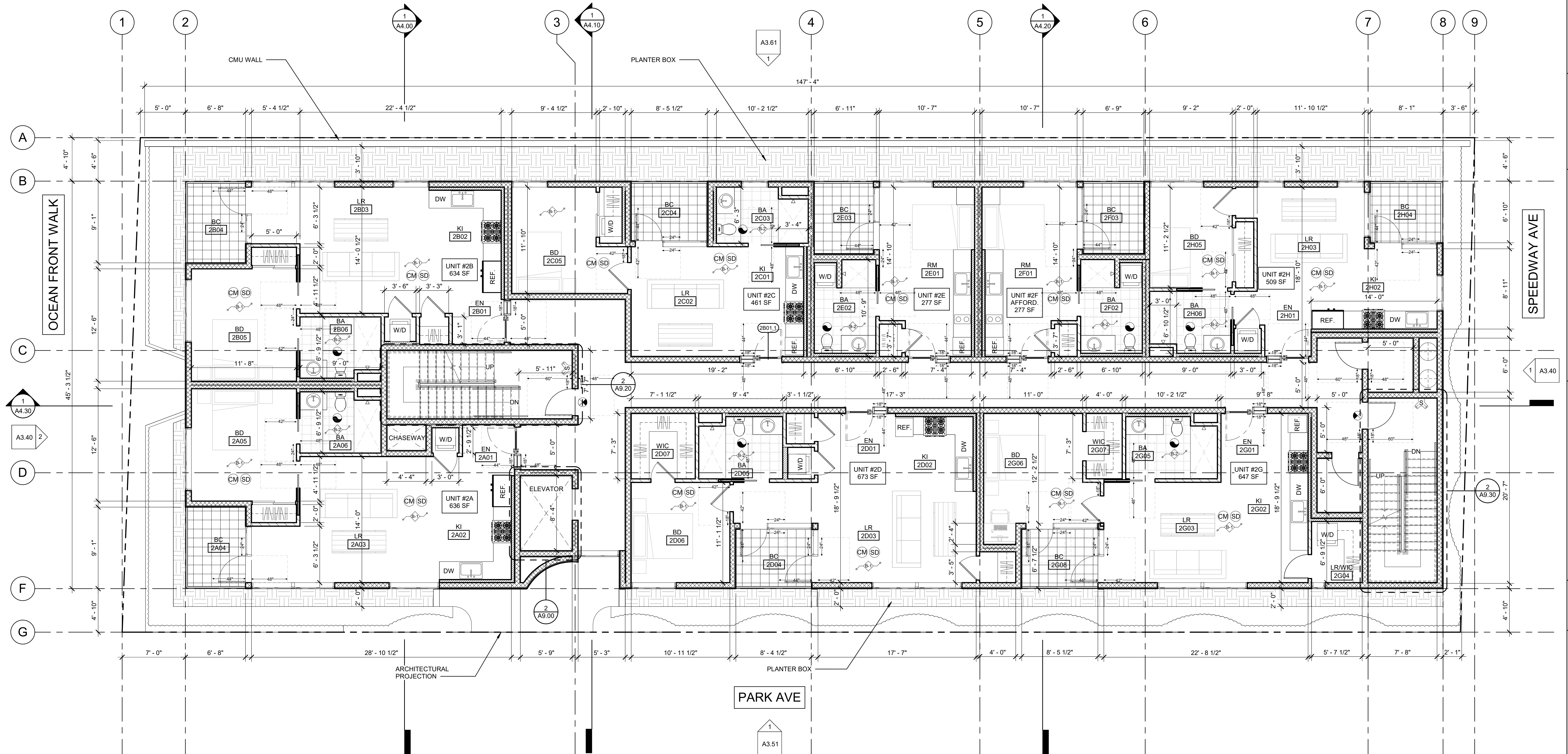
- 1 CONC FLOOR PER STRC. W/ WOOD FINISH (1/A0.16)
- 2 CONC FLOOR PER STRC. W/ TILE FINISH (2/A0.16)
- 3 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (3/A0.16)
- 4 WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.16)
- 5 WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.16)
- 6 WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.16)
- 7 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (7/A0.16)

FLOOR PLAN LEGEND

- FLOOR TYPE
- 1 HR
- 2 HR
- SMOKE DETECTOR (SD)
- CARBON MONOXIDE (CM)
- EXHAUST (GENERAL NOTES #2.3)
- 6' - 0" WOOD FENCE
- 3' - 6" WOOD FENCE
- WINDOW TAG (SEE PAGE A0.11 FOR SCHEDULE)
- DOOR TAG (SEE PAGE A0.10 FOR SCHEDULE)
- WALL TYPE
- ELEVATION MARKER (X-X')
- PROPERTY LINE
- ACCESSIBLE ROUTE
- EXTERIOR WALL (SEE WALL TYPES FOR SPECIFICS)
- INTERIOR WALL (SEE WALL TYPES FOR SPECIFICS)
- NONE STRUCTURAL INTERIOR WALL
- MB MASTER BEDROOM
- BD BEDROOM
- MBA MASTER BATHROOM
- BA BATHROOM
- LR LIVING ROOM
- KI KITCHEN
- DR DINING ROOM
- PWR POWDER ROOM
- CL CLOSET
- WIC WALK IN CLOSET
- LR LAUNDRY ROOM
- BC BALCONY
- EN ENTRY

KEYNOTE LEGEND

- 1 LONG TERM BICYCLE PARKING (STACKED 2 BIKES PER NUMBER) *SEE 3/A0.20 FOR DETAIL
- 2 ADA PARING SPACE
- 3 STANDARD PARKING SPACE
- 4 COMPACT PARKING SPACE
- 5 ACCESSIBLE PATH
- 6 DRIVEWAY
- 7 EGRESS STAIR
- 8 ELEVATOR
- 9 TRASH / RECYCLING
- 10 GAS METERS
- 11 ELECTRIC METERS
- 12 FIRST FLOOR ENTRY
- 13 MECH. CHASE
- 14 ELEVATOR MECH. ROOM
- 15 UNIT MAIL BOXES
- 16 SHORT TERM BICYCLE PARKING *SEE 2/A0.20 FOR DETAIL



SECOND FLOOR PLAN
3/16" = 1'-0"



723 OCEAN FRONT WALK
VENICE, CA 90291

REVISIONS

NO.	DESCRIPTION

PROPOSED PLANS

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SCALE	As indicated
JOB #	21-A009

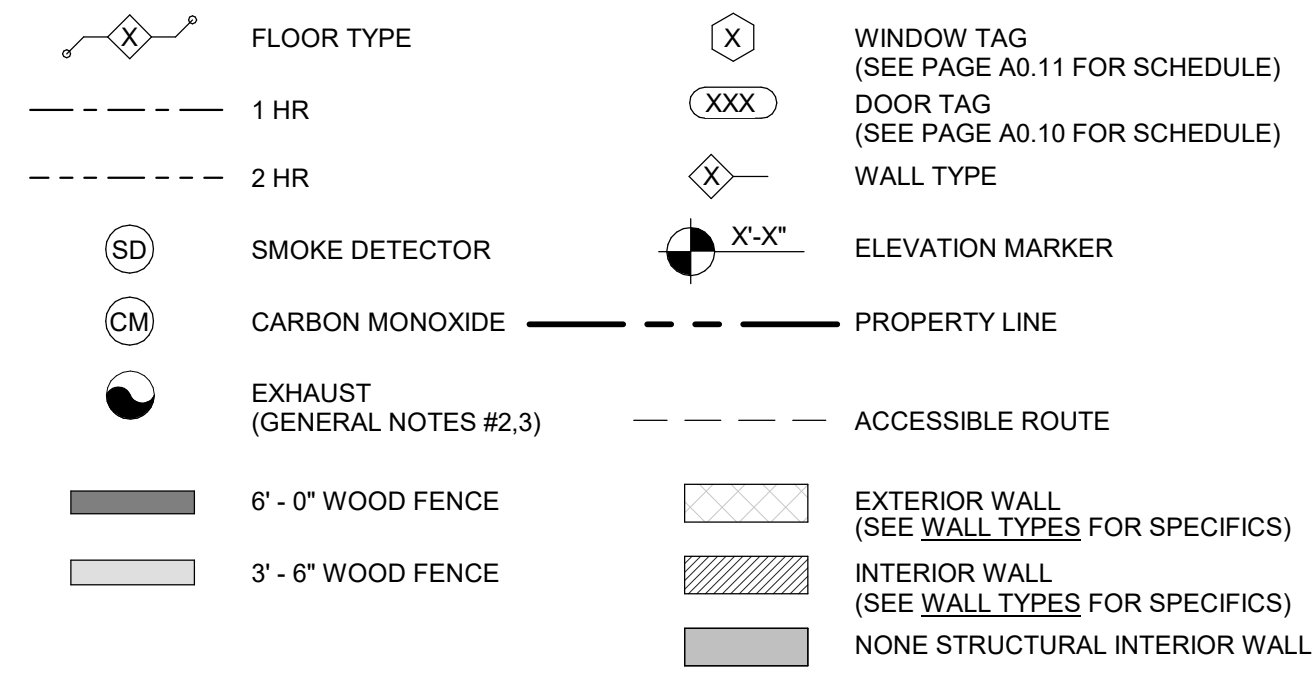
ASSEMBLY TYPES

- WALLS**
- 1 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.15)
 - 2 2x4 & 2x6 PLUMBING WALL ASSM. (2/A0.15)
 - 3 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.15)
 - 4 1-HR INTERIOR DBL WALL ASSM. (4/A0.15)
 - 5 2-HR 2x6 INTERIOR WALL ASSM. (5/A0.15)
 - 6 CONC. WALL PER STRC. (6/A0.15)
 - 7 CONC. WALL PER STRC. W/ GFRC PANELS (7/A0.15)
 - 8 CONC. WALL PER STRC. W/ 1x4 CEDAR T+G (8/A0.15)
 - 9 CMU WALL PER STRC. (9/A0.15)
 - 10 1-HR 2x6 EXTERIOR WALL ASSM. W/ GFRC PANELS (10/A0.15)
 - 11 1-HR 2x6 EXTERIOR WALL ASSM. W/ 1x4 CEDAR T+G (11/A0.15)
 - 12 1-HR 2x6 EXTERIOR WALL ASSM. W/ STUCCO (12/A0.15)
 - 13 2-HR 2x6 EXTERIOR WALL ASSM. W/ GFRC PANELS (13/A0.16)
 - 14 2-HR 2x6 EXTERIOR WALL ASSM. W/ STUCCO (14/A0.16)

FLOORS

- 1 CONC FLOOR PER STRC. W/ WOOD FINISH (1/A0.16)
- 2 CONC FLOOR PER STRC. W/ TILE FINISH (2/A0.16)
- 3 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (3/A0.16)
- 4 WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.16)
- 5 WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.16)
- 6 WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.16)
- 7 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (7/A0.16)

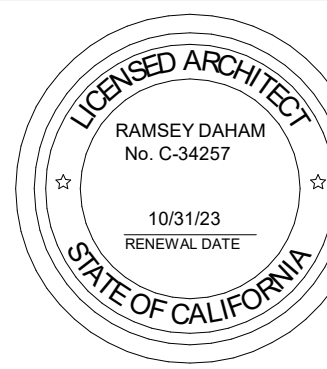
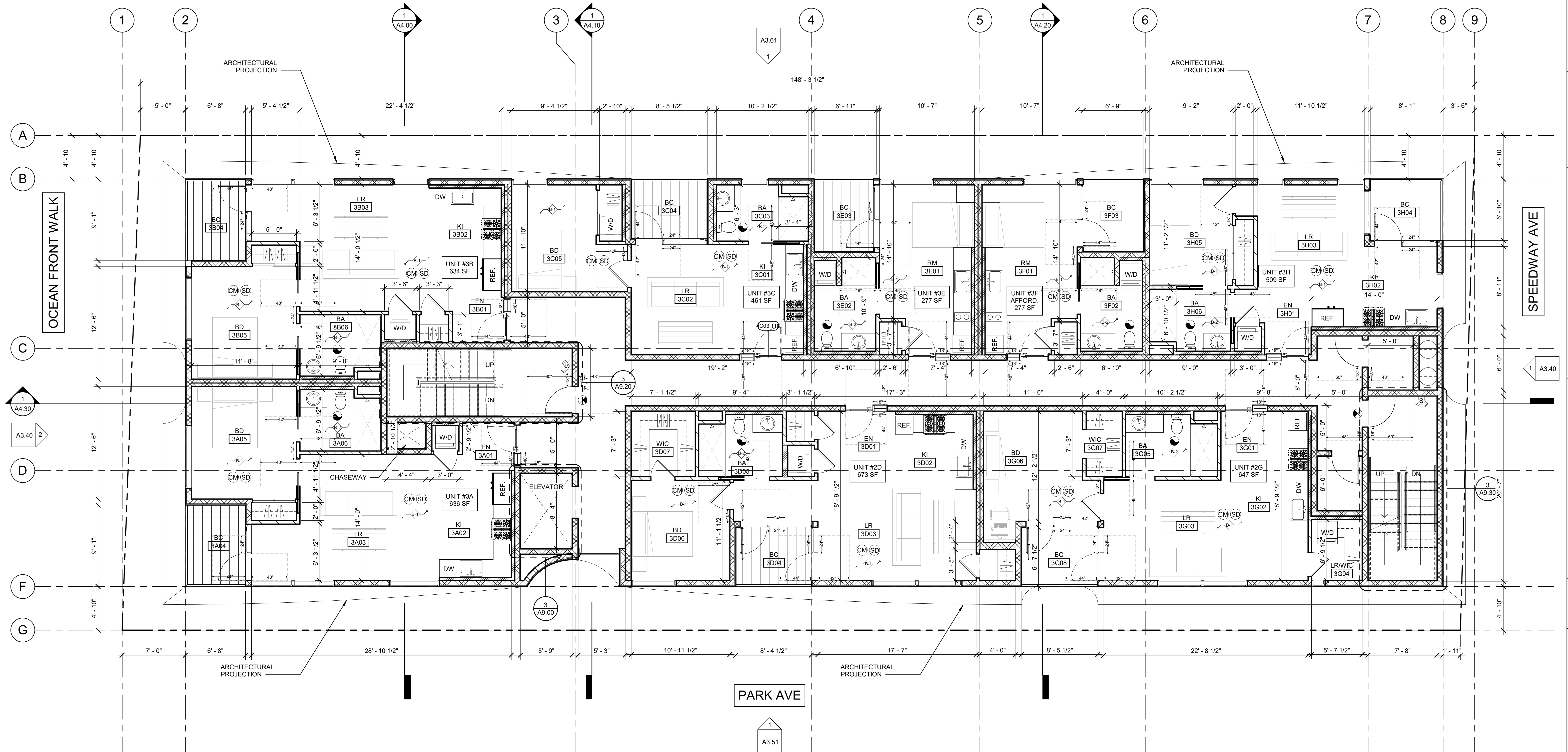
FLOOR PLAN LEGEND



- MB** MASTER BEDROOM, **PWR** POWDER ROOM, **CL** CLOSET, **WIC** WALK IN CLOSET, **LR** LAUNDRY ROOM, **BC** BALCONY, **EN** ENTRY
BD BEDROOM, **CL** CLOSET, **WIC** WALK IN CLOSET, **LR** LAUNDRY ROOM, **BC** BALCONY, **EN** ENTRY
MBA MASTER BATHROOM, **WIC** WALK IN CLOSET, **LR** LAUNDRY ROOM, **BC** BALCONY, **EN** ENTRY
BA BATHROOM, **LR** LAUNDRY ROOM, **BC** BALCONY, **EN** ENTRY
LR LIVING ROOM, **BC** BALCONY, **EN** ENTRY
KI KITCHEN, **EN** ENTRY
DR DINING ROOM

KEYNOTE LEGEND

- 1 LONG TERM BICYCLE PARKING (STACKED 2 BIKES PER NUMBER) *SEE 3/A0.20 FOR DETAIL
- 2 ADA PARING SPACE
- 3 STANDARD PARKING SPACE
- 4 COMPACT PARKING SPACE
- 5 ACCESSIBLE PATH
- 6 DRIVEWAY
- 7 EGRESS STAIR
- 8 ELEVATOR
- 9 TRASH / RECYCLING
- 10 GAS METERS
- 11 ELECTRIC METERS
- 12 FIRST FLOOR ENTRY
- 13 MECH. CHASE
- 14 ELEVATOR MECH. ROOM
- 15 UNIT MAIL BOXES
- 16 SHORT TERM BICYCLE PARKING *SEE 2/A0.20 FOR DETAIL



723 OCEAN FRONT WALK
 VENICE, CA 90291

REVISIONS

NO.	DESCRIPTION

PROPOSED PLANS

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 JOB #: 21-A009

ASSEMBLY TYPES

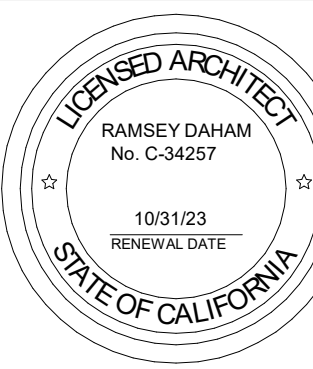
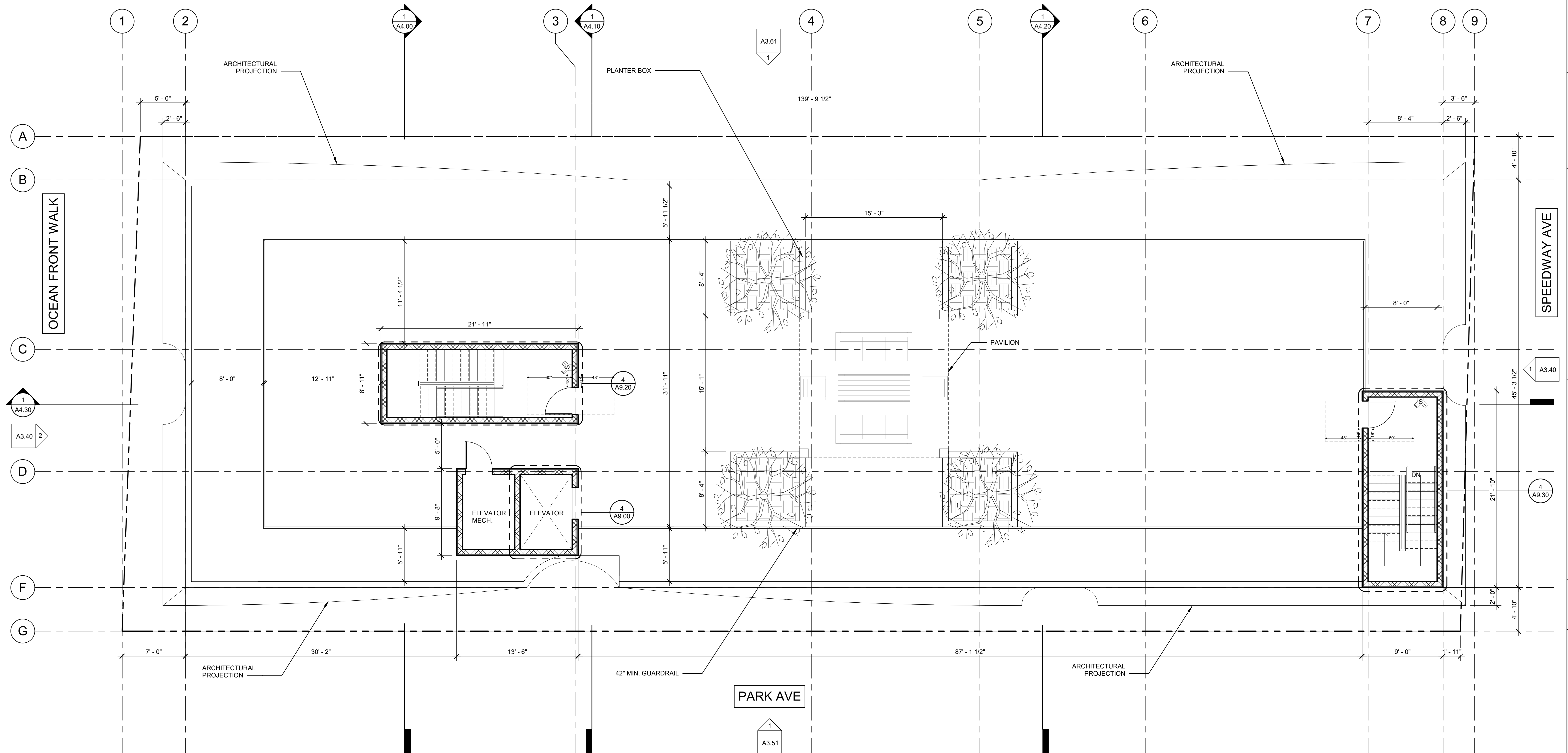
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|----|--|-----|---|
| 1 | 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.15) | 4-1 | CONC FLOOR PER STRC. W/ WOOD FINISH (1/A0.16) |
| 2 | 2x4 & 2x6 PLUMBING WALL ASSM. (2/A0.15) | 4-2 | CONC FLOOR PER STRC. W/ TILE FINISH (2/A0.16) |
| 3 | 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.15) | 4-3 | CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (3/A0.16) |
| 4 | 1-HR INTERIOR DBL WALL ASSM. (4/A0.15) | 6-1 | WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.16) |
| 5 | 2-HR 2x6 INTERIOR WALL ASSM. (5/A0.15) | 6-2 | WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.16) |
| 6 | CONC. WALL PER STRC. (6/A0.15) | 6-3 | WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.16) |
| 7 | CONC. WALL PER STRC. W/ GFRC PANELS (7/A0.15) | 6-4 | WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (7/A0.16) |
| 8 | CONC. WALL PER STRC. W/ 1x4 CEDAR T+G (8/A0.15) | | |
| 9 | CMU WALL PER STRC. (9/A0.15) | | |
| 10 | 1-HR 2x6 EXTERIOR WALL ASSM. W/ GFRC PANELS (10/A0.15) | | |
| 11 | 1-HR 2x6 EXTERIOR WALL ASSM. W/ 1x4 CEDAR T+G (11/A0.15) | | |
| 12 | 1-HR 2x6 EXTERIOR WALL ASSM. W/ STUCCO (12/A0.15) | | |
| 13 | 2-HR 2x6 EXTERIOR WALL ASSM. W/ GFRC PANELS (13/A0.16) | | |
| 14 | 2-HR 2x6 EXTERIOR WALL ASSM. W/ STUCCO (14/A0.16) | | |

FLOOR PLAN LEGEND

- | | | | |
|--|------------------------------|--|--|
| | FLOOR TYPE | | WINDOW TAG (SEE PAGE A0.11 FOR SCHEDULE) |
| | 1 HR | | DOOR TAG (SEE PAGE A0.10 FOR SCHEDULE) |
| | 2 HR | | WALL TYPE |
| | SMOKE DETECTOR | | ELEVATION MARKER |
| | CARBON MONOXIDE | | PROPERTY LINE |
| | EXHAUST (GENERAL NOTES #2,3) | | ACCESSIBLE ROUTE |
| | 6' - 0" WOOD FENCE | | EXTERIOR WALL (SEE WALL TYPES FOR SPECIFICS) |
| | 3' - 6" WOOD FENCE | | INTERIOR WALL (SEE WALL TYPES FOR SPECIFICS) |
| | | | NONE STRUCTURAL INTERIOR WALL |
-
- | | | | |
|------------|-----------------|------------|----------------|
| MB | MASTER BEDROOM | PWR | POWDER ROOM |
| BD | BEDROOM | CL | CLOSET |
| MBA | MASTER BATHROOM | WIC | WALK IN CLOSET |
| BA | BATHROOM | LR | LAUNDRY ROOM |
| LR | LIVING ROOM | BC | BALCONY |
| KI | KITCHEN | EN | ENTRY |
| DR | DINING ROOM | | |

KEYNOTE LEGEND

- | | | | |
|---|--|----|--|
| 1 | LONG TERM BICYCLE PARKING (STACKED 2 BIKES PER NUMBER) *SEE 3/A0.20 FOR DETAIL | 9 | TRASH / RECYCLING |
| 2 | ADA PARING SPACE | 10 | GAS METERS |
| 3 | STANDARD PARKING SPACE | 11 | ELECTRIC METERS |
| 4 | COMPACT PARKING SPACE | 12 | FIRST FLOOR ENTRY |
| 5 | ACCESSIBLE PATH | 13 | MECH. CHASE |
| 6 | DRIVEWAY | 14 | ELEVATOR MECH. ROOM |
| 7 | EGRESS STAIR | 15 | UNIT MAIL BOXES |
| 8 | ELEVATOR | 16 | SHORT TERM BICYCLE PARKING *SEE 2/A0.20 FOR DETAIL |

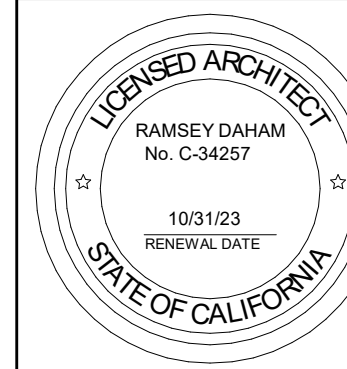
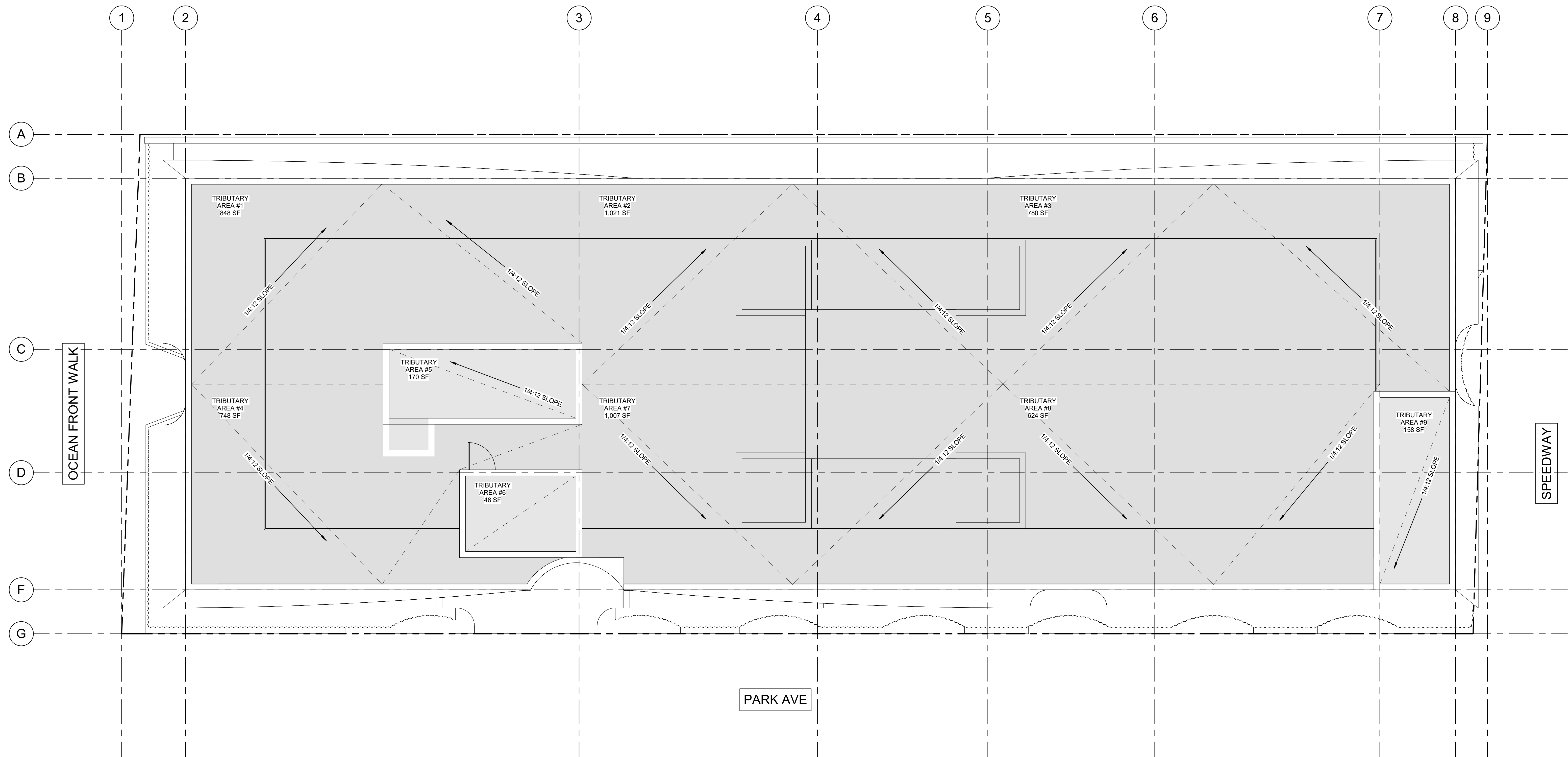


723 OCEAN FRONT WALK
 VENICE, CA 90291

REVISIONS

PROPOSED PLANS

DRAWN JS
 CHECKED PNK
 DATE 7/26/2022 6:45:00 PM
 SCALE As indicated
 JOB # 21-A009



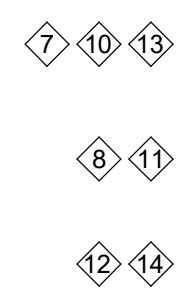
723 OCEAN FRONT WALK
 VENICE, CA 90291

REVISIONS

ROOF DRAINAGE PLAN

DRAWN	JS
CHECKED	PNK
DATE	7/26/2022 6:45:02 PM
SCALE	3/16" = 1'-0"
JOB #	21-A009

TAG

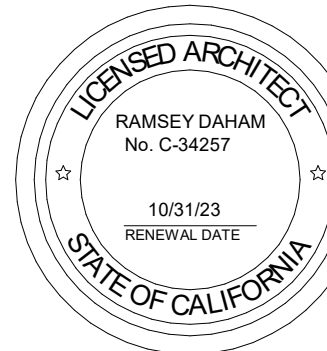
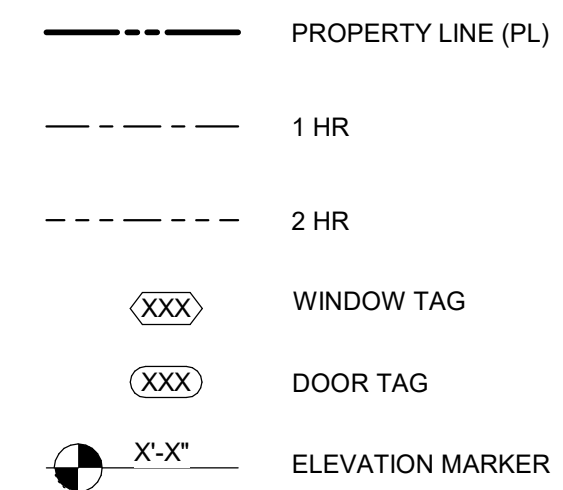


GFRP PANELS
SEE A0.05 FOR SPECS

HORIZONTAL WOOD SIDING
SEE A0.05 FOR SPECS

RIBBED CONCRETE SIDING
SEE A0.05 FOR SPECS

ELEVATION LEGEND



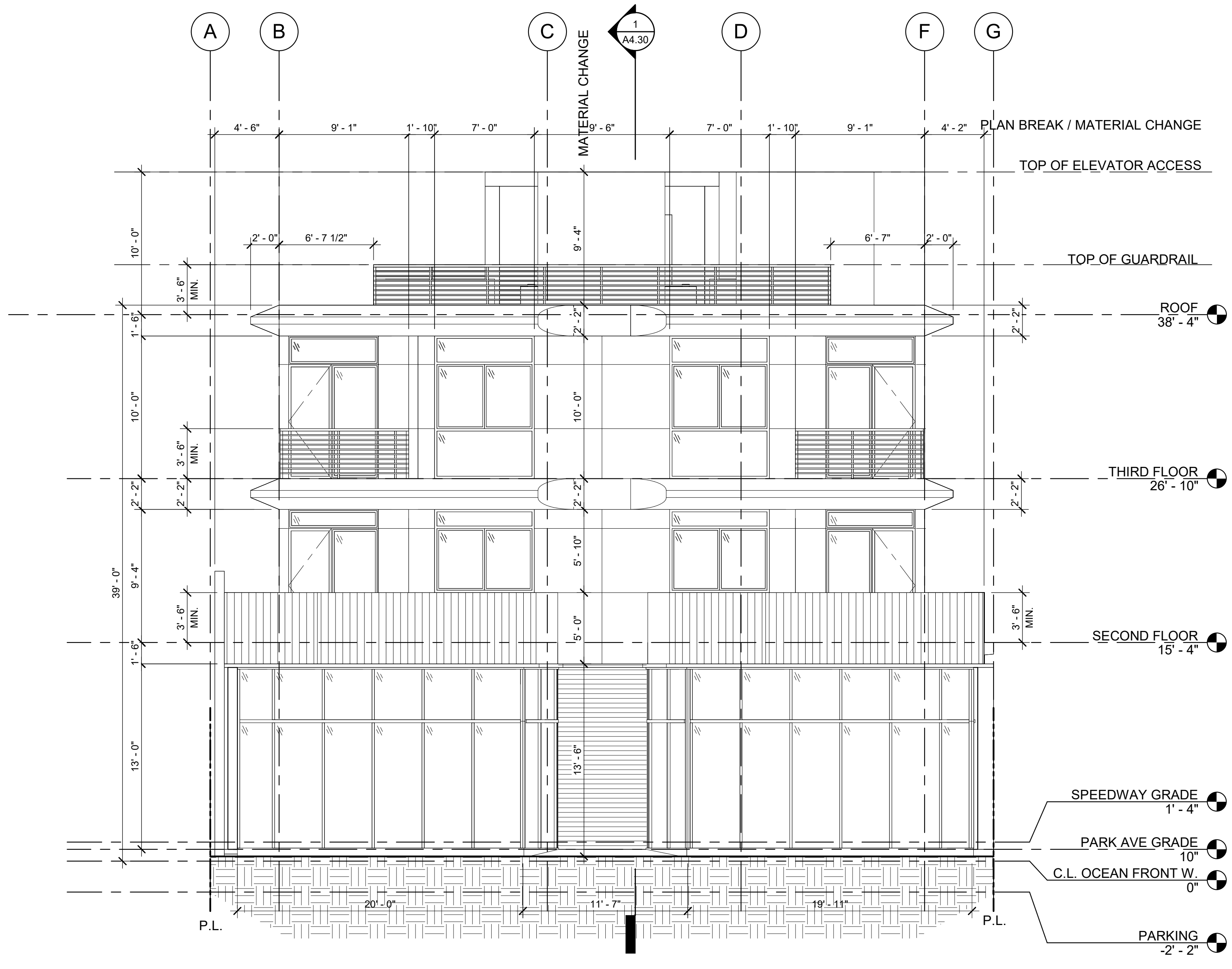
723 OCEAN FRONT WALK
VENICE, CA 90291

REVISIONS

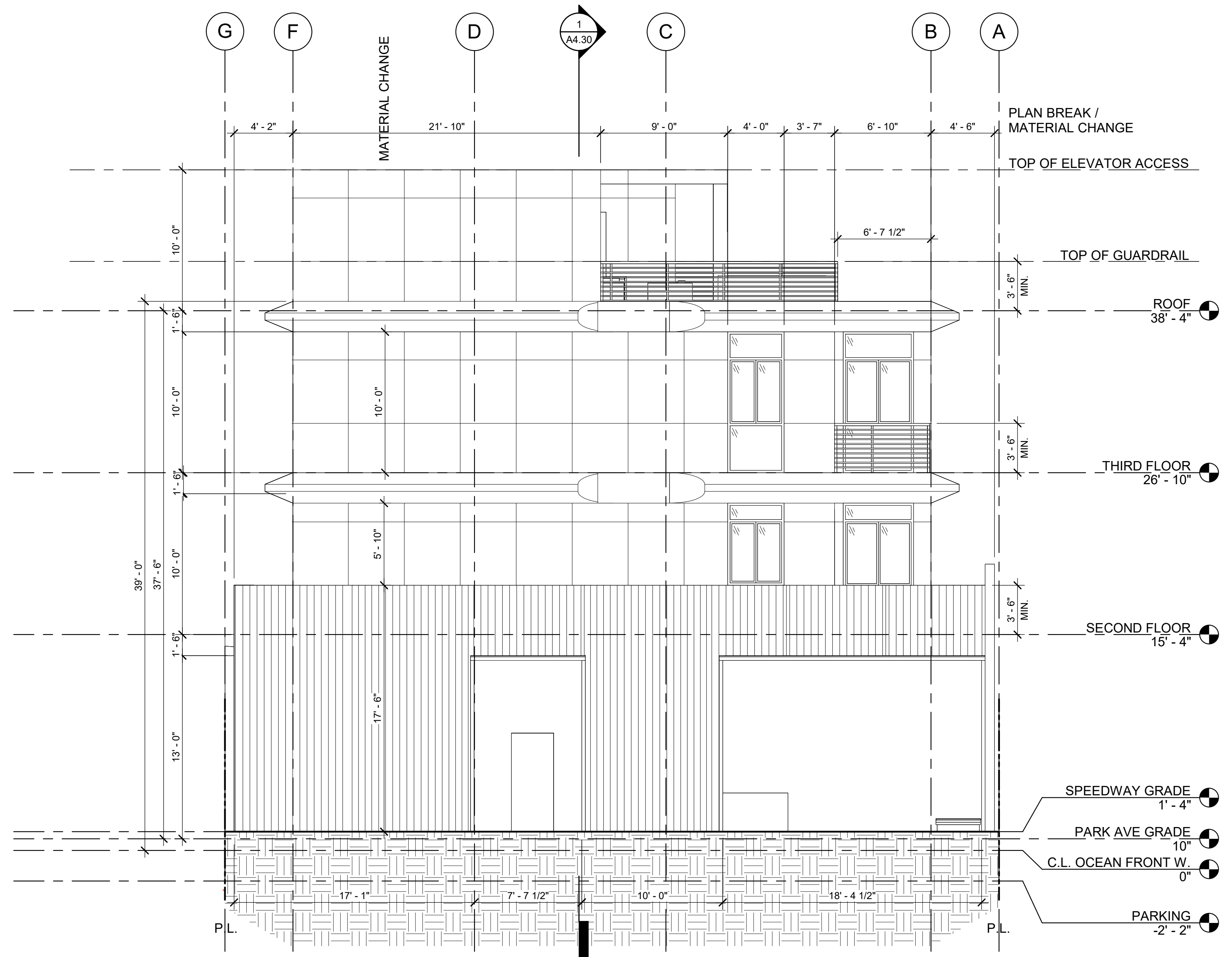
NO.	DESCRIPTION

ELEVATIONS

DRAWN	JS
CHECKED	PNK
DATE	7/26/2022 6:45:11 PM
SCALE	As indicated
JOB #	21-A009

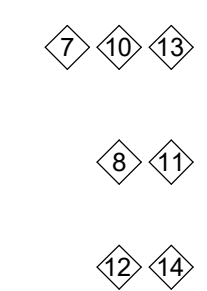


WEST ELEVATION
3/16" = 1'-0"
2



EAST ELEVATION
3/16" = 1'-0"
1

TAG

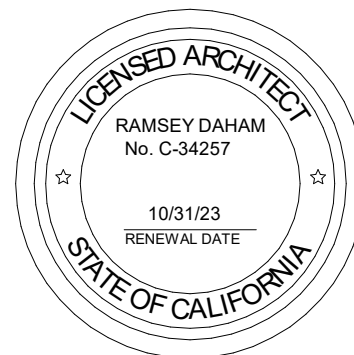
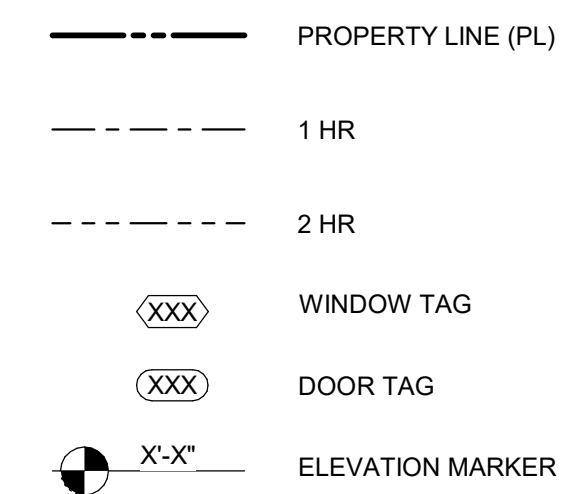


GFRP PANELS
SEE A0.05 FOR SPECS

HORIZONTAL WOOD SIDING
SEE A0.05 FOR SPECS

RIBBED CONCRETE SIDING
SEE A0.05 FOR SPECS

ELEVATION LEGEND



723 OCEAN FRONT WALK
VENICE, CA 90291

REVISIONS

NO.	DATE	DESCRIPTION

ELEVATIONS

DRAWN	JS
CHECKED	PNK
DATE	7/26/2022 6:45:14 PM
SCALE	As indicated
JOB #	21-A009



SOUTH ELEVATION
3/16" = 1'-0"



723 OCEAN FRONT WALK
VENICE, CA 90291

REVISIONS

NO.	DATE	DESCRIPTION

ELEVATIONS

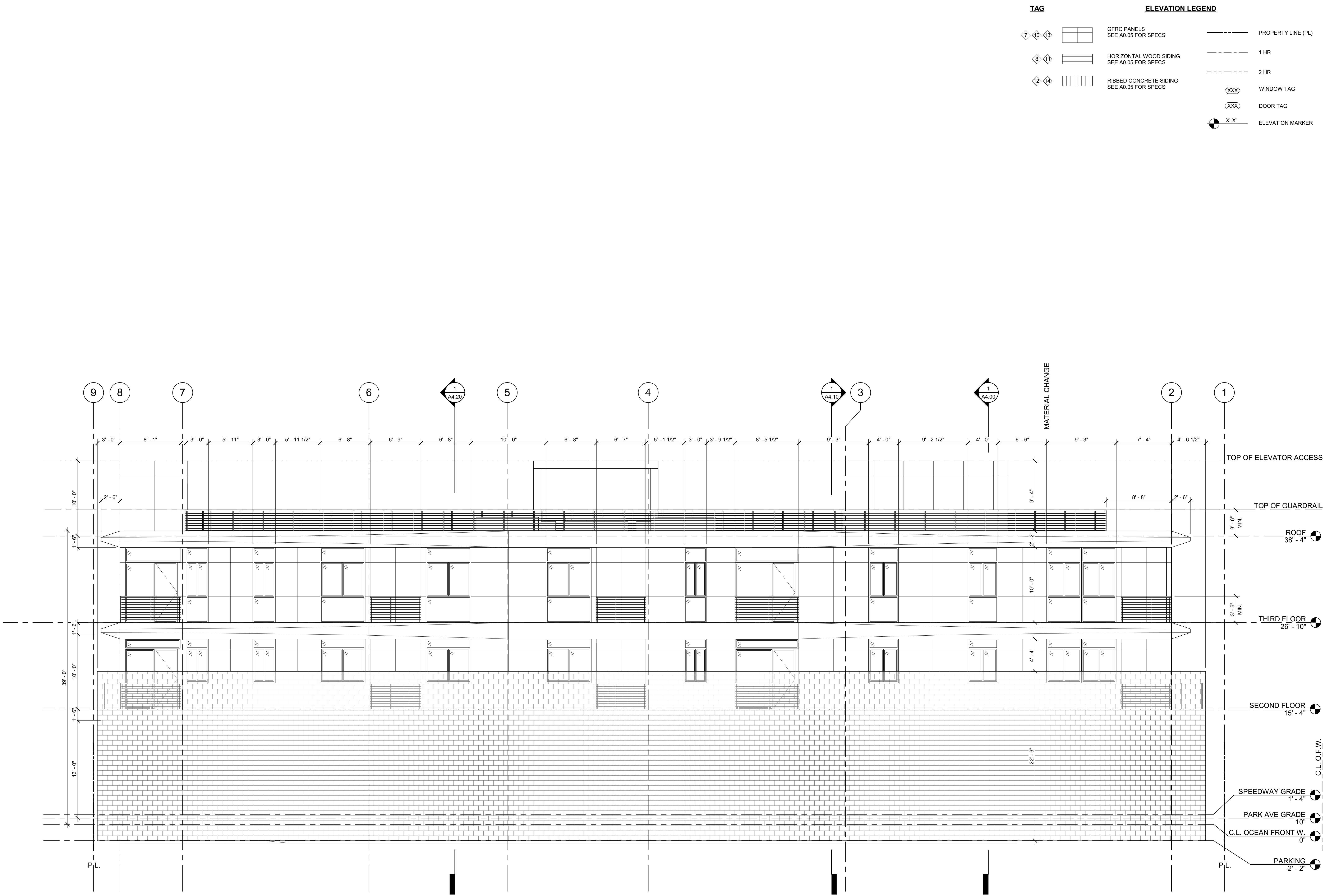
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SCALE	As indicated
JOB #	21-A009

TAG

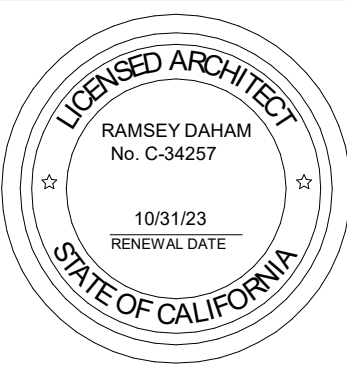
- 7-10-13: GFRP PANELS SEE A0.05 FOR SPECS
- 8-11: HORIZONTAL WOOD SIDING SEE A0.05 FOR SPECS
- 12-14: RIBBED CONCRETE SIDING SEE A0.05 FOR SPECS

ELEVATION LEGEND

- : PROPERTY LINE (PL)
- - - -: 1 HR
- - - - -: 2 HR
- (XXX): WINDOW TAG
- (XXX): DOOR TAG
- X-X: ELEVATION MARKER



NORTH ELEVATION
3/16" = 1'-0"



723 OCEAN FRONT WALK
VENICE, CA 90291

REVISIONS

NO.	DATE	DESCRIPTION

ELEVATIONS
COLOR

DRAWN	JS
CHECKED	PNK
DATE	7/26/2022 6:45:28 PM
SCALE	As indicated
JOB #	21-A009

A3.40

TAG		ELEVATION LEGEND	
7-10-13		GFRc PANELS SEE A0.05 FOR SPECS	— — — — — PROPERTY LINE (PL)
8-11		HORIZONTAL WOOD SIDING SEE A0.05 FOR SPECS	- - - - - 1 HR
12-14		RIBBED CONCRETE SIDING SEE A0.05 FOR SPECS	- - - - - 2 HR
			XXX WINDOW TAG
			XXX DOOR TAG
			X'-X" ELEVATION MARKER



WEST ELEVATION COLOR
3/16" = 1'-0" 2

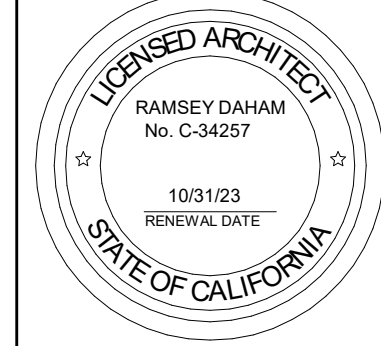


EAST ELEVATION COLOR
3/16" = 1'-0" 1

TAG		ELEVATION LEGEND		
7-10-13		GFRP PANELS SEE A0.05 FOR SPECS		PROPERTY LINE (PL)
8-11		HORIZONTAL WOOD SIDING SEE A0.05 FOR SPECS		1 HR
12-14		RIBBED CONCRETE SIDING SEE A0.05 FOR SPECS		2 HR
				WINDOW TAG
				DOOR TAG
				ELEVATION MARKER



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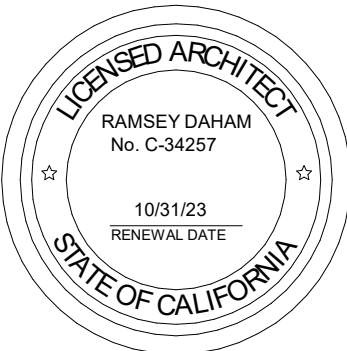
REVISIONS

NO.	DATE	DESCRIPTION

ELEVATIONS COLOR

DRAWN	JS
CHECKED	PNK
DATE	7/26/2022 6:45:37 PM
SCALE	As indicated
JOB #	21-A009

A3.50



723 OCEAN FRONT WALK
VENICE, CA 90291

REVISIONS

ELEVATIONS
COLOR

DRAWN	CR
CHECKED	PNK
DATE	7/26/2022 6:45:45 PM
SCALE	As indicated
JOB #	21-A009

A3.60

TAG

7-10-13 GFRG PANELS
SEE A0.05 FOR SPECS

8-11 HORIZONTAL WOOD SIDING
SEE A0.05 FOR SPECS

12-14 RIBBED CONCRETE SIDING
SEE A0.05 FOR SPECS

ELEVATION LEGEND

--- PROPERTY LINE (PL)

- - - 1 HR

- - - 2 HR

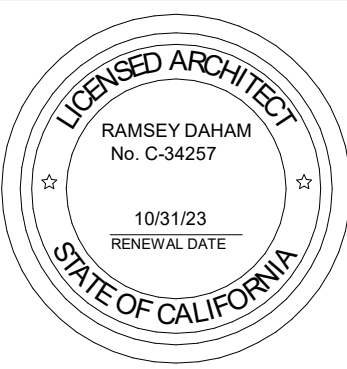
XXX WINDOW TAG

XXX DOOR TAG

X'-X" ELEVATION MARKER



NORTH ELEVATION COLOR
3/16" = 1'-0"



723 OCEAN FRONT WALK
VENICE, CA 90291

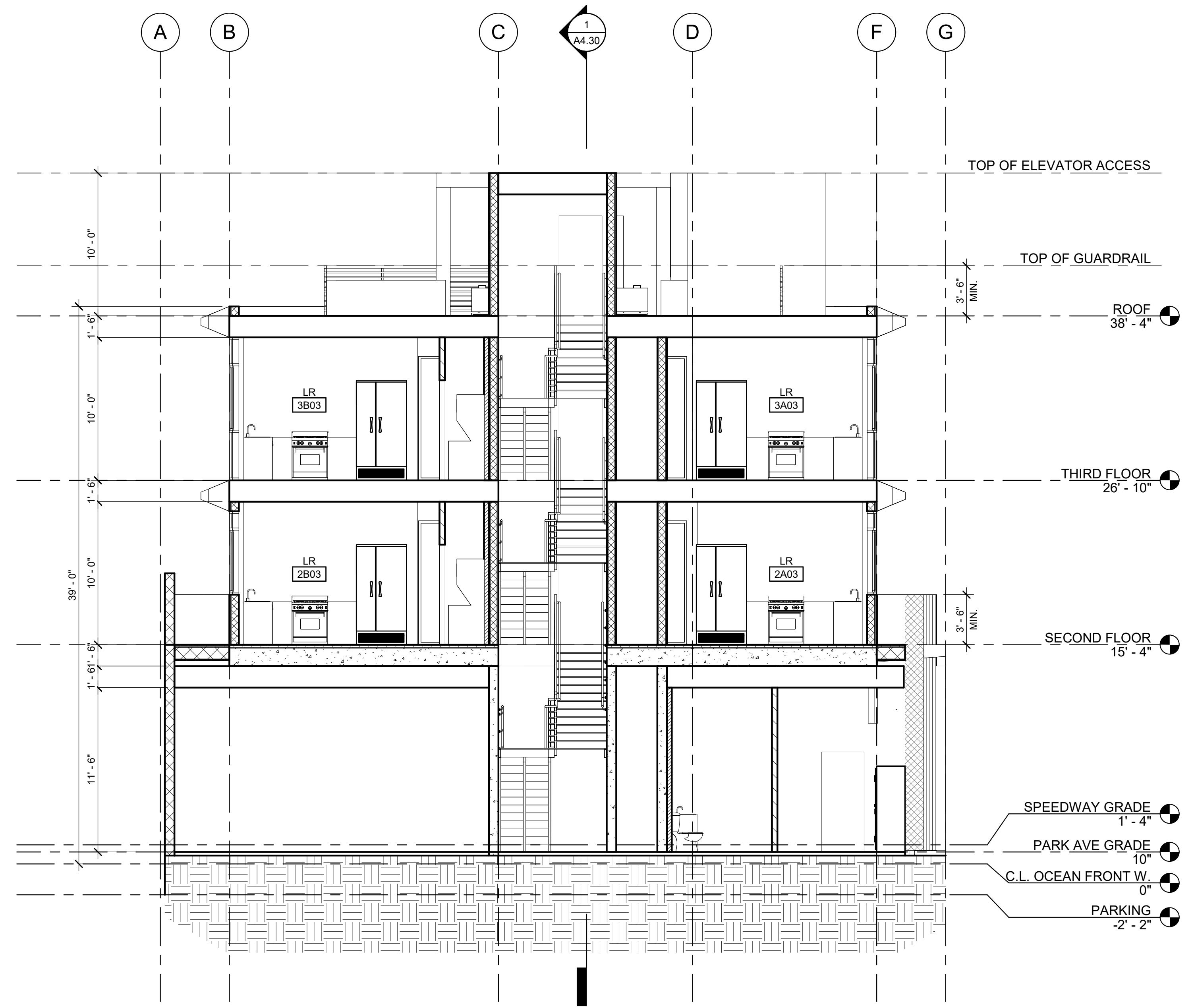
REVISIONS

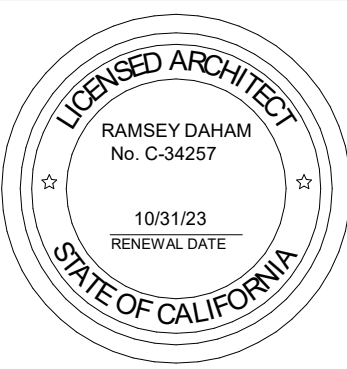
SECTIONS

DRAWN	JS
CHECKED	PNK
DATE	7/26/2022 6:45:47 PM
SCALE	As indicated
JOB #	21-A009

SECTION LEGEND

---	1 HR
---	2 HR
⊙ X-X'	ELEVATION MARKER
- - - -	PROPERTY LINE
---	EXISTING GRADE





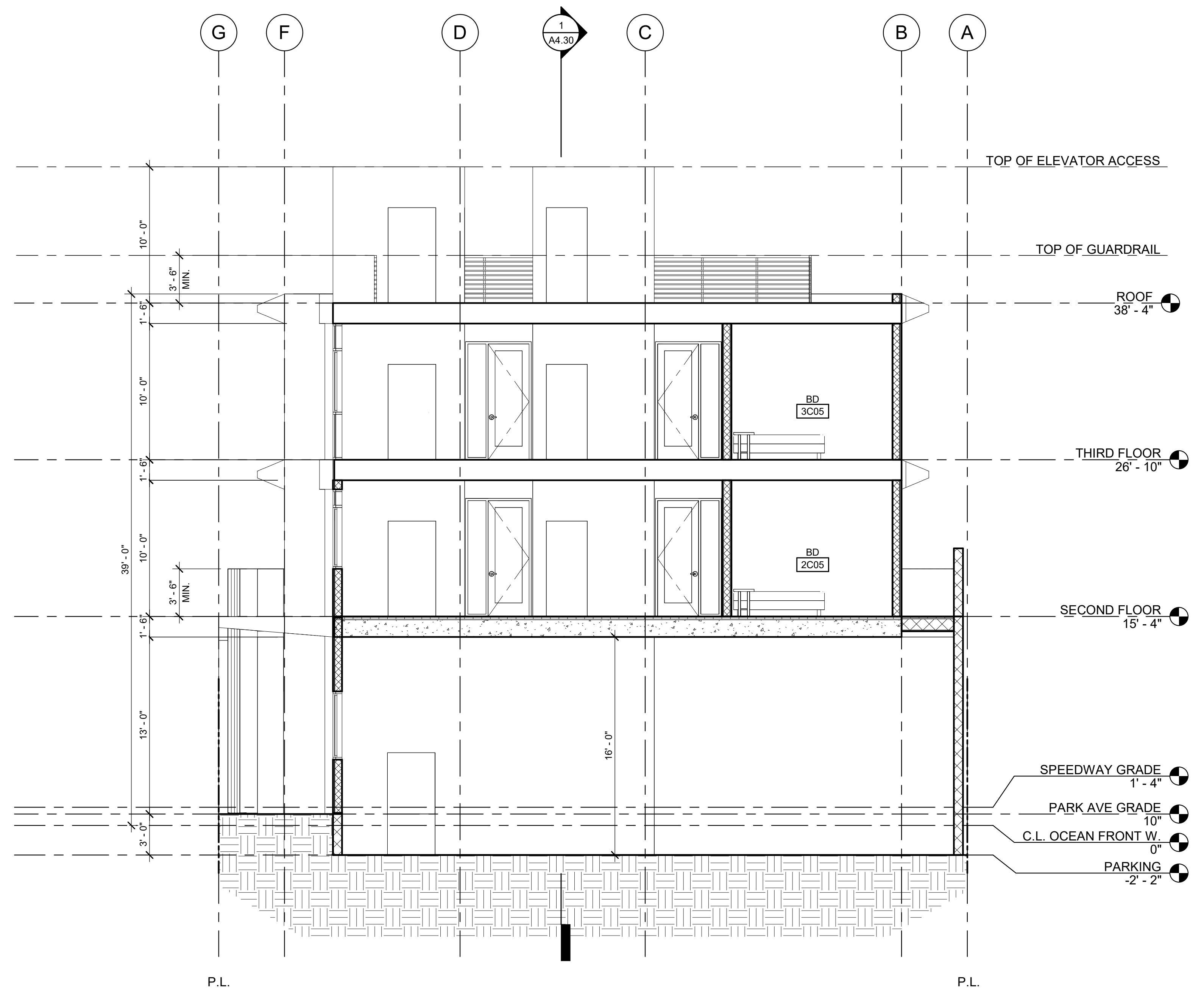
723 OCEAN FRONT WALK
VENICE, CA 90291

REVISIONS

SECTIONS

DRAWN	JS
CHECKED	PNK
DATE	7/26/2022 6:45:48 PM
SCALE	As indicated
JOB #	21-A009

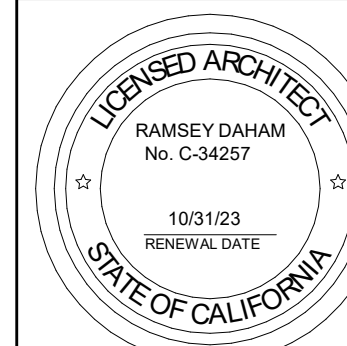
- SECTION LEGEND**
- - - - - 1 HR
 - - - - - 2 HR
 - ◉ X-X' ELEVATION MARKER
 - - - - - PROPERTY LINE
 - - - - - EXISTING GRADE



SECTION LEGEND

- 1 HR
- 2 HR
- X-X' ELEVATION MARKER
- PROPERTY LINE
- EXISTING GRADE

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VENICE, CA 90291

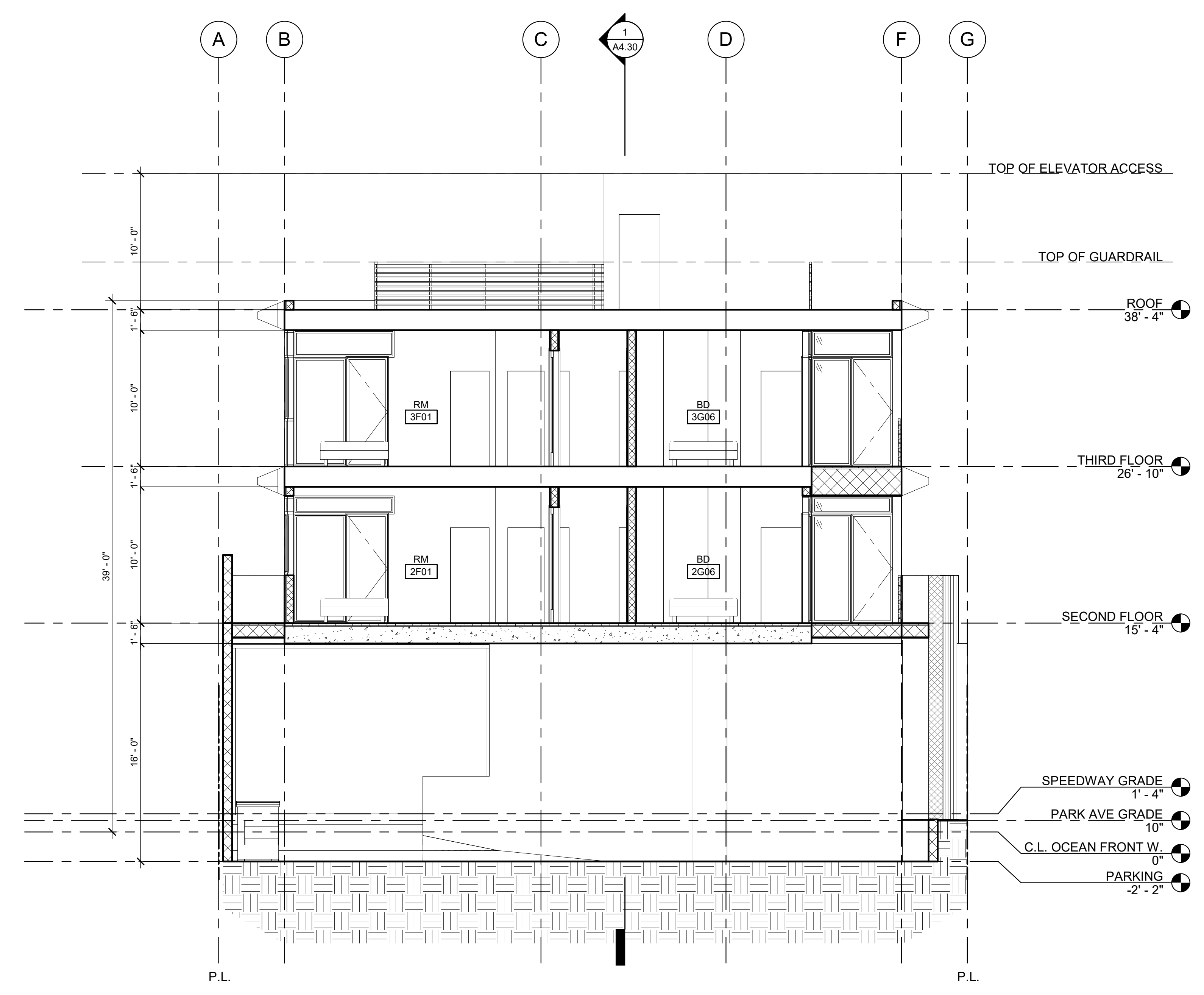
REVISIONS

NO.	DESCRIPTION

SECTIONS

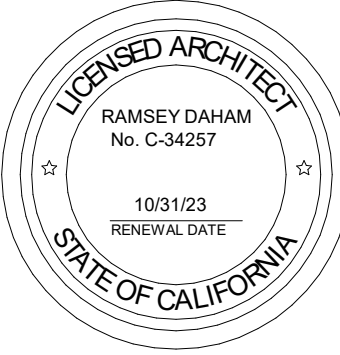
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SCALE	As indicated
JOB #	21-A009

A4.20



SECTION LEGEND

- 1 HR
- 2 HR
- ◐ X-X' ELEVATION MARKER
- - - PROPERTY LINE
- EXISTING GRADE



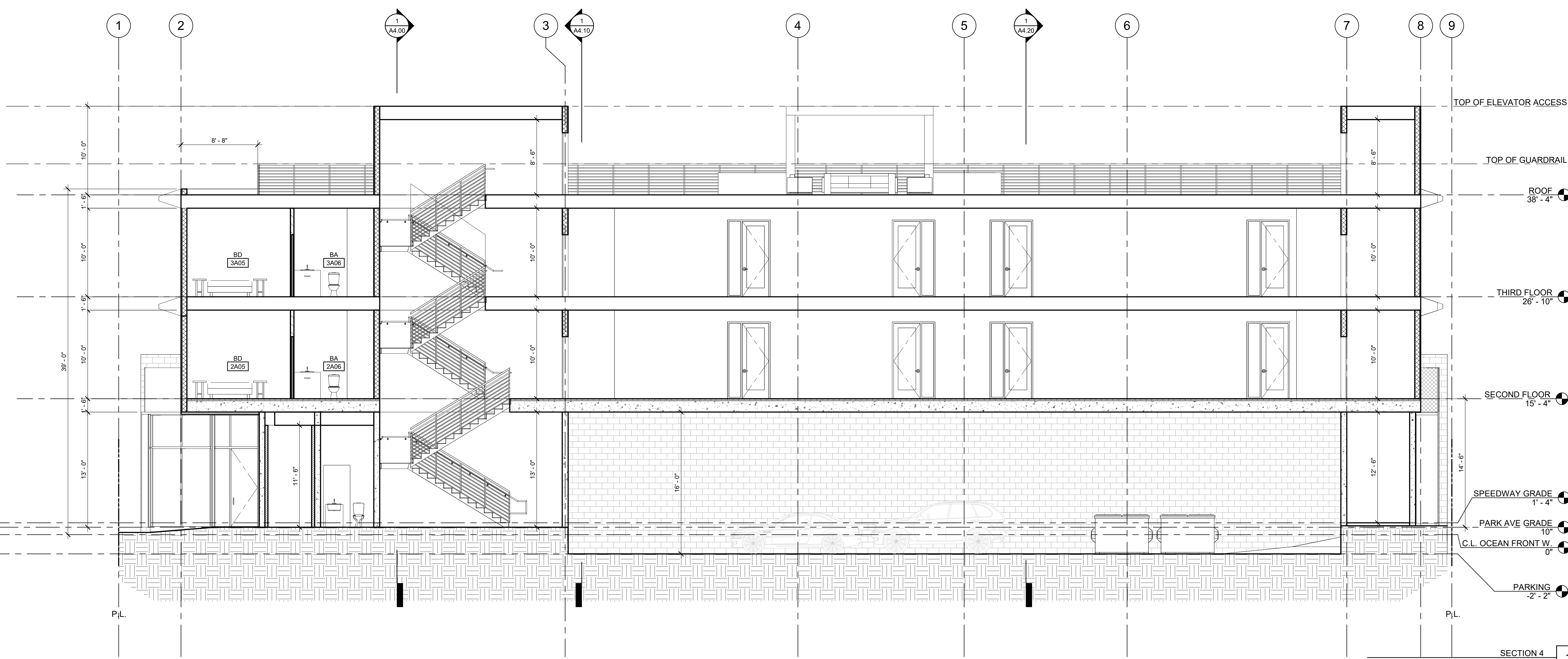
723 OCEAN FRONT WALK
 VENICE, CA 90291

REVISIONS

SECTIONS

DRAWN JS
 CHECKED PNK
 DATE 7/26/2022 6:45:51 PM
 SCALE As indicated
 JOB # 21-A009

A4.30



TOP OF ELEVATOR ACCESS

TOP OF GUARDRAIL

ROOF
38' - 4"

THIRD FLOOR
26' - 10"

SECOND FLOOR
15' - 4"

SPEEDWAY GRADE
1' - 4"

PARK AVE GRADE
10"

C.L. OCEAN FRONT W.
0"

PARKING
-2' - 2"

SECTION 4
 3/16" = 1'-0"

1

2

1
A4.00

3

1
A4.10

4

5

1
A4.20

6

7

8

9

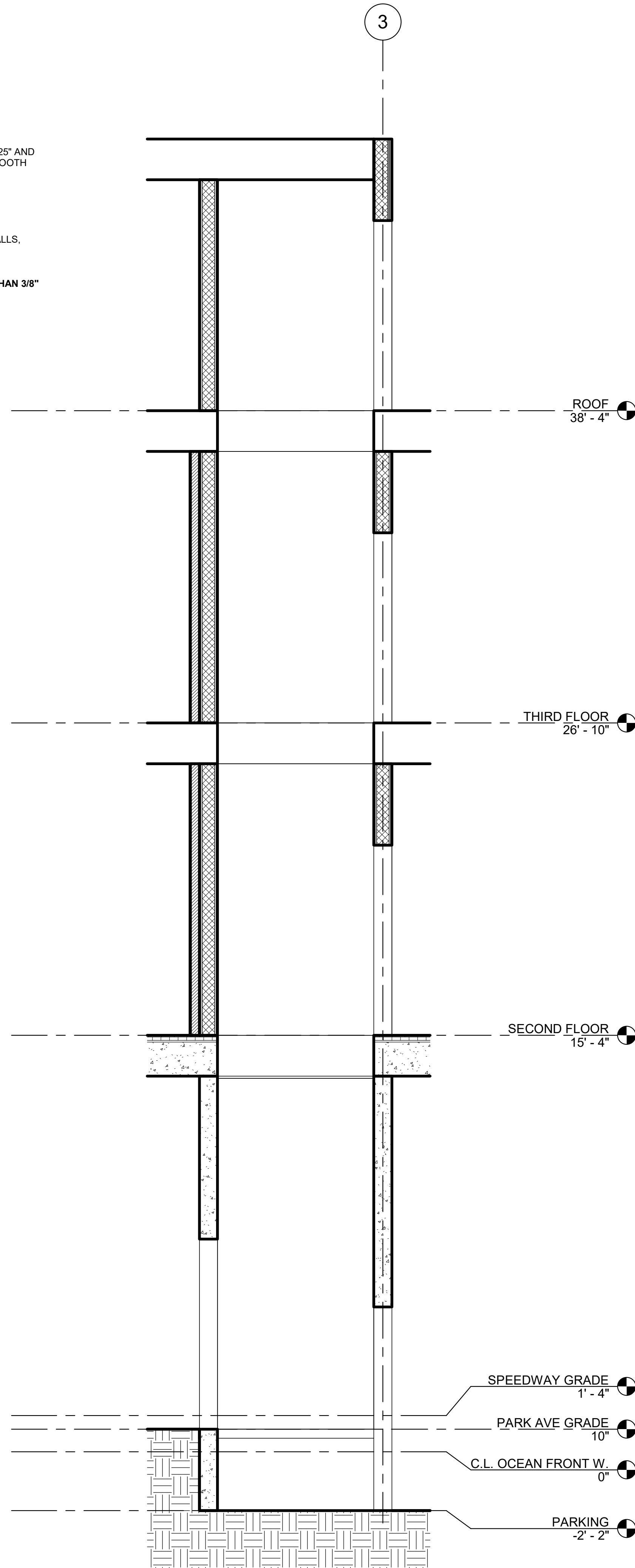
P.L.

P.L.

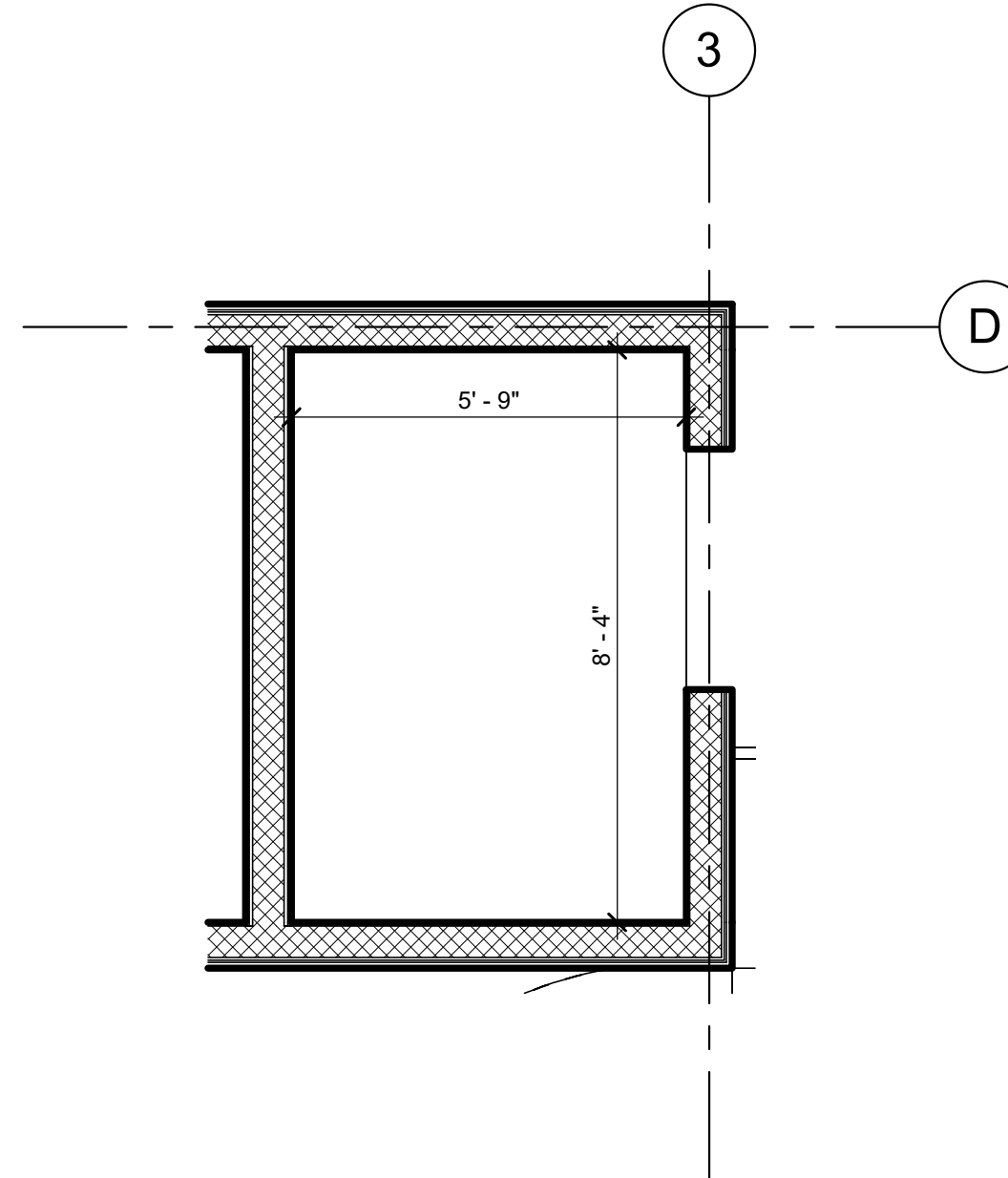
NOTES:

- A. 7.75" MAXIMUM RISE & MINIMUM 10" RUN.
(R311.7.5)
- B. MINIMUM 6'-8" HEADROOM CLEARANCE.
(R311.7.2)
- C. MINIMUM 36" CLEAR WIDTH.
(R311.7.1)
- D. HANDRAILS 34" TO 36" HIGH ABOVE TREAD NOSING.
(R311.7.8.1)
- E. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS.
(R311.7.8.3)
- F. MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS.
(R3.12.1.3)
- G. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD.

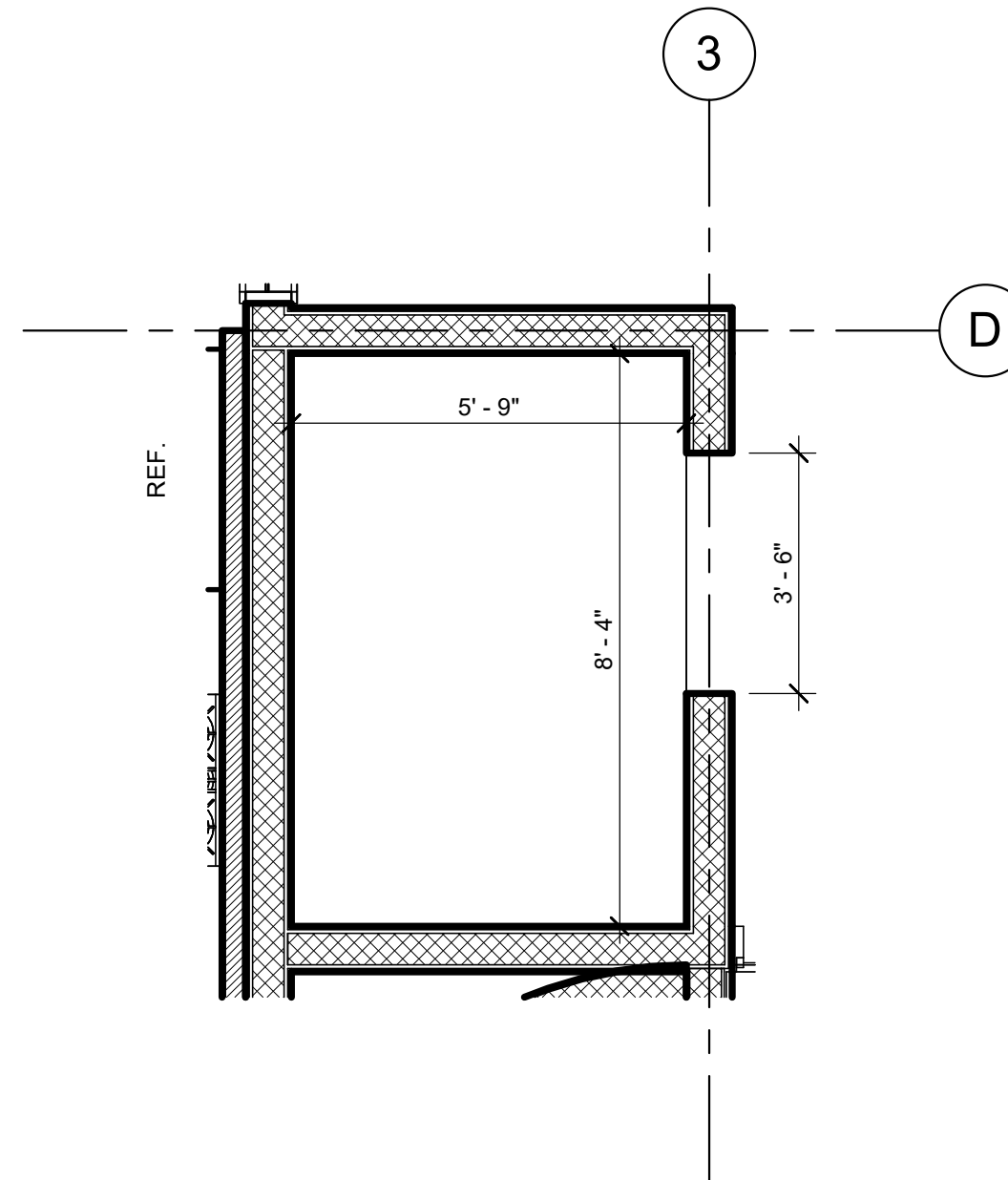
THE GREATEST RISER SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8"



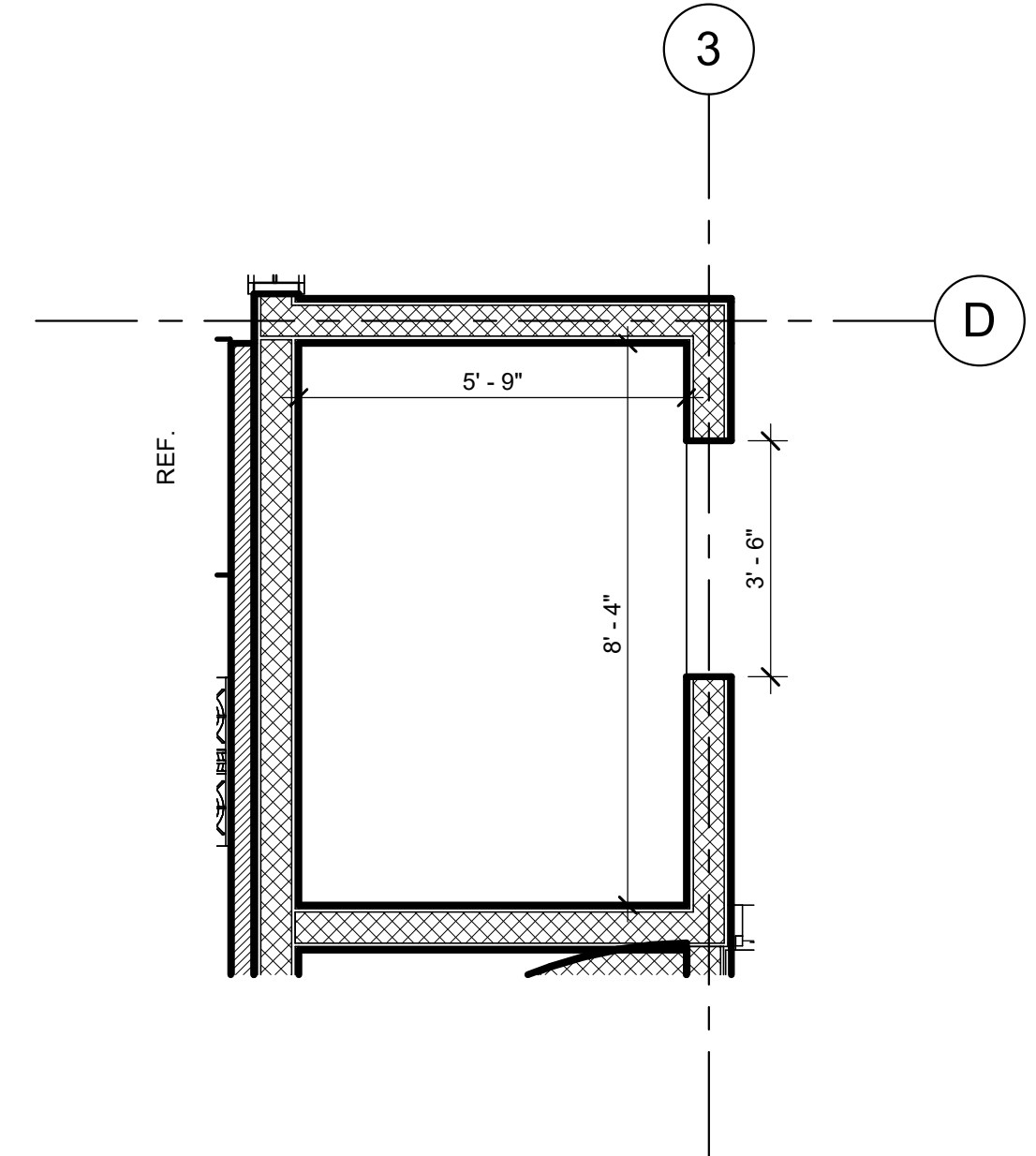
ELEVATOR SECTION
3/8" = 1'-0" 5



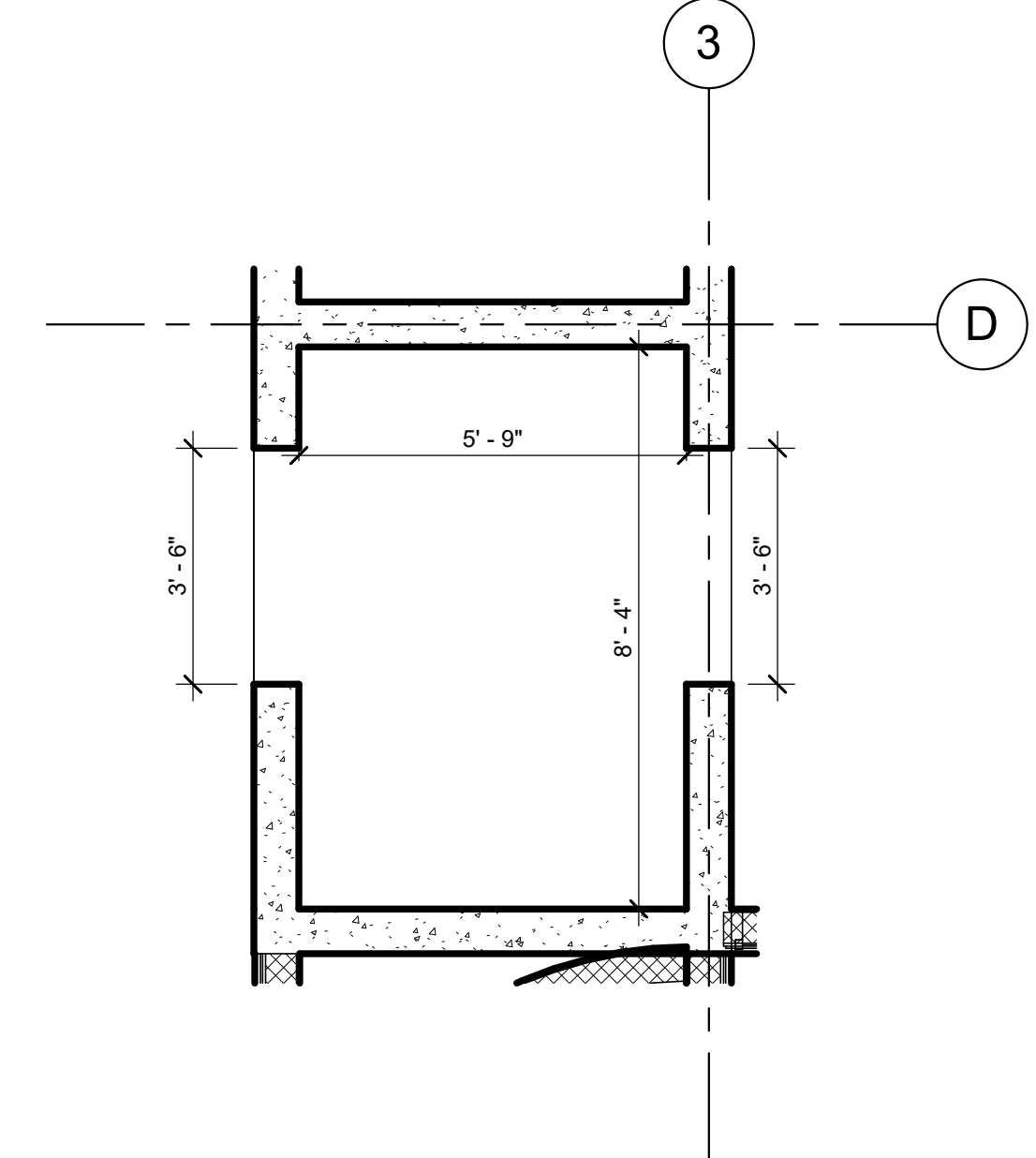
FOURTH FLOOR ELEVATOR HOISTWAY
3/8" = 1'-0" 4



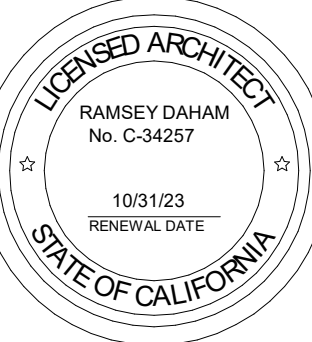
THIRD FLOOR ELEVATOR HOISTWAY
3/8" = 1'-0" 3



SECOND FLOOR ELEVATOR HOISTWAY
3/8" = 1'-0" 2



FIRST FLOOR ELEVATOR HOISTWAY
3/8" = 1'-0" 1



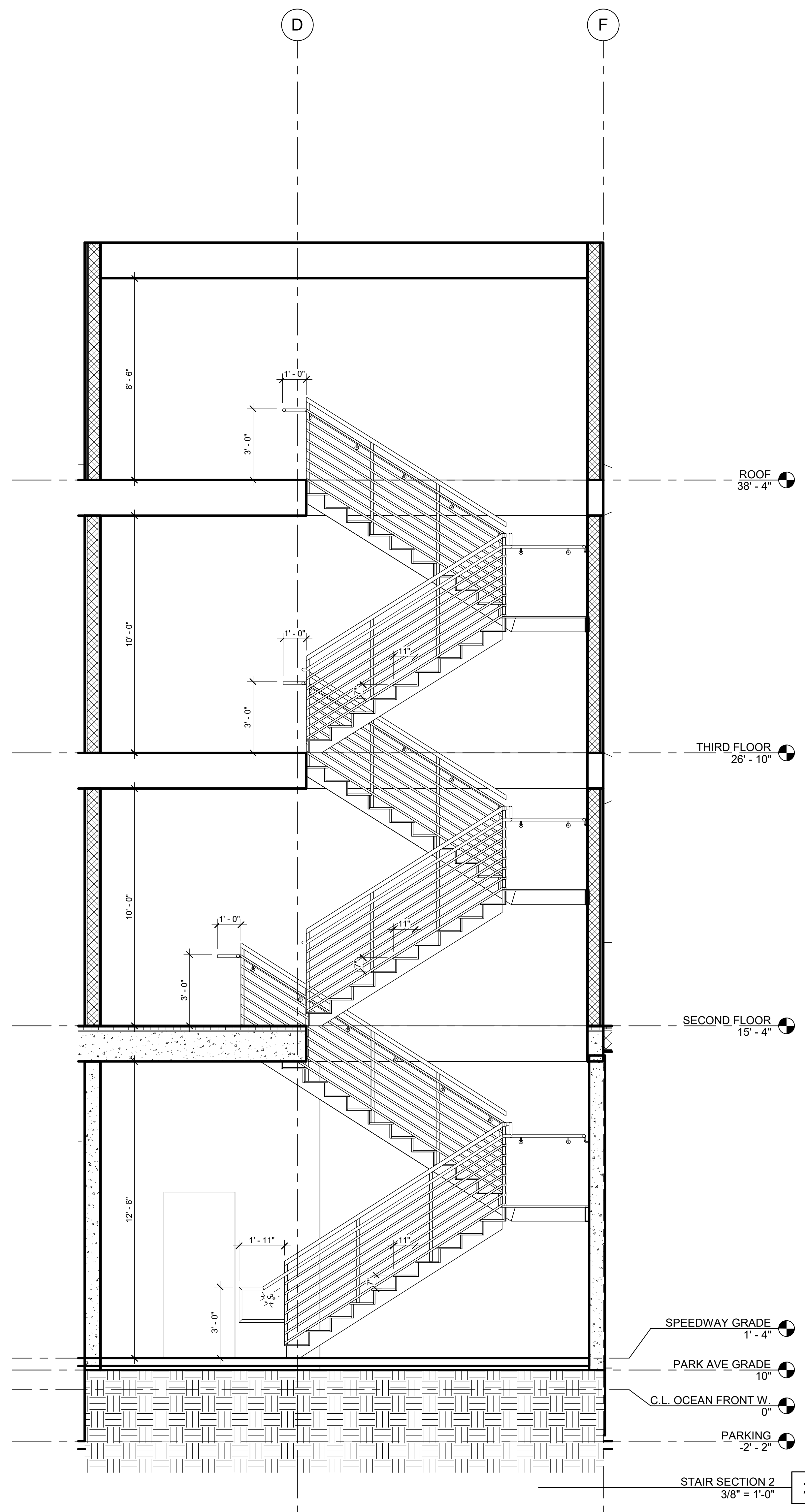
723 OCEAN FRONT WALK
VENICE, CA 90291

REVISIONS

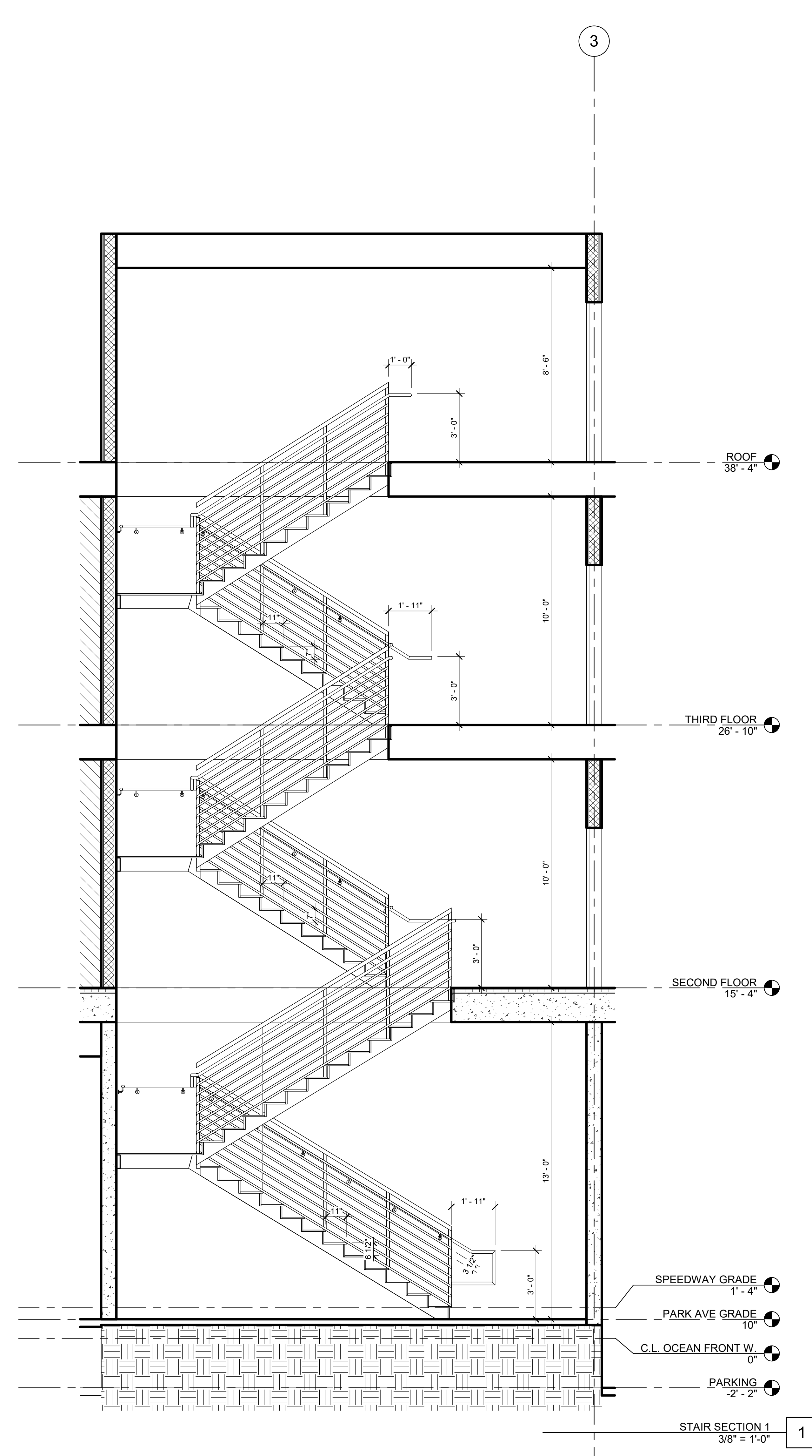
NO.	DATE	DESCRIPTION

VERTICAL CIRCULATION

DRAWN	JS
CHECKED	PNK
DATE	7/7/2022 2:56:33 PM
SCALE	3/8" = 1'-0"
JOB #	21-A009



STAIR SECTION 2
3/8" = 1'-0" 2



STAIR SECTION 1
3/8" = 1'-0" 1

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LICENSED ARCHITECT
RAMSEY DAHAM
No. C-34257
10/31/23
RENEWAL DATE
STATE OF CALIFORNIA

723 OCEAN FRONT WALK
VENICE, CA 90291

REVISIONS

VERTICAL CIRCULATION

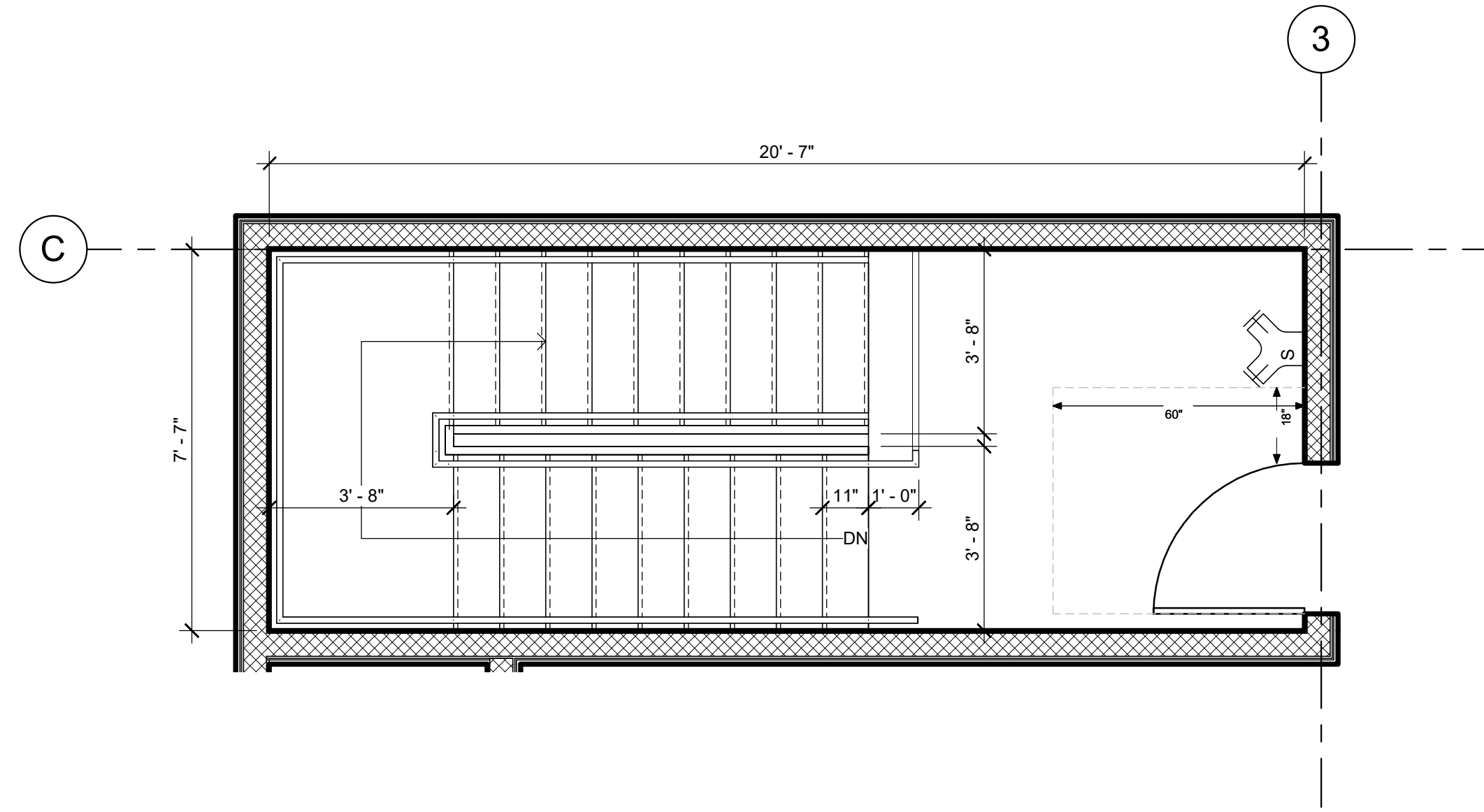
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CHECKED PNK
DATE 7/7/2022 2:56:34 PM
SCALE 3/8" = 1'-0"
JOB # 21-A009

A9.10

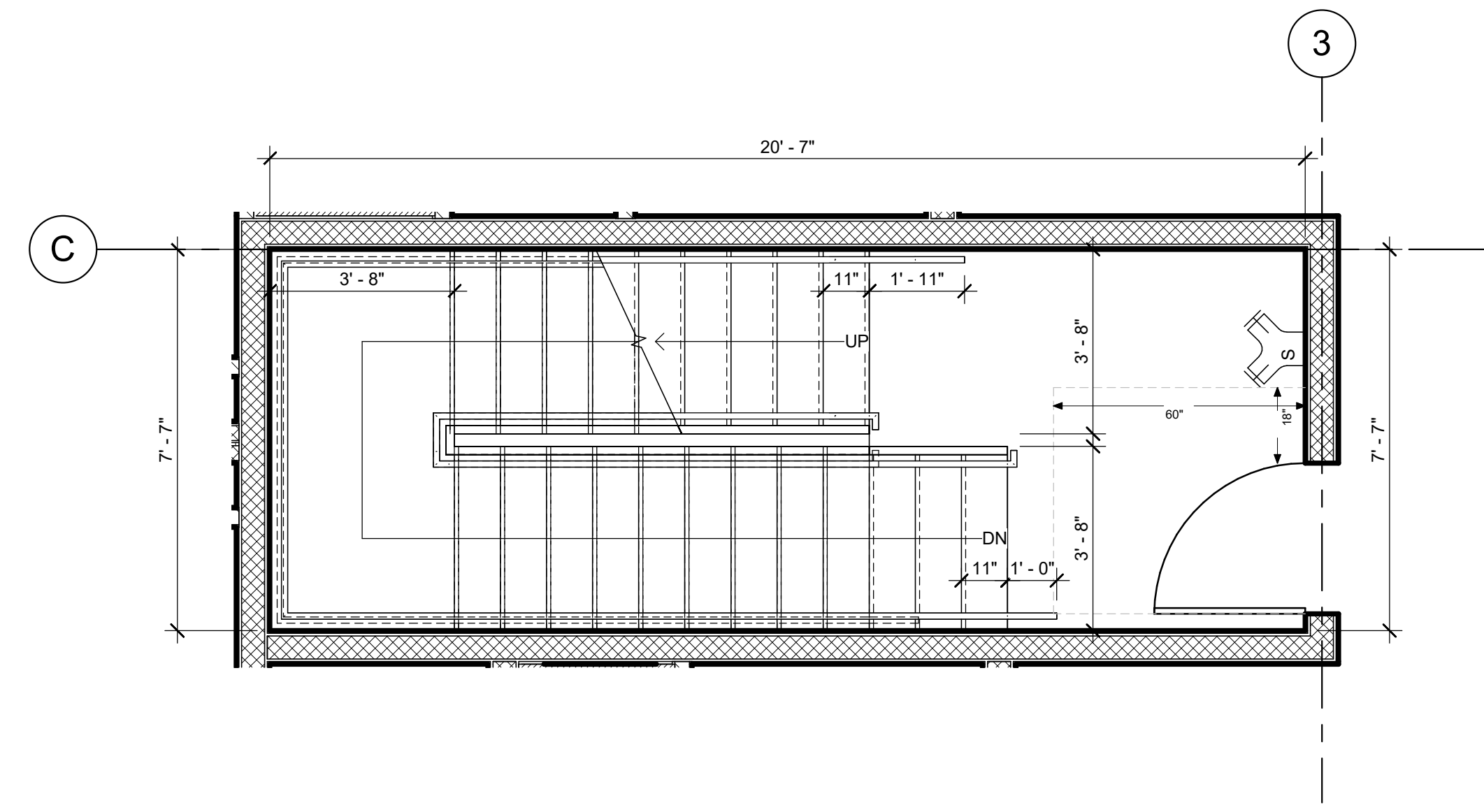
NOTES:

- A. 7.75" MAXIMUM RISE & MINIMUM 10" RUN. (R311.7.5)
- B. MINIMUM 6'-8" HEADROOM CLEARANCE. (R311.7.2)
- C. MINIMUM 36" CLEAR WIDTH. (R311.7.1)
- D. HANDRAILS 34" TO 36" HIGH ABOVE TREAD NOSING. (R311.7.8.1)
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- F. MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS. (R3.12.1.3)
- G. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD.

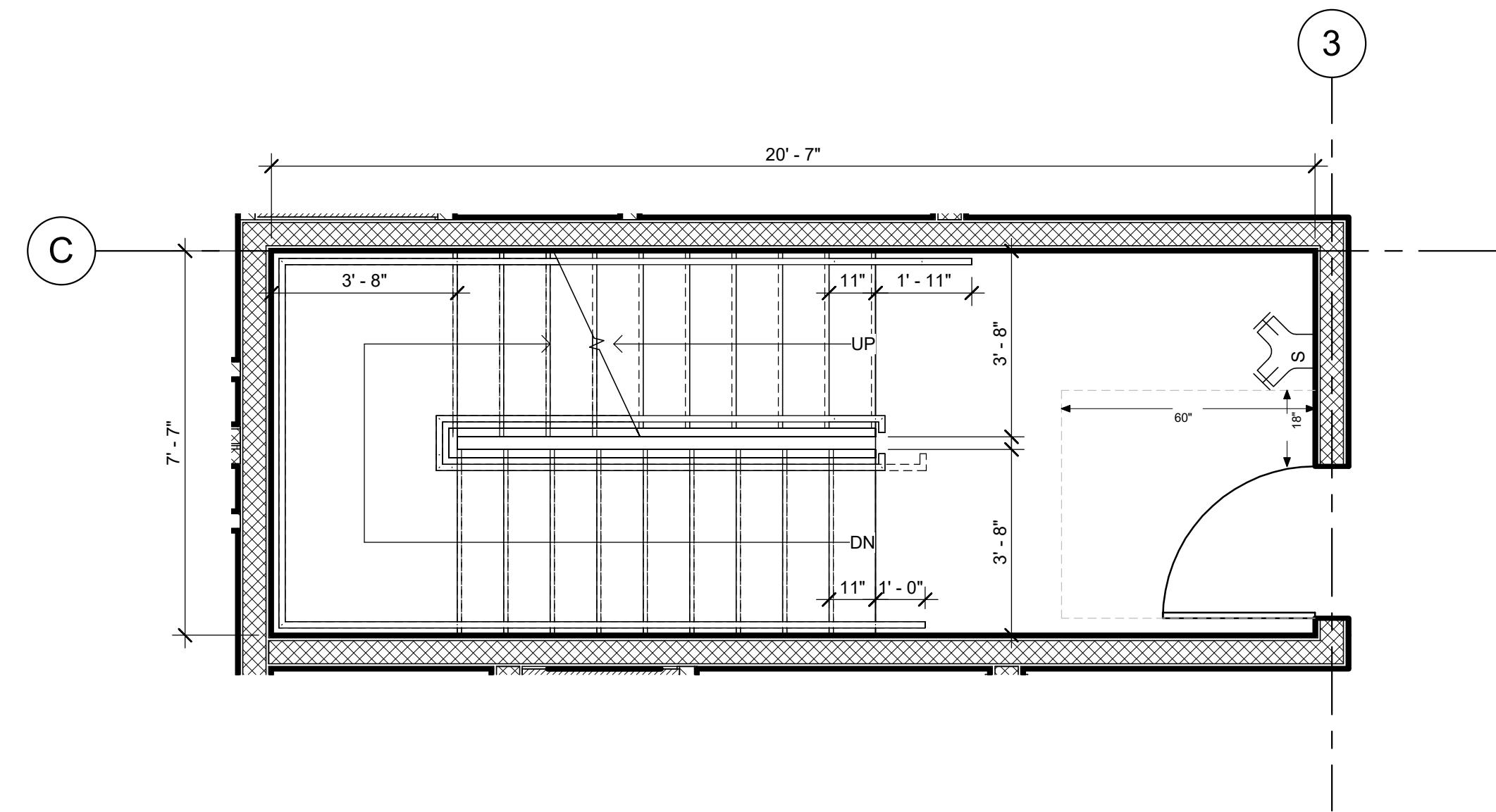
THE GREATEST RISER SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8"



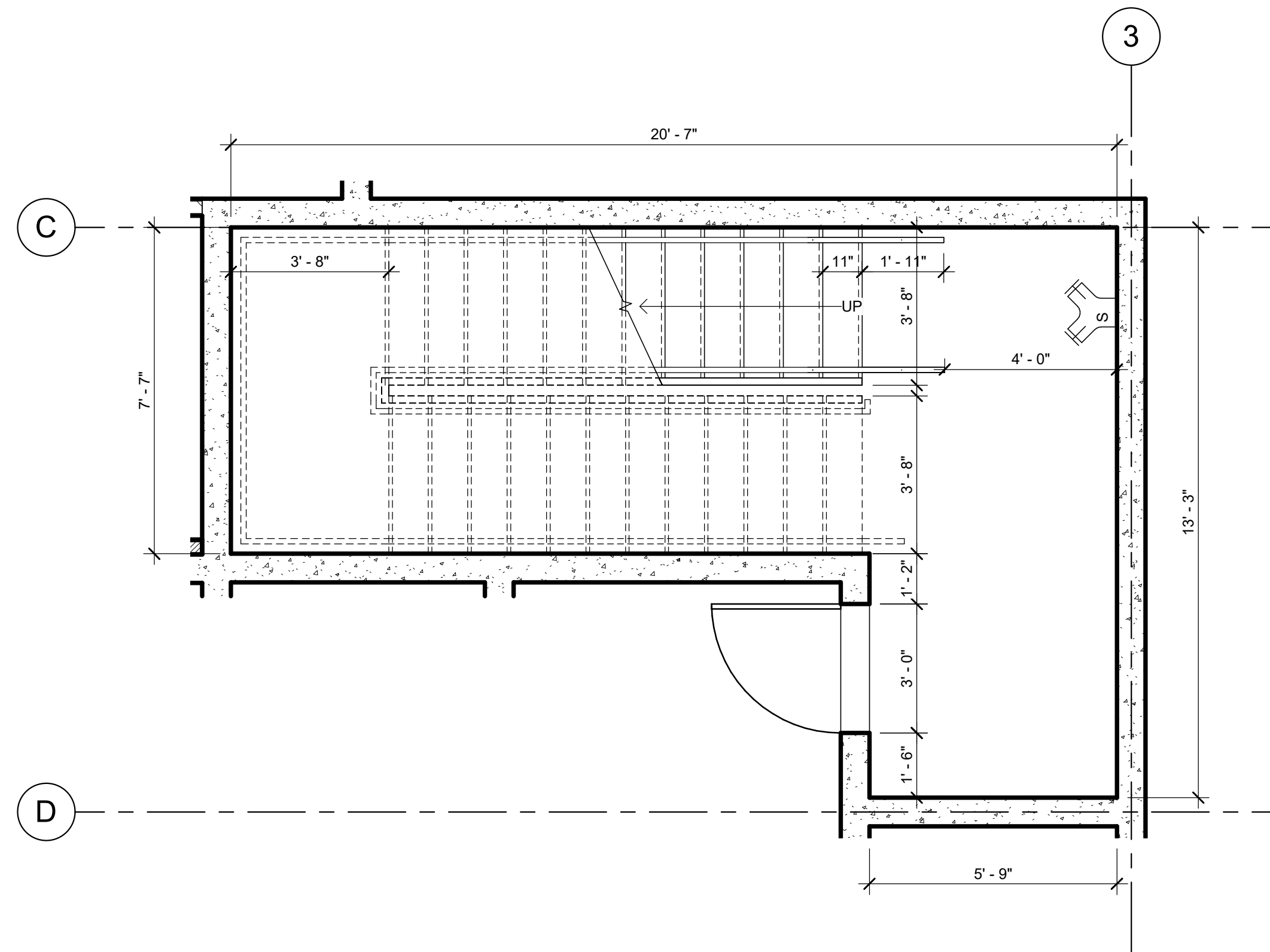
ROOF STAIR 1
3/8" = 1'-0" 4



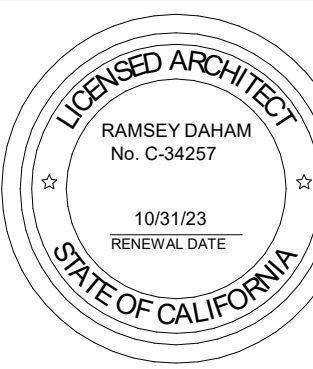
SECOND FLOOR STAIR 1
3/8" = 1'-0" 2



THIRD FLOOR STAIR 1
3/8" = 1'-0" 3



FIRST FLOOR STAIR 1
3/8" = 1'-0" 1



REVISIONS

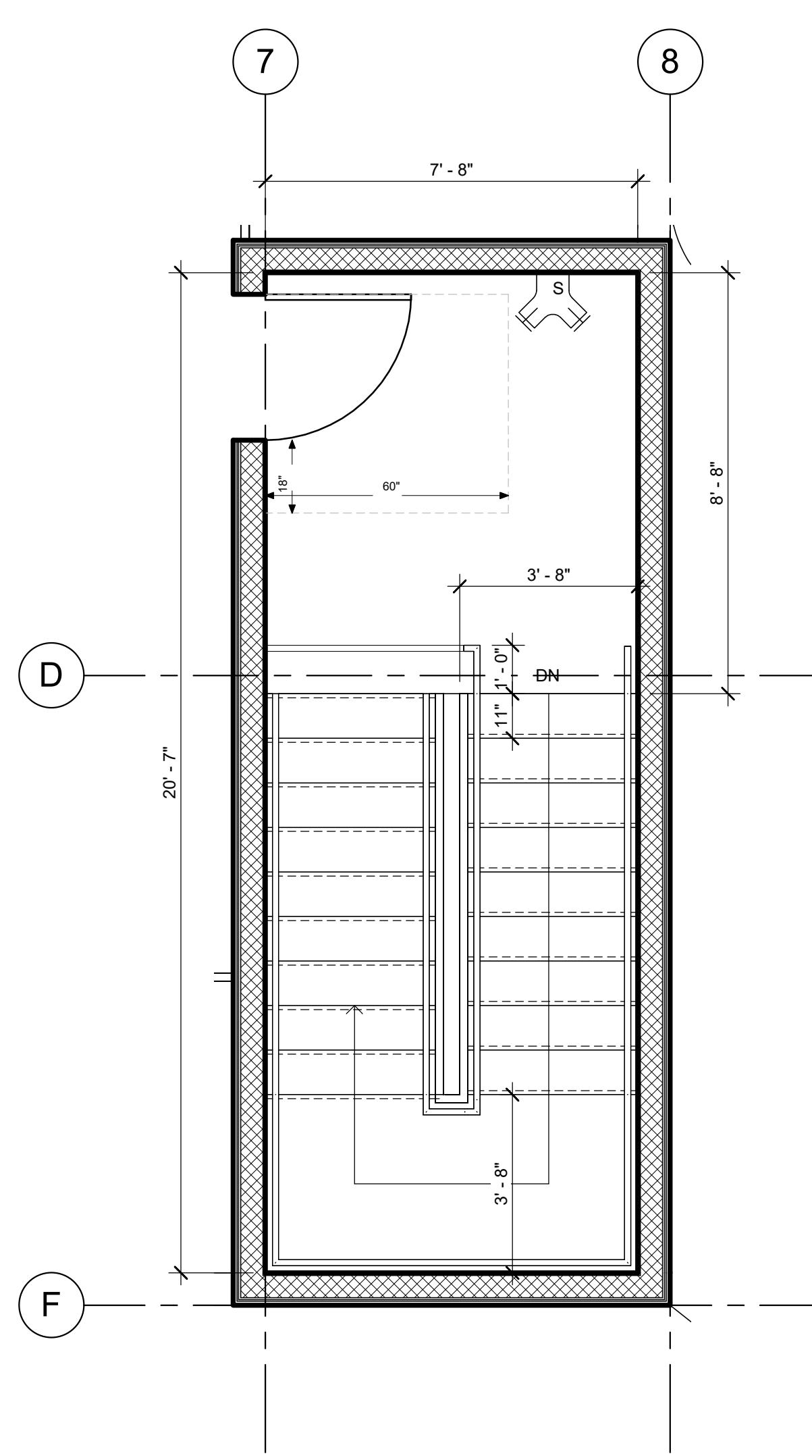
VERTICAL CIRCULATION

DRAWN	JS
CHECKED	PNK
DATE	4/27/2022 2:36:47 PM
SCALE	3/8" = 1'-0"
JOB #	21-A009

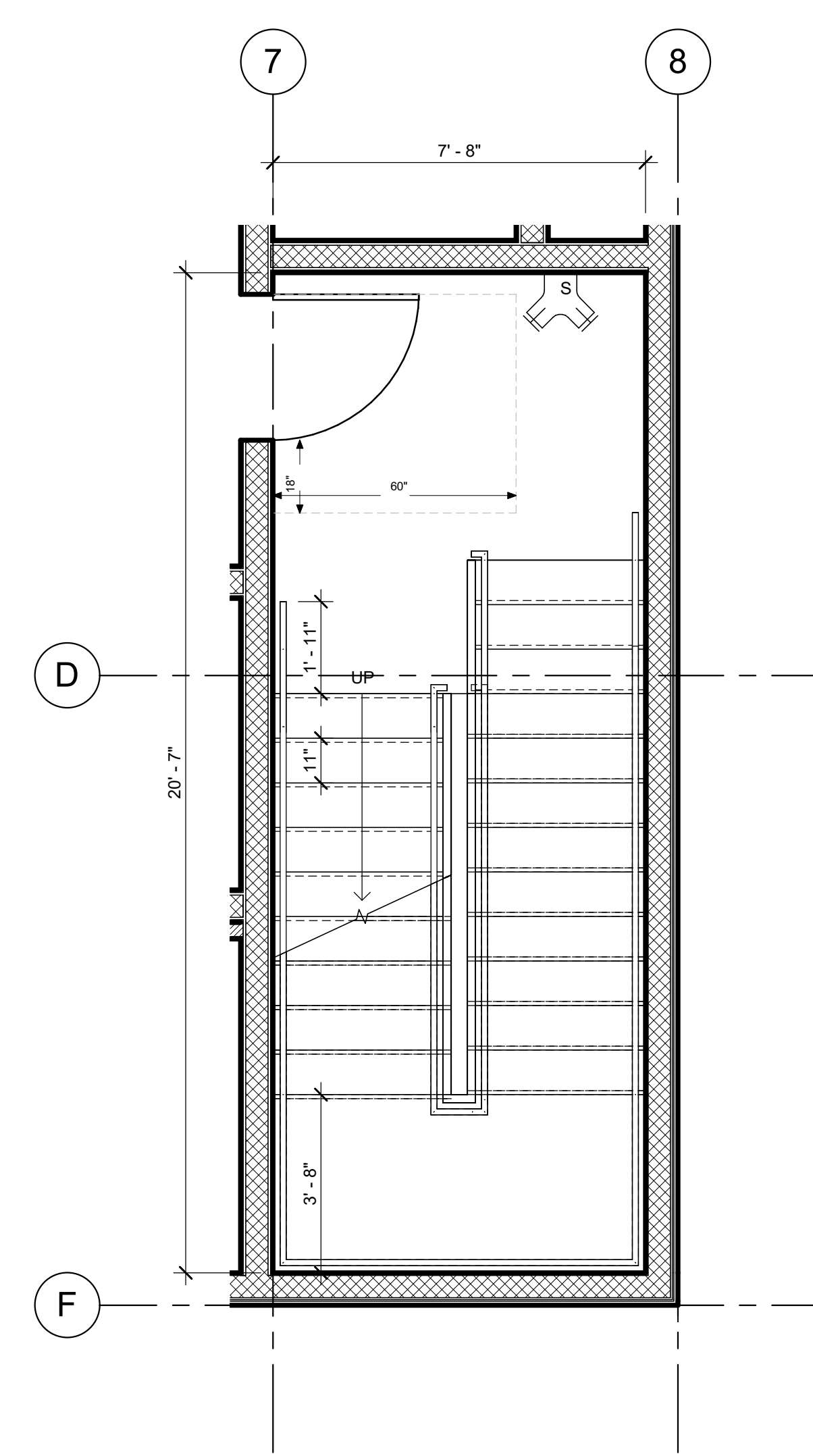
NOTES:

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- B. MINIMUM 6'-8" HEADROOM CLEARANCE. (R311.7.2)
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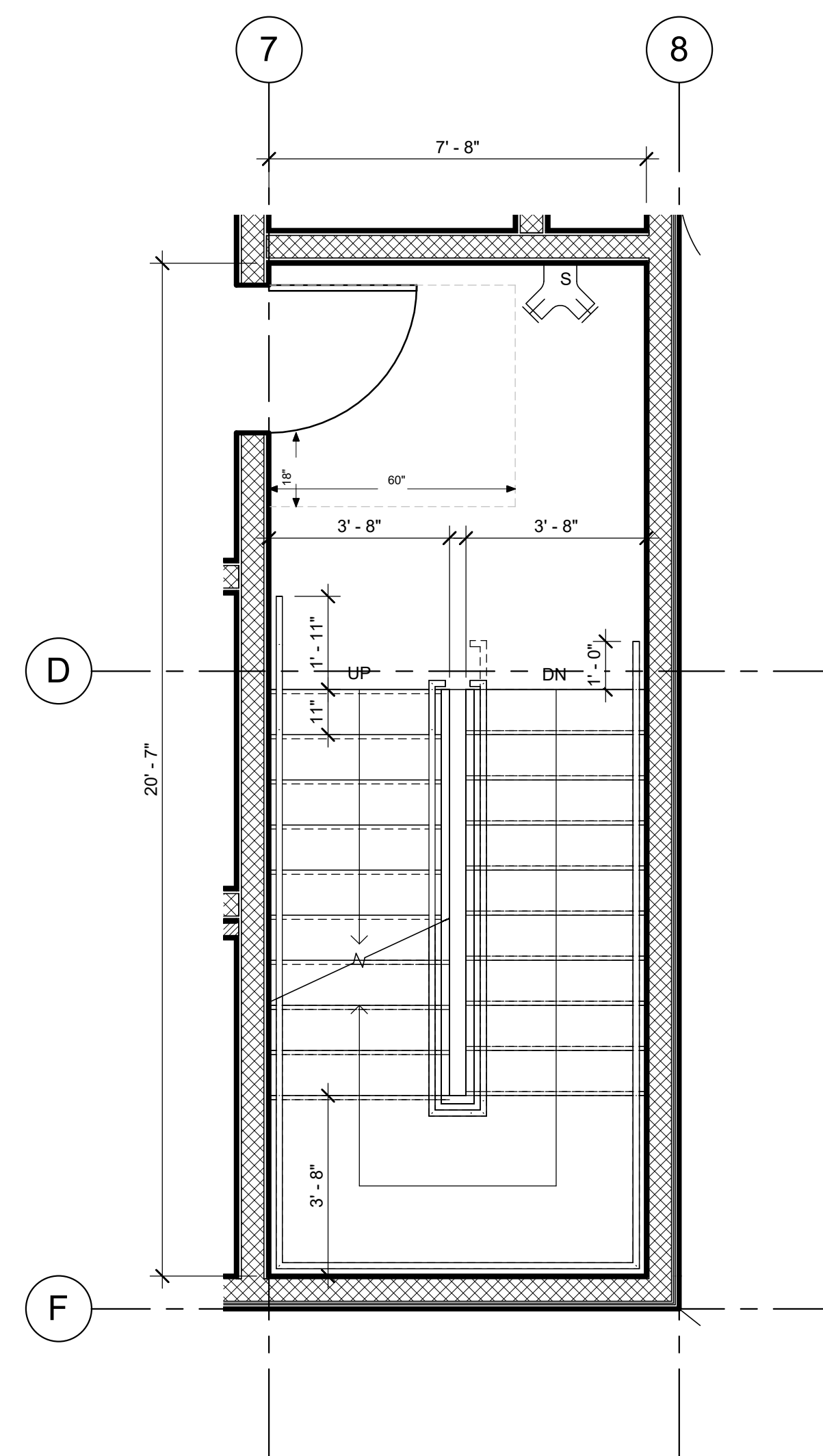
THE GREATEST RISER SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8"



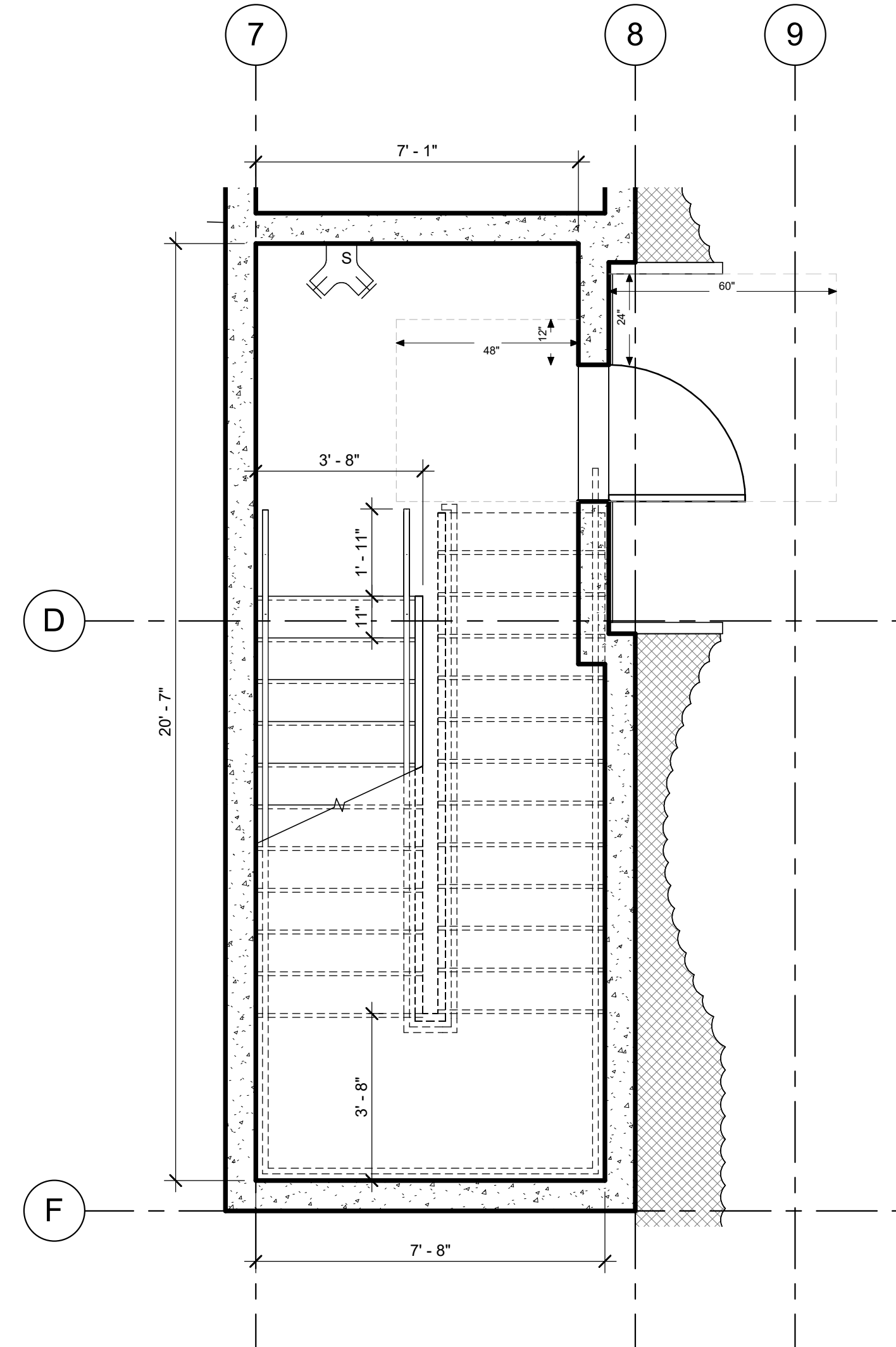
ROOF STAIR 2
3/8" = 1'-0" 4



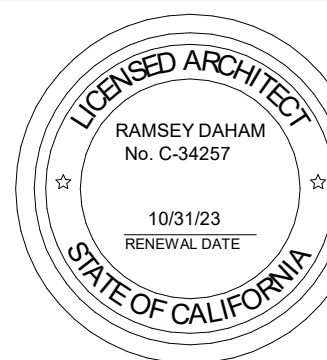
SECOND FLOOR STAIR 2
3/8" = 1'-0" 2



THIRD FLOOR STAIR 2
3/8" = 1'-0" 3



FIRST FLOOR STAIR 2
3/8" = 1'-0" 1



REVISIONS

NO.	DESCRIPTION

VERTICAL CIRCULATION

DRAWN	JS
CHECKED	PNK
DATE	4/27/2022 2:36:50 PM
SCALE	3/8" = 1'-0"
JOB #	21-A009