

# WALKER RESIDENCE

## 2330 S CLOY AVENUE, VENICE, CA 90291

REVISION AND/OR ISSUE DATE

1 10/02/2020  
PLANNING SUBMITTAL



**PROJECT LOCATION:** 2330 S CLOY AVENUE, VENICE, CA 90291

APN: 4228007021  
 ZONING: R1-1  
 BLOCK: NONE  
 LOT: 149  
 TRACT: TR 4424  
 CONSTRUCTION TYPE: TYPE VB  
 OCCUPANCY TYPE: R3/U

**LOT SIZE:** 3,593.9 (SQ. FT) [ACQUIRED FROM ZIMAS]

**BUILDABLE AREA:** 1902.5 SQ. FT. (SEE RFA TABLE BELOW)

**MAXIMUM RFA:** 5,707 SQ.FT. (7.6)

**EXIST. BUILDING SQ.FT.** 1,190 SQ.FT. (PER ASSESSOR)

**PROPOSED RFA:** 0.36 (2,408 SQ.FT)

**SETBACKS**  
**FRONT YARD:** 15'-6" (PREVAILING, SEE CALCULATION ON A0.41)  
**SIDE YARD:** 4'-0"  
**REAR YARD:** 15'-0"

**HEIGHTS:**  
**HEIGHT LIMITS:** 25'-0" (FLAT ROOF) / 30'-0" (SLOPED ROOF/35'-0" (ROOF ACCESS STRUCTURE)  
**BUILDING HEIGHT AT SLOPED ROOF:** 29'-11"  
**BUILDING HEIGHT AT FLAT ROOF:** 23'-10"  
**ROOF ACCESS STRUCTURE:** 34'-4"

**PARKING:**  
**REQUIRED:** 3  
**PROVIDED:** 2 (COVERED), + (1) GUEST SPACE PER V.S.P.

RESIDENTIAL FLOOR AREA PROVIDED			
	AREA (SF)	EXEMPT (SF)	TOTAL (SF)
FIRST FLOOR	1,004		1,004
SECOND FLOOR	1,404		1,404
ROOF DECK	470	470	0
GARAGE	400	400	0
TOTAL ACTUAL RFA			2408

LAMC 12.21.1.A.1 - FOR RA, RE, RS, AND R1 ZONED PROPERTIES IN A COASTAL ZONE NOT LOCATED IN A HILLSIDE AREA, AS DEFINED IN SECTION 12.03 OF THIS CODE, THE TOTAL FLOOR AREA CONTAINED IN ALL THE MAIN BUILDINGS ON A LOT SHALL NOT EXCEED THREE TIMES THE BUILDABLE AREA OF THE LOT.

PROJECT SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES. ALL CONSTRUCTION TO COMPLY WITH THE CALIFORNIA COASTAL COMMISSION, VENICE COASTAL DEVELOPMENT, LOS ANGELES MUNICIPAL CODE, 2019 CALIFORNIA GREEN BUILDING CODE, TITLE 24, CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), AND CALIFORNIA ENERGY CODE (CENC).

**ARCHITECTURAL**

A1.01 TITLE SHEET  
 A1.02 ABBREVIATIONS  
 A1.11 GENERAL NOTES  
 A1.12 GENERAL NOTES  
 A1.31 GREEN BUILDING FORMS SPECIFICATIONS  
 A1.41

A2.01 SITE DEMOLITION PLAN  
 A2.02 PROPOSED SITE PLAN

A3.11 FIRST FLOOR PLAN  
 A3.12 SECOND FLOOR PLAN  
 A3.13 ROOF PLAN & ROOF ACCESS STRUCTURE PLAN  
 A3.14 LOW IMPACT DEVELOPMENT PLAN  
 A3.21 FIRST FLOOR DIMENSION PLAN  
 A3.22 SECOND FLOOR DIMENSION PLAN  
 A3.23 ROOF DECK DIMENSION PLAN

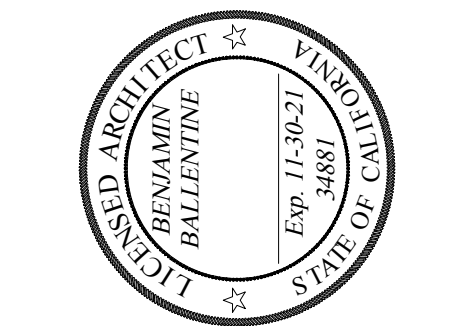
A5.01 EXTERIOR ELEVATIONS  
 A5.02 EXTERIOR ELEVATIONS  
 A5.03 RENDERS

A6.01 BUILDING SECTION  
 A6.02 BUILDING SECTION

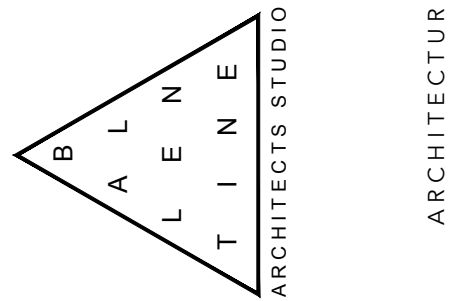
A9.01 DOOR SCHEDULE  
 A9.02 WINDOW SCHEDULE

A10.01 INTERIOR ELEVATIONS  
 A10.02 INTERIOR ELEVATIONS  
 A10.03 INTERIOR ELEVATIONS  
 A10.04 INTERIOR ELEVATIONS

NOTES



ARCHITECT:  
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PROJECT DATA 7

SHEET INDEX 4

DEMOLITION OF (E) SINGLE FAMILY RESIDENCE (1,190 S.F.) AND CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE (2,408 S.F.) WITH ATTACHED GARAGE (414 S.F.)

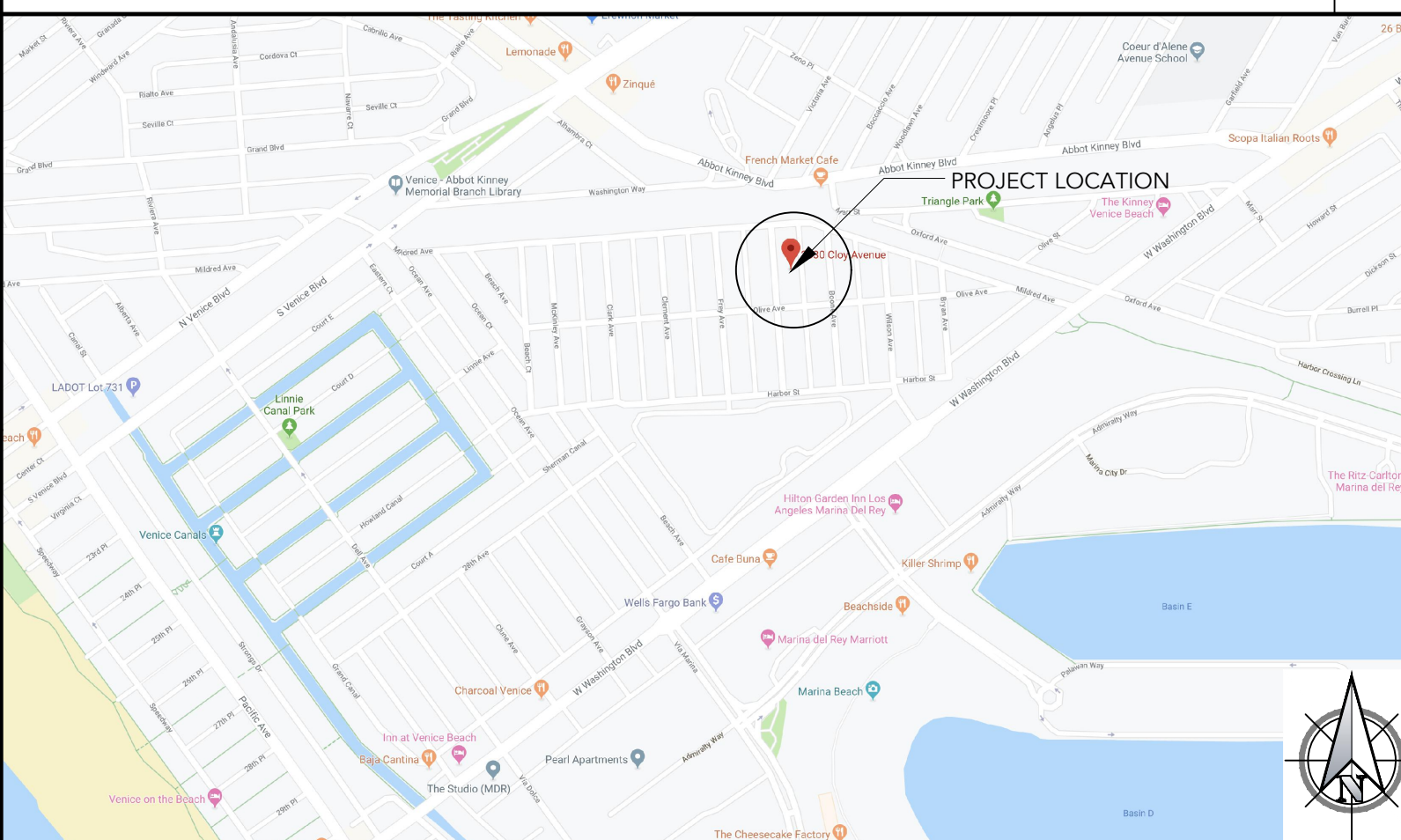
FRONT RENDERING 9

DEFERRED SUBMITTALS 6

SCOPE OF WORK 2

<p><b>DETAIL</b></p> <p>DETAIL NO. SHEET NO.</p>	<p><b>AREA DETAIL</b></p> <p>DETAIL NO. SHEET NO.</p>	<p><b>DOOR AND WINDOW CALLOUTS</b></p> <p>WXXX WINDOW SYMBOL              DXXX DOOR SYMBOL</p>	<p><b>SECTION</b></p> <p>SECTION NO. SHEET NO.</p>	<p><b>WORK POINT CONTROL POINT OR DATUM POINT</b></p>
<p><b>INTERIOR ELEVATION</b></p> <p>GRID SPACE NO. ELEVATION NO. SHEET NO.</p>	<p><b>EXT. ELEVATION</b></p> <p>ELEVATION NO. SHEET NO.</p>	<p><b>CONSTRUCTION TYPE SYMBOL</b></p> <p>DETAIL NO. SHEET NO.</p>	<p><b>WALL SECTION</b></p> <p>SECTION NO. SHEET NO.</p>	<p><b>NORTH ARROW</b></p>

SYMBOLS 8



VICINITY MAP 5

**OWNER**  
 DAVID & DEBRA WALKER  
 2330 S CLOY AVENUE  
 VENICE, CA 90291  
 T: +1 818-312-4655

**ARCHITECT**  
 BALLENTINE ARCHITECTS STUDIO  
 PRINCIPAL-IN-CHARGE:  
 BENJAMIN BALLENTINE, AIA  
 315 WASHINGTON BLVD, SUITE 4  
 VENICE, CA 90292  
 T: +1 424-835-4338

**STRUCTURAL**  
 T: -  
 LIC: -

**CONTRACTOR**  
 T: -  
 LIC: -

**MECHANICAL**  
 BTU ENGINEERING  
 ENGINEER IN CHARGE: SETHIL ARUNACHALAM  
 T: 310-684-3503  
 LIC: -

**ELECTRICAL**  
 ATHANS ENTERPRISES, INC.  
 ENGINEER-IN-CHARGE: GEORGE ATHANS  
 T: 818-708-0077  
 LIC: -

**ELECTRICAL**  
 CIRCA LIGHTING  
 T: -  
 LIC: -

DRAWING SCALE

N.T.S.

SHEET NAME

COVER SHEET

DRAWING DATA

PROJECT NO.: 19-2330

ISSUE DATE: 10/22/2021

CHECKED: BSB

DRAWN BY: BSB, JC, AK

SHEET NUMBER

# A1.01

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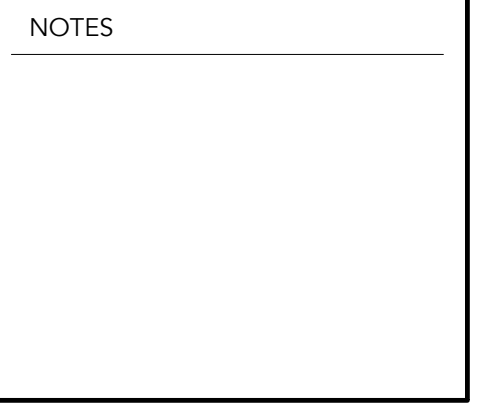
- 1 (N) STONE PAVERS
- 2 PHOTOVOLTAIC INVERTER CONTROLS
- 3 (N) IRRIGATION CONTROL (WEATHER BASED), SEE #/A1.0# FOR SPECS
- 4 (N) 42" H. BLACK POWDER COATED STEEL VERTICAL SLAT FENCE
- 5 (N) BLACK POWDER COATED STEEL ENTRY GATE
- 6 (N) BOARD FORMED CONCRETE PROPERTY WALL @ 42" H. MAX ABOVE ADJACENT GRADE WITHIN F.Y.S.B.
- 7 (N) 6' H. WOODEN TRASH ENCLOSURE
- 8 (N) ELECTRICAL SUB PANEL LOCATION
- 9 (N) GAS METER LOCATION
- 10 (N) EXTERIOR WOODEN DECK
- 11 SMOOTH PAVING @ 2%
- 12 LINE OF FLOOR ABOVE
- 13 BLACKENED STEEL FINISH LID PLANTER BOX @ 36" H ABOVE ADJACENT GRADE
- 14 (N) 6'-0" H. MAX CMU PROPERTY WALL ABOVE ADJACENT GRADE
- 15 (N) 6'-0" H. SELF-CLOSING VEHICLE ACCESS GATE
- 16 (N) 36" H. LID PLANTER BOX
- 17 (N) TREE. SPEC TBD
- 18 (N) 6' H. HEDGES
- 19 (N) TANKLESS WATER HEATER PER "M.E.P." DRAWINGS

- (N) TURF AREA
- (N) GRAVEL INFILL
- (N) 1X6 WOODEN PLANK AREA
- (N) CONCRETE WALKWAY
- PROPERTY LINE
- SETBACK LINE

PROPOSED SITE PLAN KEYNOTES

PROPOSED SITE PLAN LEGEND

REVISION AND/OR ISSUE DATE
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PROJECT TITLE AND ADDRESS:  
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 VENICE, CA  
 90291

DRAWING SCALE  
 1/4" = 1'-0"

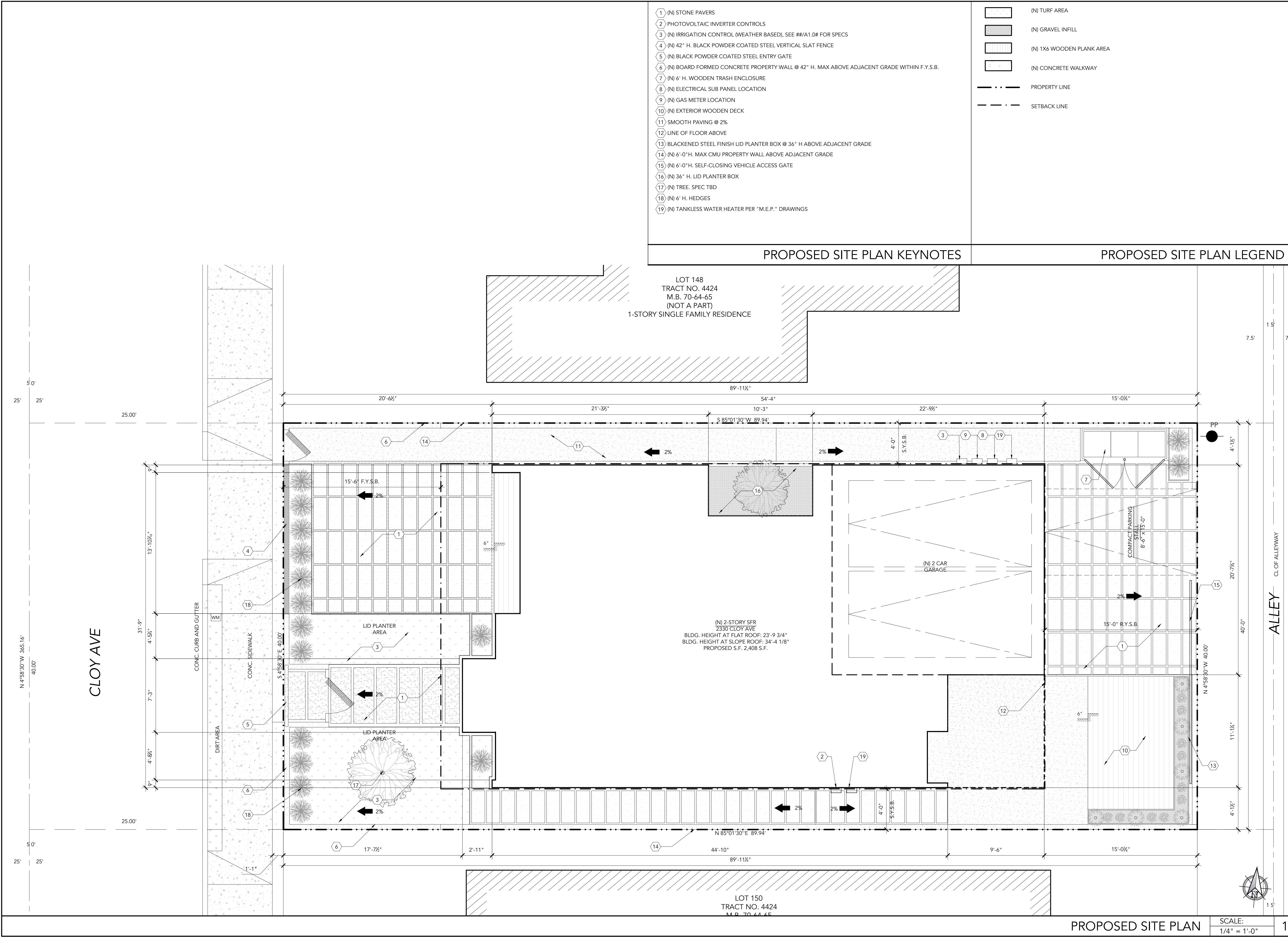
SHEET NAME  
 PROPOSED SITE PLAN

DRAWING DATA

PROJECT NO.: 19-2330  
 ISSUE DATE: 10/22/2021  
 CHECKED: BSB  
 DRAWN BY: BSB, JC, AK

SHEET NUMBER

A2.02



PROPOSED SITE PLAN

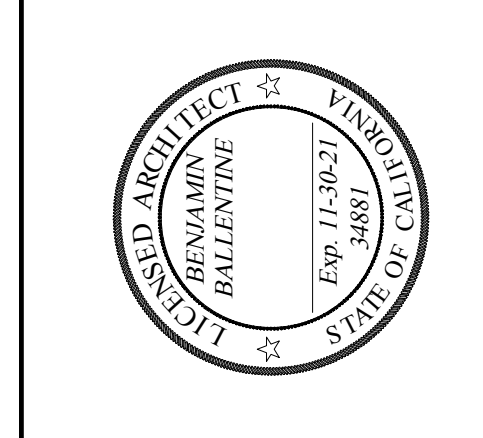
SCALE:  
 1/4" = 1'-0"

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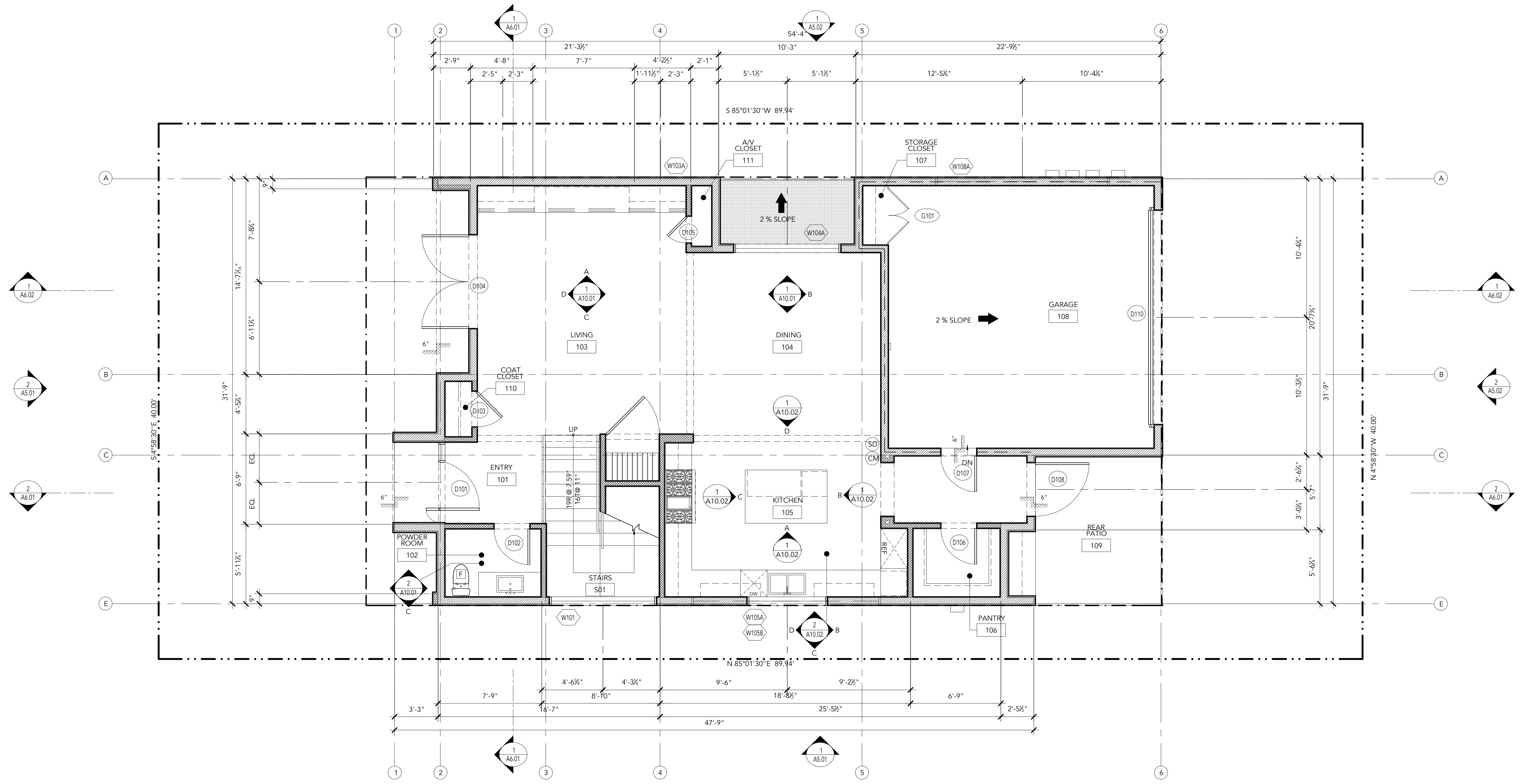
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 2330 CLOY AVENUE  
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DRAWING SCALE	
1/4" = 1'-0"	
SHEET NAME	
FIRST FLOOR DIMENSION PLAN	
DRAWING DATA	
PROJECT NO.:	19-2330
ISSUE DATE:	10/22/2021
CHECKED BY:	BSB
DRAWN BY:	BSB, JC, AK
SHEET NUMBER	
1	

**A3.21**

### FLOOR PLAN LEGEND

- (N) 2X6 WALL
- (N) 2X4 WALL
- (N) 1 HR WALL
- PROPERTY LINE
- SETBACK LINE
- (DXXX) DOOR
- (WXXX) WINDOW
- (SD) CEILING MOUNTED SMOKE DETECTOR - HARD WIRED W/ BATTERY BACK-UP
- (CM) CEILING MOUNTED CARBON MONOXIDE DETECTOR
- (F) CEILING MOUNTED EXHAUST FAN.

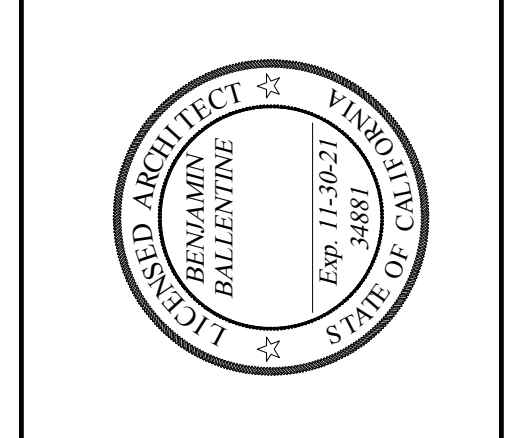


FIRST FLOOR DIMENSION PLAN SCALE: 1/4" = 1'-0" 1

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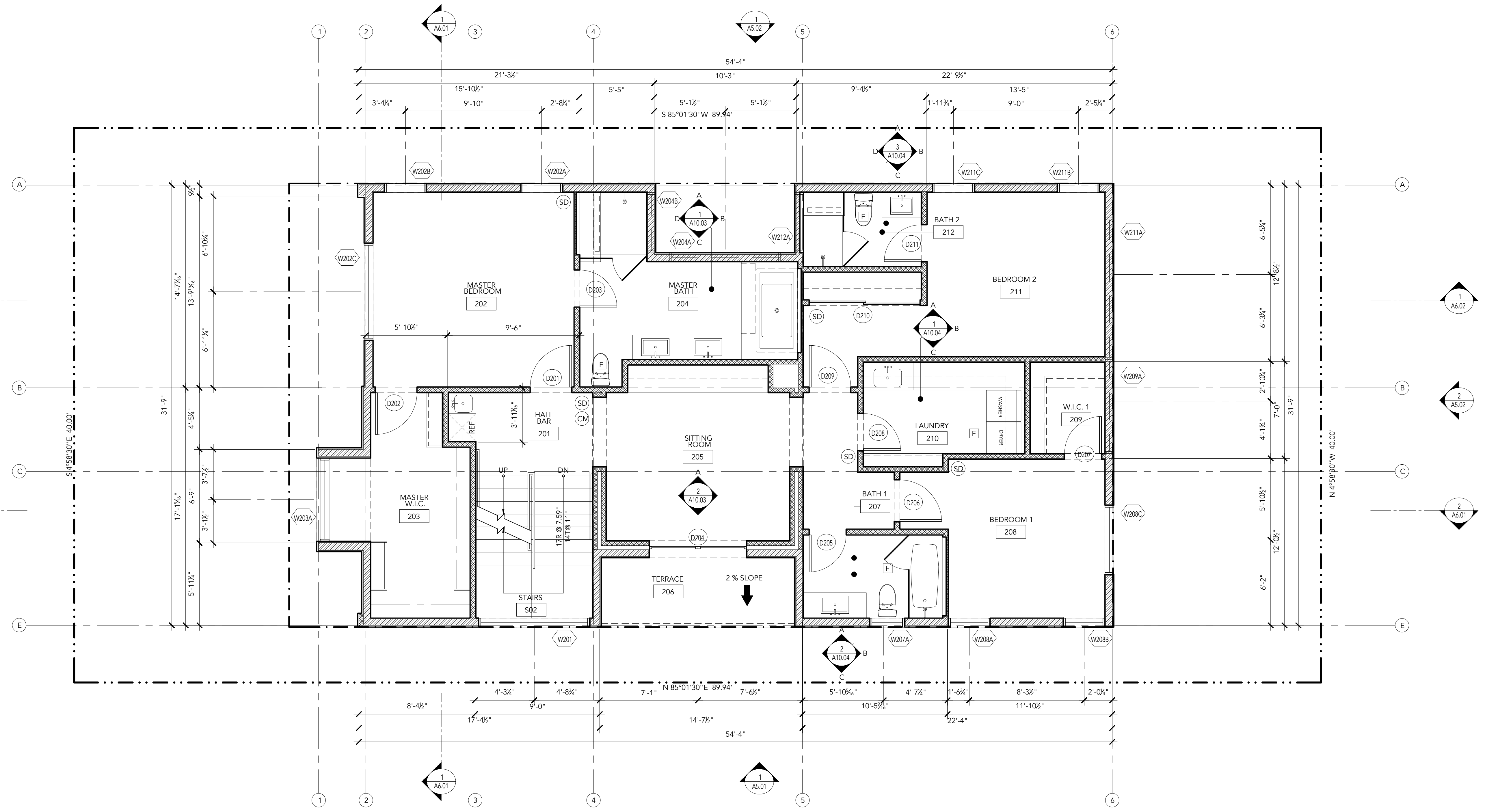
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 90291

DRAWING SCALE	
1/4" = 1'-0"	
SHEET NAME	
<b>SECOND FLOOR DIMENSION PLAN</b>	
DRAWING DATA	
PROJECT NO.:	19-2330
ISSUE DATE:	10/22/2021
CHECKED:	BSB
DRAWN BY:	BSB, JC, AK
SHEET NUMBER	

**A3.22**

### FLOOR PLAN LEGEND

- (N) 2X6 WALL
- (N) 2X4 WALL
- (N) 1 HR WALL
- PROPERTY LINE
- - - SETBACK LINE
- (DXXX) DOOR
- (WXXX) WINDOW
- (SD) CEILING MOUNTED SMOKE DETECTOR - HARD WIRED W/ BATTERY BACK-UP
- (CM) CEILING MOUNTED CARBON MONOXIDE DETECTOR
- (F) CEILING MOUNTED EXHAUST FAN.



**SECOND FLOOR DIMENSION PLAN**

SCALE:  
1/4" = 1'-0"

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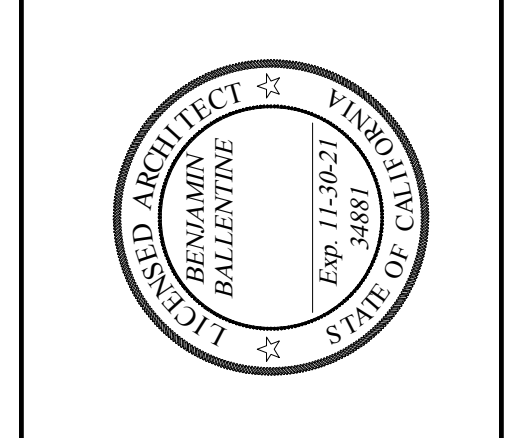


**FLOOR PLAN LEGEND**

- (N) 2x6 WALL
- (N) 2x4 WALL
- (N) 1 HR WALL
- PROPERTY LINE
- SETBACK LINE
- (DXXX) DOOR
- (WXXX) WINDOW
- (SD) CEILING MOUNTED SMOKE DETECTOR - HARD WIRED W/ BATTERY BACK-UP
- (CM) CEILING MOUNTED CARBON MONOXIDE DETECTOR
- (F) CEILING MOUNTED EXHAUST FAN.

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**2330 CLOY AVENUE**  
**VENICE, CA**  
**90291**

DRAWING SCALE  
 1/4" = 1'-0"

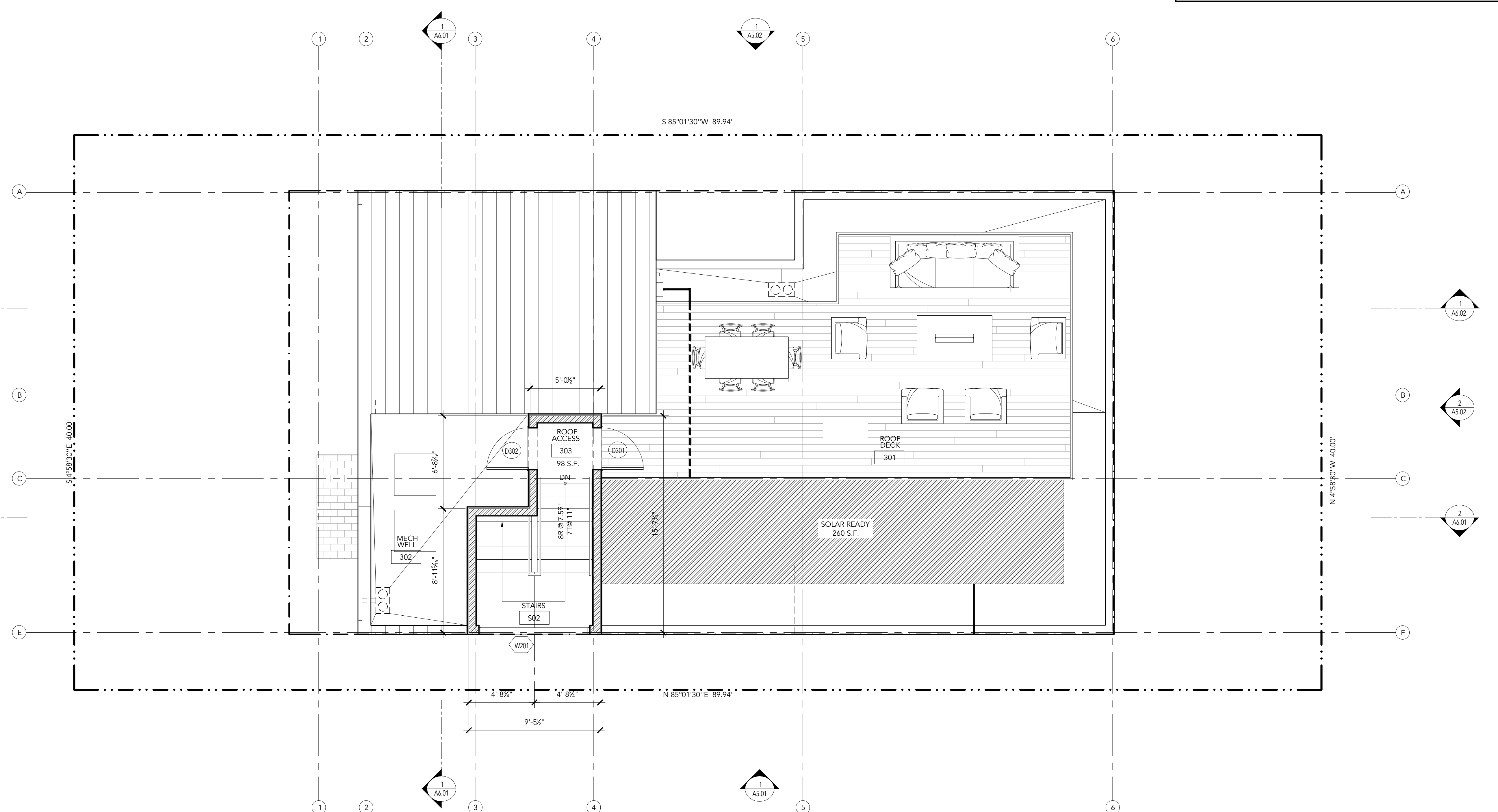
SHEET NAME  
**ROOF DECK DIMENSION PLAN**

DRAWING DATA

PROJECT NO.: 19-2330  
 ISSUE DATE: 10/22/2021  
 CHECKED: BSB  
 DRAWN BY: BSB, JC, AK

SHEET NUMBER

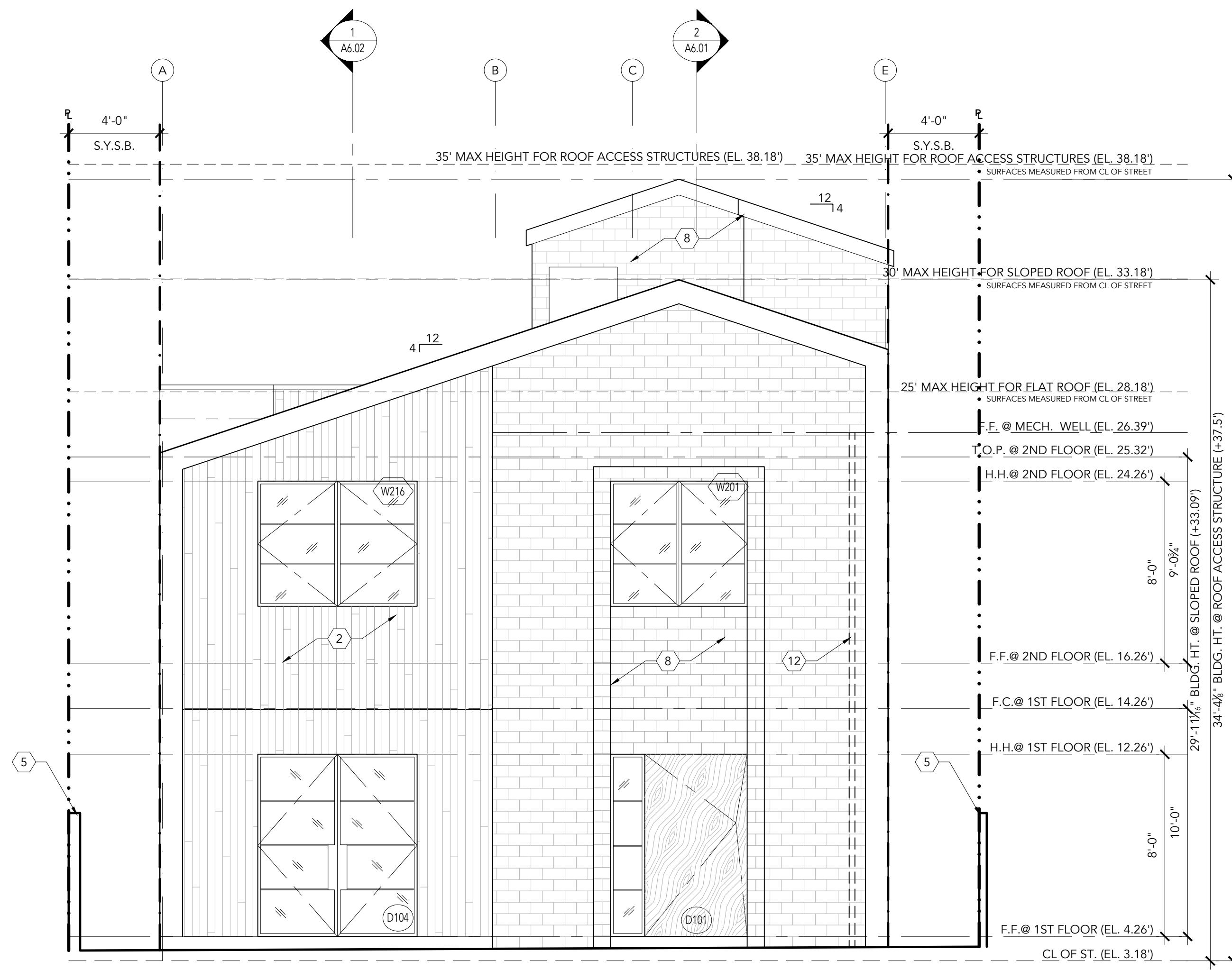
**A3.23**



**ROOF DECK DIMENSION PLAN** SCALE: 1/4" = 1'-0" 1

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EAST ELEVATION

SCALE:  
1/4" = 1'-0" 2

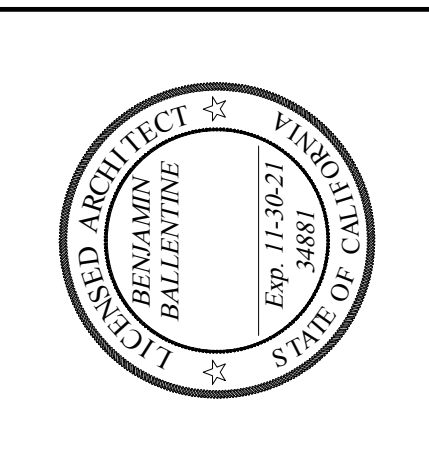
ELEVATION KEYNOTES

- 1 STANDING SEAM METAL ROOF W/ FLASHING / DRIP EDGE
- 2 WOOD SIDING
- 3 BLACKENED STEEL FINISH LID PLANTER @ 42" H ABOVE ADJACENT GRADE
- 4 (N) BOARD FORMED CONCRETE PROPERTY WALL @ 42" H. MAX ABOVE ADJACENT GRADE WITHIN F.Y.S.B.
- 5 (N) BOARD FORMED CONCRETE PROPERTY WALL @ 6'-0" H. MAX ABOVE ADJACENT GRADE
- 6 7/8" PORTLAND CEMENT PLASTER. FINISH TBD.
- 7 42" H. BLACK POWDER COATED METAL GUARDRAIL
- 8 EXTERIOR BRICK VENEER
- 9 (N) GAS METER
- 10 (N) ELECTRICAL PANEL
- 11 (N) TRASH ENCLOSURE, WOOD WALLS, WOOD GATES @ 6'-0" H MAX.
- 12 DOWNSPOUT IN WALL
- 13 (N) 42" H. LID PLANTER ABOVE ADJACENT GRADE
- 14 ROOF DRAIN TO BE ROUTED IN WALL
- 15 (N) TANKLESS WATER HEATER PER "M.E.P." DRAWINGS
- 16 (N) IRRIGATION CONTROL VALVE (WEATHER BASED), SEE ##/A1.03 FOR SPECS
- 17 (N) TREE; SPEC TBD

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VENICE, CA  
90291

DRAWING SCALE

1/4" = 1'-0"

SHEET NAME

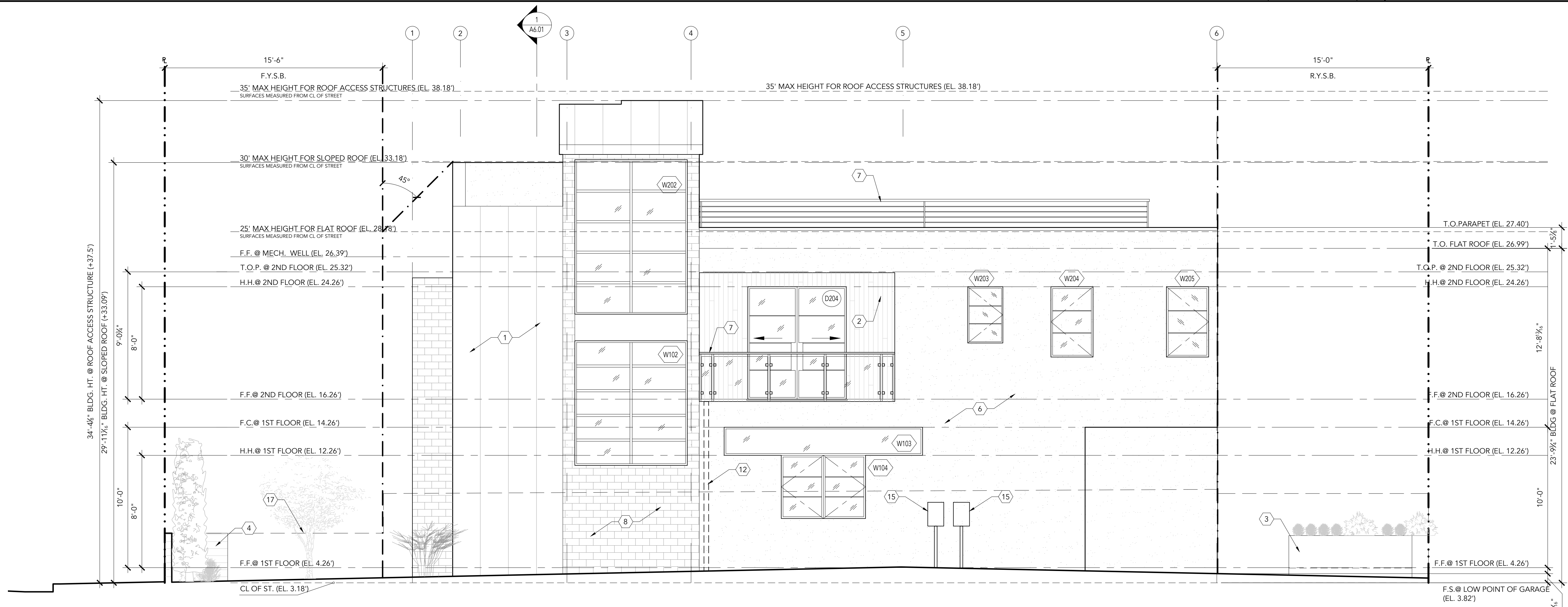
EXTERIOR  
ELEVATIONS

DRAWING DATA

PROJECT NO.: 19-2330  
ISSUE DATE: 10/22/2021  
CHECKED: BSB  
DRAWN BY: BSB, JC, AK

SHEET NUMBER

A5.01

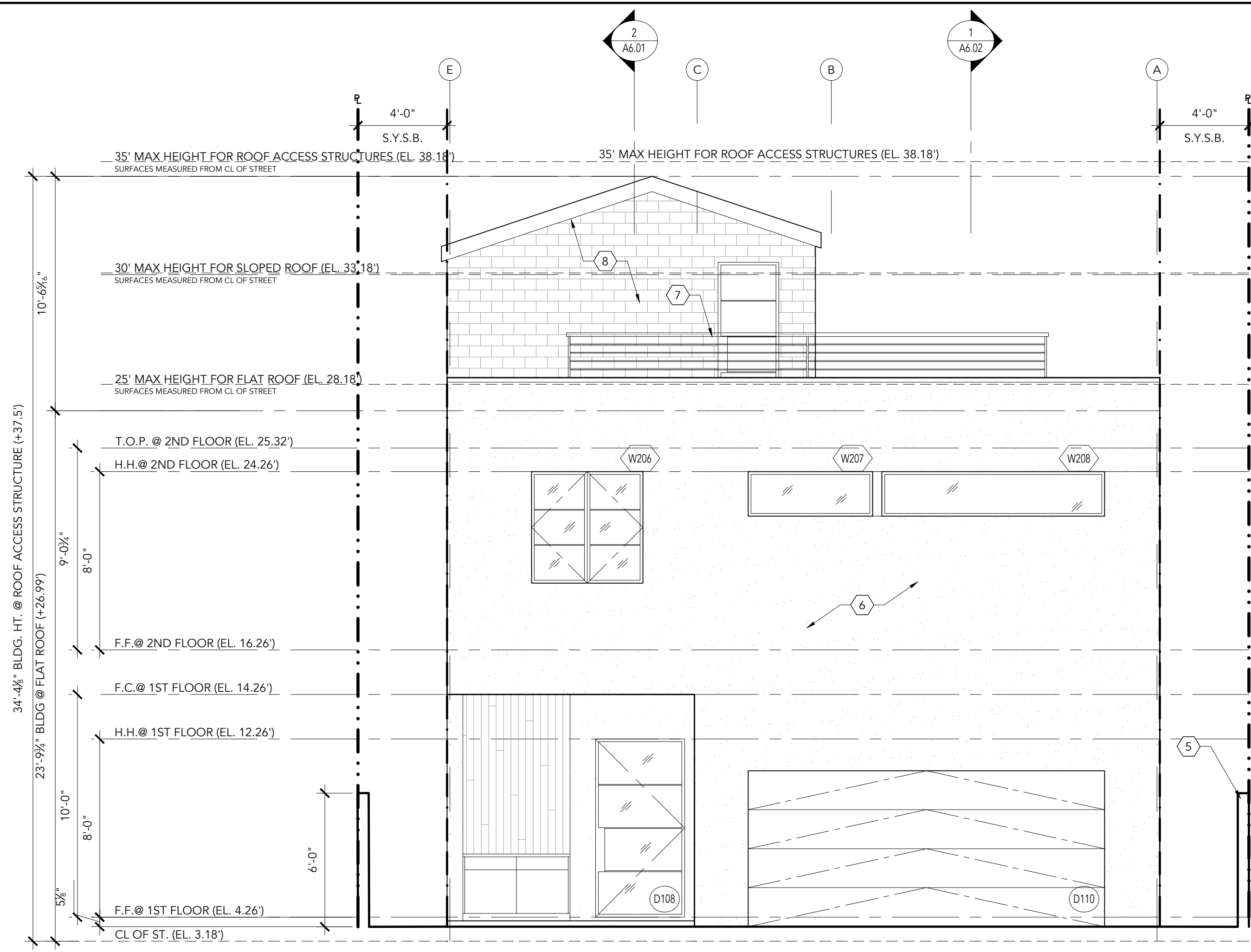


NORTH ELEVATION

SCALE:  
1/4" = 1'-0" 1

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WEST ELEVATION

SCALE:  
1/4" = 1'-0"

2

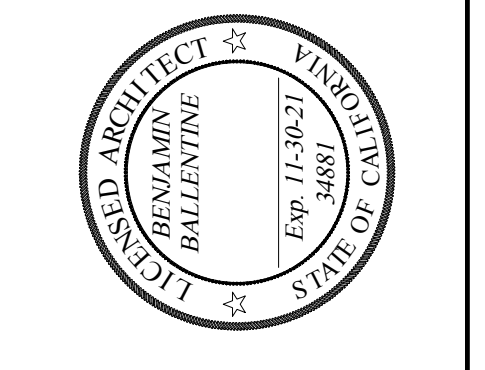
ELEVATION KEYNOTES

- 1 STANDING SEAM METAL ROOF W/ FLASHING / DRIP EDGE
- 2 WOOD SIDING
- 3 BLACKENED STEEL FINISH LID PLANTER @ 42" H ABOVE ADJACENT GRADE
- 4 (N) BOARD FORMED CONCRETE PROPERTY WALL @ 42" H. MAX ABOVE ADJACENT GRADE WITHIN F.Y.S.B.
- 5 (N) BOARD FORMED CONCRETE PROPERTY WALL @ 6'-0" H. MAX ABOVE ADJACENT GRADE
- 6 7/8" PORTLAND CEMENT PLASTER. FINISH TBD.
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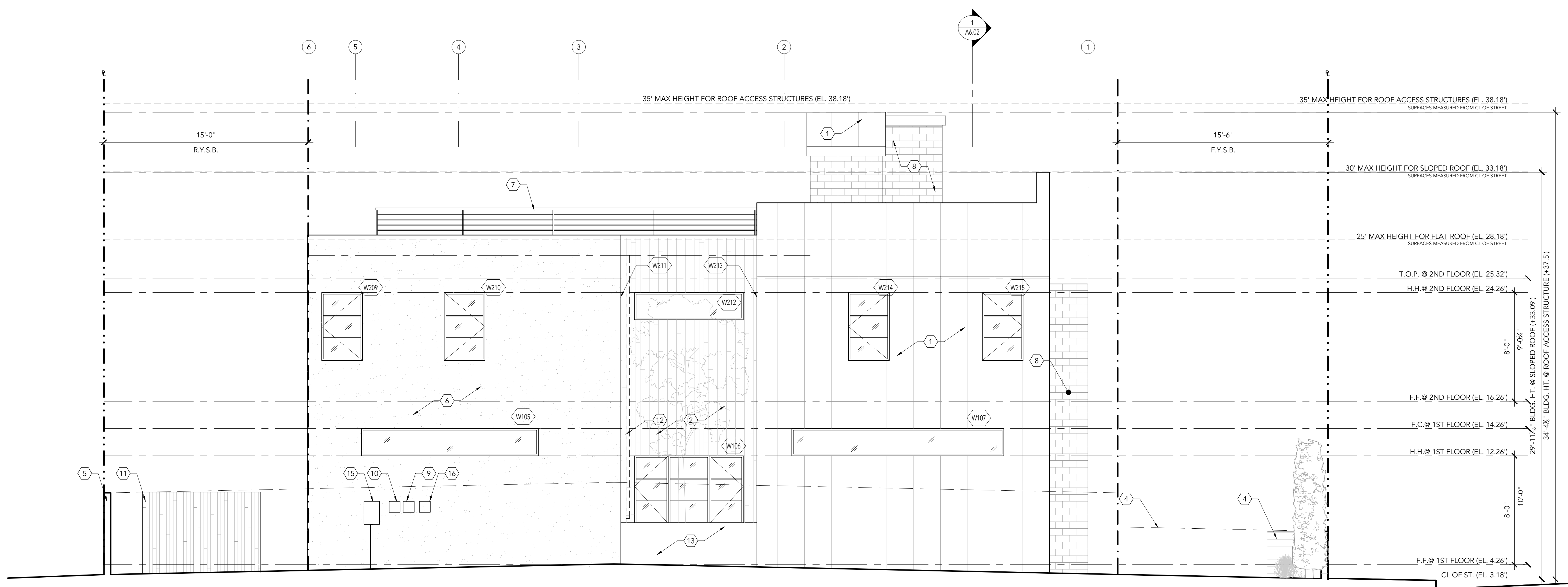
DRAWING SCALE  
 1/4" = 1'-0"

SHEET NAME  
 EXTERIOR ELEVATIONS

DRAWING DATA

PROJECT NO.:	19-2330
ISSUE DATE:	10/22/2021
CHECKED:	BSB
DRAWN BY:	BSB, JC, AK
SHEET NUMBER	

**A5.02**



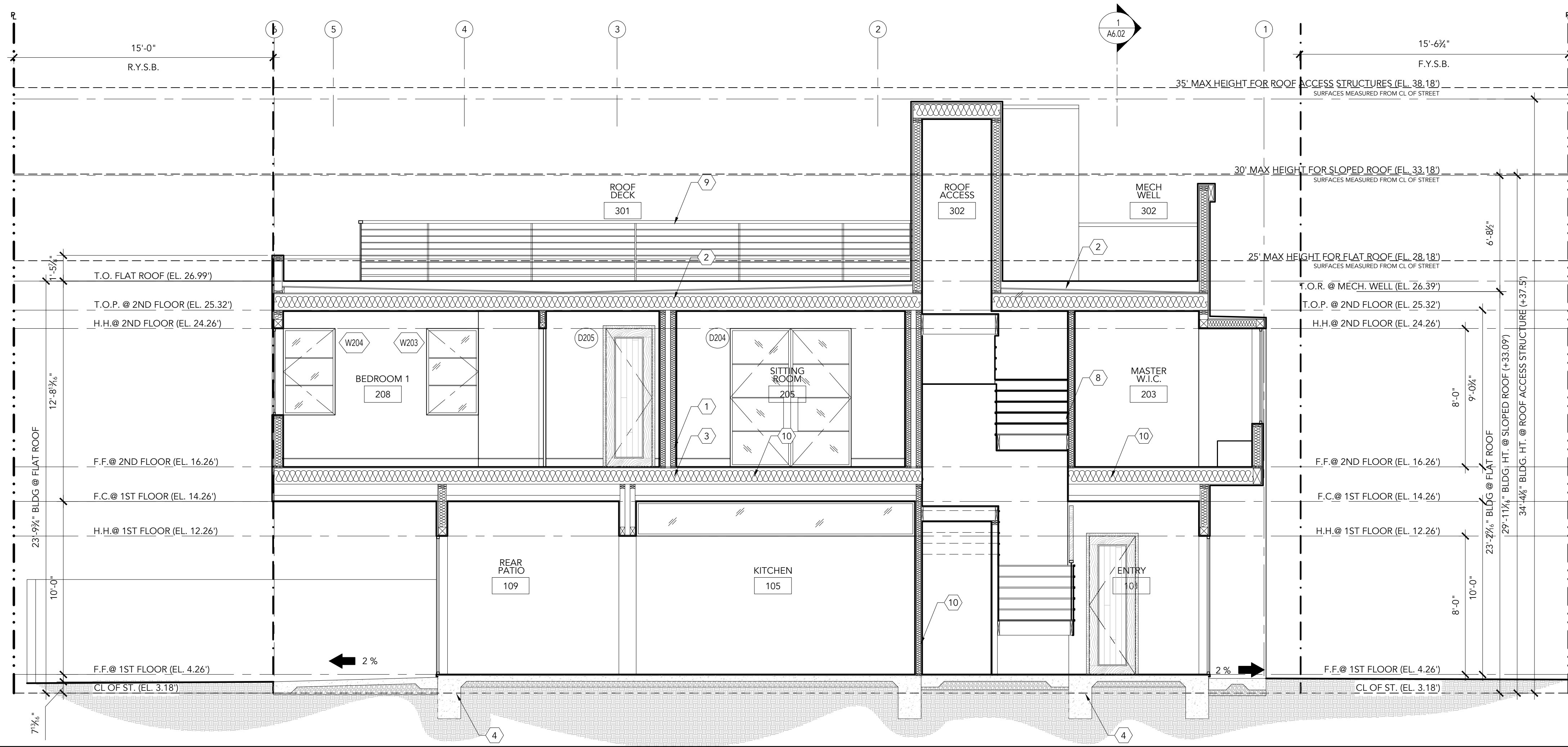
SOUTH ELEVATION

SCALE:  
1/4" = 1'-0"

1

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BUILDING SECTION

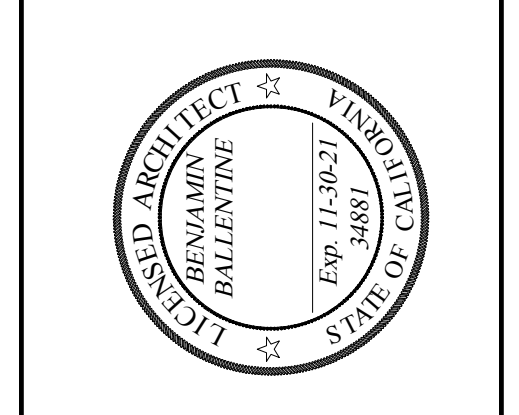
SCALE:  
1/4" = 1'-0" 2

- SECTION KEYNOTES
- 1 (N) 2X WALL FRAMING PER STRUCTURAL
  - 2 (N) ROOF FRAMING PER STRUCTURAL
  - 3 (N) FLOOR JOISTS PER STRUCTURAL
  - 4 (N) FOUNDATION SYSTEM PER STRUCTURAL
  - 5 PROVIDE 3/8" TYPE "X" GYP. BD. ON CEILING & WALL BETWEEN GARAGE & HABITABLE ROOMS
  - 6 3" SHOWER NICHE. SEE KEYNOTE #34/A3.11 & A3.12
  - 7 METAL PARAPET CAP
  - 8 OPEN RISER STEEL STAIR
  - 9 42" H. BLACK POWDER COATED METAL GUARDRAIL W/ WOODEN CAP
  - 10 INSULATED WALL/CEILING PER TITLE 24

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1	10/02/2020 PLANNING SUBMITTAL
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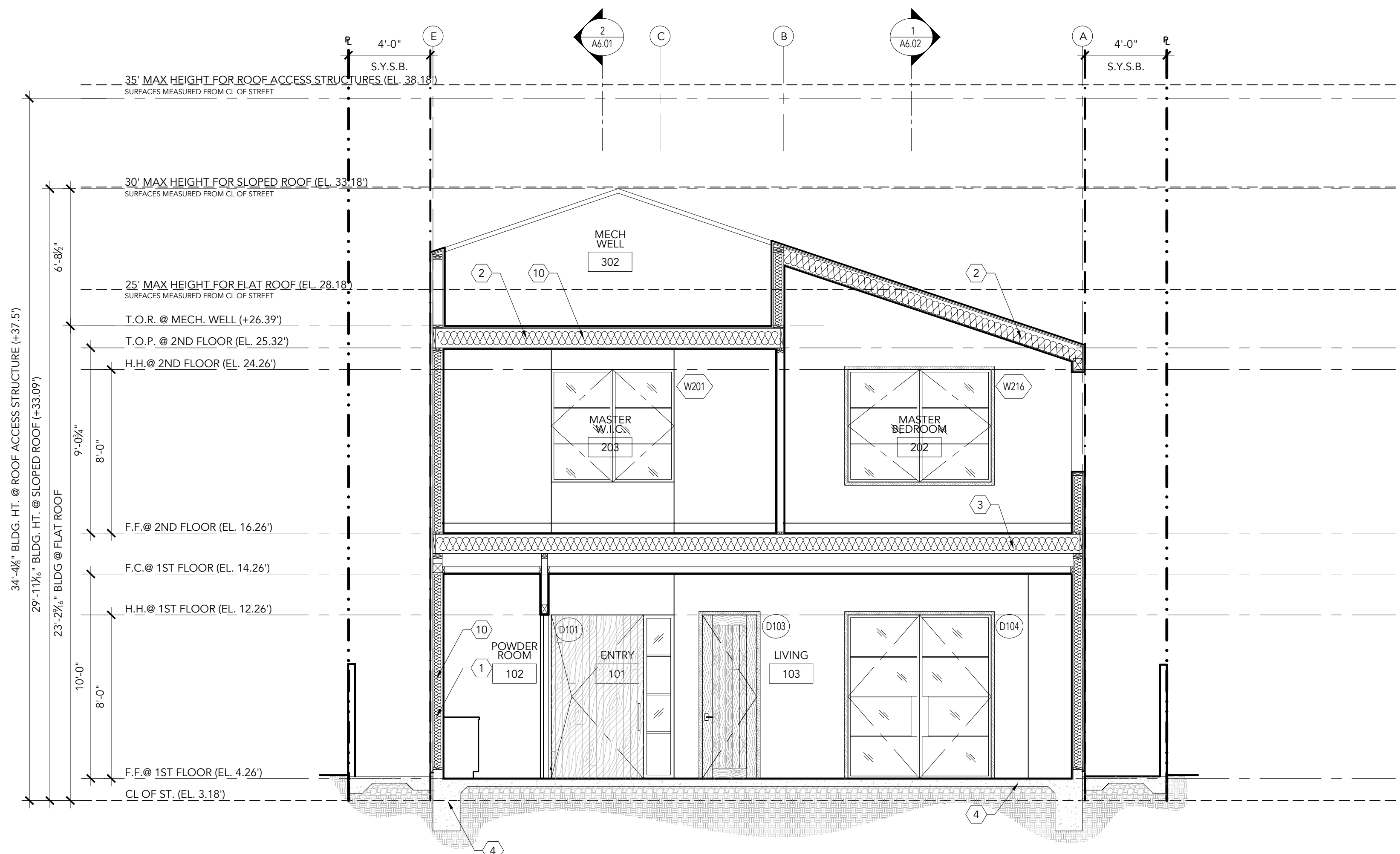
NOTES



ARCHITECT:  
BALLENINE ARCHITECTS STUDIO  
315 WASHINGTON BLVD.  
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VENICE, CA 90292  
PH: (424) 835 4338  
WWW.BALLENINEARCHITECTS.COM

ARCHITECTS STUDIO

ARCHITECTURE • PLANNING • INTERIOR DESIGN



BUILDING SECTION

SCALE:  
1/4" = 1'-0" 1

PROJECT TITLE AND ADDRESS:  
WALKER RESIDENCE  
2330 CLOY AVENUE  
VENICE, CA  
90291

DRAWING SCALE

1/4" = 1'-0"

SHEET NAME

BUILDING SECTION

DRAWING DATA

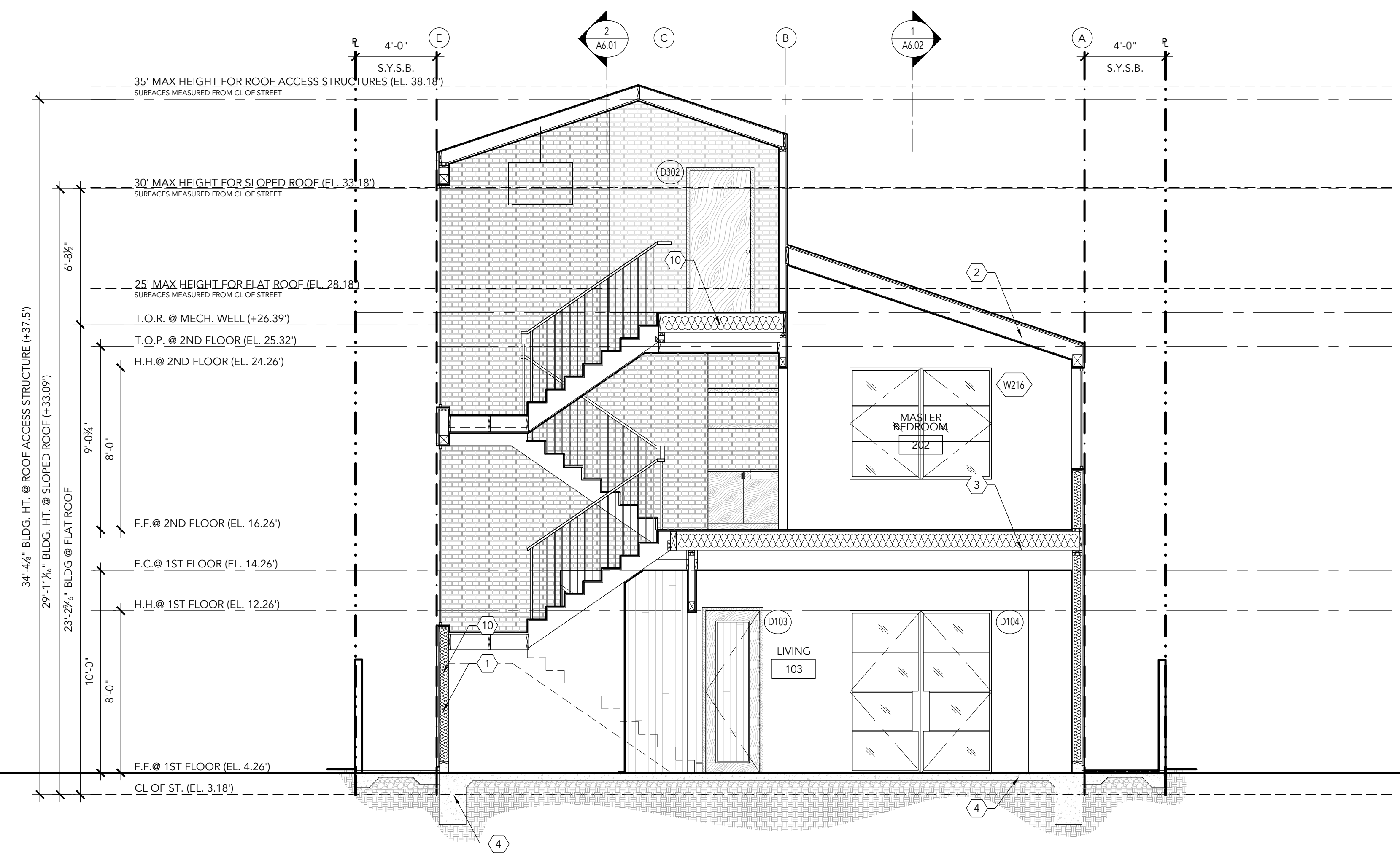
PROJECT NO.:	19-2330
ISSUE DATE:	10/22/2021
CHECKED:	BSB
DRAWN BY:	BSB, JC, AK

SHEET NUMBER

A6.01

THESE DRAWINGS, DESIGN CONCEPTS, AND IDEAS ARE THE PROPERTY OF THE ARCHITECT BENJAMIN BALLENINE, AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE CONSTRUCTION OF THE SPECIFIC PROJECT INDICATED HEREIN, AND SHALL NOT BE USED UNLESS PERSONALLY ENDORSED ON EACH DRAWING.





STAIR SECTION

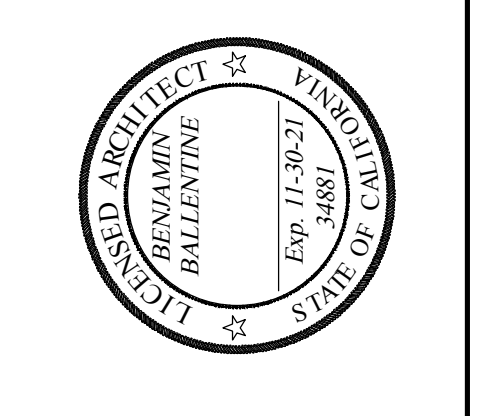
SCALE:  
1/4" = 1'-0" 2

- SECTION KEYNOTES
- 1 (N) 2X WALL FRAMING PER STRUCTURAL
  - 2 (N) ROOF FRAMING PER STRUCTURAL
  - 3 (N) FLOOR JOISTS PER STRUCTURAL
  - 4 (N) FOUNDATION SYSTEM PER STRUCTURAL
  - 5 PROVIDE 3/8" TYPE "X" GYP. BD. ON CEILING & WALL BETWEEN GARAGE & HABITABLE ROOMS
  - 6 3" SHOWER NICHE. SEE KEYNOTE #34/A3.11 & A3.12
  - 7 METAL PARAPET CAP
  - 8 OPEN RISER STEEL STAIR
  - 9 42" H. BLACK POWDER COATED METAL GUARDRAIL W/ WOODEN CAP
  - 10 INSULATED WALL/CEILING PER TITLE 24

REVISION AND/OR ISSUE DATE

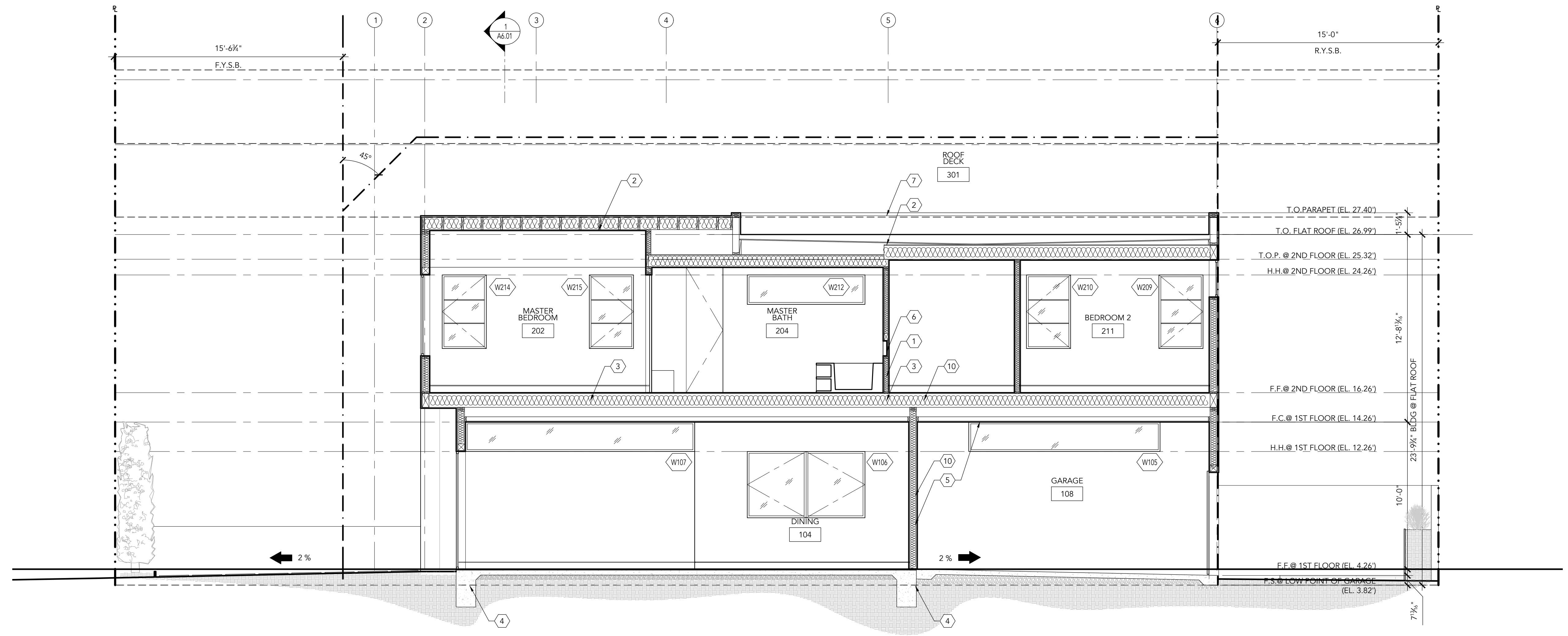
1	10/02/2020 PLANNING SUBMITTAL
---	----------------------------------

NOTES



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BUILDING SECTION

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90291

DRAWING SCALE

1/4" = 1'-0"

SHEET NAME

BUILDING SECTIONS

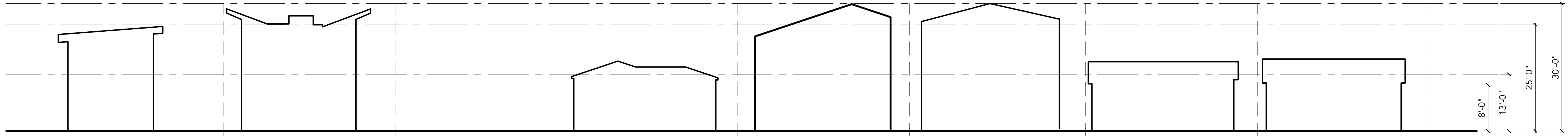
DRAWING DATA

PROJECT NO.: 19-2330  
ISSUE DATE: 9/21/2021  
CHECKED: BSB  
DRAWN BY: BSB, JC, AK  
SHEET NUMBER

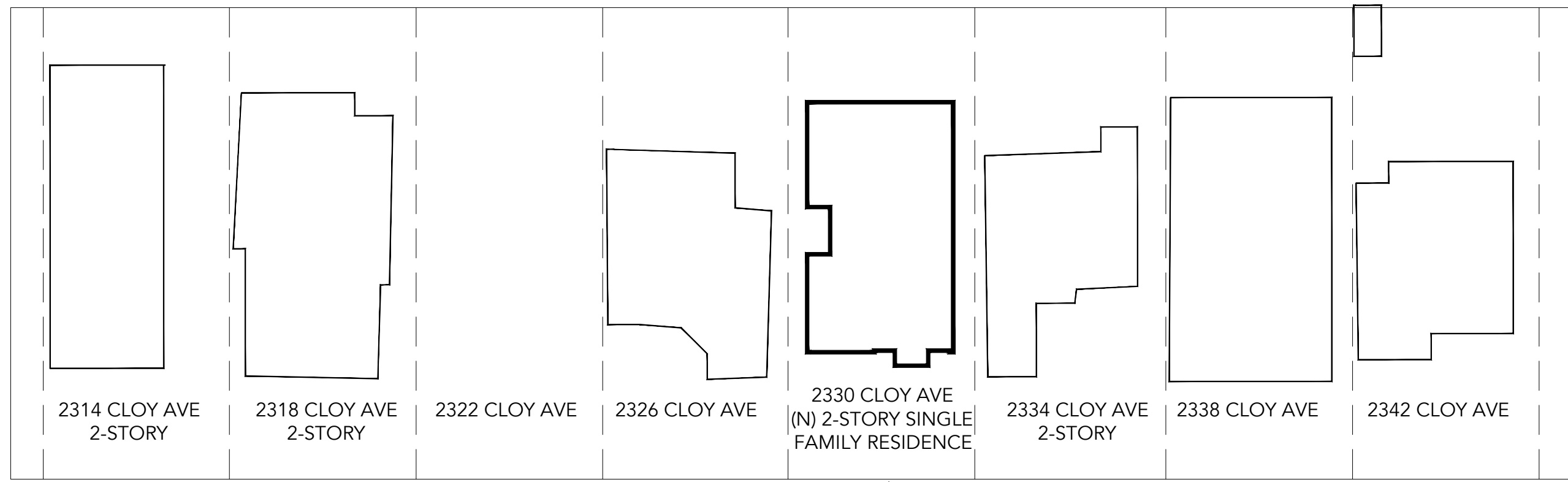
A6.02

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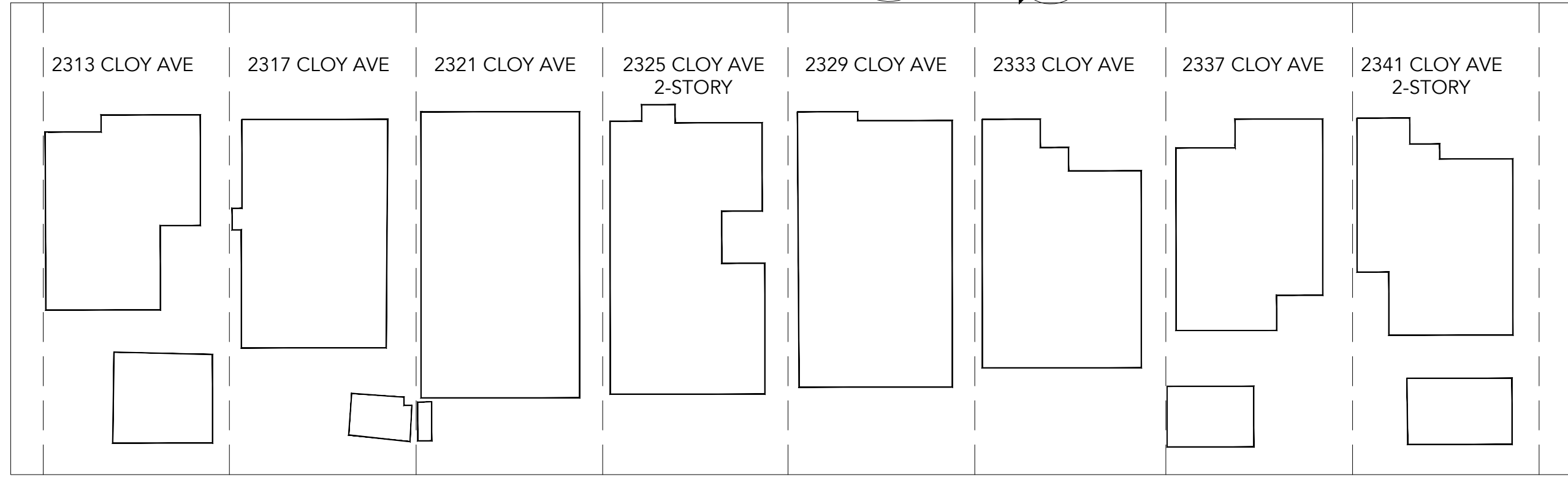
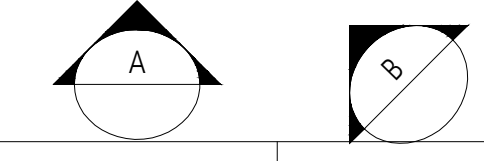


2314 2318 2322 2326 2330 2334 2338 2342



MILDRED AVE

CLOY AVE



OLIVE AVE

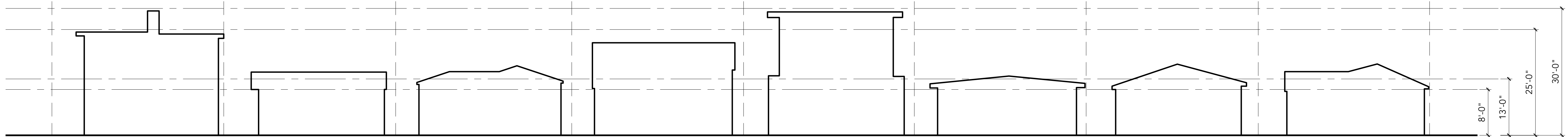
2341 2337 2333 2329 2325 2321 2317 2313



A - FRONT VIEW  
STREET VIEW FROM CLOY AVE



B - SIDE APPROACH  
STREET VIEW FROM CLOY AVE



2330 CLOY AVE  
RESIDENCE

STREETSCAPE & HEIGHT ANALYSIS



Ann Sewill, General Manager  
Tricia Keane, Executive Officer

City of Los Angeles



LOS ANGELES HOUSING DEPARTMENT

1200 West 7th Street, 9th Floor  
Los Angeles, CA 90017  
Tel: 213.808.8808

housing.lacity.org

Daniel Huynh, Assistant General Manager  
Anna E. Ortega, Assistant General Manager  
Luz C. Santiago, Assistant General Manager

Eric Garcetti, Mayor

DATE: September 15, 2021  
TO: Faisal Roble, Principal City Planner  
City Planning Department  
FROM: Marites Cunanan, Sr Mgmt Analyst II  
Los Angeles Housing and Community Investment Department  
SUBJECT: **Mello Act Determination for 2330 South Cloy Avenue, Los Angeles, CA 90291**

**Planning Case #: DIR-2020-6145-CDP-MEL**

Based on information provided by the owners, David M. Walker and Debra A. Walker, Co-Trustees of the Walker Trust 2002, dated February 13, 2002, As Amended, the Los Angeles Housing Department (LAHD) has determined that no affordable unit exists at 2330 South Cloy Avenue.

The property currently consists of a three (3) bedroom single family dwelling. Per the statement on the application, the owner is proposing to demolish the existing single family dwelling to construct a new single family dwelling. The owner acquired the property on May 23, 2018.

Section 4.4.3 of the Interim Administrative Procedures for Complying with the Mello Act requires that LAHD collect monthly housing cost data for at least the previous three (3) years. The owner filed an application with the Department of City Planning (DCP) on October 15, 2020. Therefore, LAHD must collect data from October 2017 – October 2020.

On January 19, 2021, a tenant letter was sent to the property.

From October 2017 – April 2018, the property was rented at an average monthly amount of \$2,393. The 2017 Land Use Schedule 7 Maximum Allowable Rent for a three (3) bedroom unit is \$1,782, therefore the property was rented at above affordable levels from October 2017 – April 2018. From May 2018 – October 2020, the property was owner occupied. The Owner provided tax documents showing no rental income collected during this time period. The data collected from October 2017 – October 2020 shows that no affordable unit exists at 2330 South Cloy Avenue.

cc: Los Angeles Housing Department File  
David M. Walker and Debra A. Walker, Co-Trustees of the Walker Trust 2002, dated February 13, 2002,  
As Amended, Owner  
Richard A. Rothschild, Western Center on Law and Poverty, Inc.  
Susanne Browne, Legal Aid Foundation of L.A.  
Jonathan Jager, Legal Aid Foundation of L.A.  
Juliet Oh, City Planning Department

MAC:lm

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HIMS: 21-127806





Danielle Shaffner <danielle@ballentinearchitects.com>

## Fwd: LUPC Agenda Application

1 message

Joaquin Cortez <joaquin@ballentinearchitects.com>  
To: Danielle Shaffner <danielle@ballentinearchitects.com>

Tue, Oct 12, 2021 at 10:47 AM



### Joaquin Cortez

Architectural Associate ■ Ballentine Architects

- (424) 835-4338 x103
- 315 Washington Blvd #4 Venice CA 90292
- BallentineArchitects.com

----- Forwarded message -----

From: **Google Forms** <forms-receipts-noreply@google.com>  
Date: Mon, Oct 11, 2021 at 3:08 PM  
Subject: LUPC Agenda Application  
To: <joaquin@ballentinearchitects.com>

Thanks for filling out [LUPC Agenda Application](#)

Here's what was received.

[Edit response](#)

## LUPC Agenda Application

Email \*

[joaquin@ballentinearchitects.com](mailto:joaquin@ballentinearchitects.com)

Project Street Address \*

2330 Cloy Ave. Venice CA 90292

Assessor Parcel Number (APN) \*

4228007021

Owner \*

David Walker & Debra Walker

Representative (architect, consultant, etc)

Ballentine Architects

Project Description (scope of work) \*

Demolition of existing SFR (1,190 s.f.) and construction of new SFR (2, 408 s.f.)

Case Status \*

- Filed a Case with Los Angeles City Planning Department (insert case number below)
- Plan to file for an Administrative Coastal Development Permit after VNC process
- Other: .....

Case Number(s) (if applicable)

DIR-2020-6145-CDP-MGL



Type of Project \*

- Single Family or Duplex, or Triplex
- Multi-Family Residential (4 units or more)
- Mixed-Use or Commercial
- Restaurant/Bar
- Alcohol related Conditional Use Case
- Other: .....

Type of Construction \*

- Existing Structure, Change of Use
- Existing with Remodel/Addition
- New Construction
- Other: .....

Do you propose to remove a housing unit through demolition or conversion? If yes, provide Mello determination letter from HCIDLA \*

- Yes
- No

Historic Resources

Category \*

- Not Applicable
- Located in a SurveyLA potential historic district, and identified as a contributor
-

- Located in a Survey LA potential historic district, but not a contributor
- Identified as an individually significant historic resource

**Resource Report \***

- I do not plan to complete a resource report from a qualified consultant
- I have completed a resource report from a qualified consultant and will provide to LUPC
- Not Applicable

Venice Specific Plan / Zoning Code

Are you applying for any variances and/or adjustments from the Zoning Code or Venice Specific Plan? State Yes or No. If yes, describe what is being applied for and reasoning/justification

NO

**Subarea \***

- Ballona Lagoon West Bank Subarea
- Ballona Lagoon (Grand Canal) East Bank Subarea
- Silver Strand Subarea
- Marina Peninsula Subarea
- Venice Canals Subarea
- North Venice Subarea
- Oakwood-Milwood-Southeast Venice Subarea
- Oxford Triangle Subarea
- East of Lincoln (Not in Coastal Zone)



Zoning \*

- R1-1
- R2-1
- RD1.5-1
- R3-1
- R3-1
- C1-1
- C2-1
- C4-1
- M1-1
- CM-1
- Other: .....

Parking Required \*

3 .....

Parking Proposed \*

3 .....

Building Height Limit (top of structure for flat roof or top of slope for varied roof line

\*

30'-0" .....

Are you proposing a Roof Access Structure? If so, describe size and height above height limit \*

15'-7" X 9' -5 1/2" ; Height = 34'-4"

Lot Area \*

3,593.9 sq. ft.

Buildable Area in Square Feet =(Lot Area - Required Yard Area) \*

1,902.5 sq. ft.

Allowable FAR Limit (Floor Area Ratio) See Zoning Summary for FAR information: [http://planning.lacity.org/zone\\_code/Appendices/sum\\_of\\_zone.pdf](http://planning.lacity.org/zone_code/Appendices/sum_of_zone.pdf) \*

3x buildable area

Total Allowable Floor Area in Square Feet = (Buildable Area X FAR limit) \*

5707.5 sq. ft.

Total Floor Area in Square Feet Proposed \*

2,408 sq. ft.

Total Allowable Density (number of dwelling units) \*

1



Total Density Proposed (number of dwelling units) \*

1

### Community Outreach

New/Remodel projects which are Single Family up to 3 units are strongly suggested to mail an outreach letter at a radius of 250 feet per the tool on [zimas.lacity.org](https://zimas.lacity.org), and notify the Chair of LUPC of the time/place. Outreach letters are recommended to be sent by a verifiable service such as BTC or an online service that can show the address list and receipt of payment. It is also recommended that a member of LUPC must be present at your meeting to observe and record feedback.

Have you conducted the recommended community outreach meeting? \*

Yes

No

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[Report Abuse](#)