

PROJECT ADDRESS

PROJECT INFORMATION

PROJECT DESCRIPTION:
REMODEL AND 2ND STORY ADDITION TO EXISTING SINGLE FAMILY DWELLING. ADD 2ND FLOOR ACCESSORY DWELLING UNIT (A.D.U.) ABOVE EXISTING, DETACHED GARAGE.

PROJECT ADDRESS:
846 E. MILWOOD AVENUE, VENICE CA 90291

PIN NUMBER:
1088145 172

LEGAL DESCRIPTION INFORMATION:
PARCEL NUMBER APN 4241010018
TRACT VENICE ANNEX NO. 2
LOT 3
BLOCK 2

ZONING/ LAND USE RESTRICTIONS:
R2-1, LOW MEDIUM RESIDENTIAL

HILLSIDE AREA:
NO

FIRE HAZARD SEVERITY ZONE:
NO

SPECIFIC PLAN AREA:
LOS ANGELES COASTAL TRANSPORTATION CORRIDOR

HISTORIC CLASSIFICATION:
NONE

YEAR BUILT:
1925

ACRES:
0.100

LOT SIZE:
35' X 125'

ACTUAL LOT AREA:
4,381.5 SF

YARDS AND SETBACKS:
FRONT YARD 19'-10" EXISTING
SIDE YARD 3.5 FT
REAR YARD 5 FT (WITH DETACHED GARAGE)

NUMBER OF STORIES:
2 PROPOSED

MAXIMUM ALLOWABLE HEIGHT:
30 FT.

CONSTRUCTION TYPE:
TYPE V

FIRE PROTECTION SYSTEM:
RESIDENTIAL SMOKE & CARBON MONOXIDE DETECTORS PROVIDED

BUILDING TO BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D.

THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

MAJOR REMODEL:
YES

PER LAMC SECTION 12.03, AGGREGATE VALUE OF ALL ALTERATIONS WITHIN A ONE YEAR PERIOD DOES EXCEED 50 PERCENT OF THE REPLACEMENT COST OF THE EXISTING HOUSE (SEE PROJECT SCOPE ABOVE).

ACCESSIBILITY REQUIREMENTS:
NONE

CONTACT INFORMATION

CLIENT:
NIKKI NEUBURGER
846 E. MILWOOD AVENUE
VENICE, CALIFORNIA 90291

ARCHITECT:
BESTOR ARCHITECTURE
2030 HYPERION AVENUE
LOS ANGELES, CALIFORNIA 90027
310.666.9399

STRUCTURAL ENGINEER:
CRAIG PHILLIPS ENGINEERING & DESIGN
2123 VESTAL AVENUE
LOS ANGELES, CALIFORNIA 90026
310.625.2325

SURVEYOR:
M&M CO.
26074 AVENUE HALL, SUITE 12
VALENCIA, CALIFORNIA 91355
818.891.9100

GEOTECHNICAL ENGINEER:
GEOSYSTEMS
1545 VICTORY BLVD. 2ND FLOOR
GLENDALE, CALIFORNIA 91201
818.500.9533

TITLE 24:
NEWTON ENERGY
1730 E. HOLLY AVENUE, SUITE 755
EL SEGUNDO, CALIFORNIA 90245
310.375.2699

APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA ENERGY CODE
2020 LOS ANGELES BUILDING CODE
2020 LA CITY GREEN BUILDING STANDARDS CODE
LOS ANGELES COASTAL TRANSPORTATION CORRIDOR SPECIFIC PLAN

SHEET INDEX

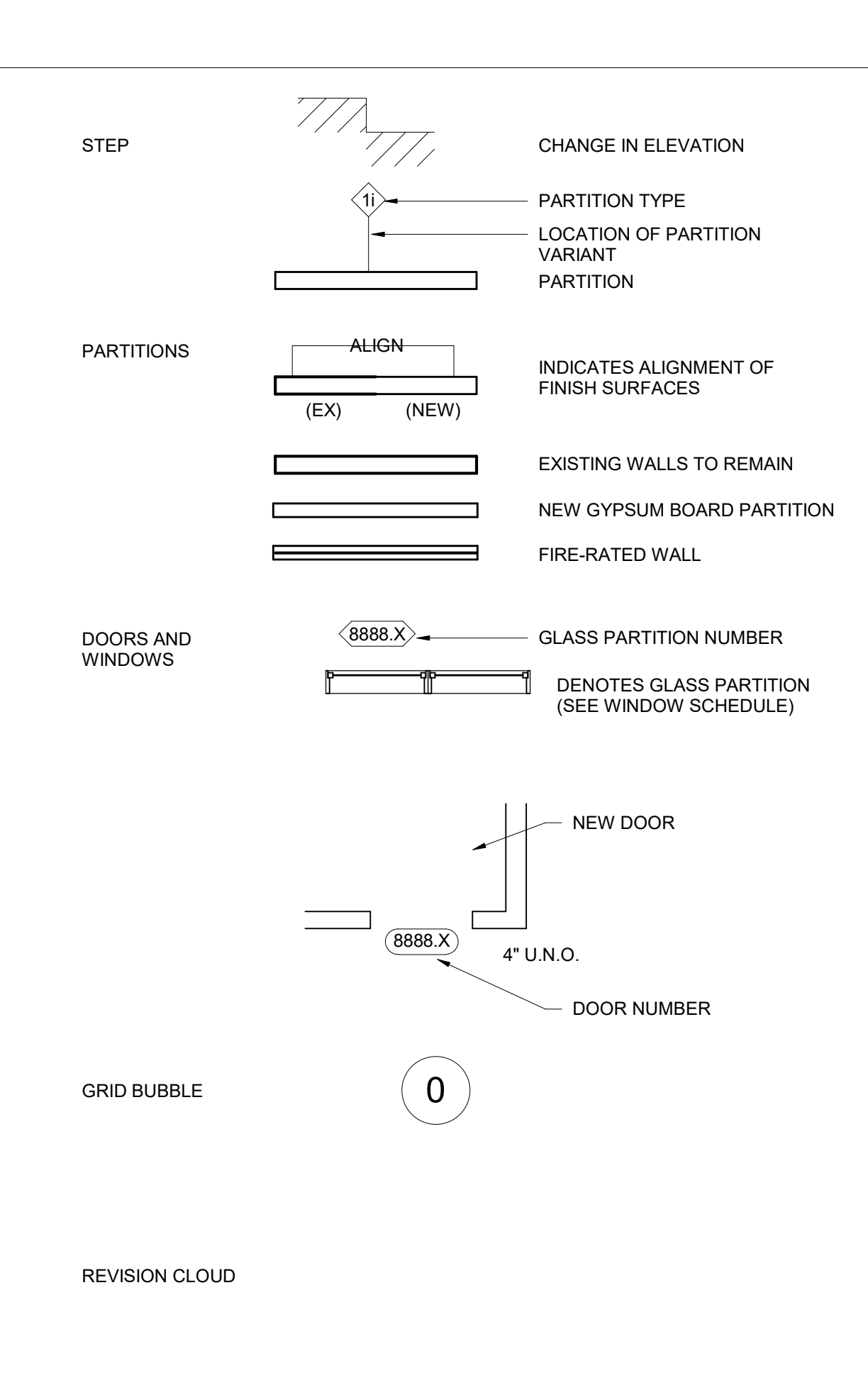
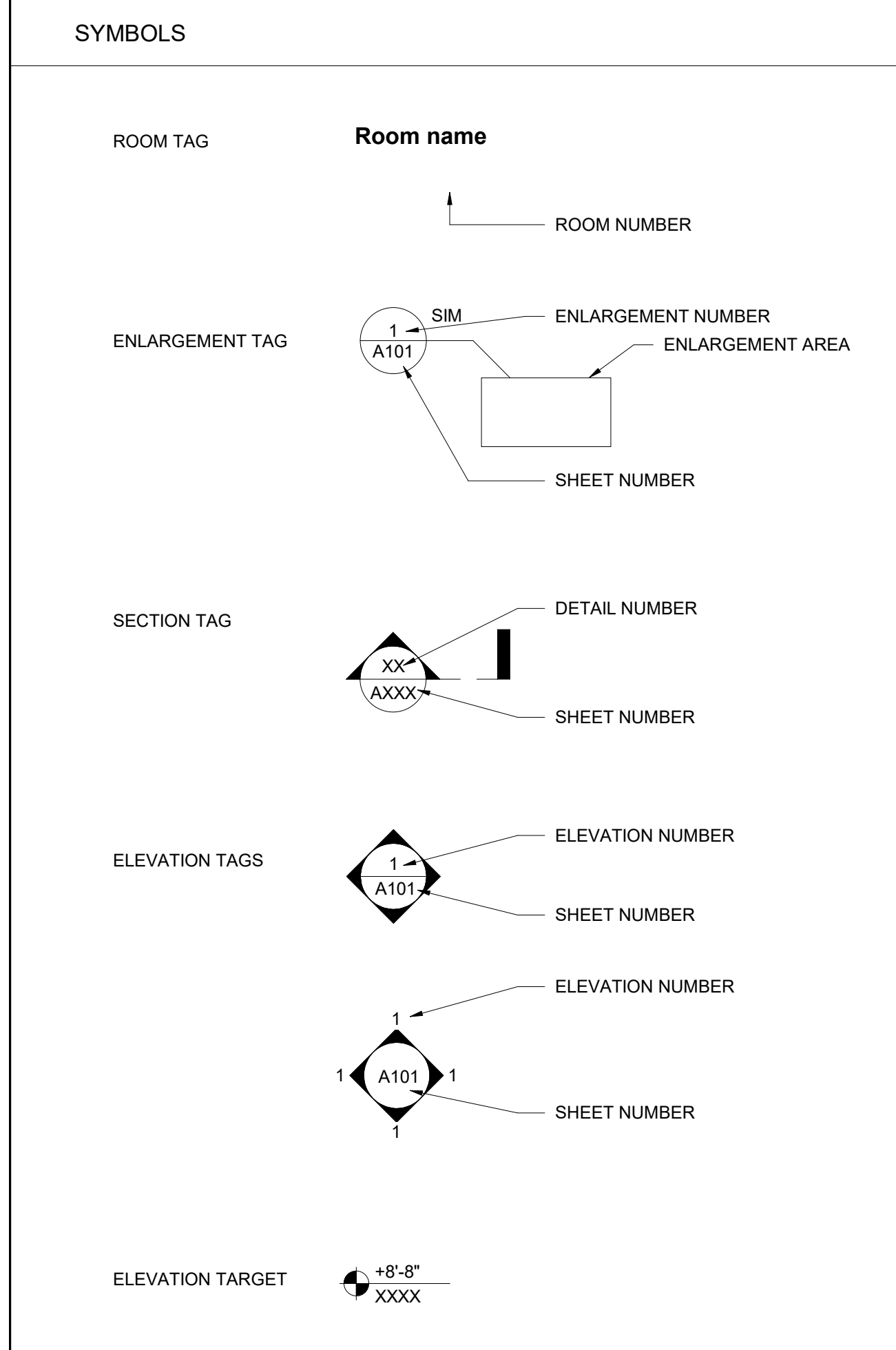
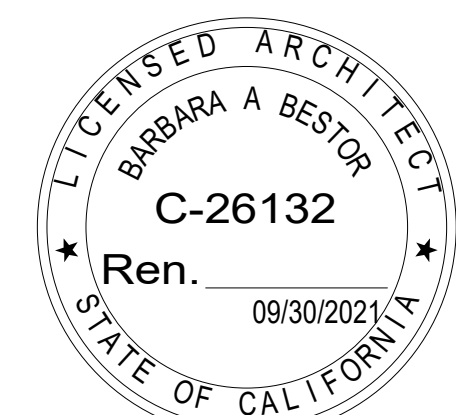
SHEET #	SHEET NAME	LADBS SUB. 06.01.21	PLANNING /CDP 08.17.21
GENERAL			
G000	COVER	●	●
G001	GENERAL NOTES	●	
G020	MATERIAL SPECIFICATIONS	●	
G030	TITLE 24 COMPLIANCE	●	
G031	TITLE 24 COMPLIANCE	●	
G032	TITLE 24 COMPLIANCE	●	
G033	TITLE 24 COMPLIANCE	●	
G040	GREEN BUILDING STANDARDS COMPLIANCE	●	
G041	GREEN BUILDING STANDARDS COMPLIANCE	●	
G042	GREEN BUILDING STANDARDS COMPLIANCE	●	
G060	LID PLAN	●	●
G061	LID NOTES	●	●
S-1	SURVEY	●	●
S-2	PREVAILING SETBACK PLAN	●	●
ARCH-DEMO			
AD100	DEMO PLAN		●
AD110	DEMO ROOF PLAN	●	●
AD120	DEMO GARAGE		●
ARCHITECTURAL			
A020	SITE PLAN	●	●
A040	DOOR AND WINDOW SCHEDULE	●	
A050	FLOOR AREA BREAKDOWN	●	●
A100	FIRST & SECOND FLOOR PLAN	●	●
A110	ROOF PLAN	●	●
A120	SECOND FLOOR PLAN	●	●
A130	ADU - PLANS	●	●
A200	BUILDING ELEVATIONS	●	●
A201	BUILDING ELEVATIONS	●	●
A202	ADU - BUILDING ELEVATIONS	●	●
A300	BUILDING SECTIONS	●	●
STRUCTURAL			
S.1	STRUCTURAL NOTES	●	
S.2	FOUNDATION PLAN	●	
S.3	FLOOR FRAMING PLAN	●	
S.4	ROOF FRAMING PLAN	●	
D.1	STRUCTURAL DETAILS	●	
D.2	STRUCTURAL DETAILS	●	
D.3	TYPICAL FRAMING DETAILS	●	
D.4	STRUCTURAL DETAILS	●	
D.5	STRUCTURAL DETAILS	●	
EI.2	KITCHEN INTERIOR VIEW	●	
IE-1	LIVING ROOM INTERIOR ELEVATIONS	●	
IE-3	STAIRS	●	

PROJECT NAME
NEUBURGER RESIDENCE
846 E. MILWOOD AVE
VENICE, CA 90291
OWNER
Nikki Neuburger

PROJECT NUMBER
2107

ARCHITECT
BESTOR ARCHITECTURE
2030 HYPERION AVE | LOS ANGELES, CA 1 90027
323-666-9399

CONSULTANTS
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LEGEND

[Symbol]	ALUMINUM
[Symbol]	BATT INSULATION
[Symbol]	BLOCKING/CONTINUOUS
[Symbol]	BLOCKING/DISCONTINUOUS
[Symbol]	CONCRETE
[Symbol]	FIREPROOFING (SECTION)
[Symbol]	FINISH WOOD
[Symbol]	GLASS
[Symbol]	GYPSUM BOARD CEILING
[Symbol]	GYPSUM WALLBOARD
[Symbol]	PLYWOOD
[Symbol]	RIGID INSULATION
[Symbol]	STEEL/OTHER
[Symbol]	MILLWORK

ABBREVIATIONS

A.C.T.	ACOUSTICAL CEILING TILE	(E)	EXISTING	I.D.	INSIDE DIAMETER	(R)	RELOCATE
ACOUS.	ACOUSTICAL	EA.	EACH	INSUL.	INSULATION	REF.	REFERENCE
ADJ.	ADJUSTABLE	E.	EAST	INT.	INTERIOR	REFR.	REFRIGERATOR
A.F.F.	ABOVE FINISHED FLOOR	ELEC.	ELECTRICAL	JT.	JOINT	RGTR.	REGISTER
AGGR.	AGGREGATE	E.P.	ELECTRICAL PANEL BOARD	LAM.	LAMINATE	REINF.	REINFORCED
ALUM.	ALUMINUM	ELEV.	ELEVATION	LT.	LIGHT	REQ.	REQUIRED
L	ANGLE	ELVTR.	ELEVATOR	MFR.	MANUFACTURER	RESIL.	RESILIENT
	APPROXIMATE	EMER.	EMERGENCY	MTH.	MOUNTED	RM.	ROOM
APPROX.	ARCHITECTURAL	ENLG.	ENLARGED	MUL.	MULLION	R.O.	ROUGH OPENING
ARCH.	APPROXIMATELY	ENCL.	ENCLOSURE			SCH.	SCHEDULE
APPROX.	AT	EQ.	EQUAL			SCHED.	SCHEDULE
@		EQPT.	EQUIPMENT			SECT.	SECTION
	BEAM	EXP.	EXPANSION			SSK.	SERVICE SINK
BM.	BLOCK	EXPO.	EXPOSED			SHT.	SHEET
BLKG.	BLOCKING	EXT.	EXTERIOR			SH.	SHELF
BOARD	BOARD	F.O.C.	FACE OF CONCRETE			SIM.	SIMILAR
BD.	BOTTOM	F.O.F.	FACE OF FINISH			SC.	SOLID CORE
BRD.	BUILDING	F.O.S.	FACE OF STUDS			S.	SOUTH
BLDG.	CABINET	FIN.	FINISH			SPEC.	SPECIFICATION
	CEILING	FT.	FEET			SQ.	SQUARE
	CEMENT	FA.	FIRE ALARM			SS.	STAINLESS STEEL
CAB.	CENTER	FA.	FIRE ALARM			STD.	STANDARD
CLG.	CLEAR	F.E.	FIRE EXTINGUISHER			STL.	STEEL
CEM.	CLOSET	F.E.C.	FIRE EXTINGUISHER CABINET			STOR.	STORAGE
CTR.	COLUMN	F.H.C.	FIRE HOSE CABINET			STR.	STRUCTURAL
CLR.	CONCRETE	FPRF.	FIRE PROOF			STRUC.T.	STRUCTURAL
CLO.	CONNECTION	F.B.	FLAT BAR			SUSP.	SUSPENDED
COL.	CONSTRUCTION	FL.	FLOOR			SYM.	SYMMETRICAL
CONC.	CONTINUOUS	FLOR.	FLOURESCENT				
CONN.	CORRIDOR	FT.	FOOT			OBS.	OBSCURE
CONSTR.	COUNTER	F.F.	FULL FINISH			OCC.	OCCUPANCY
		F.F.	FULL FINISH			OFF.	OFFICE
		F.S.	FULL SIZE			O.C.	ON CENTER
		FURR.	FURRING			OPNG.	OPENING
		FUT.	FUTURE			OPP.	OPPOSITE
CONT.	DOUBLE DEPARTMENT	FL.	FLOOR			O.D.	OUTSIDE DIAMETER
		FLOR.	FLOURESCENT			O.A.	OVERALL
CORR.	DETAIL	FT.	FOOT			O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED
		GA.	GALVANIZED				
CNTR.	DIAMETER DISPENSER	GL.	GLASS			PR.	PAIR
		GR.	GRADE			PLAS.	PLASTER
	DOOR OPENING	GND.	GROUND			P.LAM.	PLASTIC LAMINATE
DBL.	DRAWER	GYP.	GYPSUM			PL.LAM.	PLASTIC LAMINATE
	DRAWING	GYP.	GYPSUM			PT.	PLATE
DEPT.	DETAIL	G.F.I.	GROUND FAULT INTERRUPTER			PLYWD.	PLYWOOD
						O.F.O.I.	OWNER FURNISHED OWNER INSTALLED
DET.	DEPARTMENT	HDW.	HARDWARE			PR.	PAIR
		HDWD.	HARDWOOD			PLAS.	PLASTER
DIA.	DIAMETER	HGT.	HEIGHT			P.LAM.	PLASTIC LAMINATE
		H.C.	HOLLOW CORE			PT.	PLATE
DISP.	DISPENSER	H.M.	HOLLOW METAL			PLYWD.	PLYWOOD
		HORIZ.	HORIZONTAL				
D.O.	DOUBLE OPENING	HORIZ.	HORIZONTAL				
		HR.	HOUR				
DN.	DOWN						
DWR.	DRAWER						
DWG.	DRAWING						
DTL.	DETAIL						

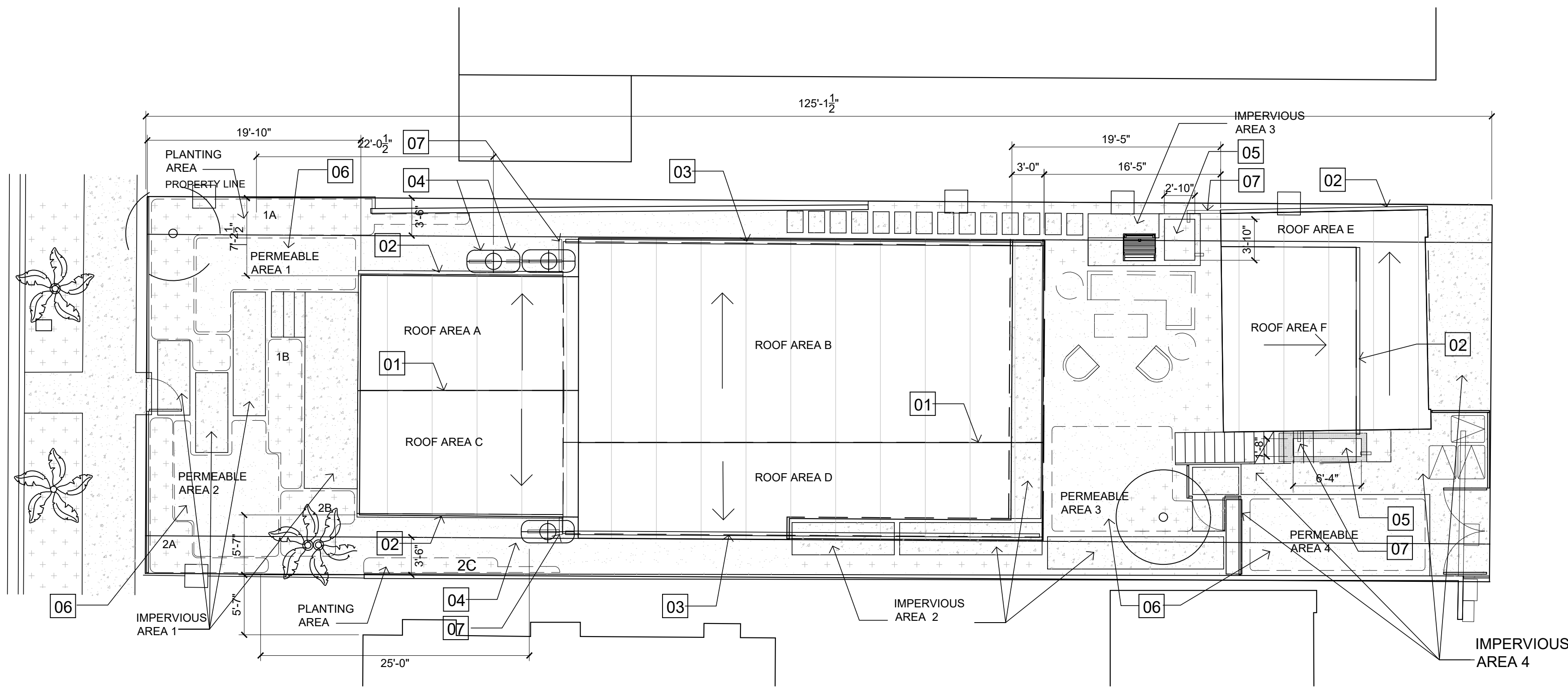
KEY PLAN

SUBMITTAL RECORD
1 | 06.01.2021 | PERMIT SET

SCALE
1/4" = 1'-0"

DRAWING TITLE
COVER

SHEET NUMBER
G000



ROOF A = 212.5 SF
 ROOF B = 824.0 SF
 TOTAL = 1,036.5 SF X 0.42 = 435 GALLONS
 PROVIDED: 2-265 GALLON TANDUM RAIN TANKS
 435 GALLONS X 1/3 = 145 SF PLANTING AREA W/IN 25 FT

ROOF C = 212.5 SF
 ROOF D = 384.0 SF
 TOTAL = 596.5 SF X 0.42 = 250 GALLONS
 PROVIDED: 1-265 GALLON RAIN TANK
 250 GALLONS X 1/3 = 75 SF PLANTING AREA W/IN 25 FT

ROOF E = 196 SF
 196 SF X 0.05 = 9.8 SF PLANTER BOX
 PROVIDED: 2'-10" X 3'-10" PLANTER (10.8 SF)

ROOF F = 196 SF
 196 SF X 0.05 = 9.8 SF PLANTER BOX
 PROVIDED: 1'-8" X 6'-4" PLANTER (10.5 SF)

PLANTING AREA 1A	127 SF
PLANTING AREA 1B	40 SF
TOTAL	167 SF > 145 SF

PLANTING AREA 2A	47 SF
PLANTING AREA 2B	36 SF
PLANTING AREA 2C	20 SF
TOTAL	103 SF > 75 SF

IMPERVIOUS AREA 1	180 SF
IMPERVIOUS AREA 2	208 SF
IMPERVIOUS AREA 3	30 SF
IMPERVIOUS AREA 4	259 SF
TOTAL	677 SF X 0.14 = 94 SF

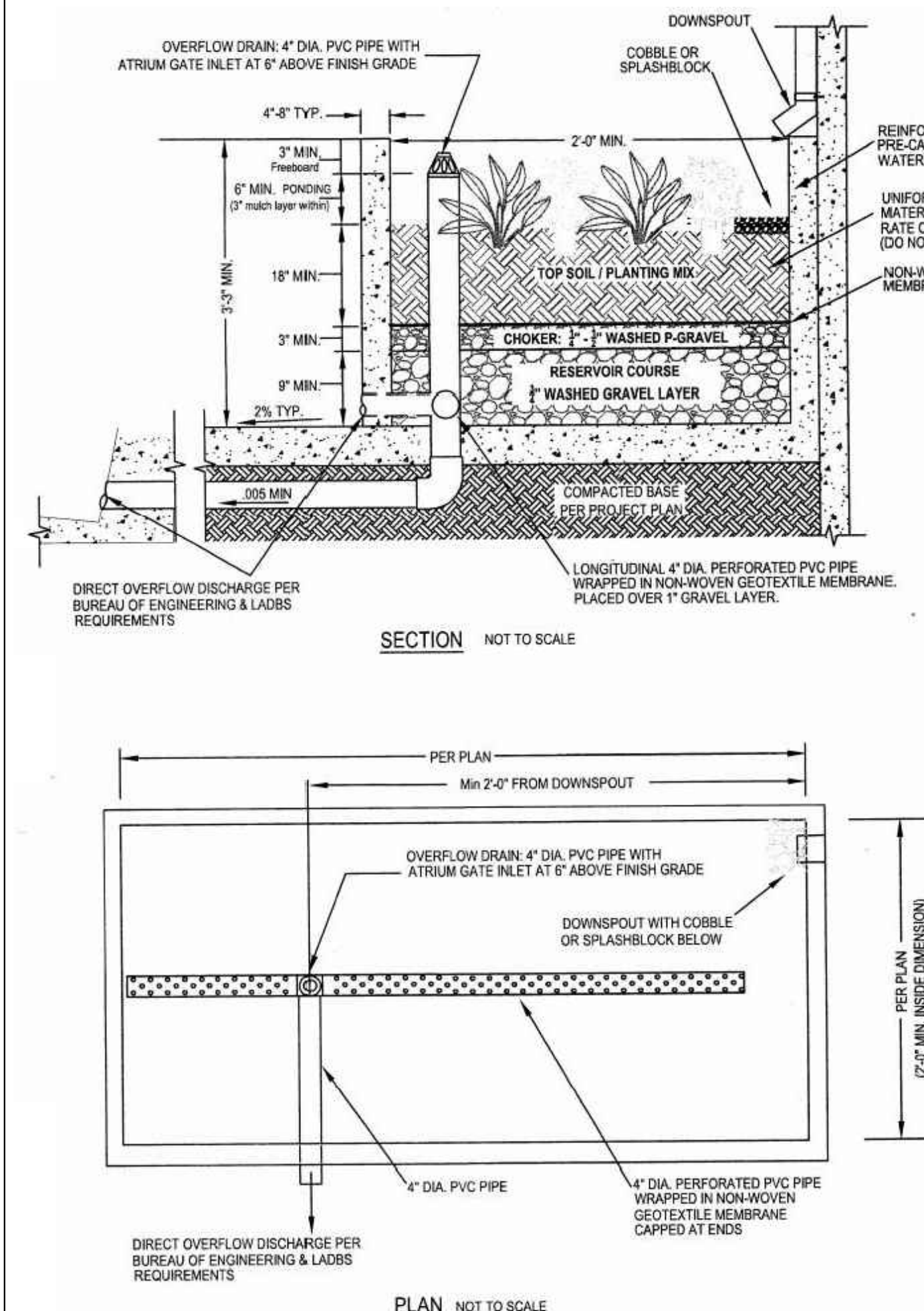
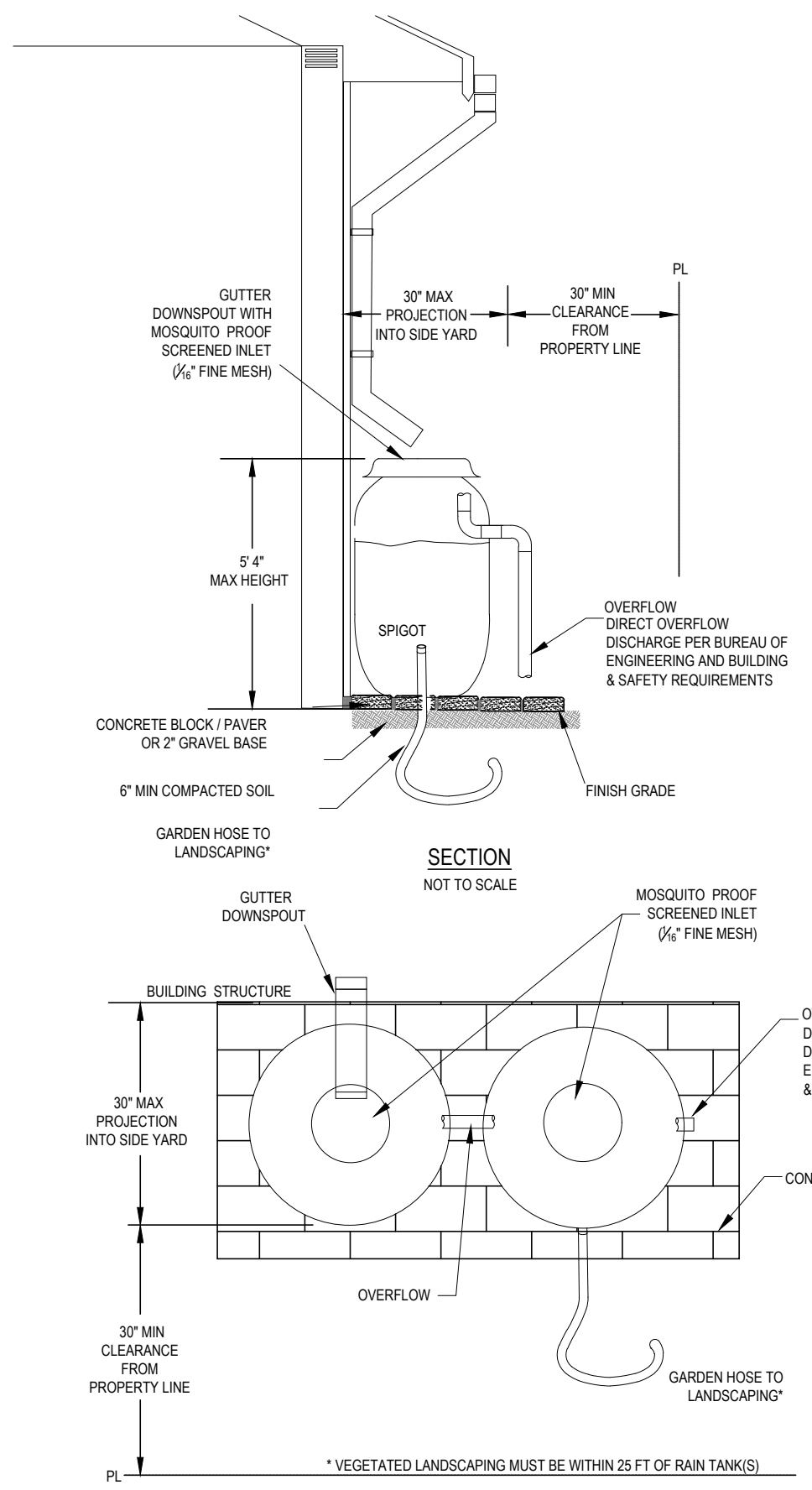
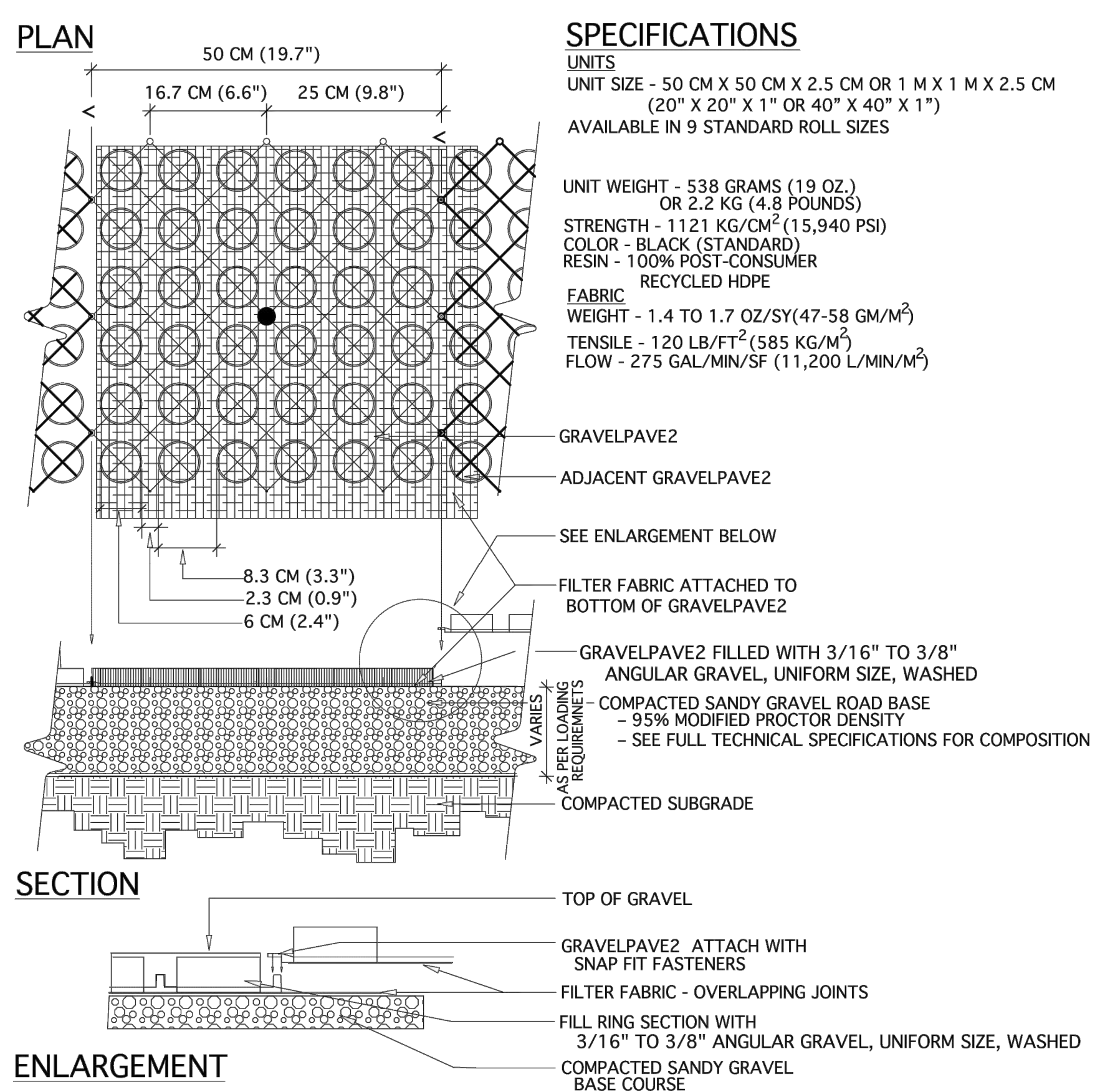
PERMEABLE AREA 1	83 SF
PERMEABLE AREA 2	100 SF
PERMEABLE AREA 3	113 SF
PERMEABLE AREA 4	108 SF
TOTAL	403 SF > 94 SF

LEGEND

- TREE SEE LANDSCAPE DRAWINGS
- MATERIAL CHANGE
- PARTIAL HEIGHT WALL
- CONCRETE SITE WALL
- SITE RETAINING WALL SEE CIVIL DRAWINGS IF APPLICABLE
- SITE FENCE
- CHANGE IN ELEV.
- FINISH FLOOR ELEV.
- GRAVEL PAVING SEE FINISH DESIGNATION FOR SPECIFICATIONS
- WOOD DECK SEE FINISH DESIGNATION FOR SPECIFICATIONS
- CONCRETE PAVER SEE FINISH DESIGNATION FOR SPECIFICATIONS
- POURED IN PLACE CONCRETE SEE FINISH DESIGNATION FOR SPECIFICATIONS
- PLANTING ZONE 1 -
- PLANTING ZONE 2 -
- PLANTING ZONE 3 -

PROJECT NAME & ADDRESS:
 PROJECT ADDRESS:
 PROJECT NUMBER: 2107
 OWNER:
 ARCHITECT:
BESTOR ARCHITECTURE
 2030 HYPERION AVE | LOS ANGELES, CA | 90027
 323-466-9399
 CONSULTANTS:

LOW IMPACT DESIGN (LID) PLAN, AREA CALCULATIONS & BEST MANAGEMENT PRACTICES (BMP'S) 1/8" = 1'-0" 02



SITE CONSTRUCTION NOTES

- ALL DIMENSIONS ARE TO FACE OF STRUCTURE DO NOT SCALE TO DRAWINGS
- ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION
- AN APPROVED SEISMIC SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING CONTRACTOR TO COORDINATE UTILITY TRENCH LOCATIONS WITH LANDSCAPE PLANTING PLAN TO AVOID PROPOSED TREES
- SEE CIVIL DRAWINGS FOR COMPLETE SPOT ELEVATIONS. FOR ANY TREE PLANTING AREA THAT IS ADJACENT TO OR SURROUNDED BY PAVING OR CONCRETE, REFER TO PLANTING PLAN, DETAILS AND SPECIFICATIONS FOR THE EXTENT OF CU STRUCTURAL SOIL TO BE INSTALLED PRIOR TO CONCRETE FLATWORK
- ALL ARCHITECTURAL GATES AND FENCING TO BE 6" GRATING PACIFIC ORSOGRILL "BRITOSTEROP" OPUS 50 PLANTERS AND STEPS SHALL ALIGN WITH SAWCUTS IN CONCRETE WHERE APPLICABLE.
- LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALL WITH A MIN FALL OF 6" WITHIN THE FIRST 10'

KEYNOTES

- 01 ROOF RIDGE
- 02 4 IN APPLIED GUTTER
- 03 4 IN INTEGRAL GUTTER
- 04 265 GALLON RAIN TANK, DETAIL 3
- 05 PLANTER BOX, DETAIL 1
- 06 PERMEABLE GRAVEL PAVE, DETAIL 4
- 07 DOWNSPOUT



BUILDING KEY PLAN

SUBMITTAL RECORD:
 01 04# 2021 PERMIT SUBMITTAL

NOT FOR CONSTRUCTION

SCALE
 1/8" = 1'-0"
 DRAWING TITLE
 LID PLAN

SHEET NUMBER

G060

8/16/2021 4:35 PM



265 Gallon
Slimline Rainwater Harvesting Tank

TOP VIEW

STRAINER BASKET

Material Polypropylene
Color Black
Dimensions 16" x 4"
Mesh 20x20 S.S.

COVER

Material Polypropylene
Color Black
Diameter 16"
Inlet 4" Knockouts (x2)
..... 3" Precut (x1)



SIDE VIEW

TANK

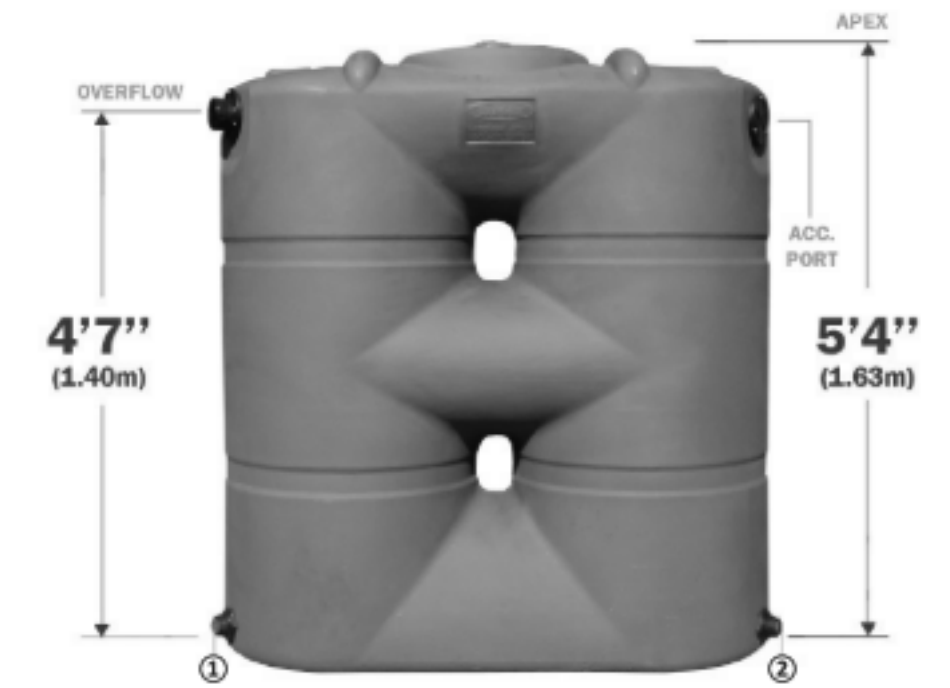
Material Polyethylene
Baffles 2

OVERFLOW

Material Polypropylene
Diameter 3" SDR 35

FITTINGS

Type Bulkhead
Height ① ② 4"
Location End Radius
Diameter 1" NPT



PART NUMBERS

Black 45491	Mocha 45492	Brick 45493
Forest Green 45494	Natural TBD	



Norwesco, Inc. | 4365 Steiner Street | St. Bonifacius, MN 55375-0439 | 800-328-3420

Low Impact Development (LID)
Post Construction Stormwater Mitigation
Best Management Practices (BMPs)



STORMWATER BMP(s) VERIFICATION

Upon installation of the approved stormwater BMPs, a Stormwater Observation Report (SOR) Form shall be submitted to Department of Public Works, Bureau of Sanitation, 201 N. Figueroa, 3rd floor, station 18. The SOR Form must be with filed and approved by the Bureau of Sanitation prior to the issuance of a Certificate of Occupancy.

Project Address: 846 E. Milwood Avenue, Venice, CA 90291

RESIDENTIAL (4 UNITS OR LESS, <10,000SF, <2,500 SF within a ESA)

Item #	Stormwater BMP	Description (Units, total)	Reference Sheet(s)* (Sheet #)
1	Rain Tank(s) - 55 to 130 gal each		
2	Rain Tank(s) - > 130 gal min	3-265 GALLON TANKS	G060
3	Shade Tree - min 15 gal		
4	Flow thru Planter(s)	2 PLANTERS 21.3 SQ. FT.	G060
5	Permeable pavers / Porous concrete (min 10% open space)	<input checked="" type="checkbox"/> Incidental; _____ total SF	G060
		<input type="checkbox"/> Infiltration; _____ total SF	
6	Rain Garden	<input type="checkbox"/> # _____ - Lined; _____ total SF	
		<input type="checkbox"/> # _____ - Unlined; _____ total SF	
7	Dry Well		
8	SUMP Pump (modification was not required)		

ALL OTHER DEVELOPMENT

(Residential: 5 ≥ units, 10,000 ≥ SF, within a ESA and ≥2,500SF)

Item #	Stormwater BMP	Description (Units, total)	Reference Sheet(s)* (Sheet #)
Infiltration	1	Infiltration Basin / Trench	
	2	Dry Well	
	3	Permeable pavers / Porous concrete (min 10% open space)	<input type="checkbox"/> Incidental; _____ total SF <input type="checkbox"/> Infiltration; _____ total SF
Capture & Use	4	Rain Tank(s) - 530 gal min	
	5	Cistern	<input type="checkbox"/> Above Grade <input type="checkbox"/> Below Grade
Treat & Discharge	6	Flow thru Planter(s)	
	7	Biofiltration	<input type="checkbox"/> # _____ - Lined; _____ total SF <input type="checkbox"/> # _____ - Unlined; _____ total SF
	8	Vegetative Swale / Filter Strip	
	9	Catch Basin Filter(s)	
	10	Trench Drain Filter(s)	
	11	Down Spout Filter(s)	
12	SUMP Pump (modification was not required)		

* At a minimum: Site Plan, Architectural Elevations, Roof Plan, Civil Sheets and Detail

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846 E. MILWOOD AVE
VENICE, CA 90291
OWNER
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ARCHITECT
BESTOR ARCHITECTURE

2030 HYPERION AVE | LOS ANGELES, CA 90027
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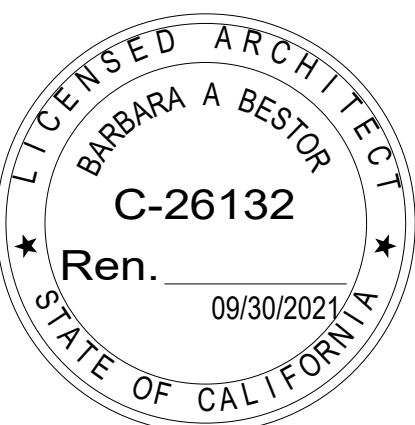
CONSULTANTS

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KEY PLAN

SUBMITTAL RECORD

1 | 06.01.2021 | PERMIT SET

SCALE

3" = 1'-0"

DRAWING TITLE

LID NOTES

SHEET NUMBER

G061

Architectural Survey

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846 E. MILWOOD AVE
VENICE, CA 90291
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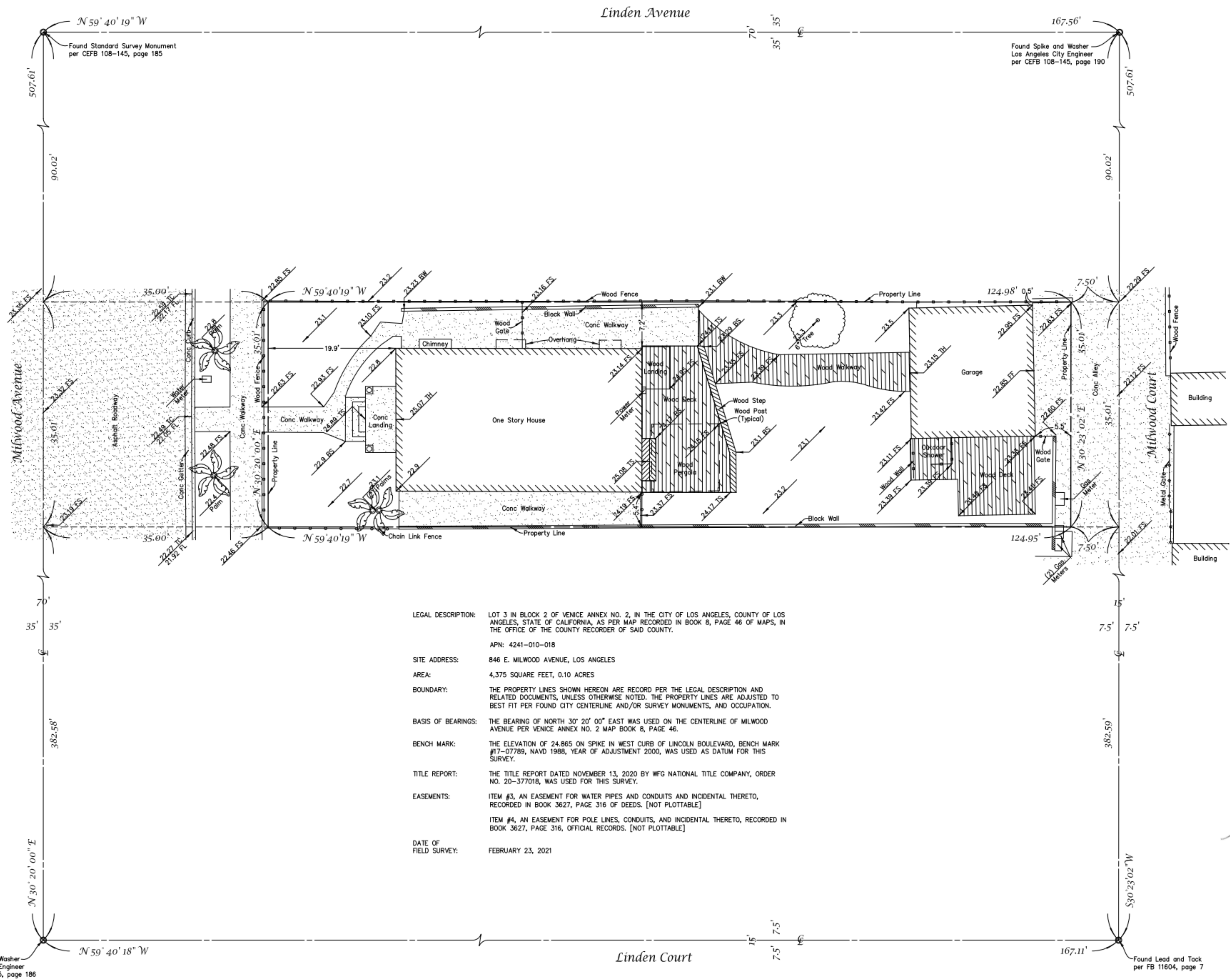
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Scale: 1" = 8'

Legend

- TH = Threshold
 - FF = Finished Floor
 - FS = Finished Surface
 - FL = Flowline
 - BW = Bottom of Wall
 - TW = Top of Wall
 - TC = Top of Curb
 - TS = Top of Step
 - BS = Bottom of Step
- Note: Hatch Patterns and Tree Drip Lines Are Not to Scale



LEGAL DESCRIPTION: LOT 3 IN BLOCK 2 OF VENICE ANNEX NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8, PAGE 46 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 4241-010-018

SITE ADDRESS: 846 E. MILWOOD AVENUE, LOS ANGELES

AREA: 4,375 SQUARE FEET, 0.10 ACRES

BOUNDARY: THE PROPERTY LINES SHOWN HEREON ARE RECORD PER THE LEGAL DESCRIPTION AND RELATED DOCUMENTS, UNLESS OTHERWISE NOTED. THE PROPERTY LINES ARE ADJUSTED TO BEST FIT PER FOUND CITY CENTERLINE AND/OR SURVEY MONUMENTS, AND OCCUPATION.

BASIS OF BEARINGS: THE BEARING OF NORTH 30° 20' 00" EAST WAS USED ON THE CENTERLINE OF MILWOOD AVENUE PER VENICE ANNEX NO. 2 MAP BOOK 8, PAGE 46.

BENCH MARK: THE ELEVATION OF 24.865 ON SPIKE IN WEST CURB OF LINCOLN BOULEVARD, BENCH MARK #17-07789, NAVD 1988, YEAR OF ADJUSTMENT 2000, WAS USED AS DATUM FOR THIS SURVEY.

TITLE REPORT: THE TITLE REPORT DATED NOVEMBER 13, 2020 BY WFG NATIONAL TITLE COMPANY, ORDER NO. 20-377018, WAS USED FOR THIS SURVEY.

EASEMENTS: ITEM #3, AN EASEMENT FOR WATER PIPES AND CONDUITS AND INCIDENTAL THERETO, RECORDED IN BOOK 3627, PAGE 316 OF DEEDS. [NOT PLOTTABLE]
ITEM #4, AN EASEMENT FOR POLE LINES, CONDUITS, AND INCIDENTAL THERETO, RECORDED IN BOOK 3627, PAGE 316, OFFICIAL RECORDS. [NOT PLOTTABLE]

DATE OF FIELD SURVEY: FEBRUARY 23, 2021

Plan Prepared For: Jennifer Schab
Bestor Architecture

Plan Prepared By: M & M & Co.
26074 Avenue Hall, Suite 12
Santa Clarita, CA 91355
(818) 891-9100
Gregory M. Amoroso, L.S. 8771



KEY PLAN

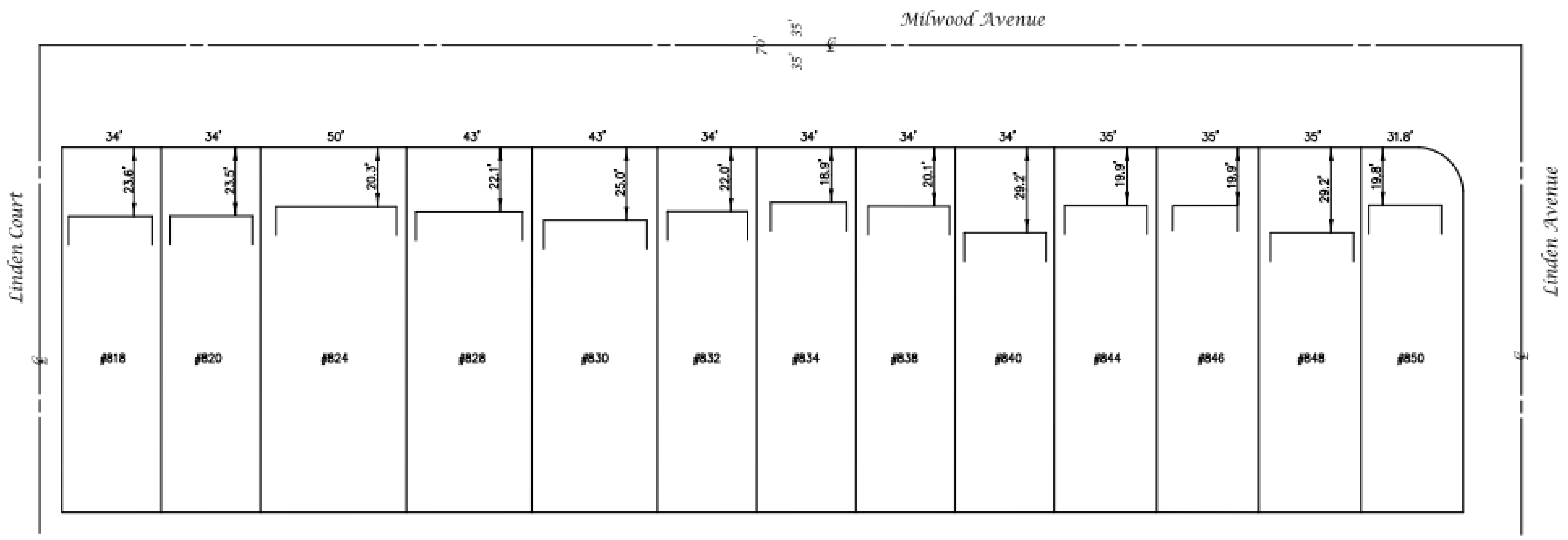
SUBMITTAL RECORD
1 | 06.01.2021 | PERMIT SET

SCALE
3" = 1'-0"

DRAWING TITLE
SURVEY

SHEET NUMBER

Setback Plan



PROJECT NAME
NEUBURGER RESIDENCE
846 E. MILWOOD AVE
VENICE, CA 90291
OWNER
Nikki Neuburger

PROJECT NUMBER
2107
ARCHITECT

BESTOR ARCHITECTURE
2030 HYPERION AVE | LOS ANGELES, CA 90027
323-666-9399

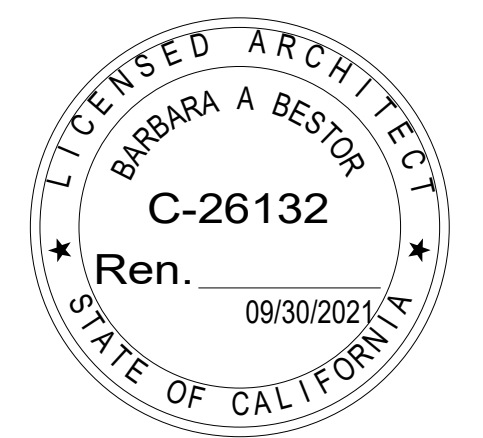
CONSULTANTS
STRUCTURAL ENGINEER:
CRAIG PHILLIPS ENGINEERING & DESIGN
2123 VESTAL AVENUE
LOS ANGELES, CA 90026
310.625.2325

SURVEYOR:
M&M CO.
26074 AVENUE HALL, SUITE 12
VALENCIA, CA 91355
818.691.9100

GEOTECHNICAL ENGINEER:
GEOSYSTEMS
1545 VICTORY BLVD, 2ND FLOOR
GLENDALE, CA 91201
818.500.9533

TITLE 24:
NEWTON ENERGY
1730 E. HOLLY AVE, SUITE 755
EL SEGUNDO, CA 90245
310.375.2699

Not to Scale



KEY PLAN

Prevailing Setback Calc Sheet

per City Of Los Angeles, Department of Building and Safety

Lot	Frontage	Setback
818	34	23.6
820	34	23.5
824	50	20.3
828	43	22.1
830	43	25.0
832	34	22.0
834	34	18.9
838	34	20.1
840	34	29.2
844	35	19.9
846	35	19.9
848	35	29.2
850	31.8	19.8

Total number of lots entered = 13
Total frontage entered = 476.8'
40% of Total frontage = 190.72'

Number of lots used in the calculations = 11
Setback range used = 18.9'-25.0'
Total frontage used in the calculations = 407.8'

Lots Used: 818, 820, 824, 828, 830, 832, 834, 838, 844, 846, 850

Prevailing Setback = 21.37'



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PREVAILING SETBACK PLAN
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LEGEND

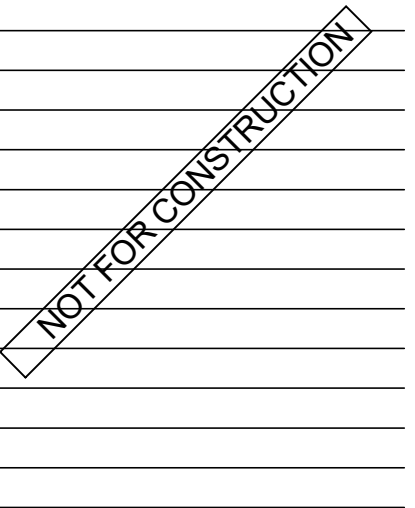
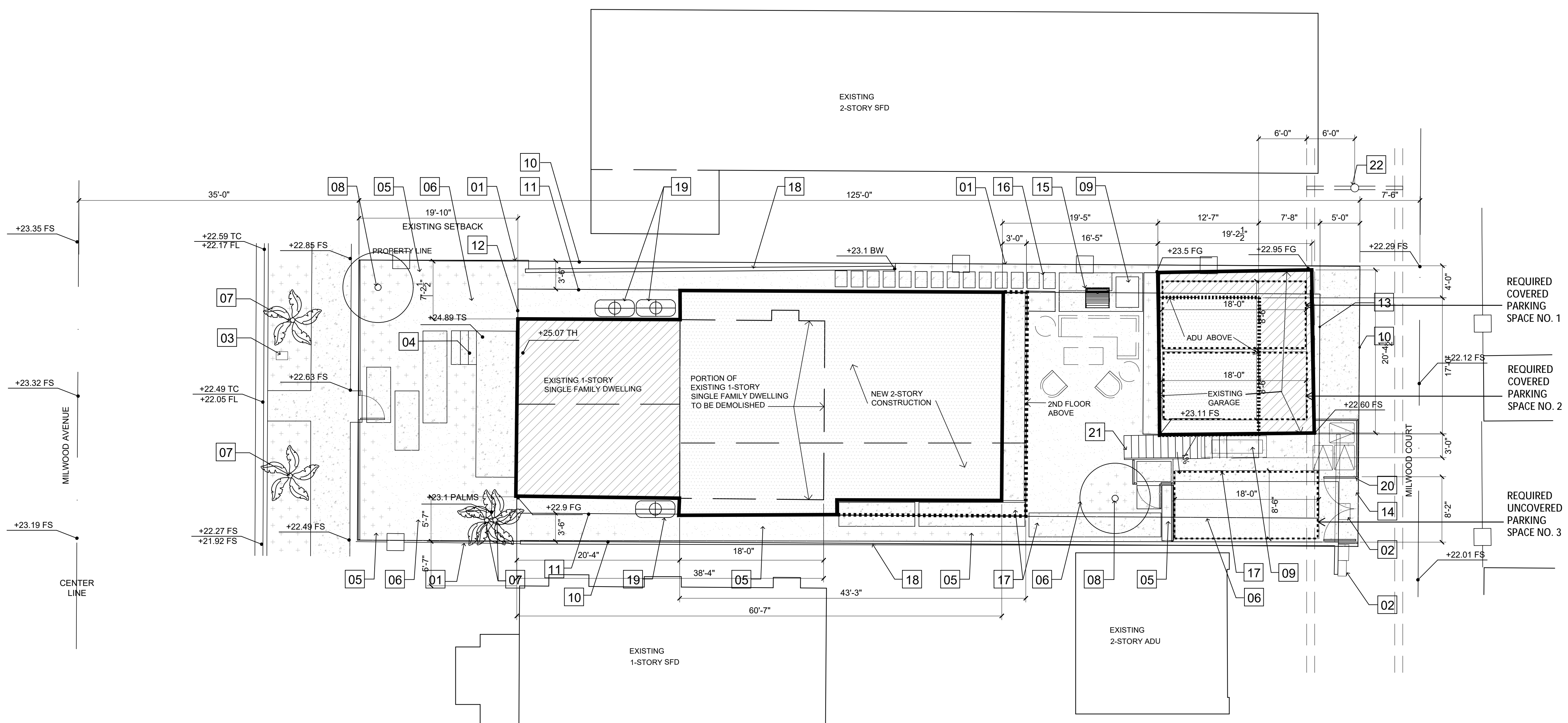
- TREE
SEE LANDSCAPE DRAWINGS
- MATERIAL CHANGE
- PARTIAL HEIGHT WALL
- CONCRETE SITE WALL
- SITE RETAINING WALL
SEE CIVIL DRAWINGS IF APPLICABLE
- SITE FENCE
- CHANGE IN ELEV.
- FINISH FLOOR ELEV.
- GRAVEL PAVING
SEE FINISH DESIGNATION FOR SPECIFICATIONS
- WOOD DECK
SEE FINISH DESIGNATION FOR SPECIFICATIONS
- CONCRETE PAVER
SEE FINISH DESIGNATION FOR SPECIFICATIONS
- POURED IN PLACE CONCRETE
SEE FINISH DESIGNATION FOR SPECIFICATIONS
- PLANTING ZONE 1 -
- PLANTING ZONE 2 -
- PLANTING ZONE 3 -

SITE CONSTRUCTION NOTES

1. ALL DIMENSIONS ARE TO FACE OF STRUCTURE
2. DO NOT SCALE TO DRAWINGS
3. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION
4. AN APPROVED SEISMIC SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING
5. CONTRACTOR TO COORDINATE UTILITY TRENCH LOCATIONS WITH LANDSCAPE PLANTING PLAN TO AVOID PROPOSED TREES
6. SEE CIVIL DRAWINGS FOR COMPLETE SPOT ELEVATIONS.
7. FOR ANY TREE PLANTING AREA THAT IS ADJACENT TO OR SURROUNDED BY PAVING OR CONCRETE, REFER TO PLANTING PLAN, DETAILS AND SPECIFICATIONS FOR THE EXTENT OF CU STRUCTURAL SOIL TO BE INSTALLED PRIOR TO CONCRETE FLATWORK.
8. ALL ARCHITECTURAL GATES AND FENCING TO BE 6" GRATING PACIFIC ORSOGRIFF "BRITOSTEROPIC" OPUS 50
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10. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALL WITH A MIN FALL OF 6" WITHIN THE FIRST 10'


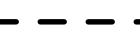
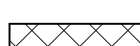
KEYNOTES

- | | |
|----------------------------------|------------------------|
| 01 [E] CHAIN LINK FENCE | 18 [E] CMU WALL |
| 02 [E] GAS METER | 19 [N] RAIN WATER TANK |
| 03 [E] WATER METER | 20 [N] AUTO GATE |
| 04 [E] ENTRY STEPS | 21 [N] STAIR TO ADU |
| 05 [N] PLANTING AREA | 22 [E] POWER POLE |
| 06 [N] PERMEABLE GRAVEL SURFACE | |
| 07 [E] PALM TREE | |
| 08 [N] TREE | |
| 09 [N] FLOW-THROUGH PLANTER | |
| 10 PROPERTY LINE | |
| 11 SIDE YARD SETBACK | |
| 12 FRONT YARD SETBACK | |
| 13 REAR YARD SETBACK | |
| 14 [N] 8 FT. TALL FENCE AND GATE | |
| 15 [N] BBQ | |
| 16 [N] PRE-FAB CONC. PAVERS | |
| 17 [N] POURED IN PLACE CONCRETE | |


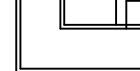


LEGEND

PARTITIONS

-  EXISTING TO REMAIN
-  TO BE DEMOLISHED
-  EXISTING ROOF TO REMAIN

DIMENSIONS

-  FACE OF FINISH
-  FACE OF FRAMING

CONSTRUCTION NOTES

1. EXERCISE CARE AND PROTECT ALL FINISHES AND ELEMENTS TO REMAIN.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION & PRESERVATION OF ALL MATERIALS, SUPPLIES & EQUIPMENT OF EVERY DESCRIPTION (INCLUDING PROPERTY WHICH MAY BE FURNISHED OR OWNED BY OWNER OR BY OTHERS), WHILE SUCH PROPERTY IS LOCATED ON THE CONSTRUCTION SITE, & FOR ALL WORK PERFORMED.
3. REMOVE & DISPOSE OF ALL ITEMS INDICATED ON THE DRAWINGS. VERIFY DISPOSAL AND SALVAGE WITH CLIENT. CLIENT RESERVES THE RIGHT TO SALVAGE ANY DEMO ITEM. REMOVE, PROTECT, AND TURN OVER SUCH ITEMS TO CLIENT.
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8. CONTRACTOR TO COORDINATE LOCATIONS OF ALL DEMO SLABS & WALL OPENINGS W/ ARCHITECTURAL AND CONSULTANT DRAWINGS.
9. (E) COLUMNS TO REMAIN U.N.O.

KEYNOTES - DEMO

#	KEYNOTE
01	(E) WALL TO REMAIN
02	EXISTING OPENING TO REMAIN, REMOVE (E) WINDOW
03	REMOVE (E) DOOR
04	REMOVE (E) FIREPLACE & CHIMNEY
05	EXISTING OPENING TO REMAIN, REMOVE (E) DOOR
06	REMOVE (E) INTERIOR WALL
07	REMOVE (E) PLUMBING FIXTURES AND CABINETS
08	REMOVE (E) KITCHEN APPLIANCES, PLUMBING FIXTURES, FINISHES AND CABINETS
09	REMOVE (E) EXTERIOR STEPS AND LANDING
10	REMOVE (E) PORTION OF WALL & PREP FOR (N) WINDOW
11	REMOVE (E) HEARTH & PREP FOR (N) FLOORING
12	REMOVE (E) EXTERIOR WALL
13	REMOVE (E) CABINETRY
14	REMOVE (E) SHELF & POLE
15	REMOVE (E) FRONT PORCH, POSTS & ROOF
16	REMOVE (E) EXTERIOR AIR CONDITIONER UNIT
17	REMOVE (E) ROOF FINISH & PREP FOR (N) ROOF FINISH
18	REMOVE (E) WASHER & DRYER
19	REMOVE (E) WINDOW
20	REMOVE (E) ROOF

DEMOLITION PLAN CALCULATIONS

EXISTING EXTERIOR WALL LENGTH = 121' - 1"
 EXTERIOR WALL LENGTH MAINTAINED = 62' - 10"
 PERCENT OF EXTERIOR WALL MAINTAINED = 51.8%
 EXISTING ROOF AREA = 834.5 SF
 EXISTING ROOF AREA MAINTAINED = 451.4 SF
 PERCENT OF EXISTING ROOF MAINTAINED = 54%

KEY PLAN

SUBMITTAL RECORD

1	06.01.2021	PERMIT SET
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SCALE

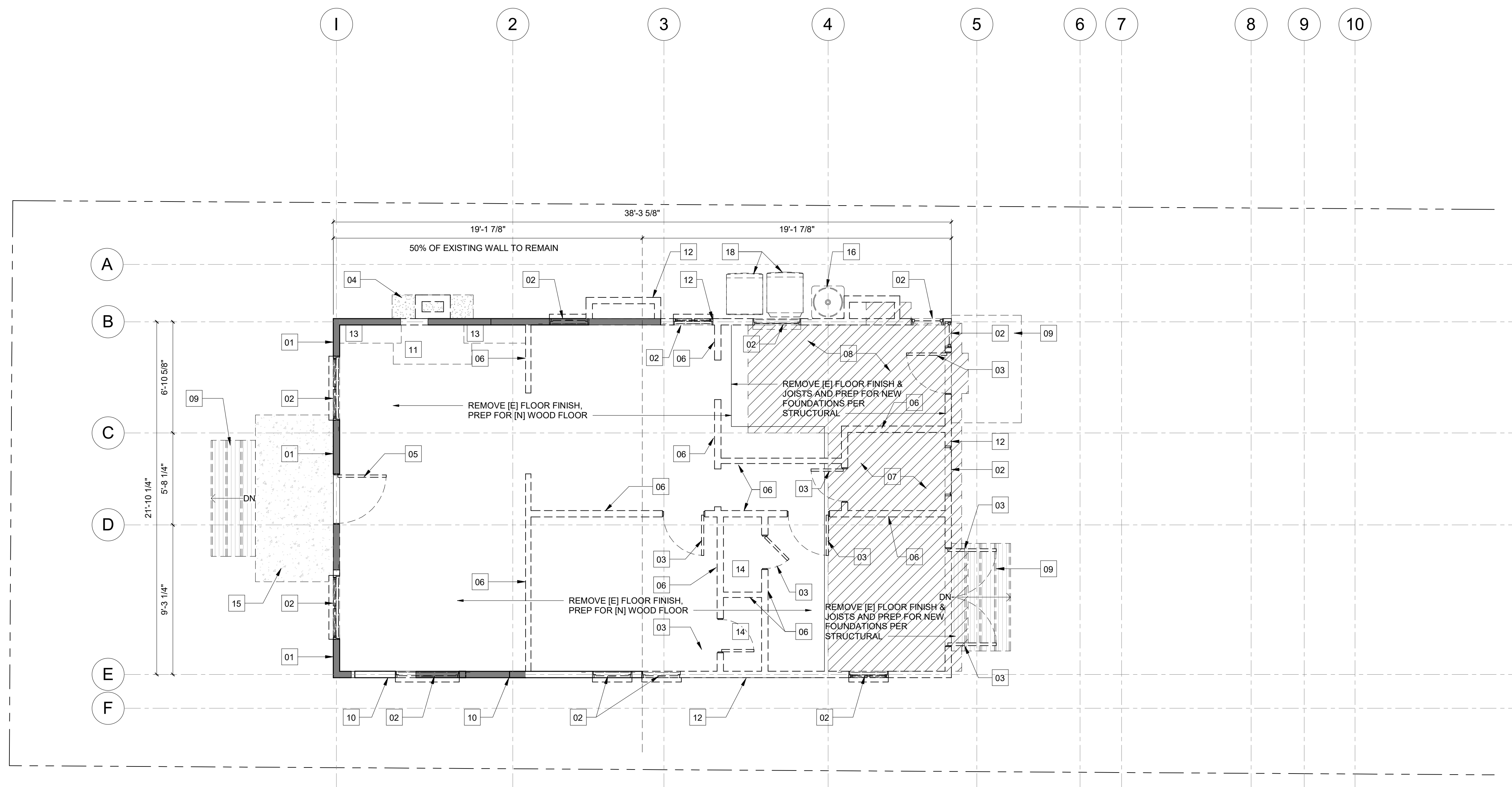
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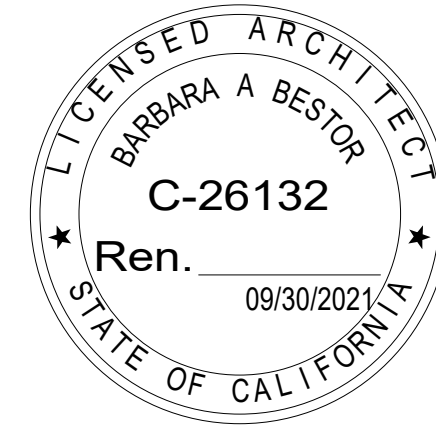
DRAWING TITLE

DEMO FLOOR PLAN

SHEET NUMBER

AD090





LEGEND

PARTITIONS

EXISTING TO REMAIN

TO BE DEMOLISHED

EXISTING ROOF TO REMAIN

DIMENSIONS

FACE OF FINISH

FACE OF FRAMING

CONSTRUCTION NOTES

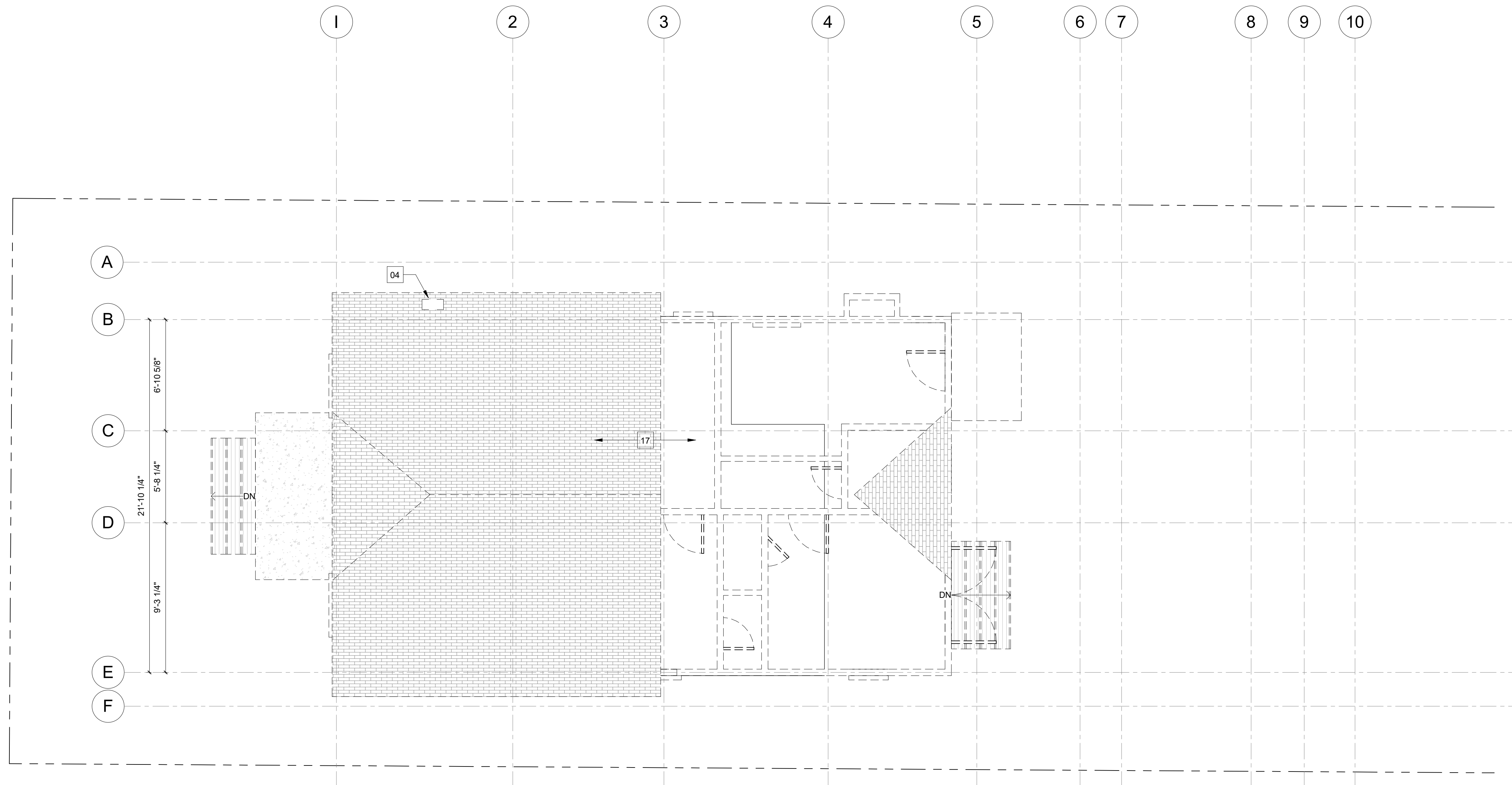
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 EXISTING ROOF AREA MAINTAINED = 451.4 SF
 PERCENT OF EXISTING ROOF MAINTAINED = 54%



PROJECT NAME
 NEUBURGER RESIDENCE
 846 E. MILWOOD AVE
 VENICE, CA 90291
 OWNER
 Nikki Neuburger

PROJECT NUMBER
 2107
 ARCHITECT

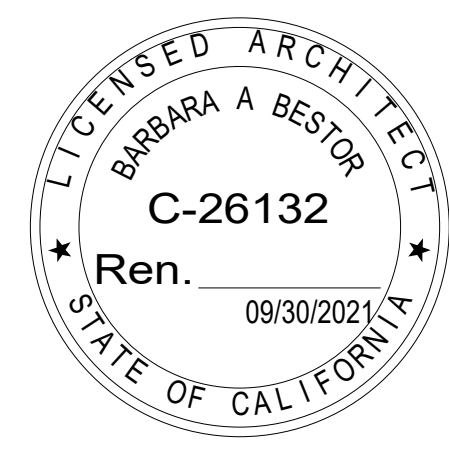
BESTOR ARCHITECTURE
 2030 HYPERION AVE | LOS ANGELES, CA | 90027
 323-666-9399

CONSULTANTS
 STRUCTURAL ENGINEER:
 CRAIG PHILLIPS ENGINEERING & DESIGN
 2123 VESTAL AVENUE
 LOS ANGELES, CA 90026
 310.625.2325

SURVEYOR:
 M&M CO.
 26074 AVENUE HALL, SUITE 12
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 818.891.9100

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 GEOSYSTEMS
 1545 VICTORY BLVD, 2ND FLOOR
 GLENDALE, CA 91201
 818.500.9533

TITLE 24:
 NEWTON ENERGY
 1730 E. HOLLY AVE, SUITE 755
 EL SEGUNDO, CA 90245
 310.375.2699



KEY PLAN

SUBMITTAL RECORD

SCALE
 1/4" = 1'-0"


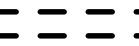

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 DEMO GARAGE

SHEET NUMBER

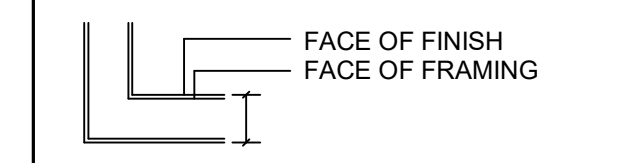
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LEGEND

PARTITIONS

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-  TO BE DEMOLISHED
-  EXISTING ROOF TO REMAIN

DIMENSIONS



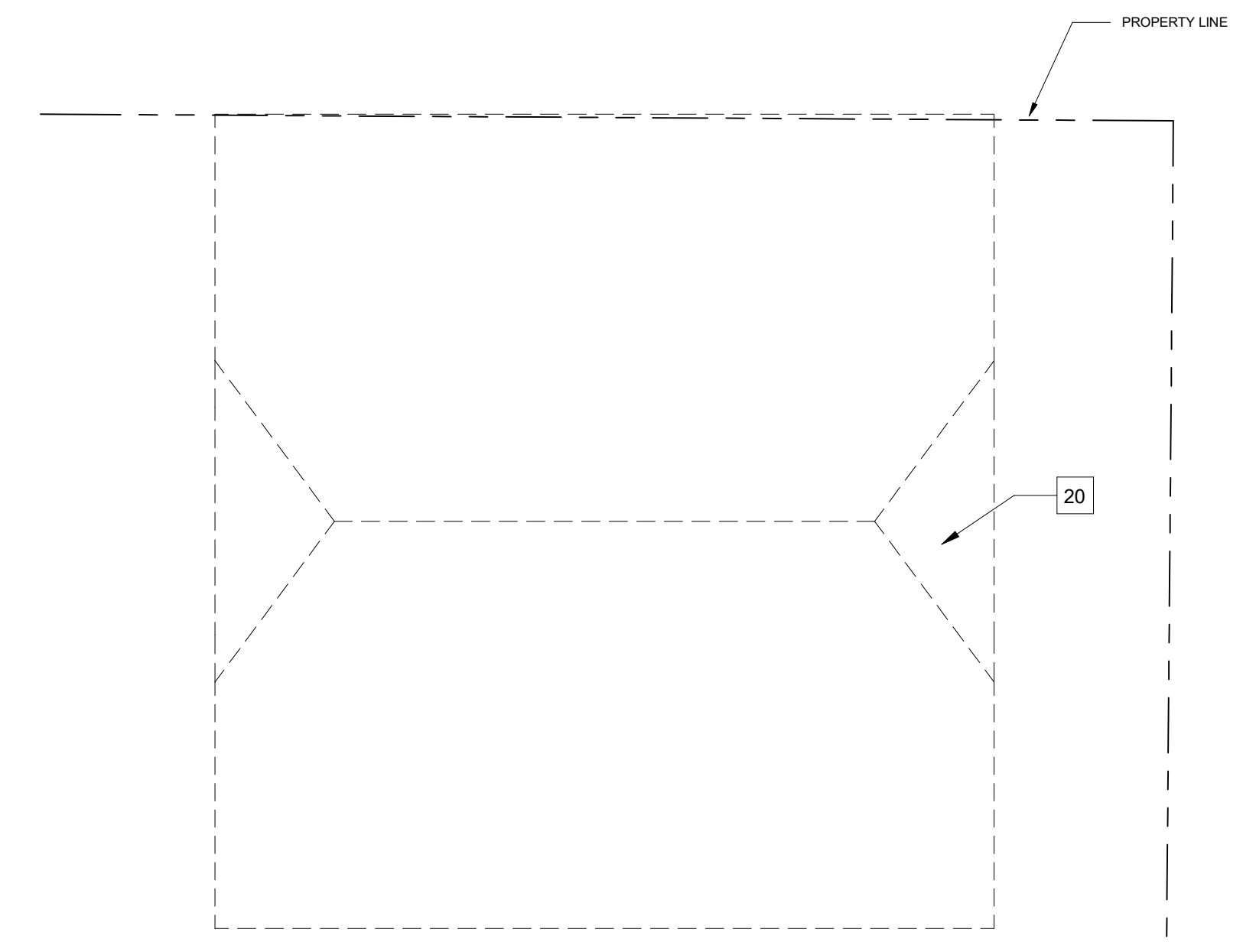
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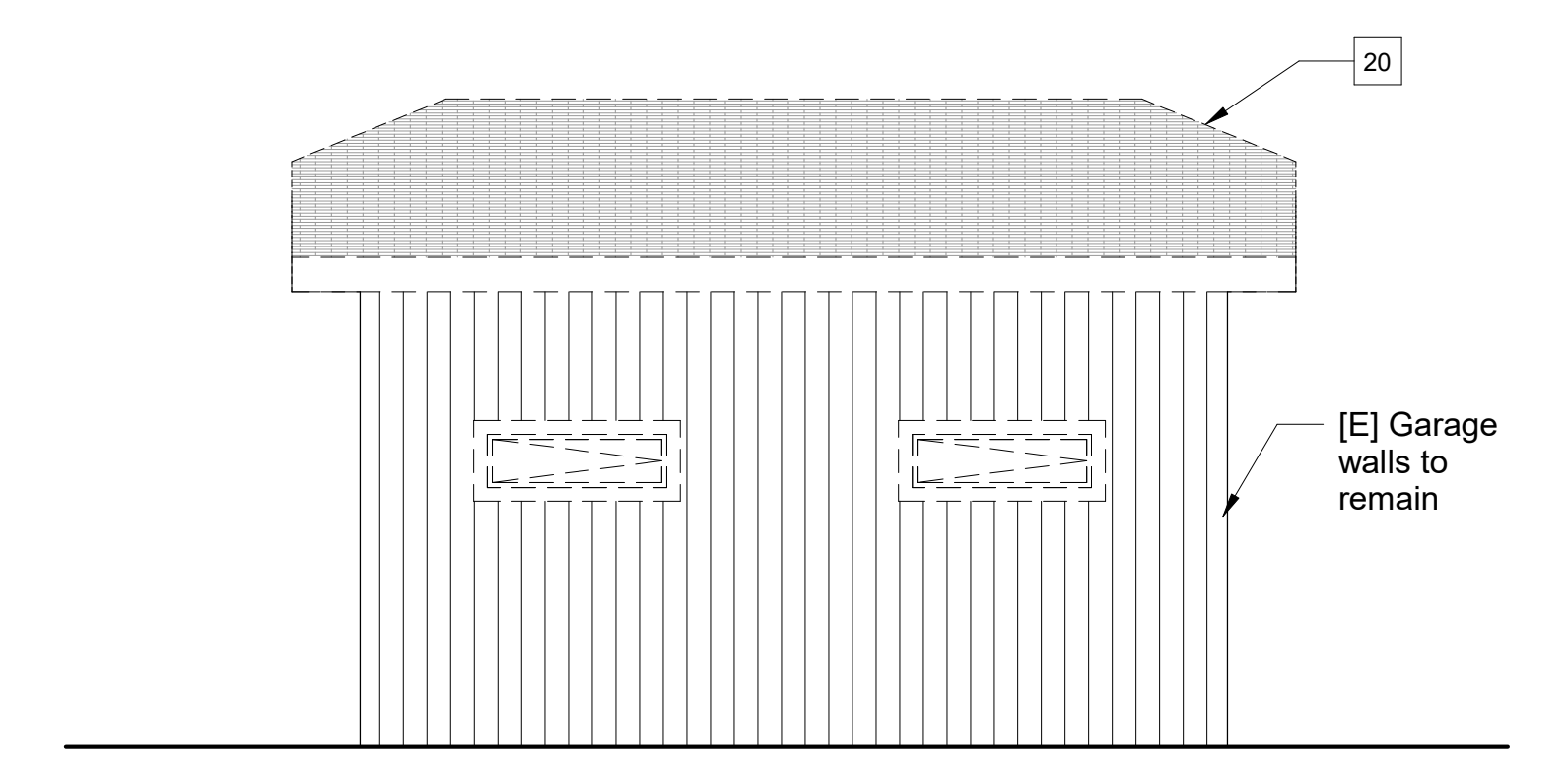
KEYNOTES - DEMO

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18	REMOVE [E] WASHER & DRYER
19	REMOVE [E] WINDOW
20	REMOVE [E] ROOF

DEMOLITION PLAN CALCULATIONS



DEMO GARAGE FIRST ROOF PLAN 1/4" = 1'-0" 2



ADU - SOUTH ELEVATION - DEMO 1/4" = 1'-0" 1



LEGEND

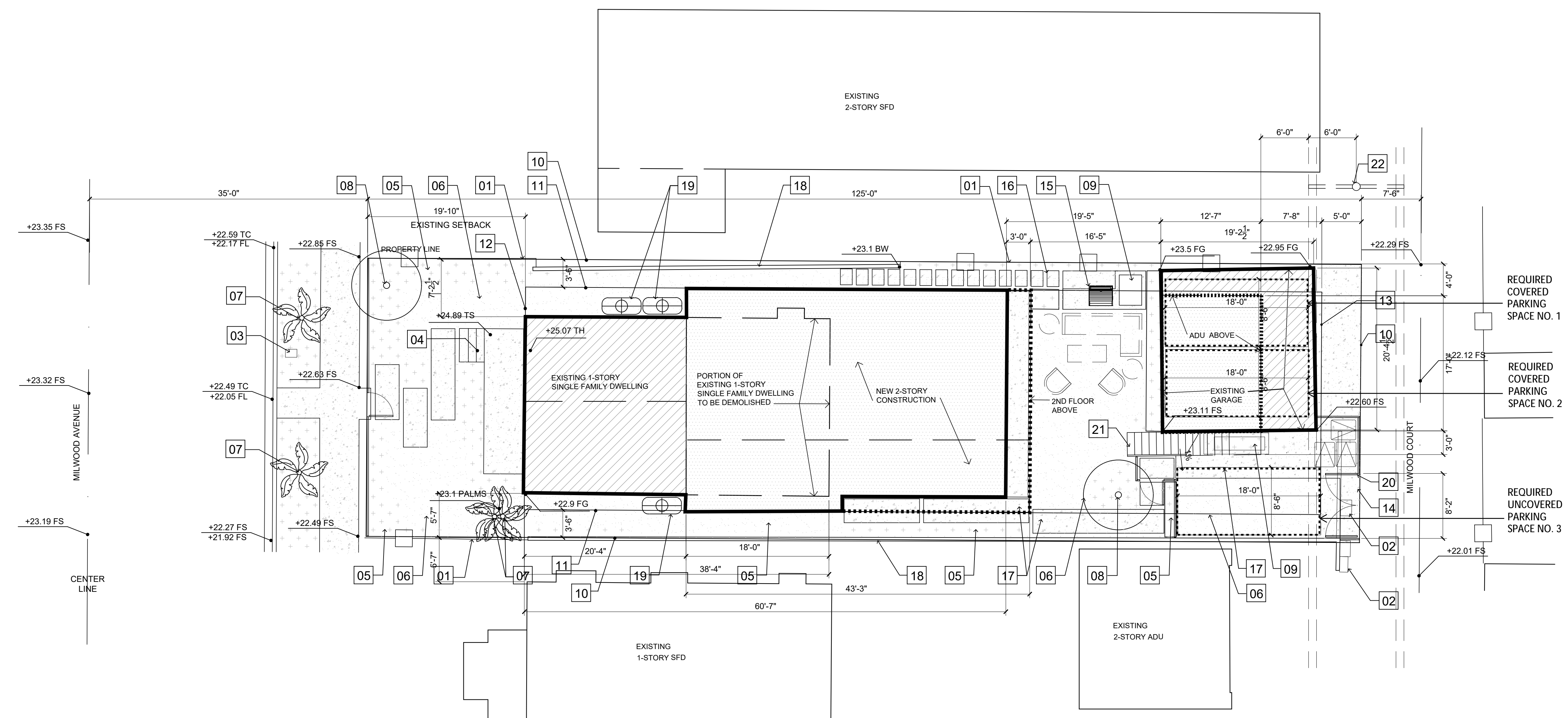
- TREE
SEE LANDSCAPE DRAWINGS
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- PLANTING ZONE 1 -
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- PLANTING ZONE 3 -

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KEYNOTES

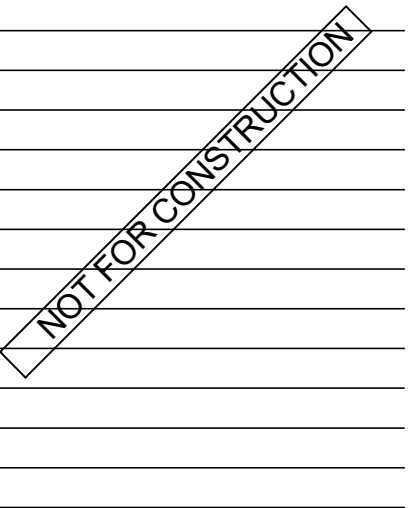
- 01 [E] CHAIN LINK FENCE
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- 11 SIDE YARD SETBACK
- 12 FRONT YARD SETBACK
- 13 REAR YARD SETBACK
- 14 [N] 8 FT. TALL FENCE AND GATE
- 15 [N] BBQ
- 16 [N] PRE-FAB CONC. PAVERS
- 17 [N] POURED IN PLACE CONCRETE
- 18 [E] CMU WALL
- 19 [N] RAIN WATER TANK
- 20 [N] AUTO GATE
- 21 [N] STAIR TO ADU
- 22 [E] POWER POLE



BUILDING KEY PLAN

SUBMITTAL RECORD:

01 04/2021 PERMIT SUBMITTAL



SCALE
1/8" = 1'-0"

DRAWING TITLE
SITE PLAN

SHEET NUMBER

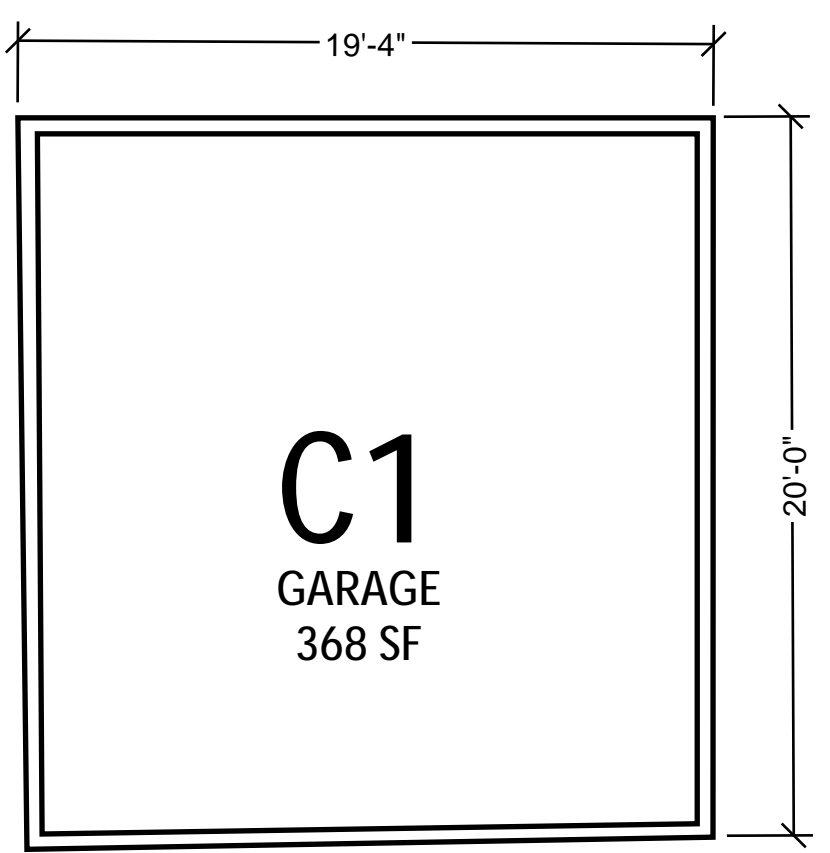
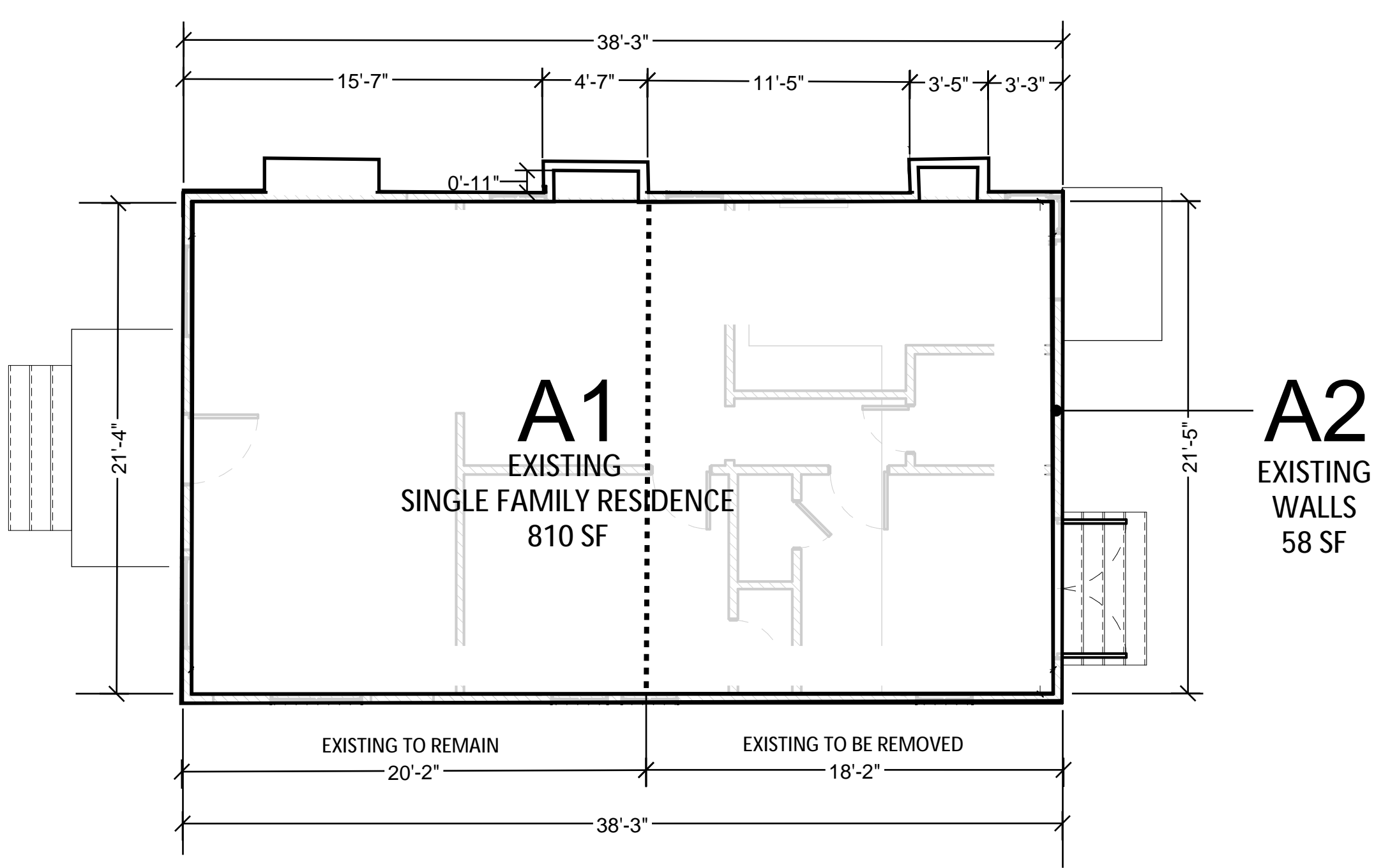
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SITE PLAN

1/8" = 1'-0"

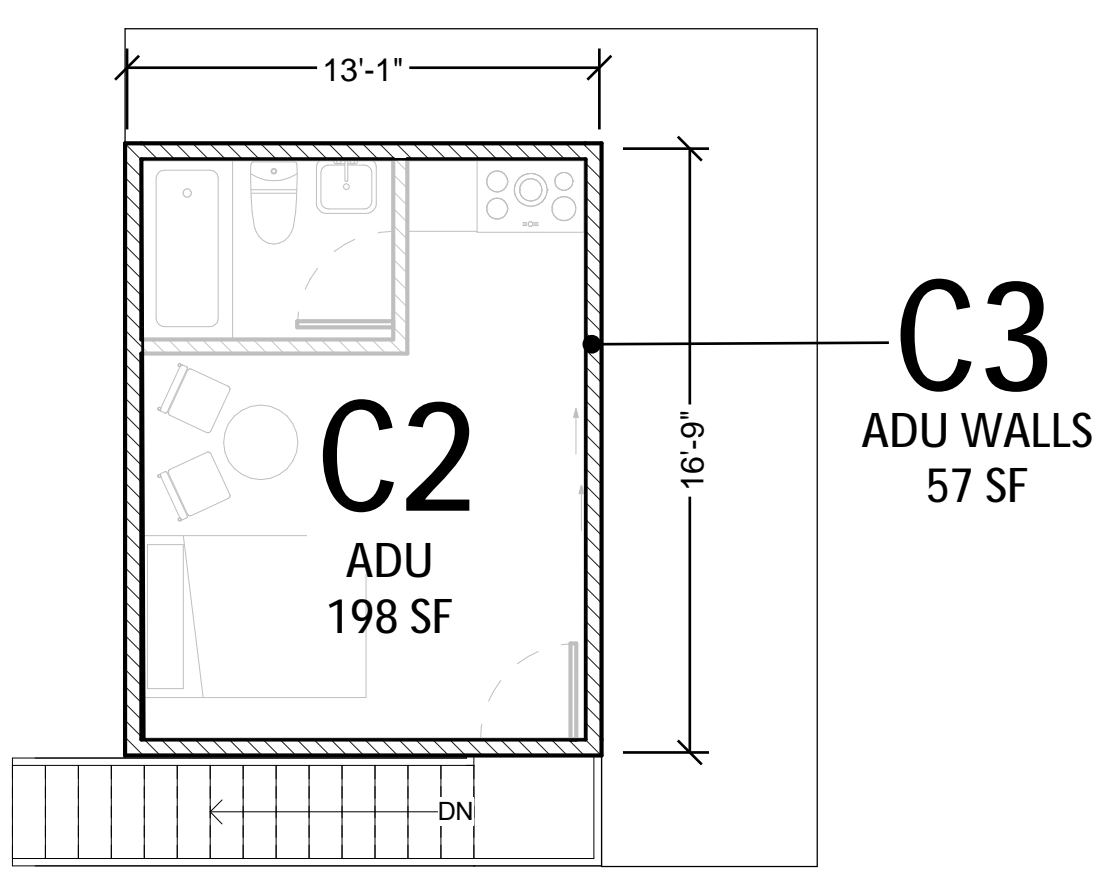
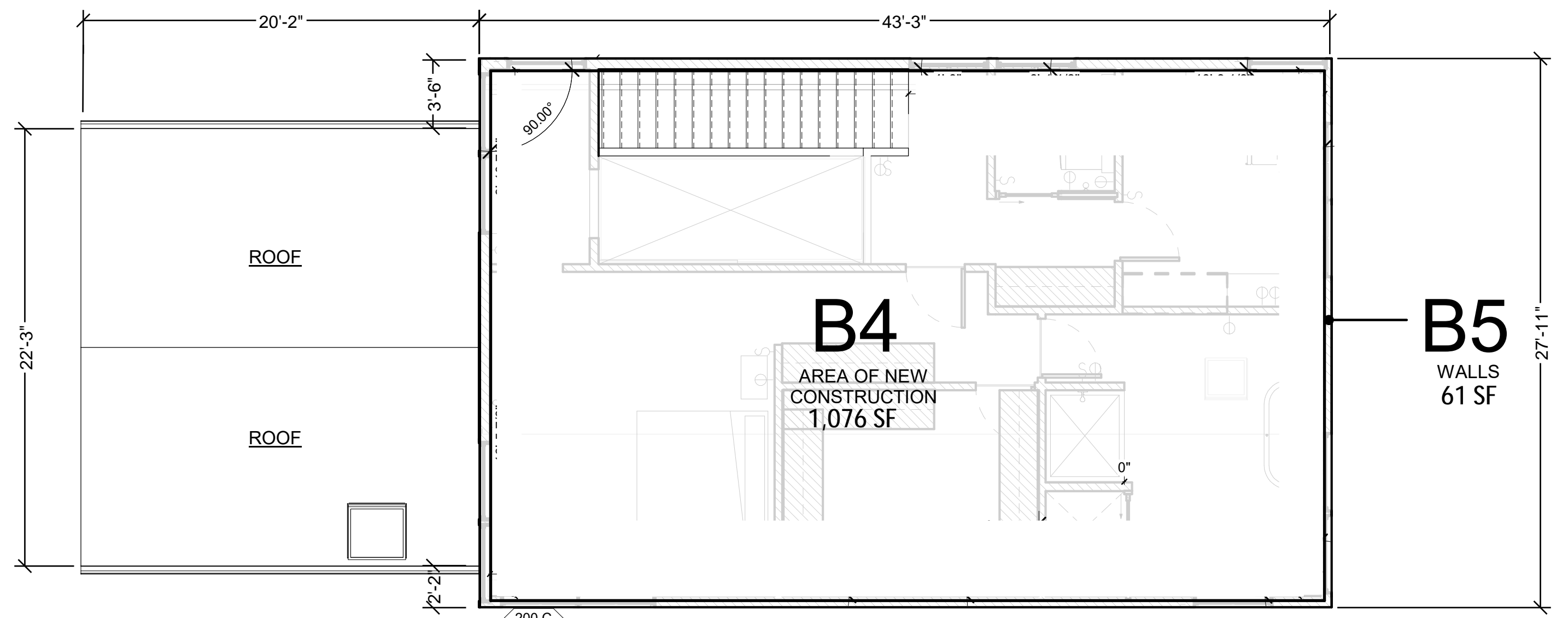
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EXISTING FLOOR AREA CALCULATIONS							
NO.	AREA	SQUARE FEET	ZONING DEFINITION	BUILDING CODE	SCHOOL FEE	RFA	NOTES
A1	[E] FLOOR AREA	810	YES	YES	YES	YES	
A2	[E] EXTERIOR WALLS	58			YES		
C1	[E] DETACHED GARAGE	368		YES			
TOTALS		1,236 SF	810 SF	1,178 SF	868 SF	810 SF	

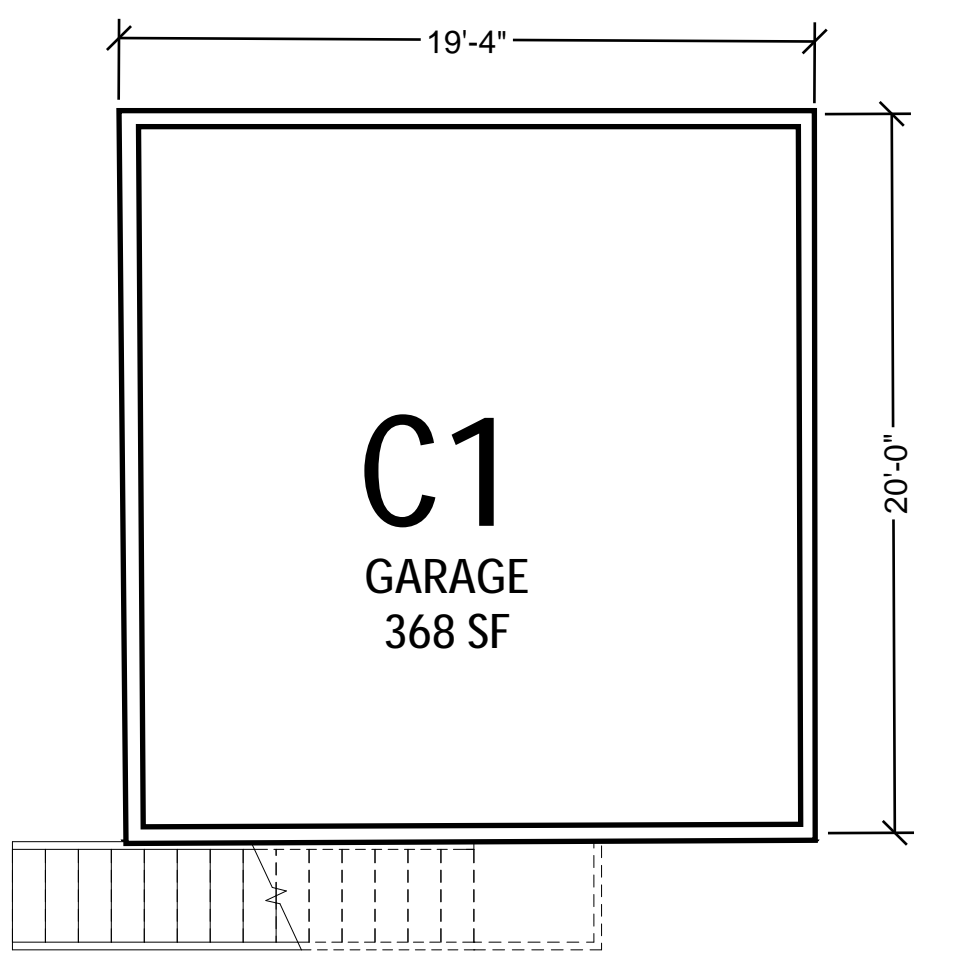
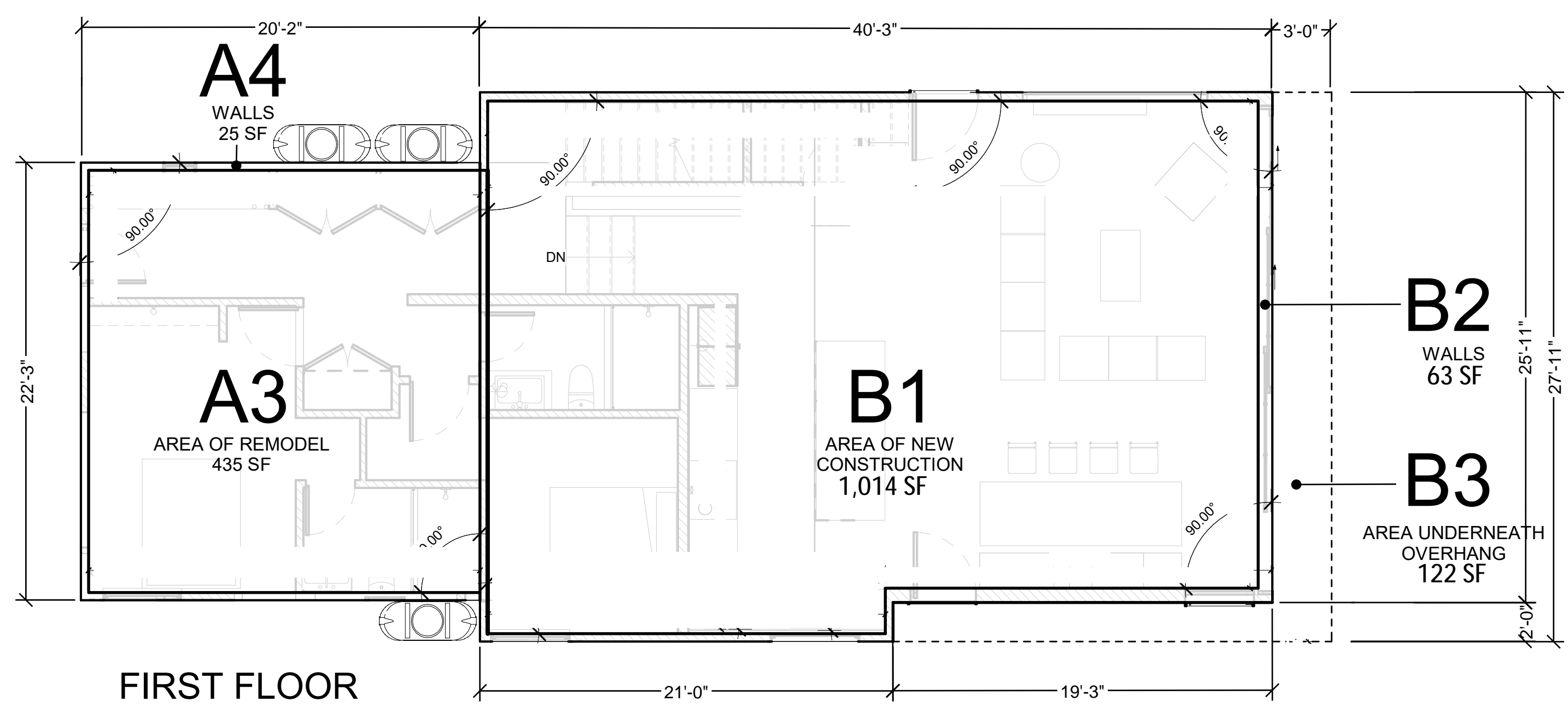
EXISTING WALLS TO REMAIN	EXISTING WALLS TO BE REMOVED
15'-7"	11'-5"
11"	3'-5"
4'-7"	3'-3"
11"	21'-5"
21'-4"	+ 8'-2"
+ 20'-2"	
63'-6"	57'-8"
	> GREATER THAN 50% OF LINEAR WALL TO REMAIN

EXISTING FLOOR AREA CALCULATIONS 3/16" = 1'-0" 2



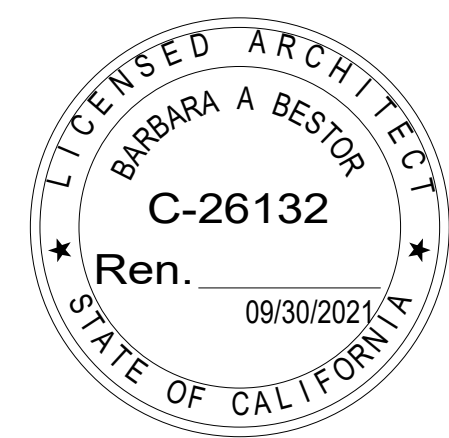
PROPOSED FLOOR AREA CALCULATIONS							
NO.	AREA	SQUARE FEET	ZONING DEFINITION	BUILDING CODE	SCHOOL FEE	RFA	NOTES
A3	[E] EXTERIOR WALLS TO REMAIN	25			YES		
A4	[E] FLOOR AREA TO REMAIN	435	YES	YES	YES	YES	
		460					
B1	[N] 1 ST FLOOR AREA	1,014	YES	YES	YES	YES	
B2	[N] 1 ST FLOOR WALLS	63			YES		
B3	EXTERIOR OVERHANG	122	YES	YES		YES	
B4	[N] 2 ND FLOOR AREA	1,076	YES	YES	YES	YES	
B5	[N] 2 ND FLOOR WALLS	61			YES		
C1	[E] DETACHED GARAGE	368		YES			
C2	[N] ADU FLOOR AREA	198	YES	YES	YES	YES	
C3	[N] ADU WALLS	57			YES		
TOTALS		3,419 SF	2,845 SF	3,213 SF	3,297 SF	2,845 SF	

SECOND FLOOR

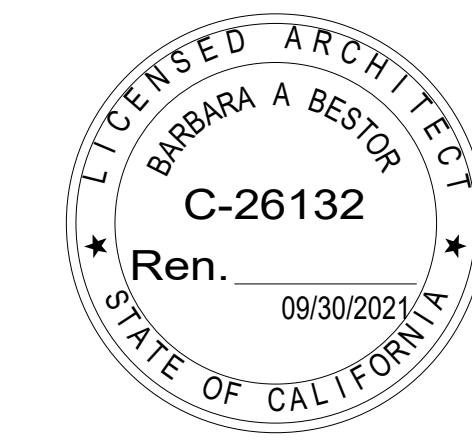


FIRST FLOOR

PROPOSED FLOOR AREA CALCULATIONS 3/16" = 1'-0" 1



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LEGEND

HATCHES

	NOT IN CONTRACT		PLYWOOD SHEATHING
	MILLWORK		GYPSUM DRYWALL
	BATT INSULATION		POURED IN PLACE CONCRETE
	RIGID INSULATION		WOOD
			SOFTSCAPE

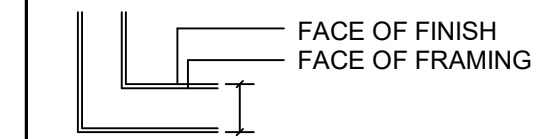
TAGS

	DOOR TAG		FINISH FLOOR ELEV. XXXX
	WINDOW TAG		
	EQUIPMENT TAG		CHANGE IN ELEV.
	SIGNAGE TAG SEE A031 FOR SCHED.		MATCHLINE
	FIXTURE TAG		TRANSITION
	FINISH TAG		
	FINISH FLOOR TAG		

PARTITIONS

	NEW PARTITION (WITH TYPE TAG)
	EXISTING TO REMAIN
	TO BE DEMOLISHED

DIMENSIONS



CONSTRUCTION NOTES

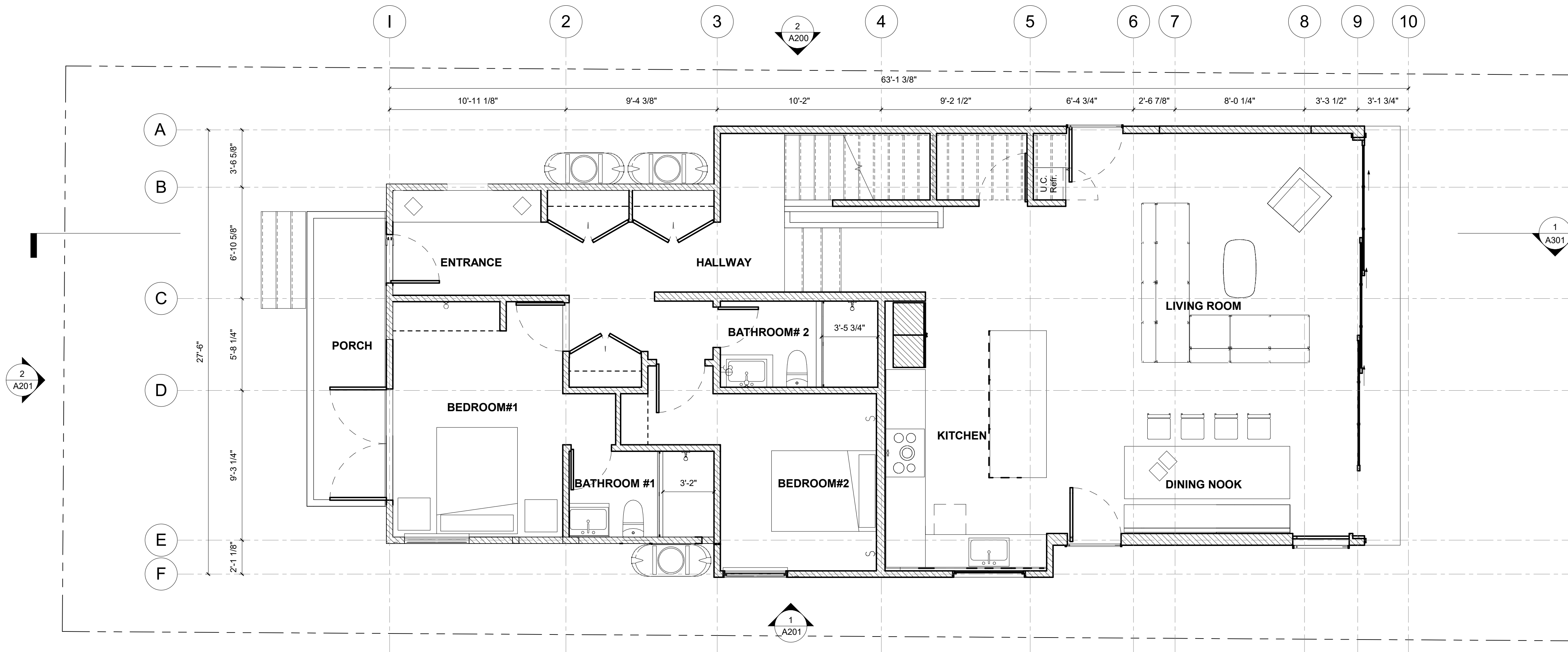
- SEE DRAWING SET FOR PARTITION DETAILS
- SEE SCHEDULES FOR ALL DOOR, WINDOW, AND EQUIPMENT DETAILS AND SPECIFICATIONS
- VERIFY ALL DIMENSIONS ON SITE
- NOTIFY ARCHITECT FOR AND DISCREPANCIES BETWEEN SITE AND PLAN
- ALL DIMENSIONS FROM FACE OF FINISH TO FACE OF FINISH

KEYNOTES - FLOOR PLAN

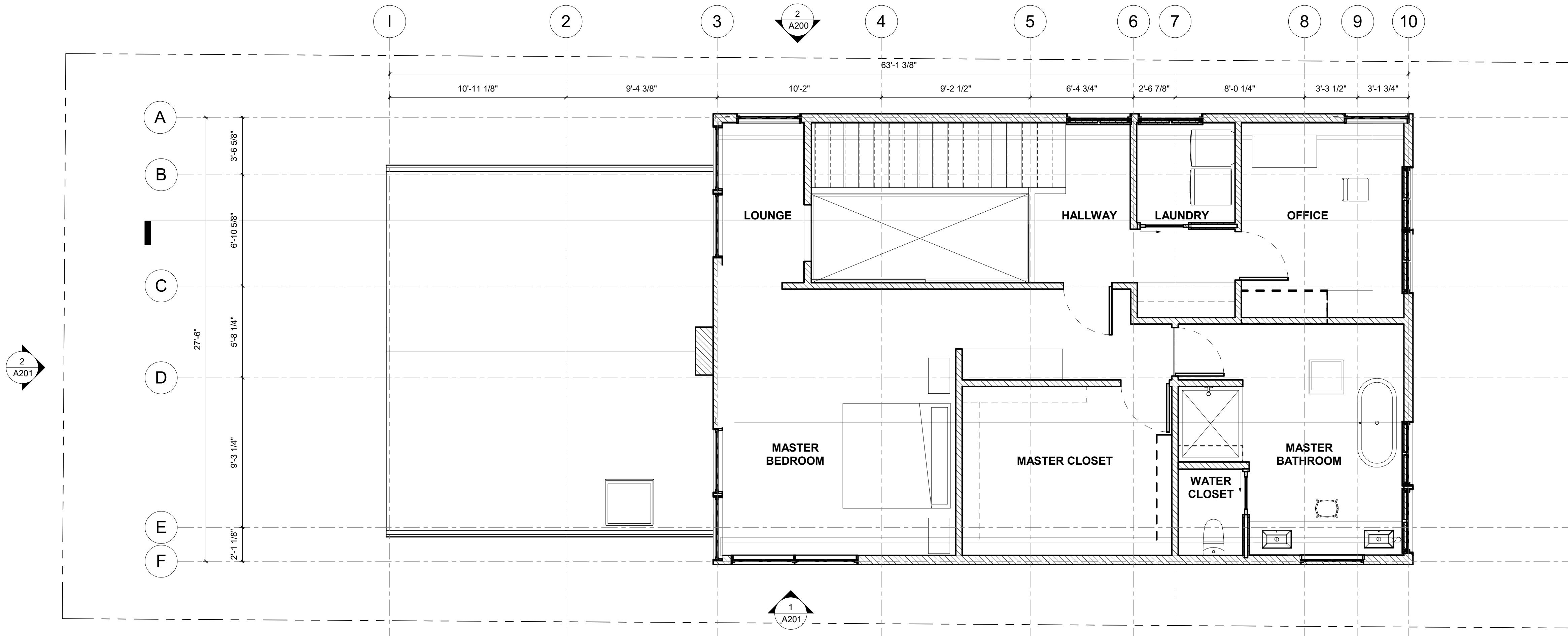
#	KEYNOTE
01	[N] SKYLIGHT ABOVE
02	[N] INTERIOR PLANTER
03	[N] ARCHED SOFFIT
04	[N] ARCHED OPENING AT 42" HIGH
05	[N] 42" PARTIAL HEIGHT WALL
06	[N] 42" PARTIAL HEIGHT WALL AT STAIR
07	[N] SHOWER BENCH
08	[N] EXTERIOR DECK & STAIR
09	LINE OF ROOF ABOVE
10	LINE OF BUILDING BELOW
11	SKYLIGHT BELOW
12	LINE OF ROOF
13	LINE OF RIDGE
14	[N] METAL ROOF
15	4" INTEGRAL GUTTER
16	4" APPLIED SQUARE GUTTER
17	DOWNSPOUT

PARTITION TYPES - SEE A530

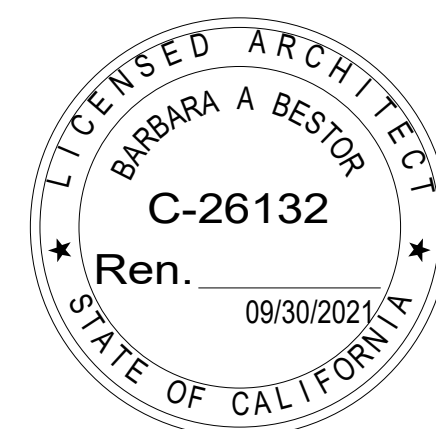
W1	FULL HEIGHT GWB 2-SIDES
W2	FULL HEIGHT. SEE KEYNOTE 01
W2B	FABRIC PANEL, N.I.C. IN ALTERNATES
W3	FULL HEIGHT WOOD PANEL 1-SIDE/GWB OTHER
W4	PARTIAL HEIGHT DIE WALL
W5	FULL HEIGHT PLUMBING
W6	1-HR FIRE RATED
W7	FURRING WALL
E	[E] WALL. PATCH AS NEEDED



FIRST FLOOR PLAN 1/4" = 1'-0" 2



SECOND FLOOR PLAN 1/4" = 1'-0" 1



LEGEND

HATCHES

	NOT IN CONTRACT		PLYWOOD SHEATHING
	MILLWORK		GYPSUM DRYWALL
	BATT INSULATION		POURED IN PLACE CONCRETE
	RIGID INSULATION		WOOD
			SOFTSCAPE

TAGS

	DOOR TAG		FINISH FLOOR ELEV.
	WINDOW TAG		CHANGE IN ELEV.
	EQUIPMENT TAG		SIGNAGE TAG SEE A031 FOR SCHED.
	FIXTURE TAG		MATCHLINE
	FINISH TAG		TRANSITION
	FINISH FLOOR TAG		

PARTITIONS

	NEW PARTITION (WITH TYPE TAG)
	EXISTING TO REMAIN
	TO BE DEMOLISHED

DIMENSIONS

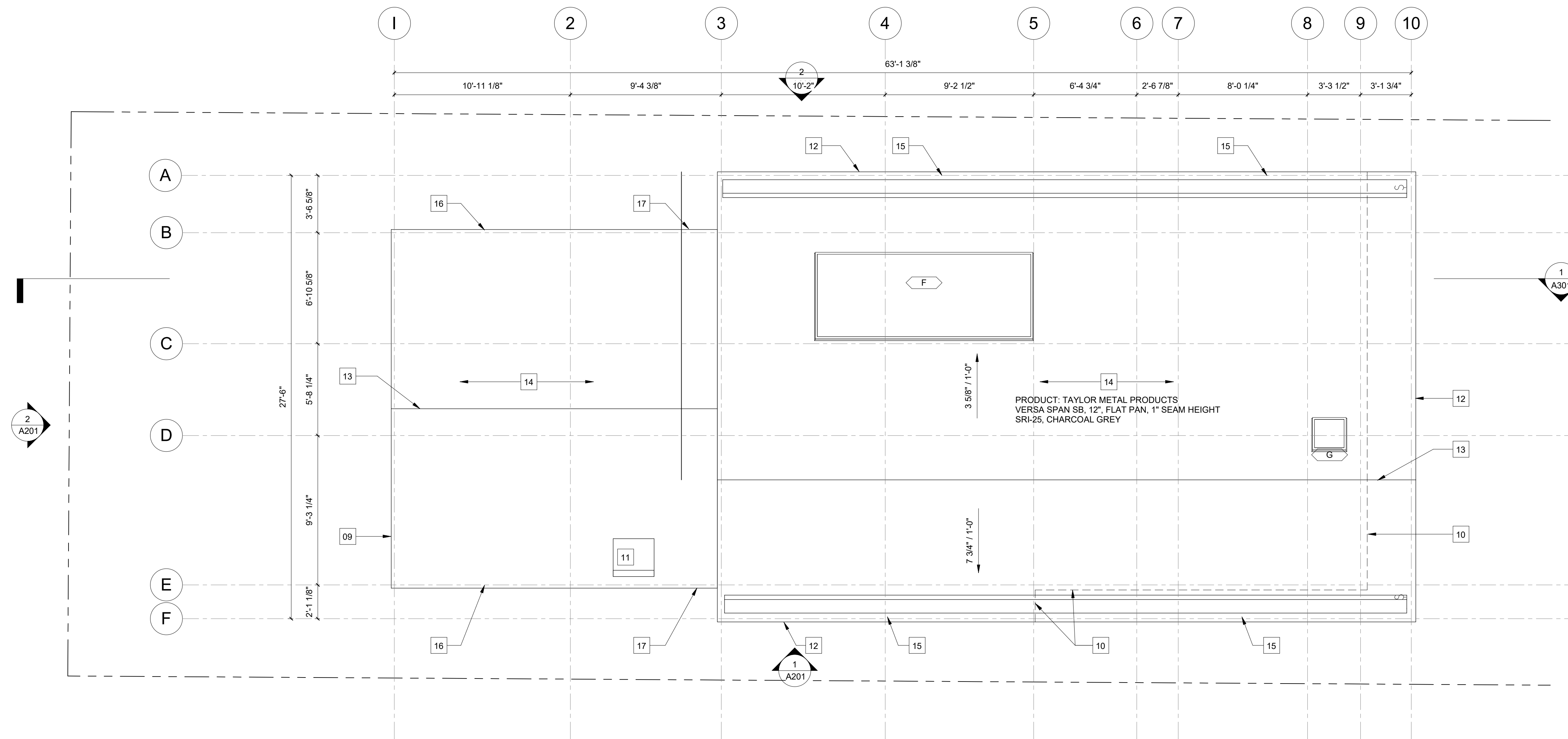
	FACE OF FINISH
	FACE OF FRAMING

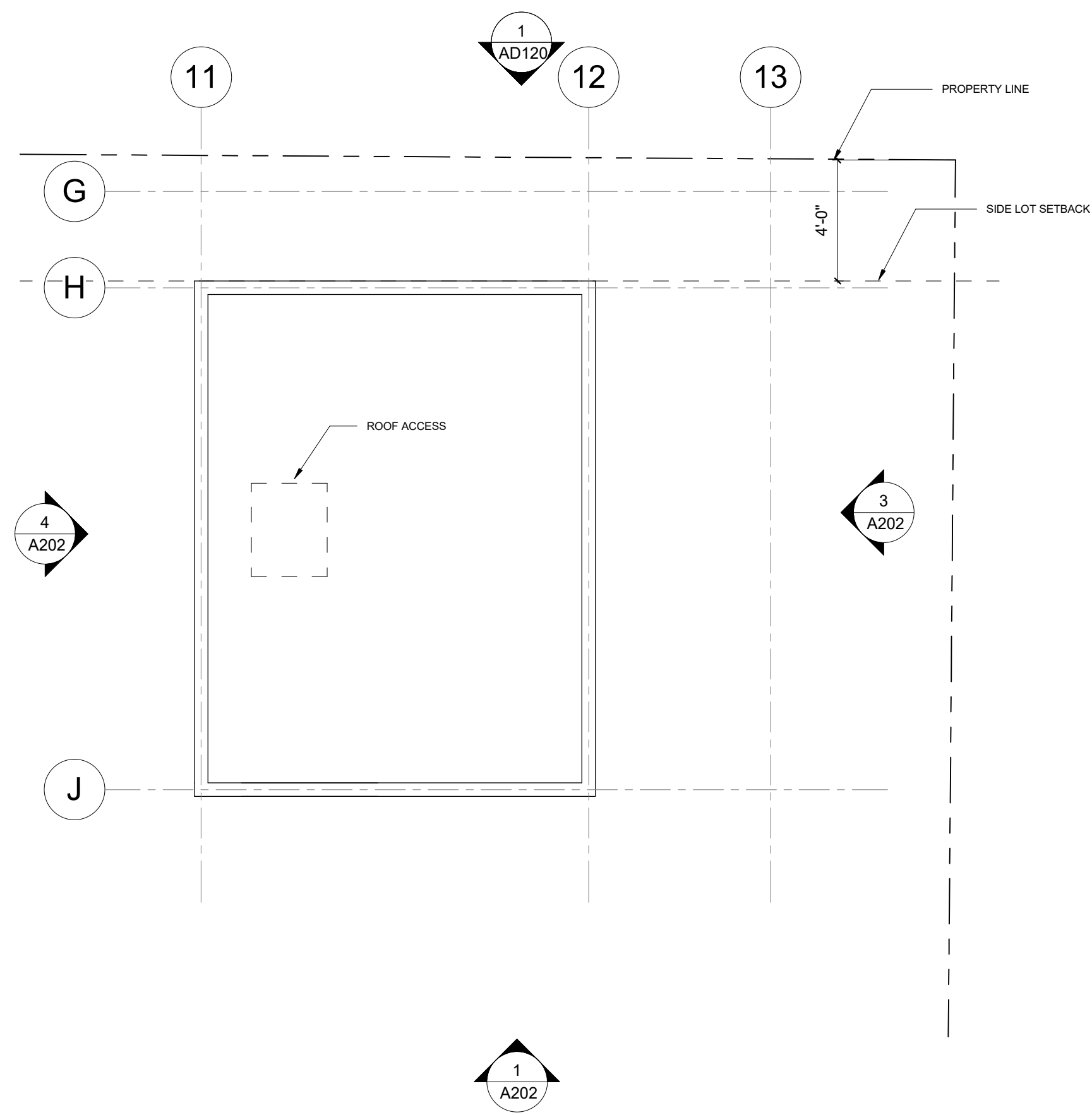
CONSTRUCTION NOTES

- SEE DRAWING SET FOR PARTITION DETAILS
- SEE SCHEDULES FOR ALL DOOR, WINDOW, AND EQUIPMENT DETAILS AND SPECIFICATIONS
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- ALL DIMENSIONS FROM FACE OF FINISH TO FACE OF FINISH

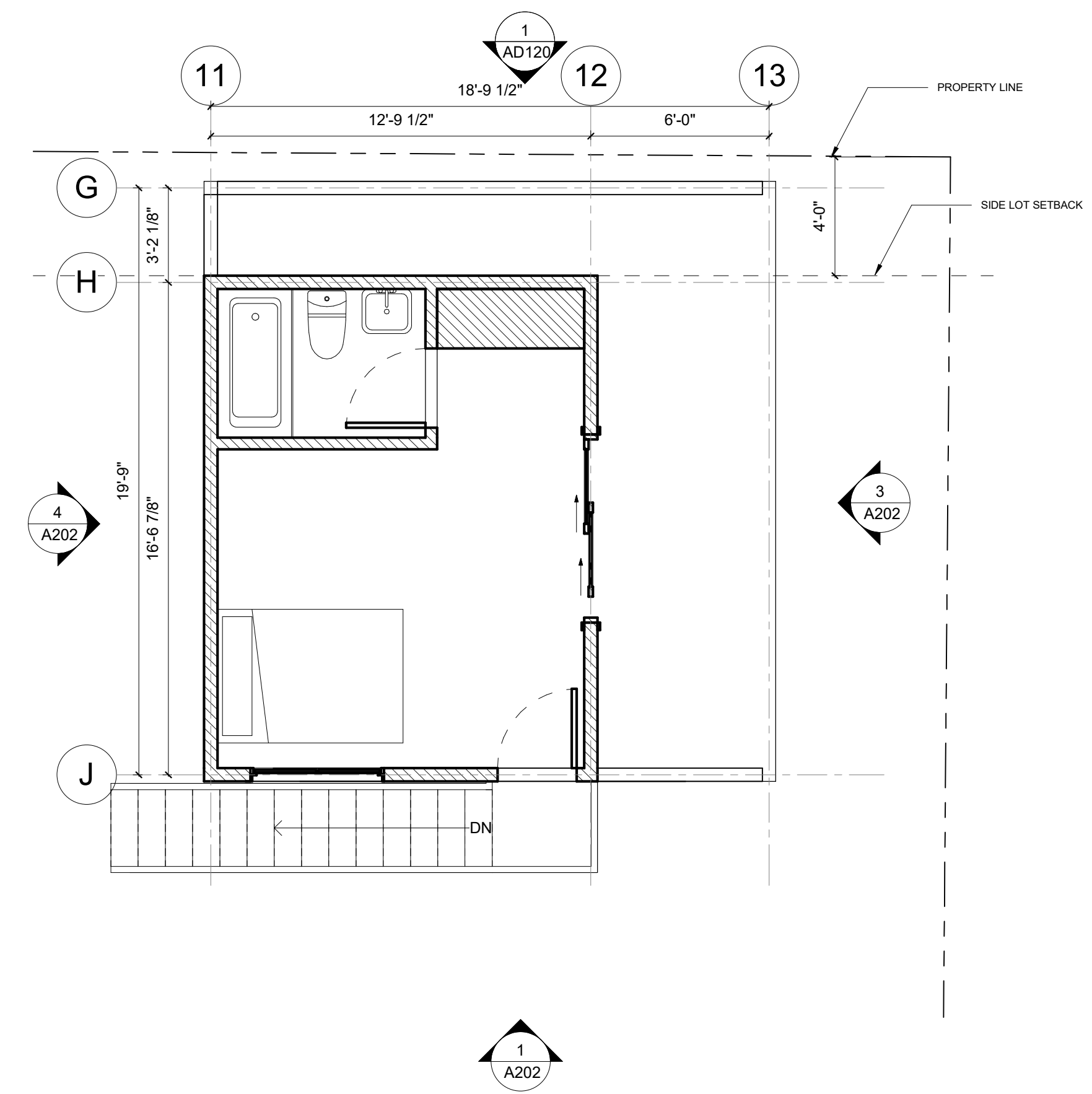
KEYNOTES - FLOOR PLAN

#	KEYNOTE
01	[N] SKYLIGHT ABOVE
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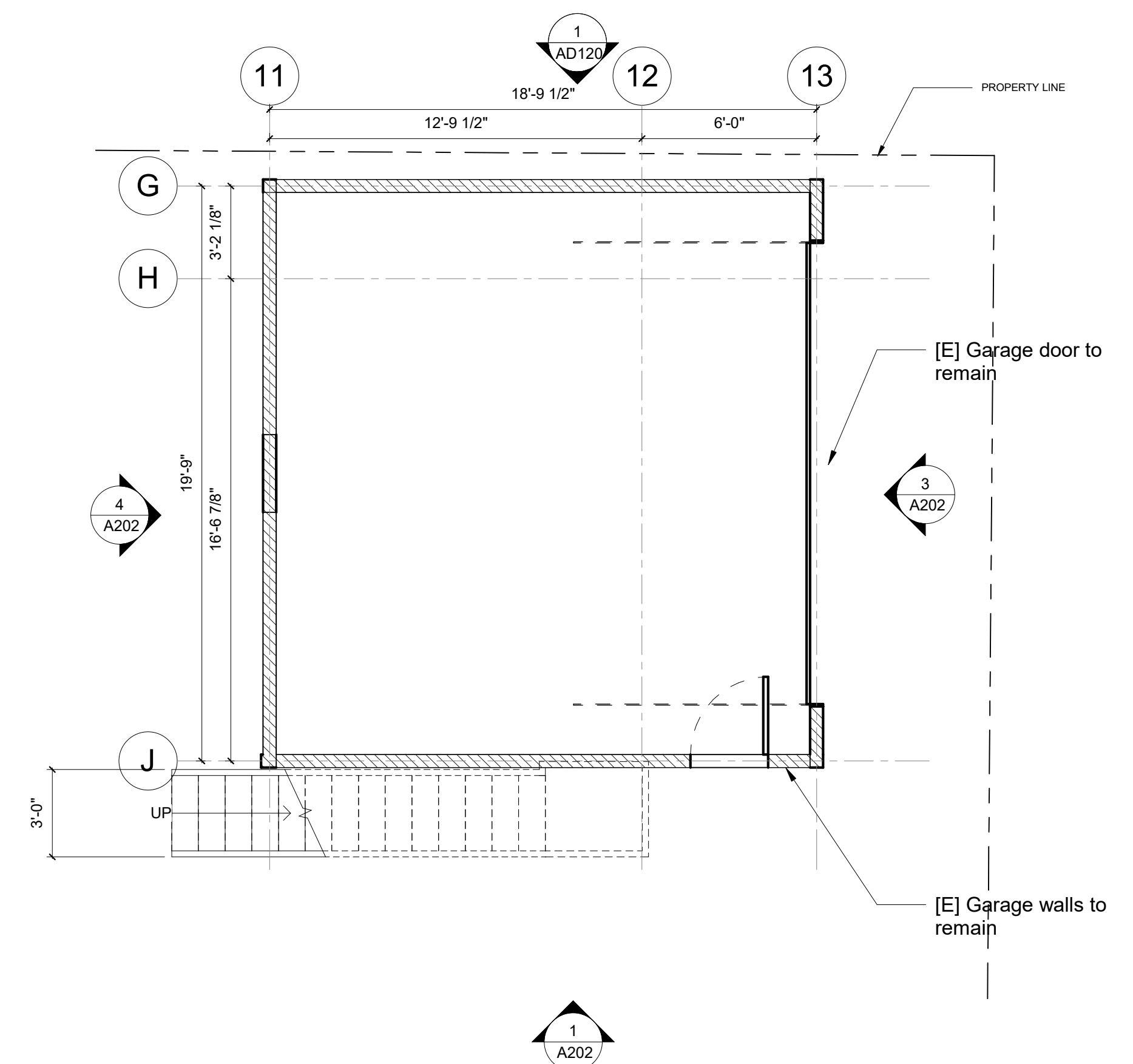




ADU - ROOF PLAN 1/4" = 1'-0" 3



ADU - SECOND FLOOR PLAN 1/4" = 1'-0" 2



ADU - FIRST FLOOR PLAN 1/4" = 1'-0" 1

LEGEND

HATCHES

	NOT IN CONTRACT		PLYWOOD SHEATHING
	MILLWORK		GYPSUM DRYWALL
	BATT INSULATION		POURED IN PLACE CONCRETE
	RIGID INSULATION		WOOD
			SOFTSCAPE

TAGS

	DOOR TAG		FINISH FLOOR ELEV.
	WINDOW TAG		CHANGE IN ELEV.
	EQUIPMENT TAG		MATCHLINE
	SIGNAGE TAG SEE A031 FOR SCHED.		TRANSITION
	FIXTURE TAG		
	FINISH TAG		
	FINISH FLOOR TAG		

PARTITIONS

	NEW PARTITION (WITH TYPE TAG)
	EXISTING TO REMAIN
	TO BE DEMOLISHED

DIMENSIONS

	FACE OF FINISH
	FACE OF FRAMING

- CONSTRUCTION NOTES**
- SEE DRAWING SET FOR PARTITION DETAILS
 - SEE SCHEDULES FOR ALL DOOR, WINDOW, AND EQUIPMENT DETAILS AND SPECIFICATIONS
 - VERIFY ALL DIMENSIONS ON SITE
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 - ALL DIMENSIONS FROM FACE OF FINISH TO FACE OF FINISH

- KEYNOTES - FLOOR PLAN**
- | # | KEYNOTE |
|----|--------------------------------------|
| 01 | [N] SKYLIGHT ABOVE |
| 02 | [N] INTERIOR PLANTER |
| 03 | [N] ARCHED SOFFIT |
| 04 | [N] ARCHED OPENING AT 42" HIGH |
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| 07 | [N] SHOWER BENCH |
| 08 | [N] EXTERIOR DECK & STAIR |
| 09 | LINE OF ROOF BELOW |
| 10 | LINE OF BUILDING BELOW |
| 11 | SKYLIGHT BELOW |
| 12 | LINE OF ROOF |
| 13 | LINE OF RIDGE |
| 14 | [N] METAL ROOF |
| 15 | 4" INTEGRAL GUTTER |
| 16 | 4" APPLIED SQUARE GUTTER |
| 17 | DOWNSPOUT |

PARTITION TYPES - SEE A530

W1	FULL HEIGHT GWB 2-SIDES
W2	FULL HEIGHT. SEE KEYNOTE 01
W2B	FABRIC PANEL, N.I.C. IN ALTERNATES
W3	FULL HEIGHT WOOD PANEL 1-SIDE/GWB OTHER
W4	PARTIAL HEIGHT DIE WALL
W5	FULL HEIGHT PLUMBING
W6	1-HR FIRE RATED
W7	FURRING WALL
E	[E] WALL. PATCH AS NEEDED

PROJECT NAME
NEUBURGER RESIDENCE
846 E. MILLWOOD AVE
VENICE, CA 90291
OWNER

Nikki Neuburger

PROJECT NUMBER

2107

ARCHITECT

BESTOR ARCHITECTURE
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323-666-9399

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GLENDALE, CA 91201
818.500.9533

TITLE 24:
NEWTON ENERGY
1730 E. HOLLY AVE, SUITE 755
EL SEGUNDO, CA 90245
310.375.2699



KEY PLAN

SUBMITTAL RECORD

SCALE

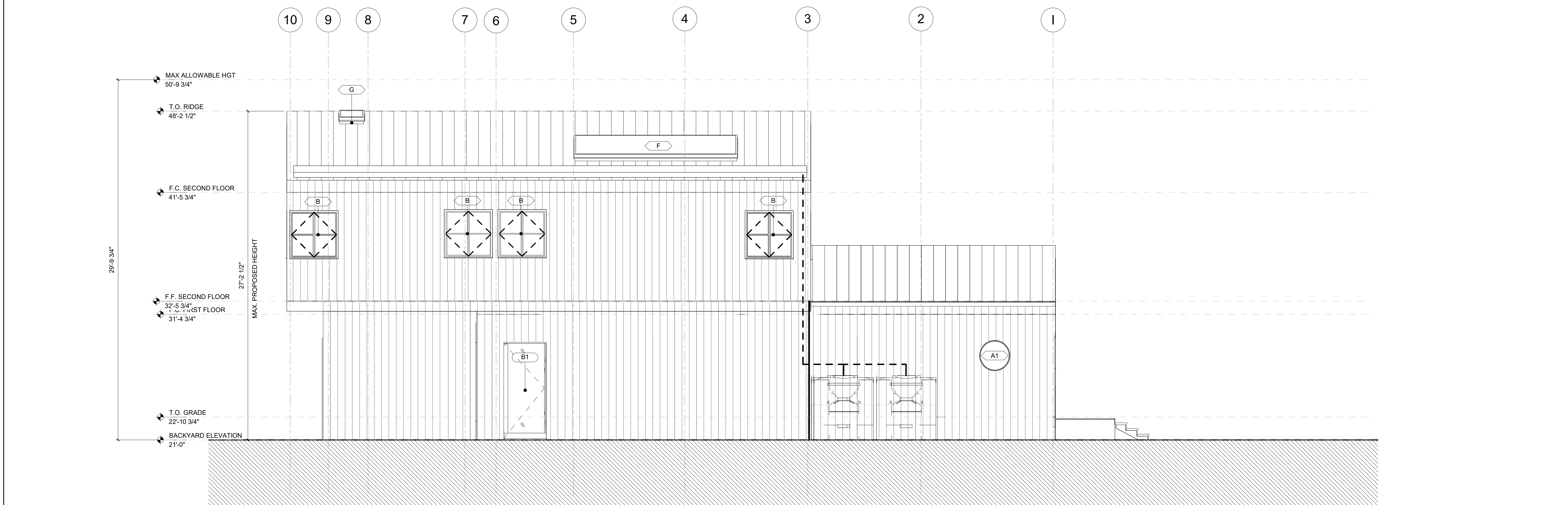
1/4" = 1'-0"

DRAWING TITLE

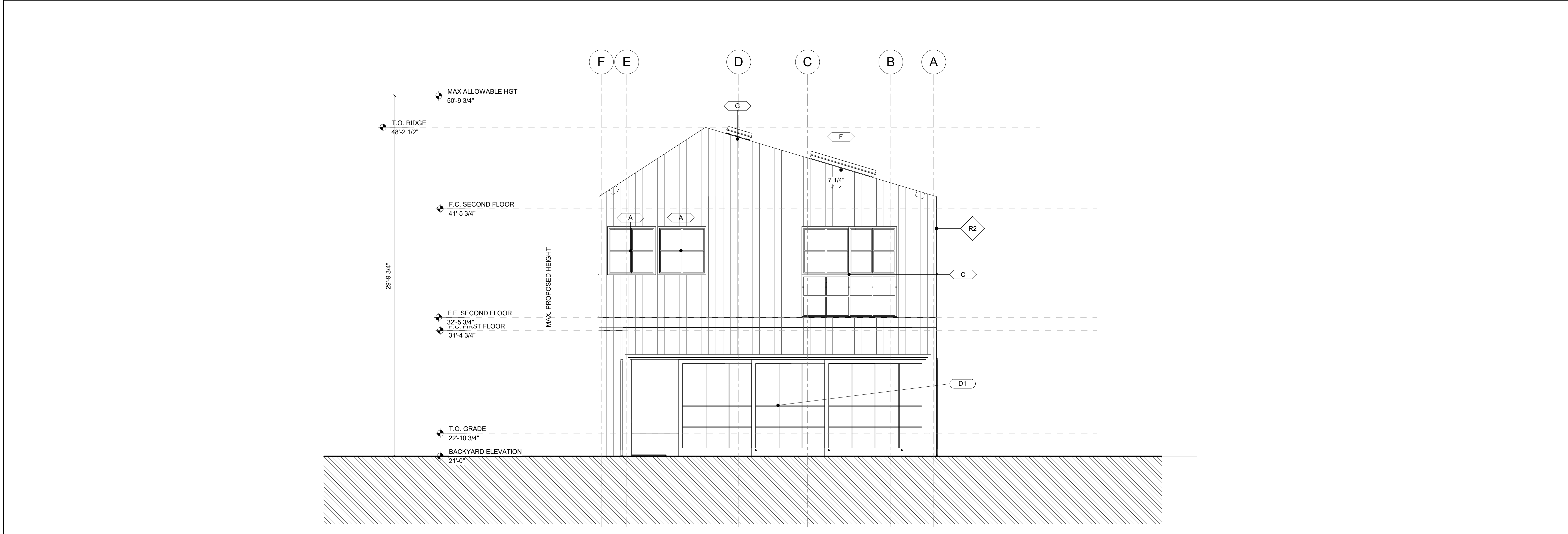
ADU - PLANS

SHEET NUMBER

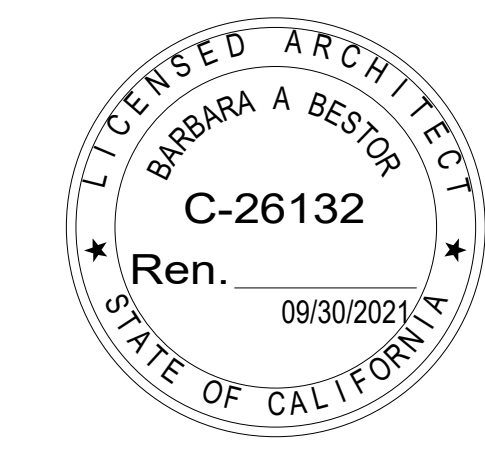
A130



NORTH BUILDING ELEVATION 1/4" = 1'-0" 2



EAST BUILDING ELEVATION 1/4" = 1'-0" 1



KEY PLAN

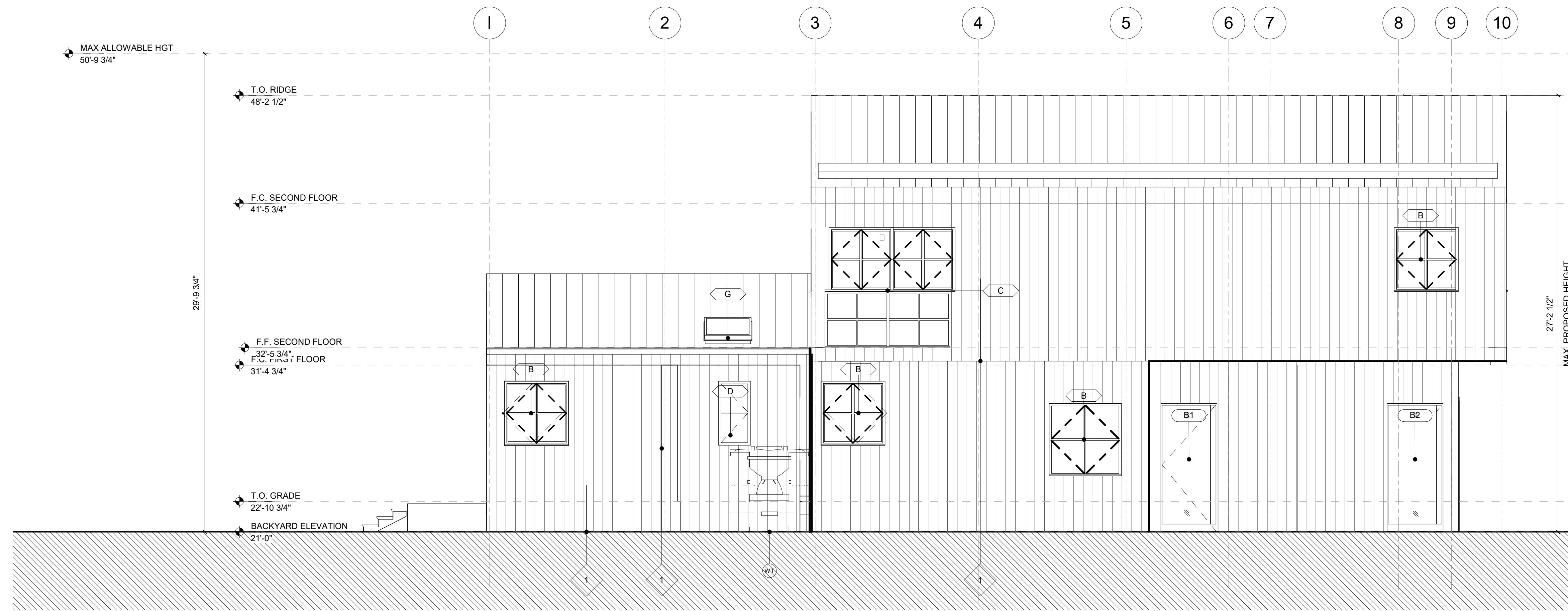
SUBMITTAL RECORD
 1 | 06.01.2021 | PERMIT SET

SCALE
 1/4" = 1'-0"

DRAWING TITLE
 BUILDING ELEVATIONS

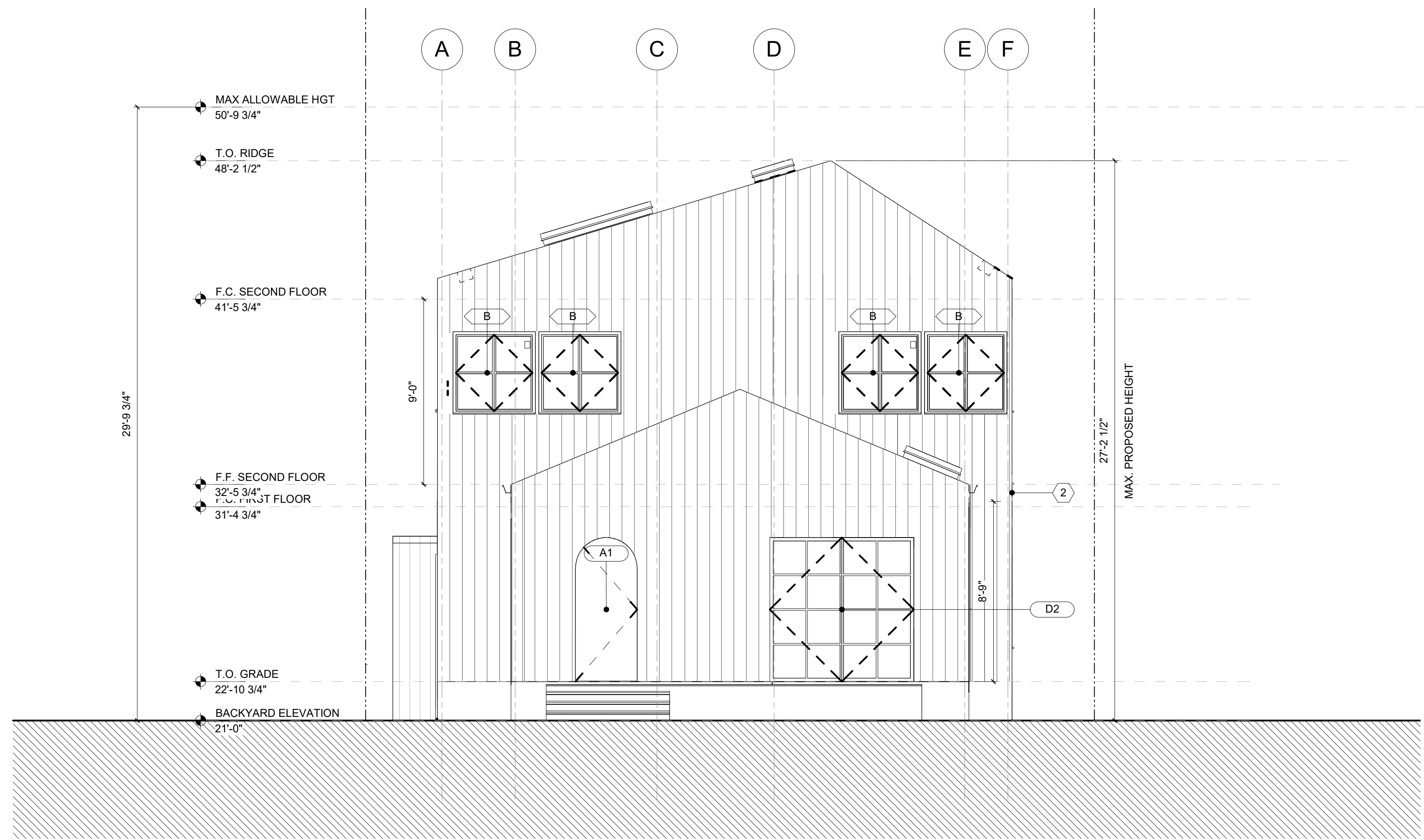
SHEET NUMBER

A200



EXTERIOR FINISH	
1	WHITE PLASTER

SOUTH BUILDING ELEVATION 1/4" = 1'-0" 1



EXTERIOR FINISH...	
2	7-1/4 Shiplap-Nickel Gap Siding

WEST BUILDING ELEVATION 1/4" = 1'-0" 2



KEY PLAN

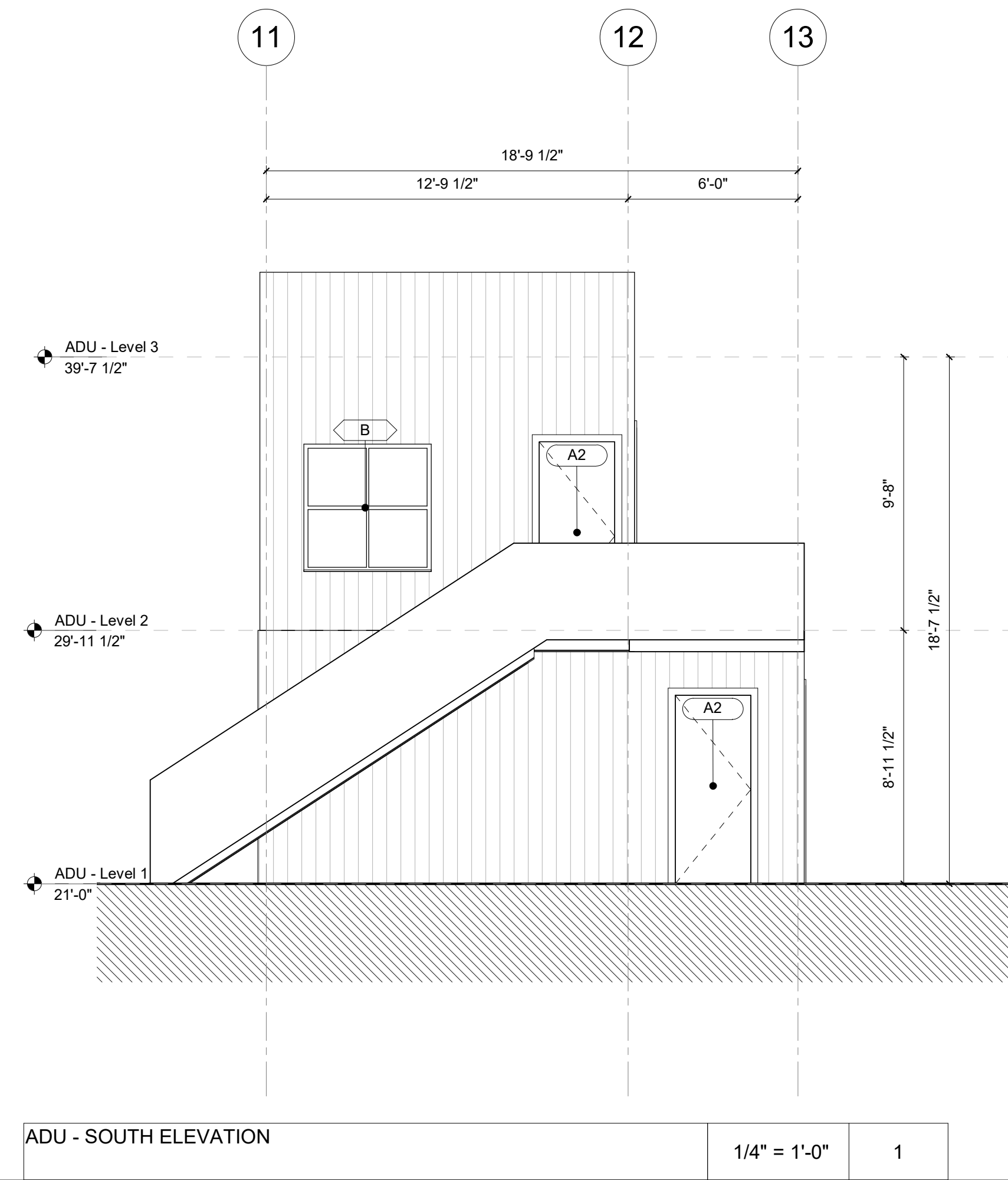
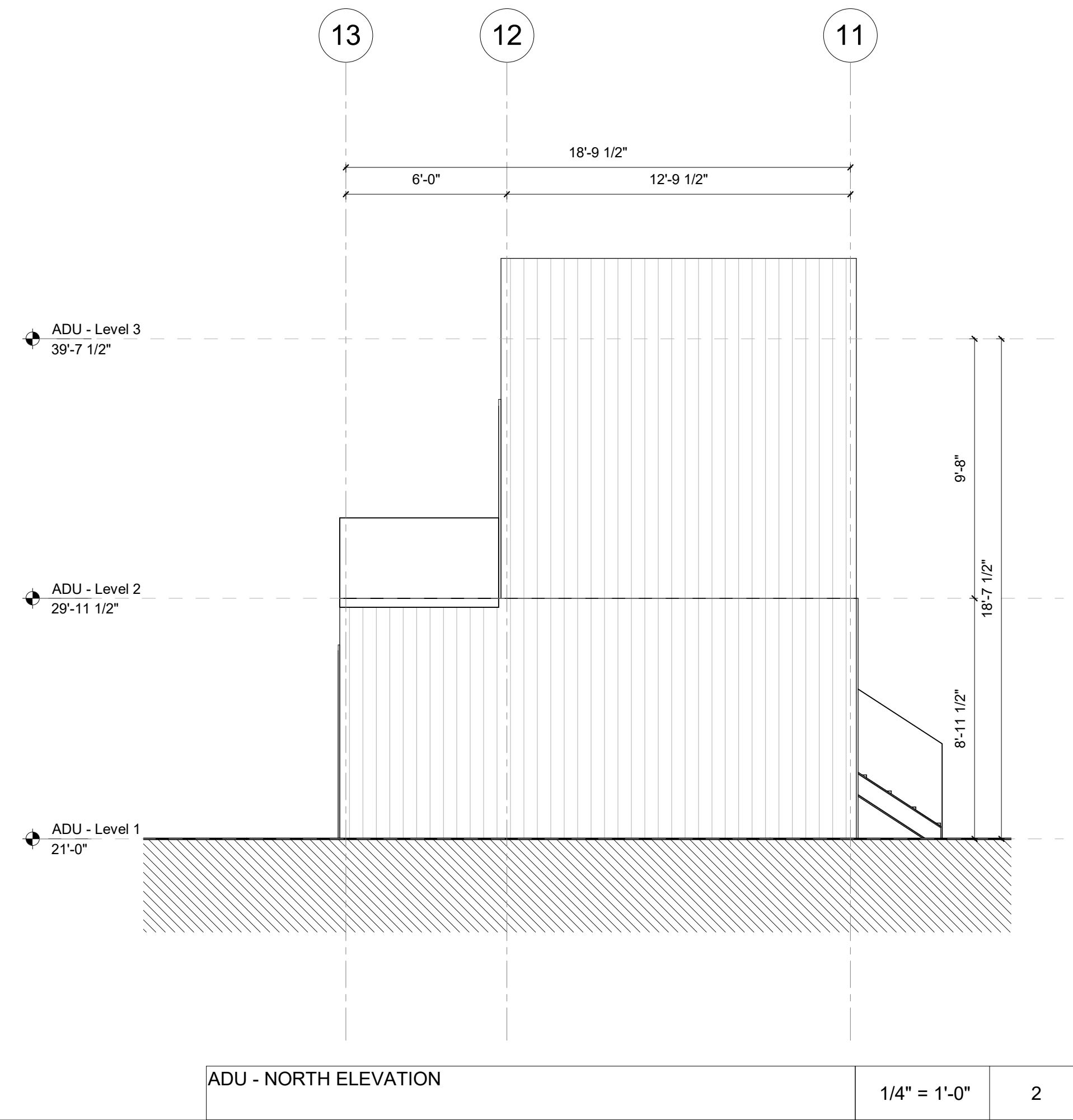
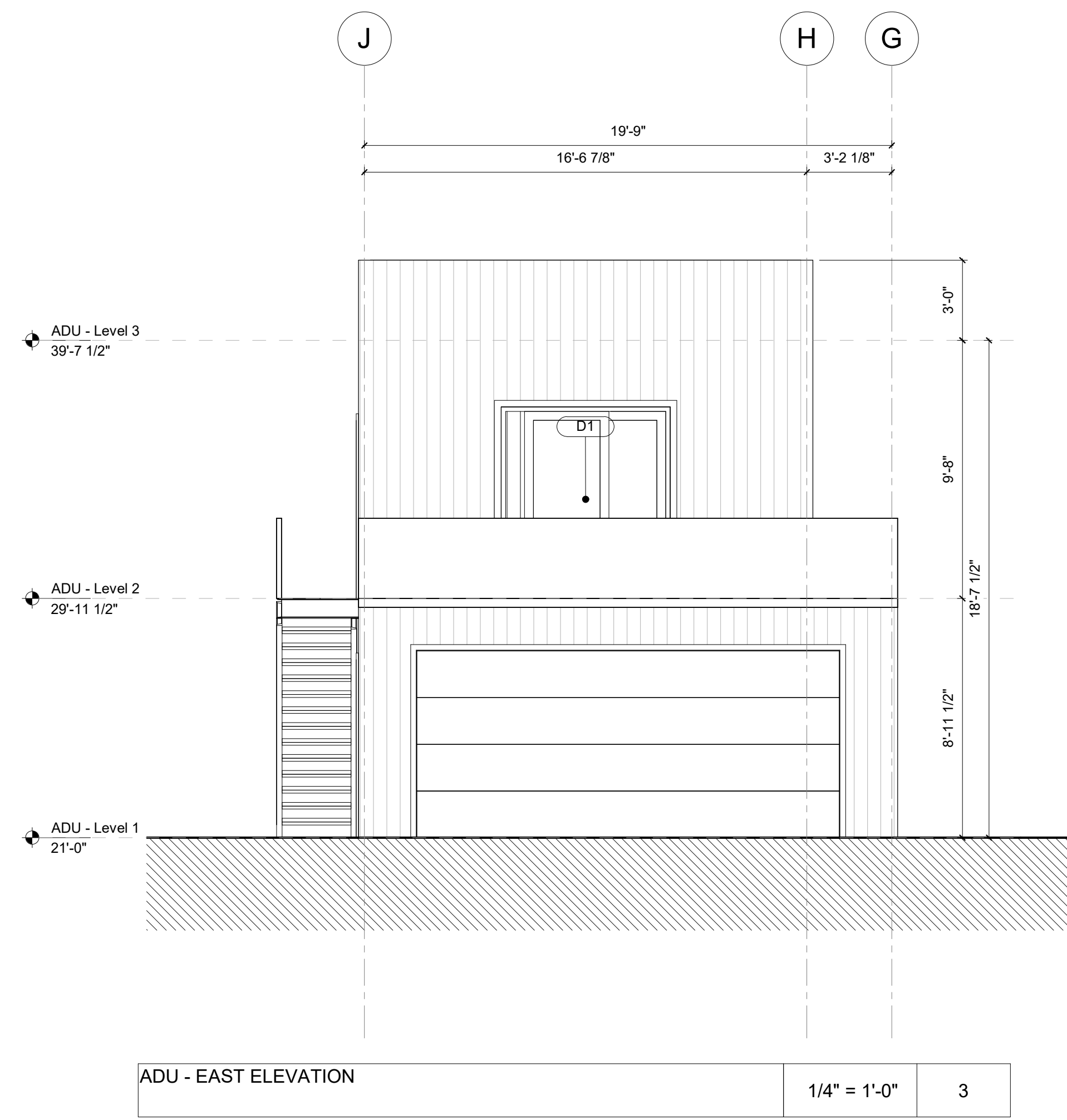
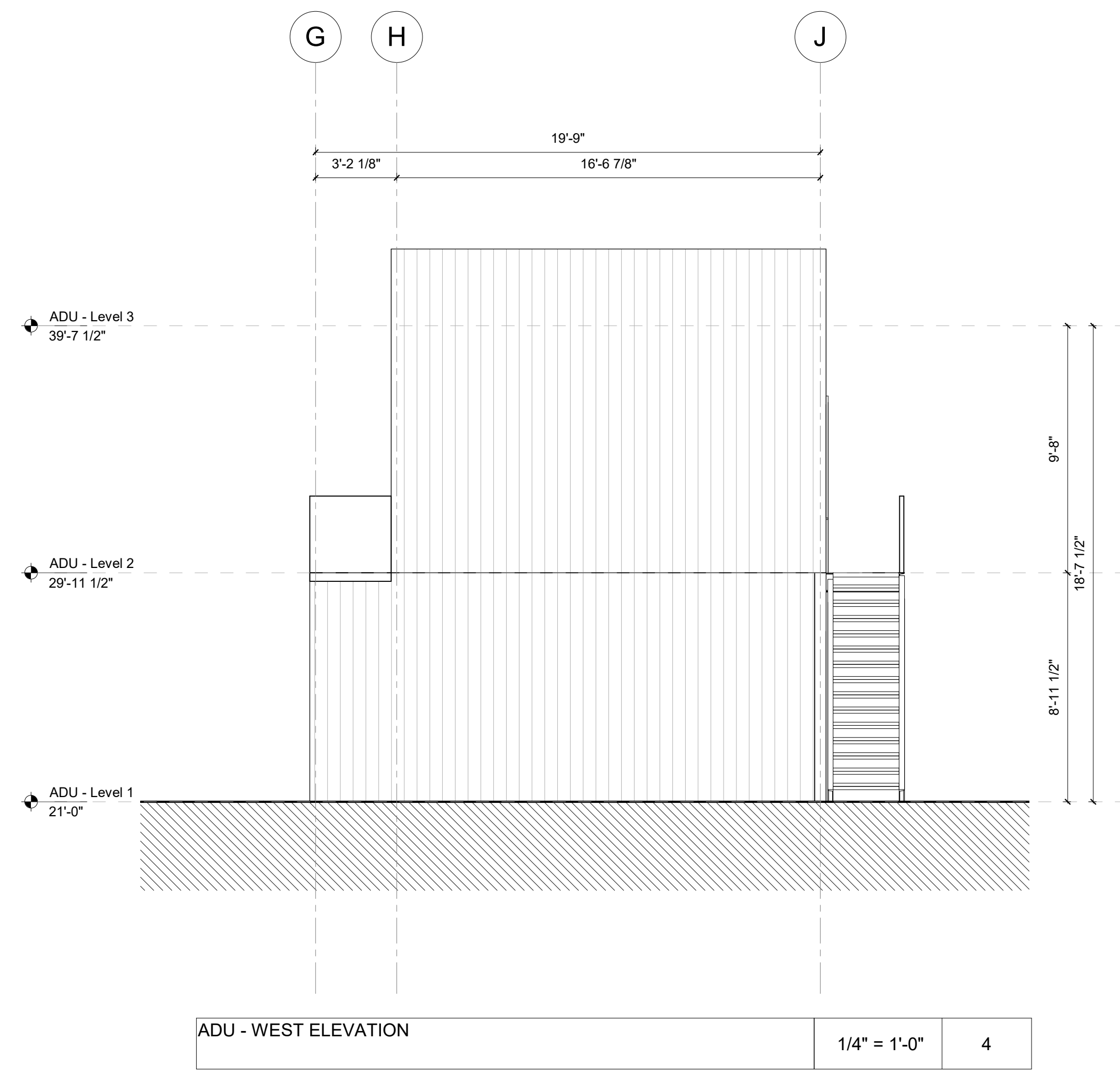
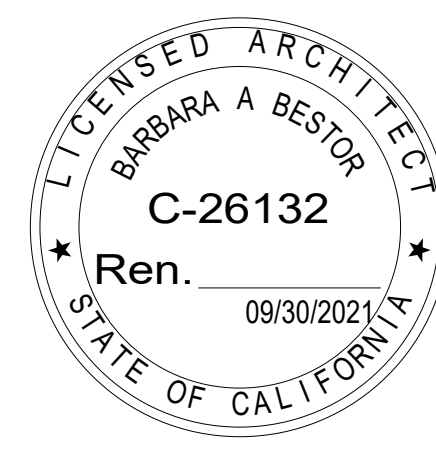
SUBMITTAL RECORD
 1 | 06.01.2021 | PERMIT SET

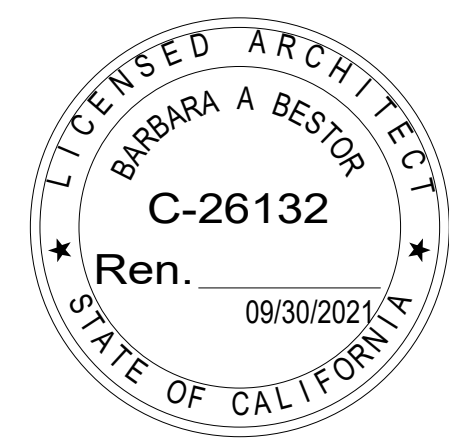
SCALE
 1/4" = 1'-0"

DRAWING TITLE
 BUILDING ELEVATIONS

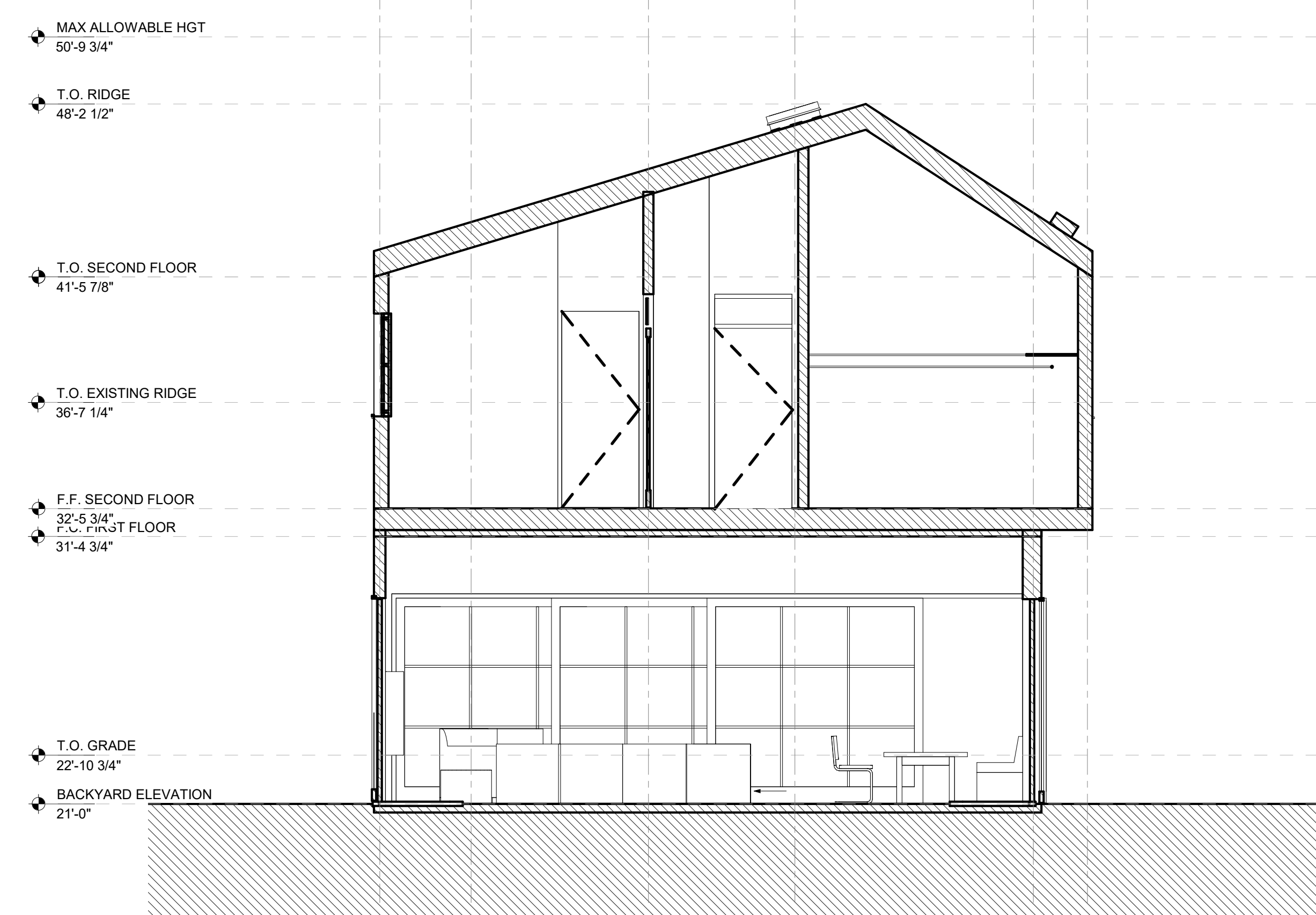
SHEET NUMBER

A201



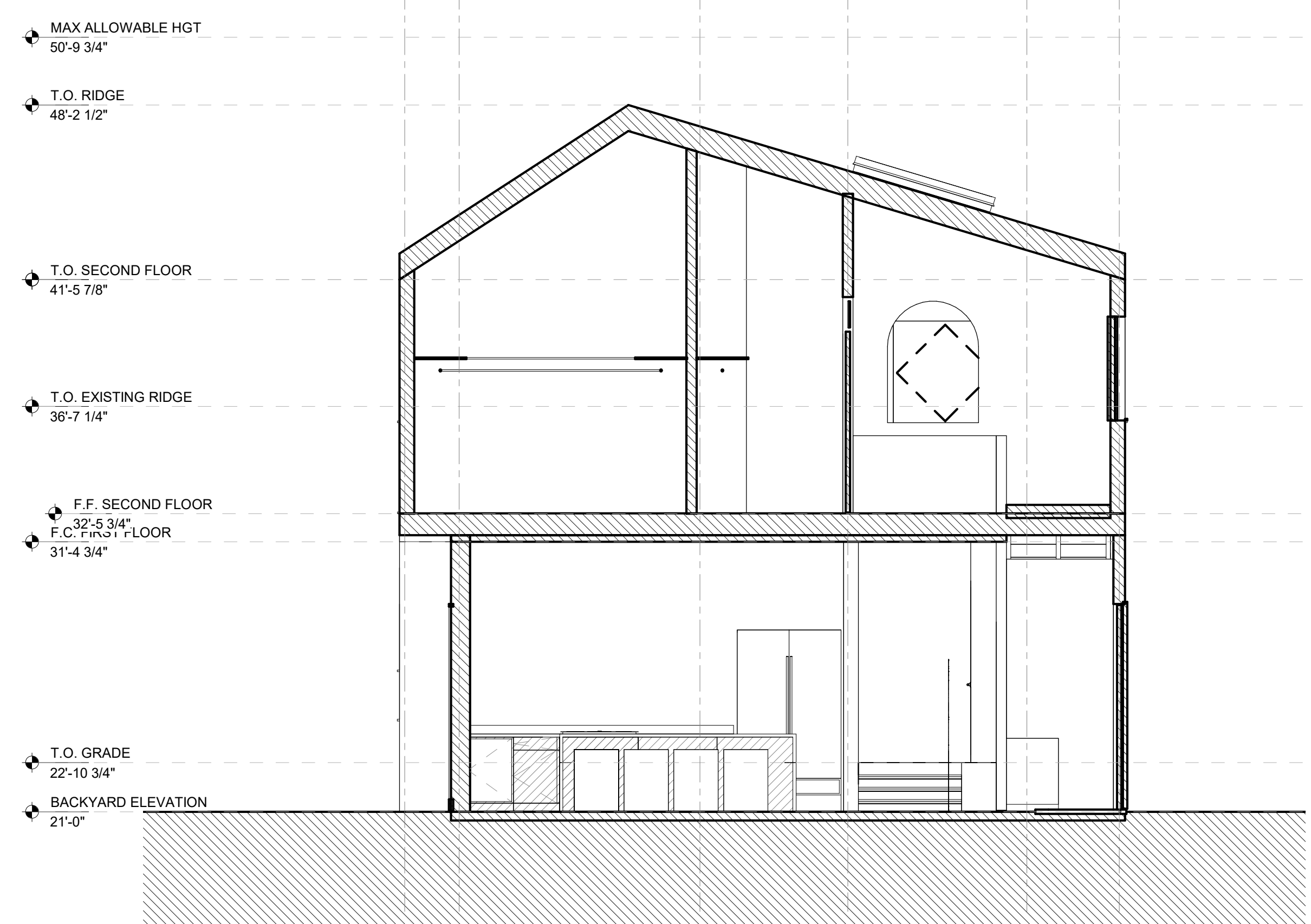


A B C D E F



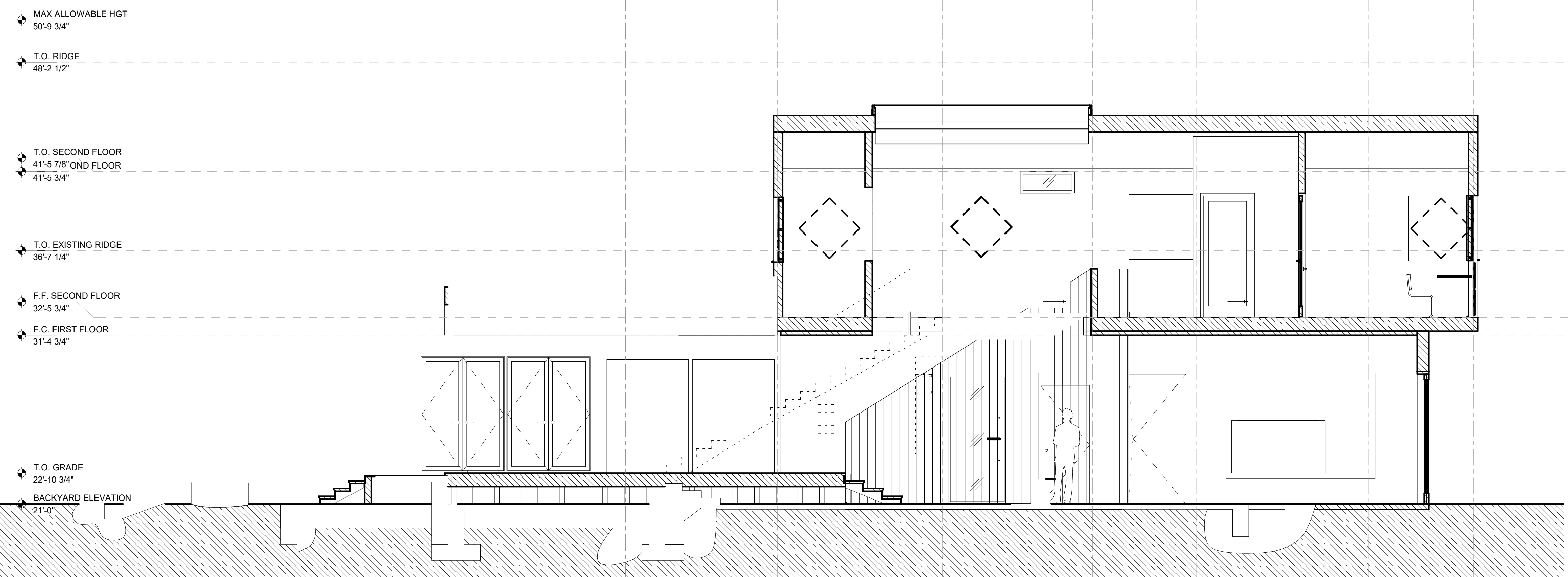
EAST SECTION
 1/4" = 1'-0" 3

F E D C B A



WEST SECTION
 1/4" = 1'-0" 2

1 2 3 4 5 6 7 8 9 10



NORTH SECTION
 1/4" = 1'-0" 1