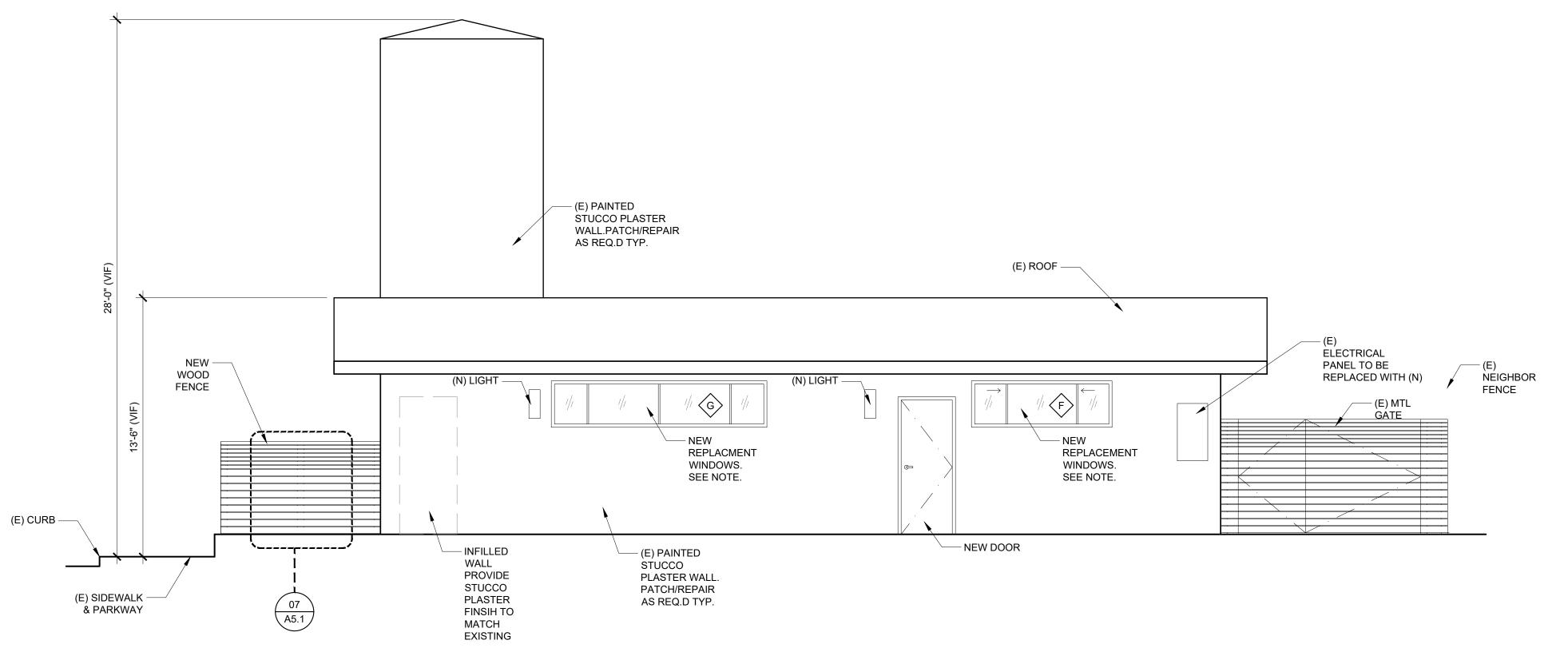
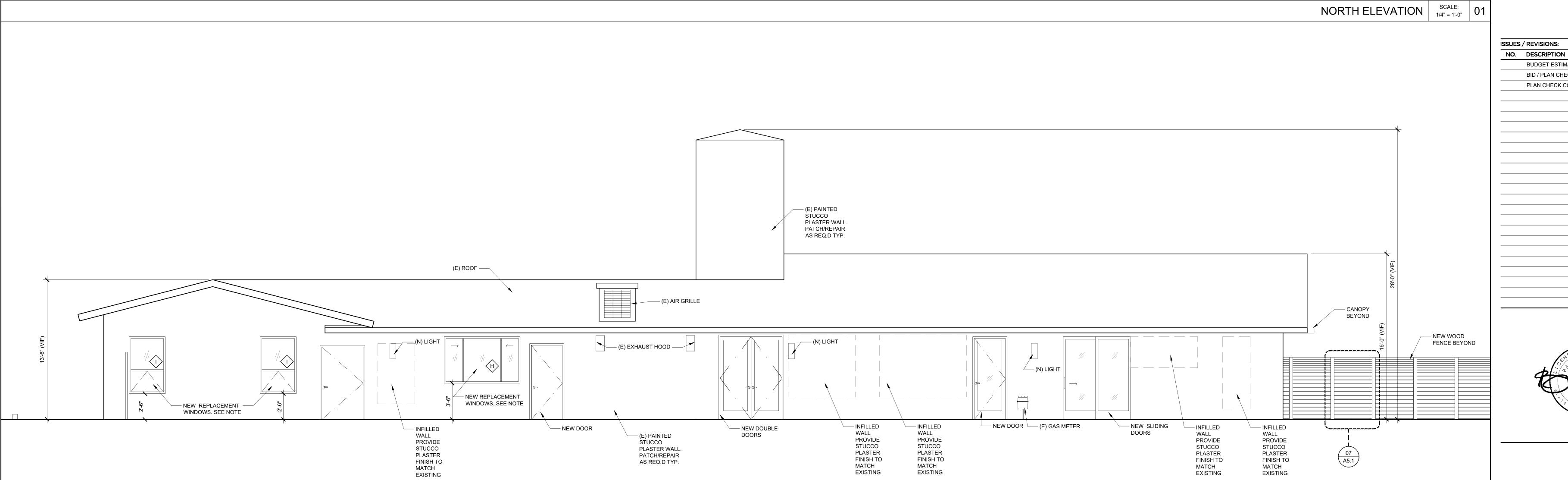


1935 S. WALGROVE AVE LOS ANGELES, CA 90066





NOTE: PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE WITH UNIT PRICE



NOTE: PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE WITH UNIT PRICE

BUDGET ESTIMATE

BID / PLAN CHECK

PLAN CHECK COMMENTS

DATE

9/25/20

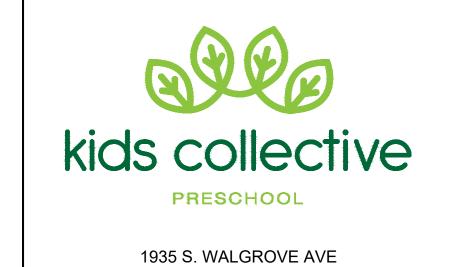
12/24/20

4/9/21

20-06 1/4"=1'-0 PROJECT NUMBER: DRAWING SCALE: DRAWING TITLE: WEST & NORTH ELEVATIONS

DRAWING NUMBER:

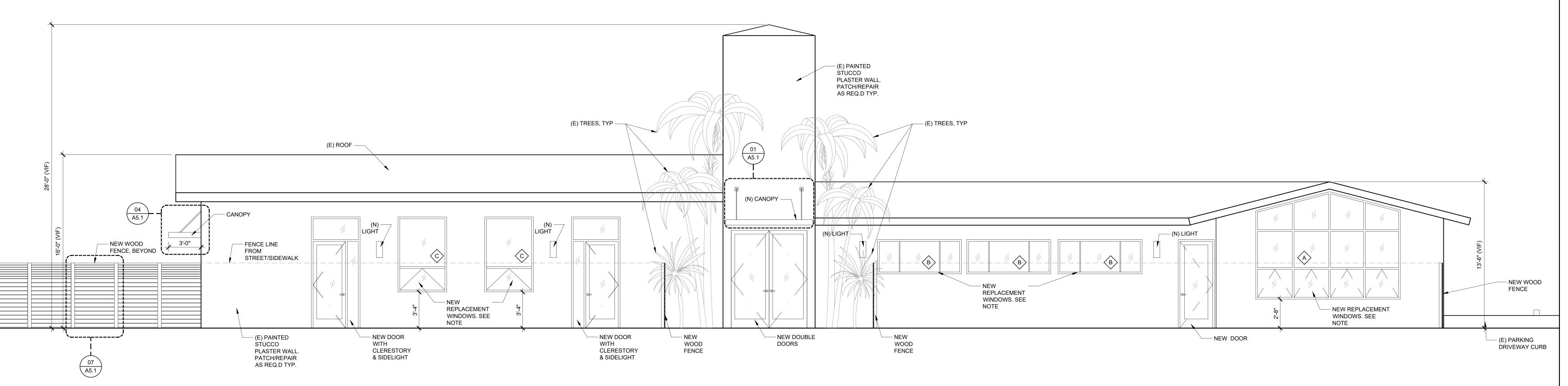
WEST ELEVATION SCALE: 1/4"-1'-0 02



LOS ANGELES, CA 90066







CANOPY -

REPLACEMENT WINDOWS. SEE

FENCE LINE FROM

STREET/SIDEWALK

(E) — NEIGHBOR'S FENCE

NOTE: PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE WITH UNIT PRICING

- INFILLED WALL PROVIDE

STUCCO PLASTER

— NEW DOUBLE DOORS

NOTE: PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE WITH UNIT PRICING

— (E) PAINTED STUCCO PLASTER WALL. PATCH/REPAIR AS REQ.D TYP.

FINISH TO MATCH

(E) PAINTED STUCCO PLASTER WALL.

PATCH/REPAIR AS REQ.D TYP.

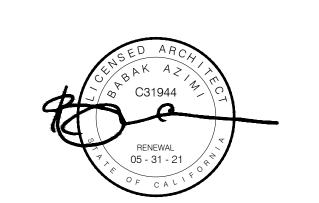
- NEW WOOD FENCE

— (E) SIDEWALK & PARKWAY

4'-0"

EAST ELEVATION SCALE: 1/4" = 1'-0" 01 ISSUES / REVISIONS:

> NO. DESCRIPTION DATE 9/25/20 **BUDGET ESTIMATE** 12/24/20 BID / PLAN CHECK PLAN CHECK COMMENTS 4/9/21

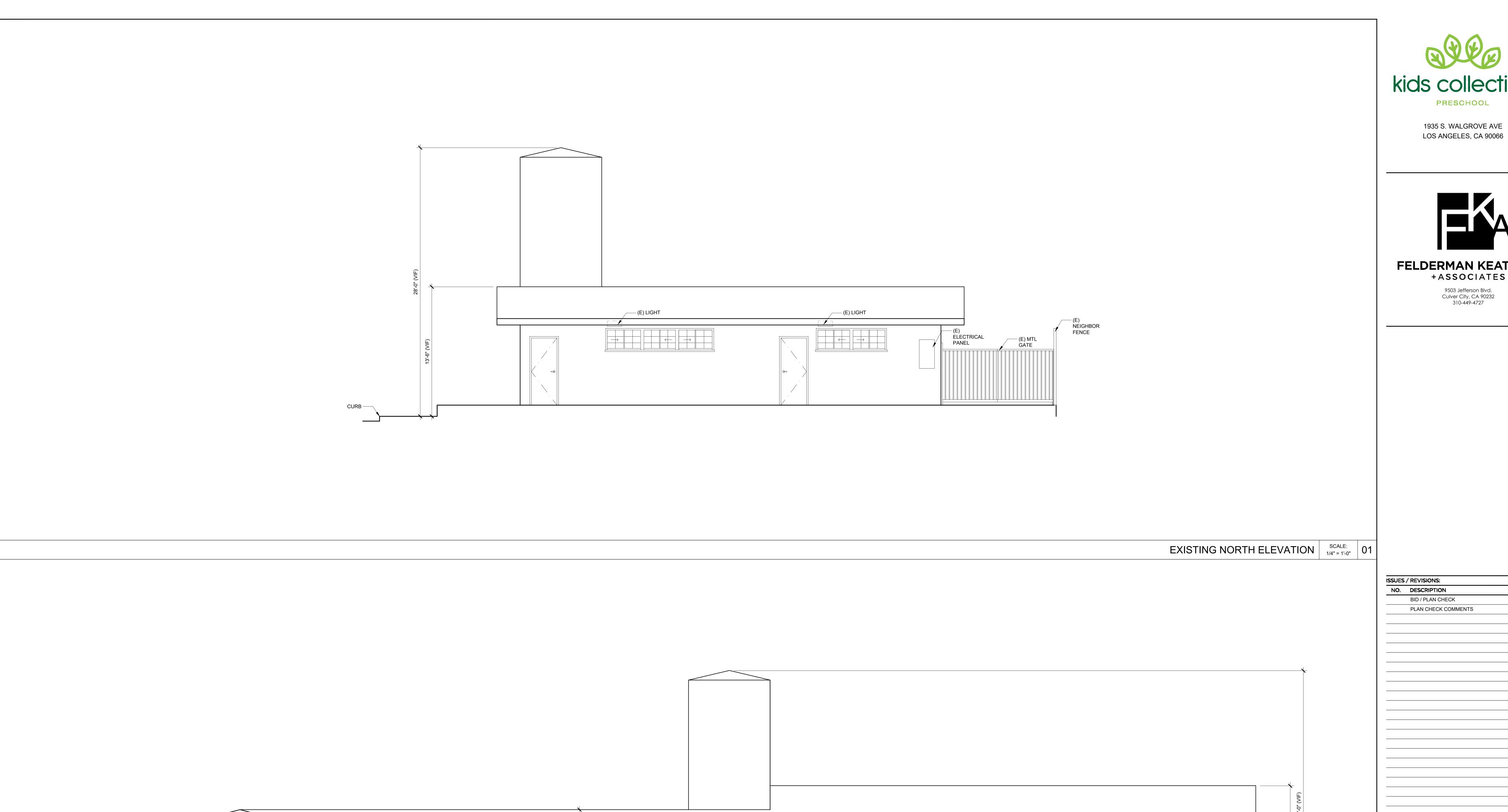


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BED ARCHY WAR AS CA1944
RENEWAL 05 - 31 - 21 05 C A L 1 F 0
OF CAL

PROJECT NUMBER:	20-06
DRAWING SCALE:	1/4"=1'-0"
DRAWING TITLE:	EAST & SOUTH ELEVATIONS

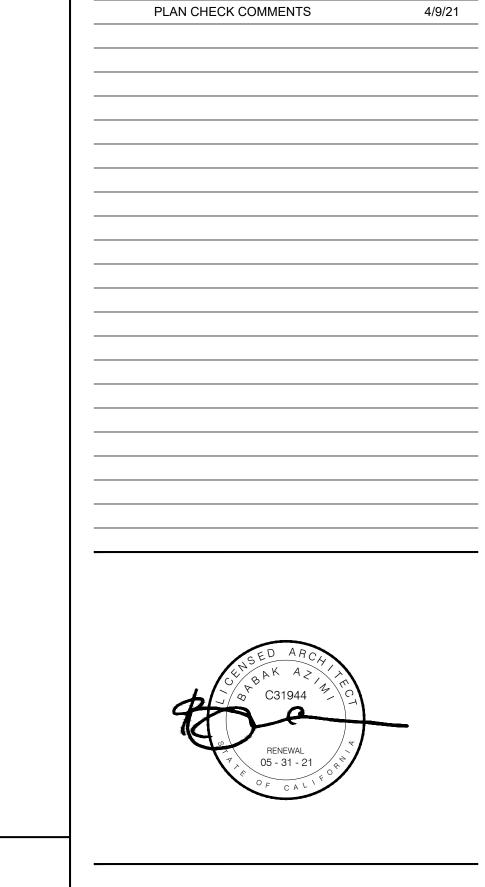
DRAWING NUMBER:

SOUTH ELEVATION | SCALE: 1/4" = 1'-0" | 02







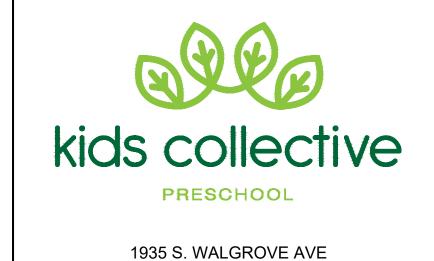


DATE 12/24/20

PROJECT NUMBER:	20-06
DRAWING SCALE:	AS NOTED
DRAWING TITLE:	EXISTING NORTH &
	SOUTH ELEVATIONS

DRAWING NUMBER:

(E) GAS METER



LOS ANGELES, CA 90066



9503 Jefferson Blvd. Culver City, CA 90232 310-449-4727



SSUES / REVISIONS:				
NO.	DESCRIPTION	DATE		
	BUDGET ESTIMATE	9/25/20		
	BID / PLAN CHECK	12/24/20		
	PLAN CHECK COMMENTS	4/9/21		

CONSTRUCTION PLAN | SCALE: 1/8" = 1'-0" | 0

PATCH / REPAIR FLOOR WHERE CONCRETE PLATFORM WAS DEMO'D. COORDINATE WITH STRUCTURAL DRAWINGS

(15) WATER COOLER (BY OWNER) PROVIDE WATER LINE HOOKUPS

NEW CONCRETE PAD FOR PATIO. PROVIDE CONTROL JOINTS EVERY 5 FT WITH EXPANSION JOINTS EVERY 25FT OR AS REQUIRED. PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE.

PROVIDE NEW REPLACEMENT WINDOWS, THROUGHOUT, UNO. PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE WITH UNIT PRICING.

18 NEW WOOD GATE/FENCE

(19) EXISTING PARKING LOT

 $raket{20}$ PROVIDE NEW 4" THK CONCRETE SIDEWALK FROM SIDEWALK TO ENTRY DOOR. MAXIMUM SLOPE NOT TO EXCEED 2%

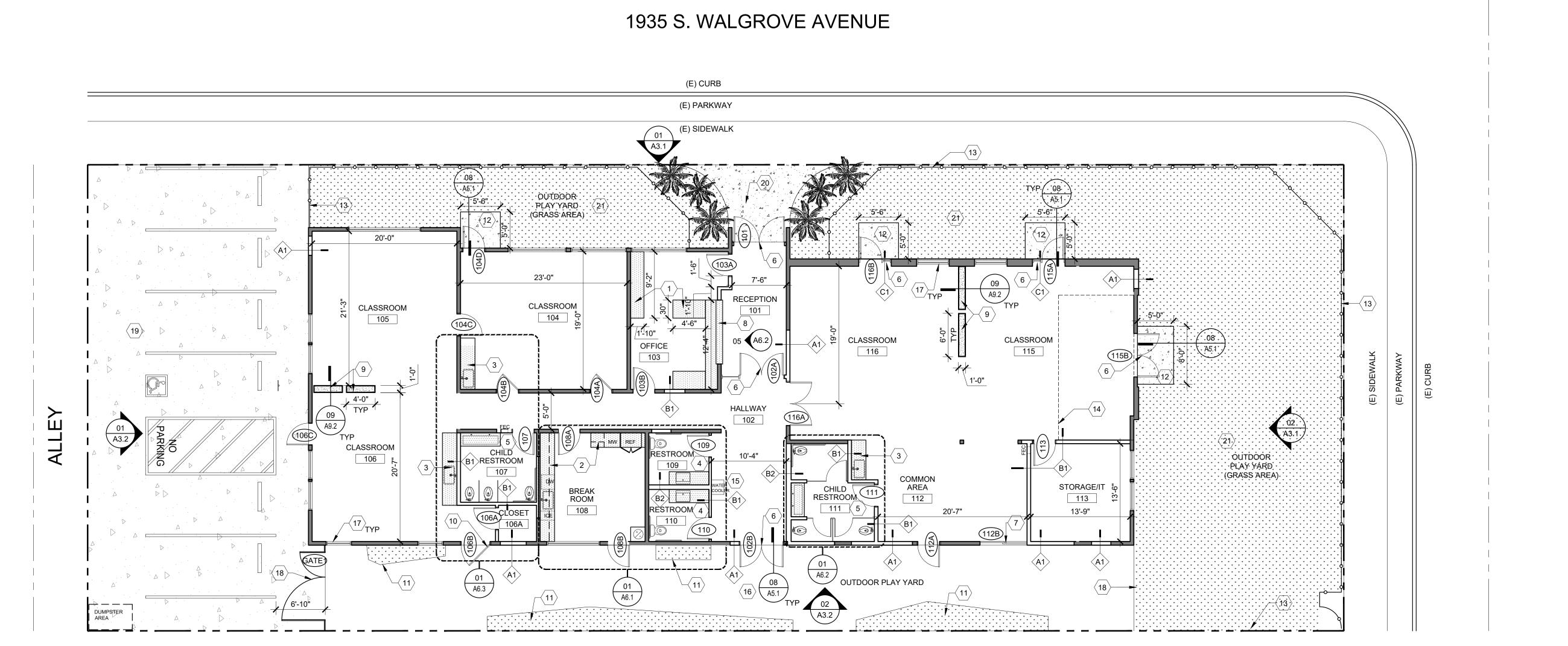
21 PROVIDE ALLOWANCE FOR NEW LANDSCAPING FOR CLIENT REVIEW

CAT BENEMAL
900

PROJECT NUMBER:	20-06	
DRAWING SCALE:	1/8" = 1'-0"	
DRAWING TITLE:	CONSTRUCTION PLAN	

DRAWING NUMBER:

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KEY NOTES LEGEND / SCHEDULE

GENERAL NOTES

RECEIVE SCHEDULED FLOOR FINISH.

1. ALL CONSTRUCTION SHALL CONFORM TO BUILDING MANAGEMENT RULES AND REGULATIONS.

3. VERIFY DIMENSIONS NOTED "CLEAR," "HOLD," "MIN;" NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING. AT DIMENSIONS NOTED V.I.F., IDENTIFY DIMENSION TO ARCHITECT PRIOR TO PROCEEDING.

4. PROVIDE BACKING SUPPORT IN-WALL FOR MILLWORK AS REQ'D. REFER TO ELEVATIONS & DETAILS FOR MORE INFO.

6. REFER TO DOOR SCHEDULE & GENERAL CONSTRUCTION NOTES FOR UNDERCUT OF DOORS TO CLEAR TOP OF FLOOR

7. PATCH ALL HOLES IN CONCRETE SLAB DUE TO REMOVAL OF PLUMBING PIPING, CONDUIT REMOVAL, ETC & PREP AS REQ'D TO

2. REFER TO ENLARGED DRAWINGS FOR ADDITIONAL INFORMATION.

5. SCAR PATCH AND REBEAD ALL EXISTING WALLS AND COLUMNS TO REMAIN.

MILLWORK. SEE ELEVATIONS & DETAILS

EXISTING PARTITION

NEW PARTITION

NEW DOOR # REFER TO DOOR SCHEDULE.

EXISTING DOOR TO REMAIN

REFER TO PARTITION DETAILS ON SHEET FIRE EXTINGUISHER CABINET, POTTER ROEMER ALTA

ROEMER 3005 - 5 LBS 2A:10B:C UL RATING

7008 SEMI-RECESSED W/ FIRE EXTINGUISHER, POTTER

—o—o—o— FENCE LINE

PARTITION TYPE

1 NEW MILLWORK OFFICE DESK. PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE

NEW PANTRY MILLWORK CABINETRY W/ QUARTZ COUNTERTOP AND SS UNDERMOUNT SINK & APPLIANCES (DW, REF/FRZ, ICE MAKER). SEE ENLARGED PLAN

3 NEW CLASSROOM MILLWORK W/ SINK. SEE ENLARGED PLAN

NEW ADA RESTROOM W/QUARTZ COUNTERTOP, W/ UNDERMOUNT LAVATORY, TOILET, GRAB BARS, AND TOILET ROOM ACCESSORIES. SEE ENLARGED PLAN

NEW MULTI STALL TODDLER RESTROOM W/ WALL MOUNTED QUARTZ TOP TROUGH LAVATORY (CHILD HT), TOILETS (CHILD HT) TOILET PARTITIONS, AND TOILET ROOM ACCESSORIES. SEE ENLARGED PLAN NEW GLASS STOREFRONT ENTRY DOORS AND WALL SYSTEM. PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE WITH UNIT PRICING.

 $\left\langle 7\right\rangle$ NEW SLIDING GLASS DOORS.

8 NEW MILLWORK TRANSACTION TOP/ WINDOW

9 NEW FIBERGLASS MILLWORK PLANTER, 36"H. PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE

(10) EXISTING DOORS TO REMAIN. VERIFY CONDITION IN FIELD AND PAINT.

NEW LANDSCAPE PLANTER IN PATIO CONCRETE. PROVIDE ALTERNATE PRICING AS DEDUCT TO EXCLUDE FROM SCOPE. PROVIDE ALLOWANCE FOR NEW LANDSCAPING MATERIAL FOR CLIENT REVIEW.

12 NEW 5'X5' (MIN) CONCRETE PAD OUTSIDE DOOR 13 NEW 6'H PRIVACY LANDSCAPE FENCE. SEE ELEVATION / DETAIL

