

WALKER RESIDENCE

2330 S CLOY AVENUE, VENICE, CA 90291

REVISION AND/OR ISSUE DATE

1 10/02/2020
PLANNING SUBMITTAL



PROJECT LOCATION: 2330 S CLOY AVENUE, VENICE, CA 90291

APN: 4228007021
ZONING: R1-1
BLOCK: NONE
LOT: 149
TRACT: TR 4424
CONSTRUCTION TYPE: TYPE VB
OCCUPANCY TYPE: R3/U

LOT SIZE: 3,593.9 (SQ FT) [ACQUIRED FROM ZIMAS]

MAXIMUM RFA: 0.53 (3,350 SQ.FT)

EXIST. BUILDING SQ.FT.: 1,190 SQ.FT. (PER ASSESSOR)

PROPOSED RFA: 0.36 (2,732 SQ.FT)

SETBACKS:
FRONT YARD: 15'-6" (PREVAILING, SEE CALCULATION ON A0.41)
SIDE YARD: 4'-0"
REAR YARD: 15'-0"

HEIGHTS:
HEIGHT LIMITS: 25'-0" (FLAT ROOF) / 30'-0" (SLOPED ROOF)/35'-0" (ROOF ACCESS STRUCTURE)
BUILDING HEIGHT AT SLOPED ROOF: 29'-11"
BUILDING HEIGHT AT FLAT ROOF: 23'-10"
ROOF ACCESS STRUCTURE: 34'-4"

PARKING:
REQUIRED: 3
PROVIDED: 2 (COVERED), + (1) GUEST SPACE PER V.S.P.

ARCHITECTURAL

- A1.01 TITLE SHEET
- A1.02 ABBREVIATIONS
- A1.11 GENERAL NOTES
- A1.12 GENERAL NOTES
- A1.31 GREEN BUILDING FORMS SPECIFICATIONS
- A1.41
- A2.01 SITE DEMOLITION PLAN
- A2.02 PROPOSED SITE PLAN
- A3.11 FIRST FLOOR PLAN
- A3.12 SECOND FLOOR PLAN
- A3.13 ROOF PLAN & ROOF ACCESS STRUCTURE PLAN
- A3.14 LOW IMPACT DEVELOPMENT PLAN
- A3.21 FIRST FLOOR DIMENSION PLAN
- A3.22 SECOND FLOOR DIMENSION PLAN
- A3.23 ROOF DECK DIMENSION PLAN
- A5.01 EXTERIOR ELEVATIONS
- A5.02 EXTERIOR ELEVATIONS
- A5.03 RENDERS
- A6.01 BUILDING SECTION
- A6.02 BUILDING SECTION
- A9.01 DOOR SCHEDULE
- A9.02 WINDOW SCHEDULE
- A10.01 INTERIOR ELEVATIONS
- A10.02 INTERIOR ELEVATIONS
- A10.03 INTERIOR ELEVATIONS
- A10.04 INTERIOR ELEVATIONS

RESIDENTIAL FLOOR AREA PROVIDED			
	AREA (SF)	EXEMPT (SF)	TOTAL (SF)
FIRST FLOOR	1,203		1,203
SECOND FLOOR	1,515		1,515
ROOF DECK	343	343	0
GARAGE	414	400	14
TOTAL ACTUAL RFA			2732

PROJECT SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES. ALL CONSTRUCTION TO COMPLY WITH THE CALIFORNIA COASTAL COMMISSION, VENICE COASTAL DEVELOPMENT, LOS ANGELES MUNICIPAL CODE, 2019 CALIFORNIA GREEN BUILDING CODE, TITLE 24, CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), AND CALIFORNIA ENERGY CODE (CENC).

PROJECT DATA 7

SHEET INDEX 4

DEMOLITION OF (E) SINGLE FAMILY RESIDENCE (1,190 S.F.) AND CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE (2,732 S.F.) WITH ATTACHED GARAGE (414 S.F.)

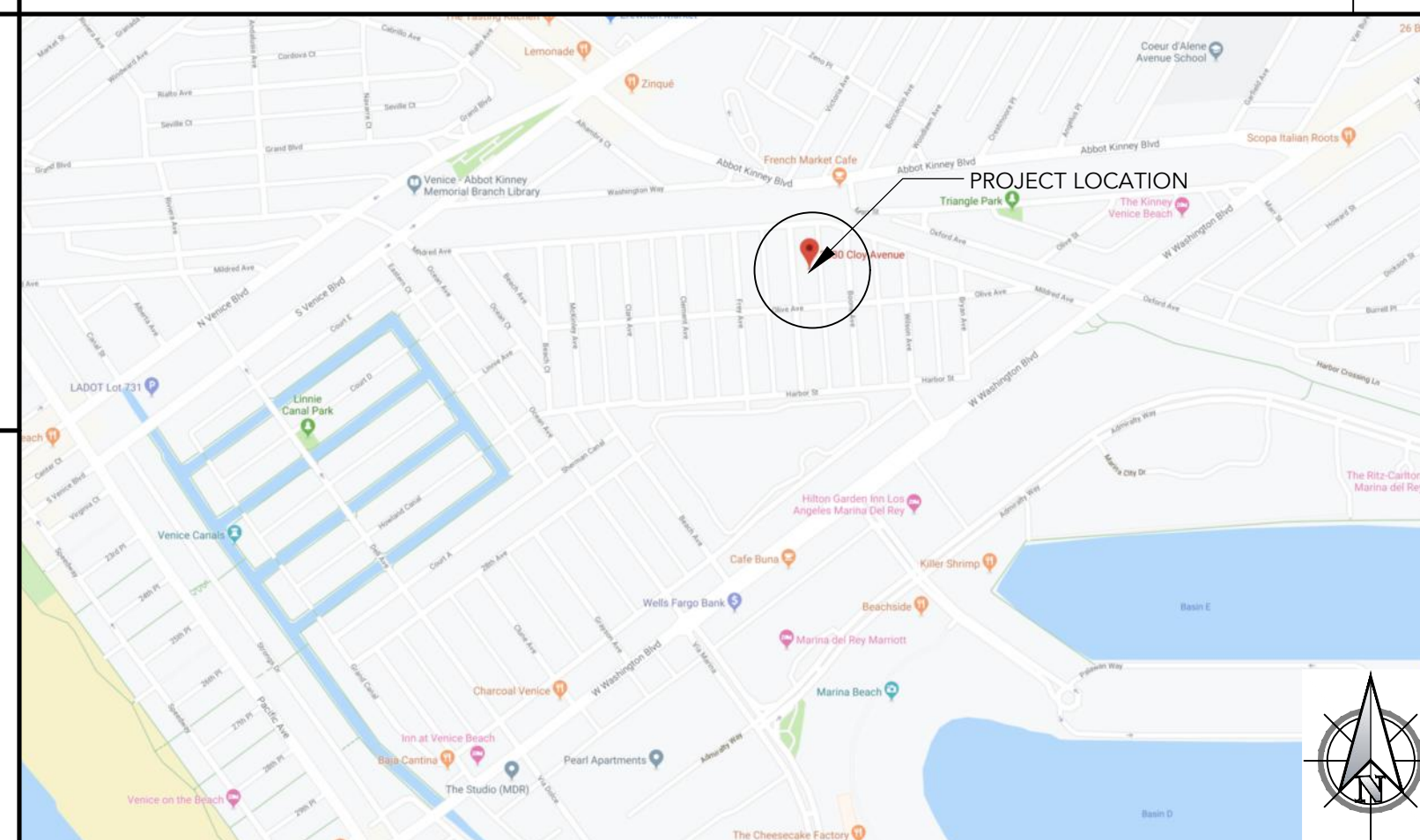
FRONT RENDERING 9

DEFERRED SUBMITTALS 6

SCOPE OF WORK 2

<p>DETAIL</p> <p>DETAIL NO. SHEET NO.</p>	<p>AREA DETAIL</p> <p>DETAIL NO. SHEET NO.</p>	<p>DOOR AND WINDOW CALLOUTS</p> <p>WINDOW SYMBOL: WXXX</p> <p>DOOR SYMBOL: DXXX</p>	<p>SECTION</p> <p>SECTION NO. SHEET NO.</p>	<p>WORK POINT CONTROL POINT OR DATUM POINT</p>
<p>INTERIOR ELEVATION</p> <p>GRID SPACE NO. ELEVATION NO. SHEET NO.</p>	<p>EXT. ELEVATION</p> <p>ELEVATION NO. SHEET NO.</p>	<p>CONSTRUCTION TYPE SYMBOL</p> <p>DETAIL NO. SHEET NO.</p>	<p>WALL SECTION</p> <p>SECTION NO. SHEET NO.</p>	<p>NORTH ARROW</p>

SYMBOLS 8



VICINITY MAP 5

OWNER: DAVID & DEBRA WALKER
2330 S CLOY AVENUE
VENICE, CA 90291
T: +1 818-312-4655

ARCHITECT: BALLENTINE ARCHITECTS STUDIO
PRINCIPAL-IN-CHARGE: BENJAMIN BALLENTINE, AIA
315 WASHINGTON BLVD, SUITE 4
VENICE, CA 90292
T: +1 424-835-4338

STRUCTURAL:
T: -
LIC: -

MECHANICAL: BTU ENGINEERING
ENGINEER IN CHARGE: SENTHIL ARUNACHALAM
T: 310-684-3503
LIC: -

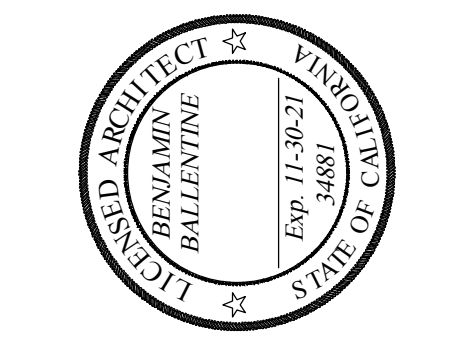
ELECTRICAL: CIRCA LIGHTING
T: -
LIC: -

CONTRACTOR:
T: -
LIC: -

ELECTRICAL: ATHANS ENTERPRISES, INC.
ENGINEER-IN-CHARGE: GEORGE ATHANS
T: 818-708-0077
LIC: -

PROJECT DIRECTORY 1

NOTES



ARCHITECT: BALLENTINE ARCHITECTS STUDIO
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VENICE, CA 90292
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ARCHITECTURE • PLANNING • INTERIOR DESIGN

PROJECT TITLE AND ADDRESS:
WALKER RESIDENCE
2330 CLOY AVENUE
VENICE, CA
90291

DRAWING SCALE: N.T.S.

SHEET NAME: COVER SHEET

DRAWING DATA:
PROJECT NO.: 19-2330
ISSUE DATE: 9/21/2021
CHECKED: BSB
DRAWN BY: BSB, JC, AK
SHEET NUMBER: A1.01

THESE DRAWINGS, DESIGN CONCEPTS, AND IDEAS ARE THE PROPERTY OF THE ARCHITECT BENJAMIN BALLENTINE, AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE CONSTRUCTION OF THE SPECIFIC PROJECT INDICATED HEREIN, AND SHALL NOT BE USED UNLESS PERSONALLY ENDORSED ON EACH DRAWING.

- 1 (N) STONE PAVERS
- 2 PHOTOVOLTAIC INVERTER CONTROLS
- 3 (N) IRRIGATION CONTROL (WEATHER BASED), SEE #/A1.0# FOR SPECS
- 4 (N) 42" H. BLACK POWDER COATED STEEL VERTICAL SLAT FENCE
- 5 (N) BLACK POWDER COATED STEEL ENTRY GATE
- 6 (N) BOARD FORMED CONCRETE PROPERTY WALL @ 42" H. MAX ABOVE ADJACENT GRADE WITHIN F.Y.S.B.
- 7 (N) 6' H. WOODEN TRASH ENCLOSURE
- 8 (N) ELECTRICAL SUB PANEL LOCATION
- 9 (N) GAS METER LOCATION
- 10 (N) EXTERIOR WOODEN DECK
- 11 SMOOTH PAVING @ 2%
- 12 LINE OF FLOOR ABOVE
- 13 BLACKENED STEEL FINISH LID PLANTER BOX @ 36" H ABOVE ADJACENT GRADE
- 14 (N) 6'-0" H. MAX CMU PROPERTY WALL ABOVE ADJACENT GRADE
- 15 (N) 6'-0" H. SELF-CLOSING VEHICLE ACCESS GATE
- 16 (N) 36" H. LID PLANTER BOX
- 17 (N) TREE. SPEC TBD
- 18 (N) 6' H. HEDGES
- 19 (N) TANKLESS WATER HEATER PER "M.E.P." DRAWINGS

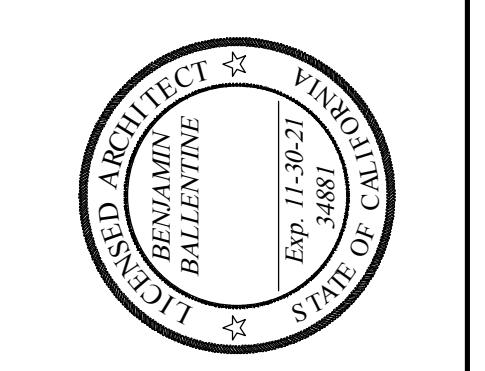
- (N) TURF AREA
- (N) GRAVEL INFILL
- (N) 1X6 WOODEN PLANK AREA
- (N) CONCRETE WALKWAY
- PROPERTY LINE
- SETBACK LINE

PROPOSED SITE PLAN KEYNOTES

PROPOSED SITE PLAN LEGEND

REVISION AND/OR ISSUE DATE
1 10/02/2020
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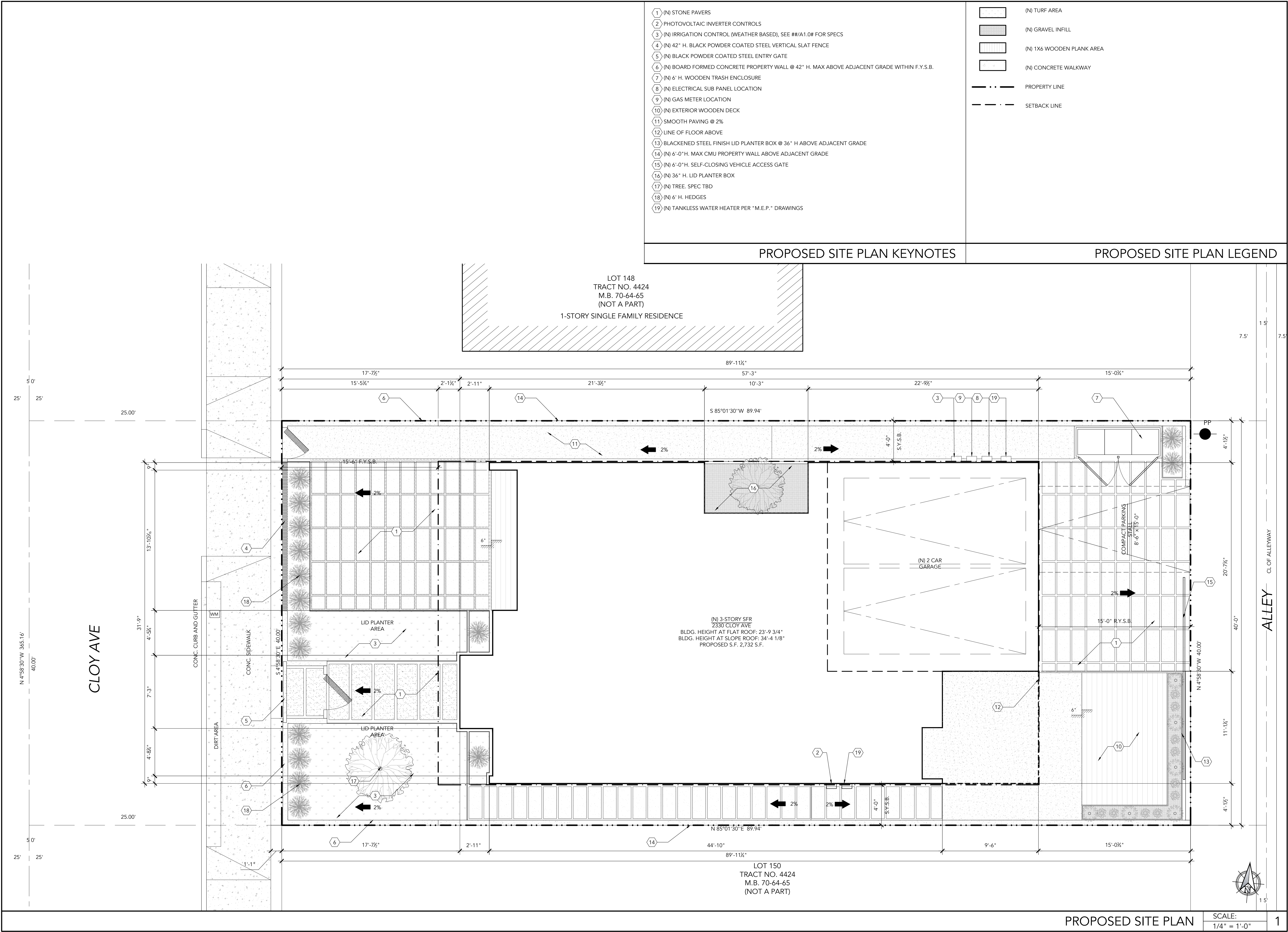
PROJECT TITLE AND ADDRESS:
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90291

DRAWING SCALE
1/4" = 1'-0"

SHEET NAME
PROPOSED SITE PLAN

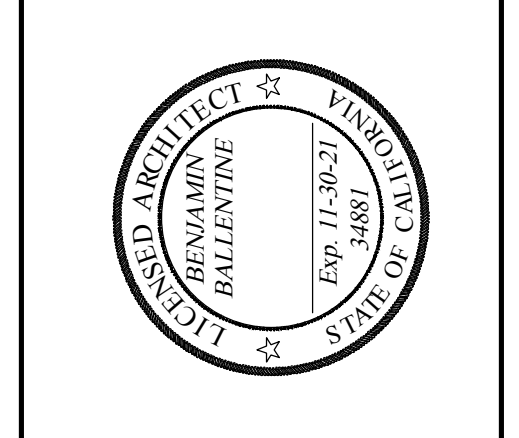
DRAWING DATA
PROJECT NO.: 19-2330
ISSUE DATE: 9/21/2021
CHECKED: BSB
DRAWN BY: BSB, JC, AK
SHEET NUMBER

A2.02



REVISION AND/OR ISSUE DATE	
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DRAWING SCALE
 1/4" = 1'-0"

SHEET NAME
FIRST FLOOR DIMENSION PLAN

DRAWING DATA

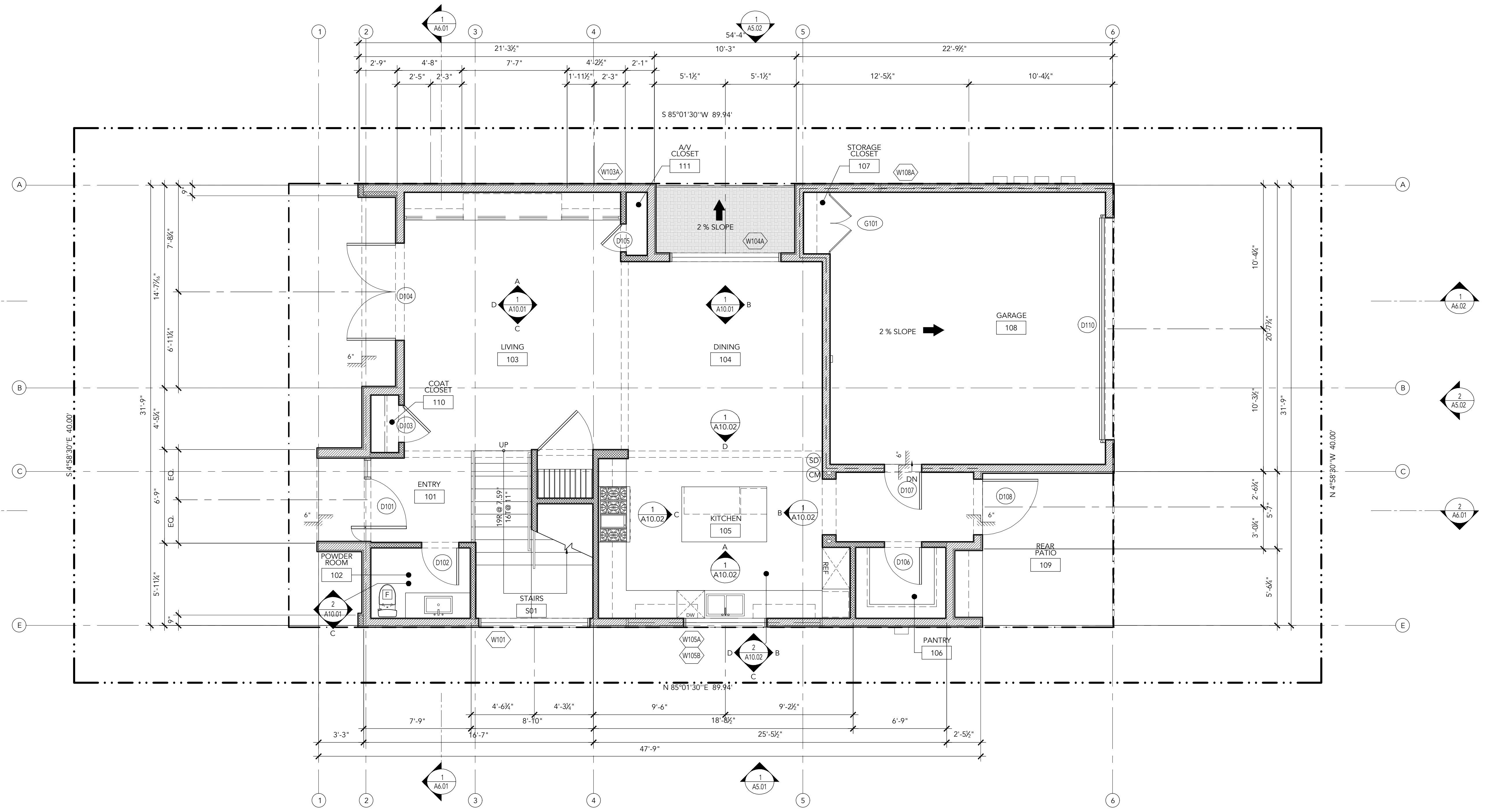
PROJECT NO.: 19-2330
 ISSUE DATE: 9/21/2021
 CHECKED: BSB
 DRAWN BY: BSB, JC, AK

SHEET NUMBER

A3.21

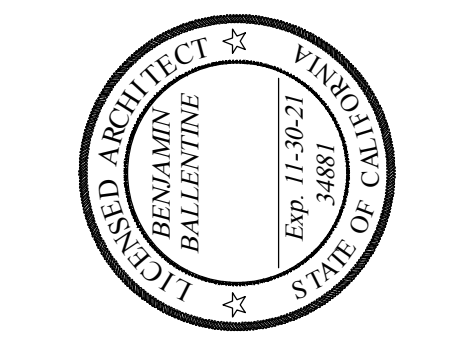
FLOOR PLAN LEGEND

- (N) 2X6 WALL
- (N) 2X4 WALL
- (N) 1 HR WALL
- PROPERTY LINE
- SETBACK LINE
- (DXXX) DOOR
- (WXXX) WINDOW
- (SD) CEILING MOUNTED SMOKE DETECTOR - HARD WIRED W/ BATTERY BACK-UP
- (CM) CEILING MOUNTED CARBON MONOXIDE DETECTOR
- (F) CEILING MOUNTED EXHAUST FAN.



FIRST FLOOR DIMENSION PLAN SCALE: 1/4" = 1'-0" 1

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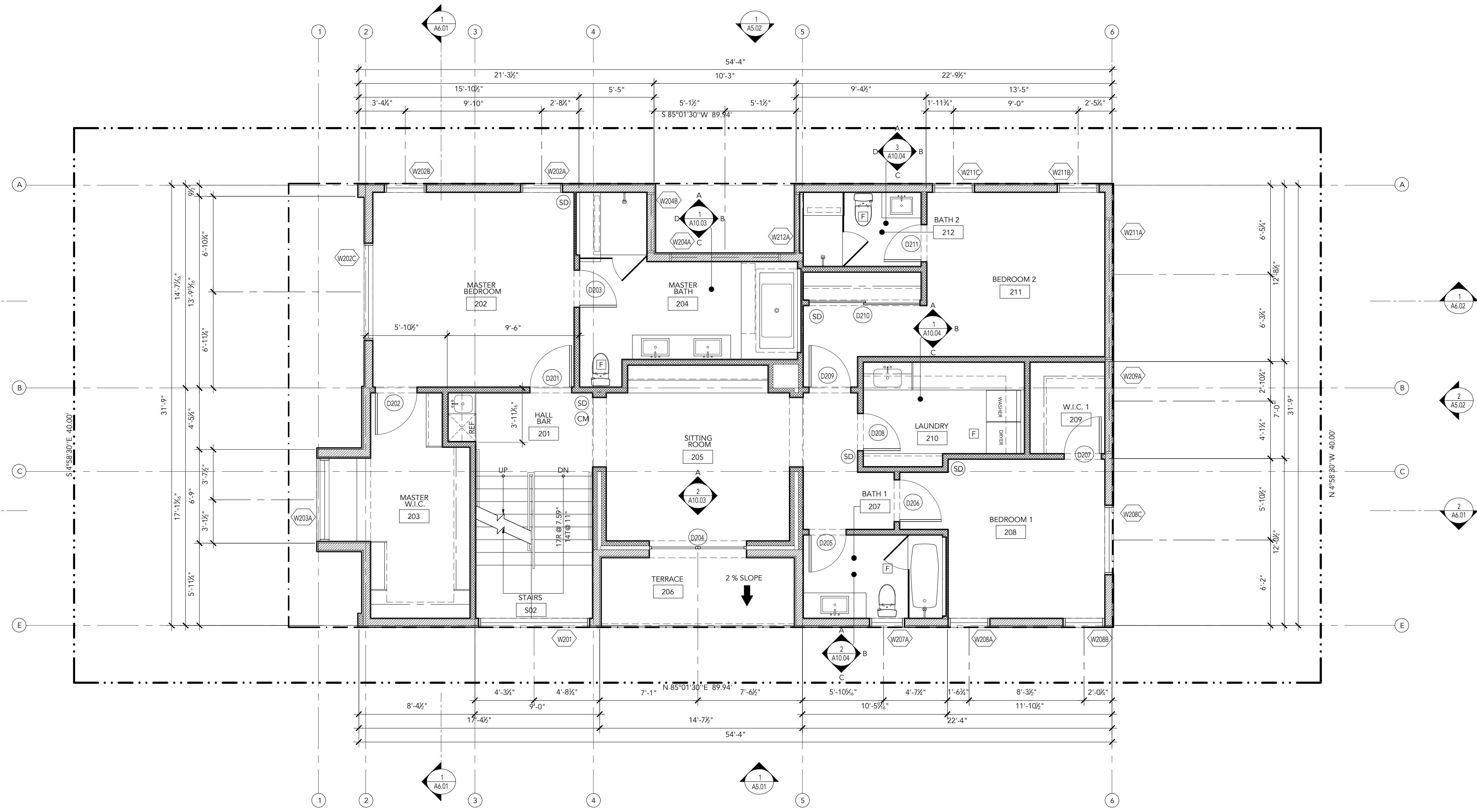
PROJECT TITLE AND ADDRESS:
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SECOND FLOOR DIMENSION PLAN

PROJECT NO.: 19-2330
ISSUE DATE: 9/21/2021
CHECKED: BSB
DRAWN BY: BSB, JC, AK

FLOOR PLAN LEGEND

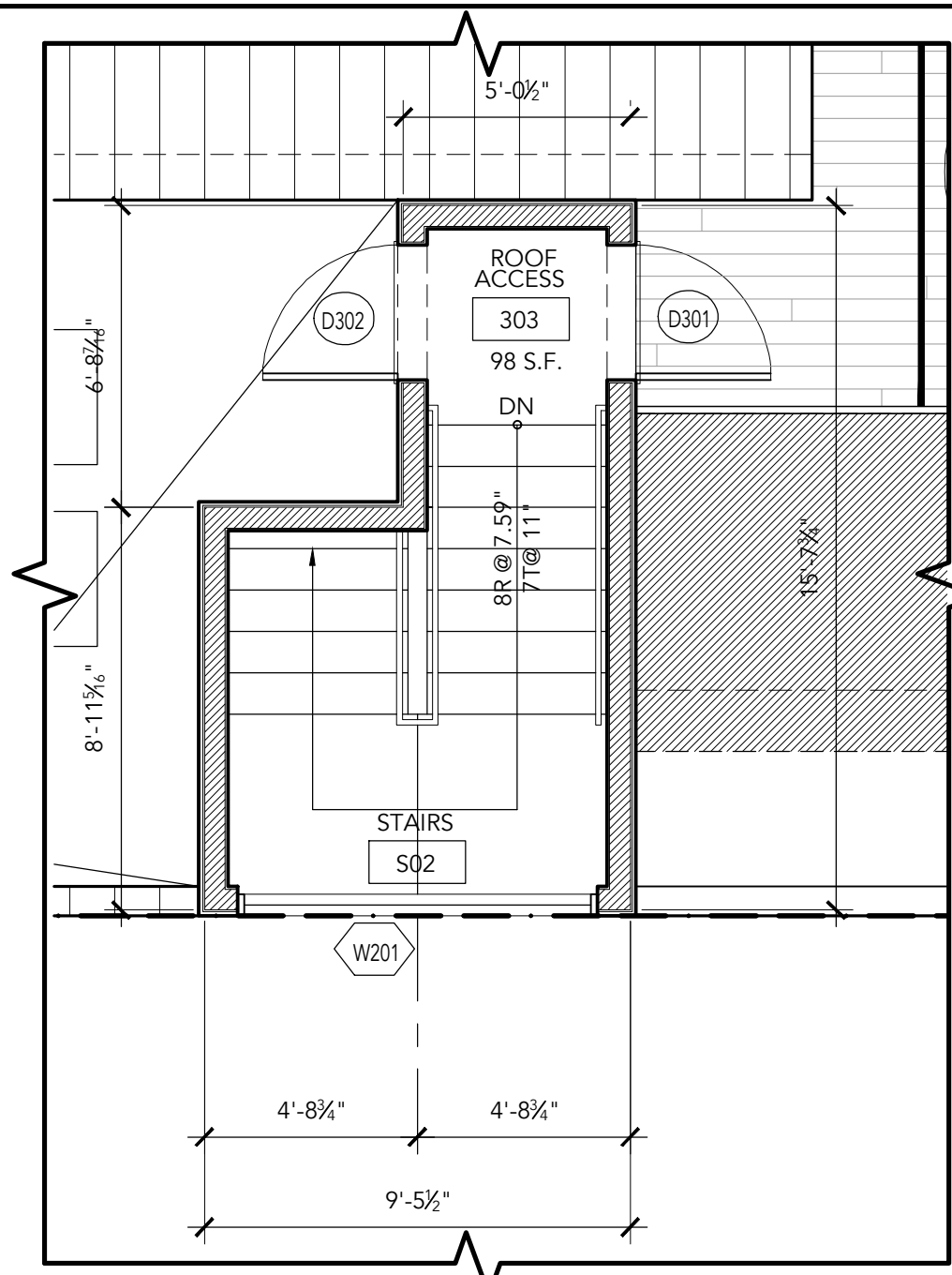
- (N) 2X6 WALL
- (N) 2X4 WALL
- (N) 1 HR WALL
- PROPERTY LINE
- SETBACK LINE
- (DXXX) DOOR
- (WXXX) WINDOW
- (SD) CEILING MOUNTED SMOKE DETECTOR - HARD WIRED W/ BATTERY BACK-UP
- (CM) CEILING MOUNTED CARBON MONOXIDE DETECTOR
- (F) CEILING MOUNTED EXHAUST FAN.



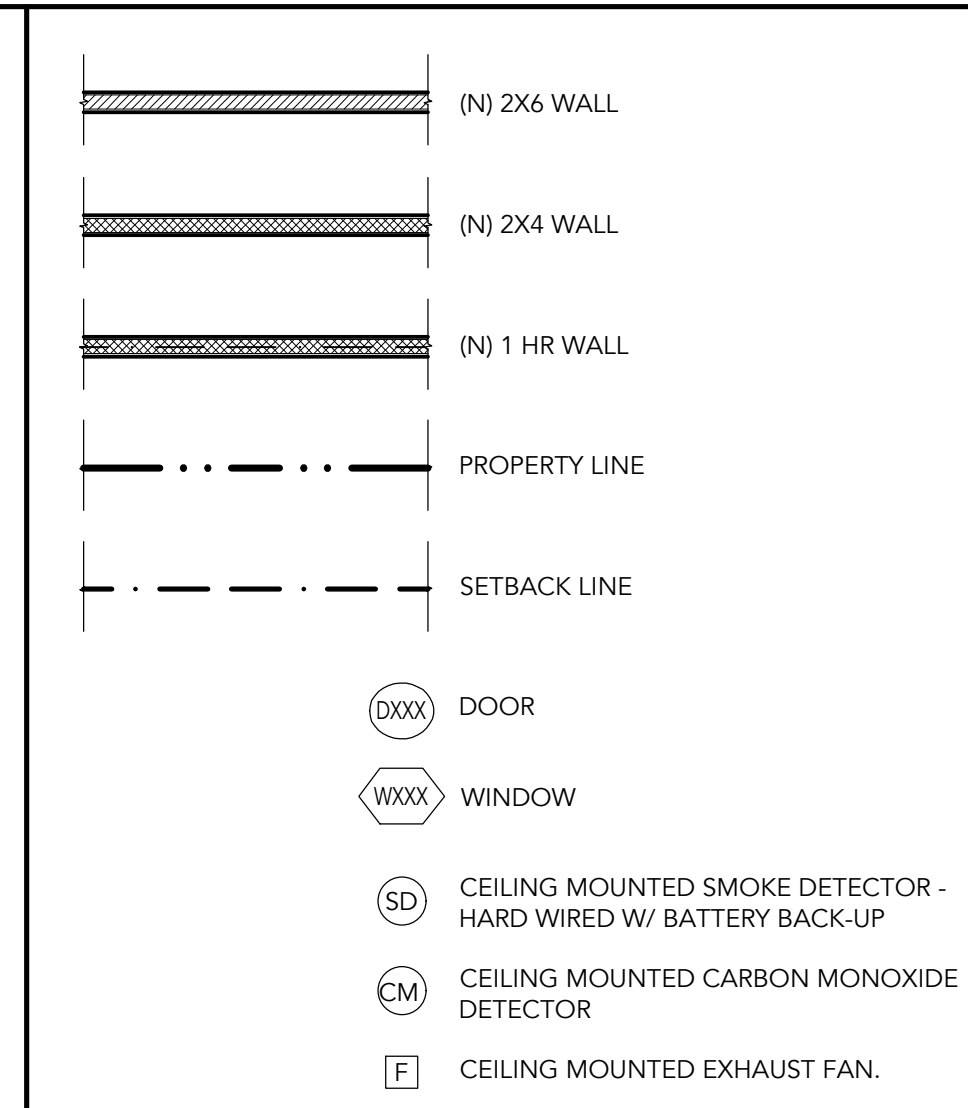
SECOND FLOOR DIMENSION PLAN

SCALE:
1/4" = 1'-0"

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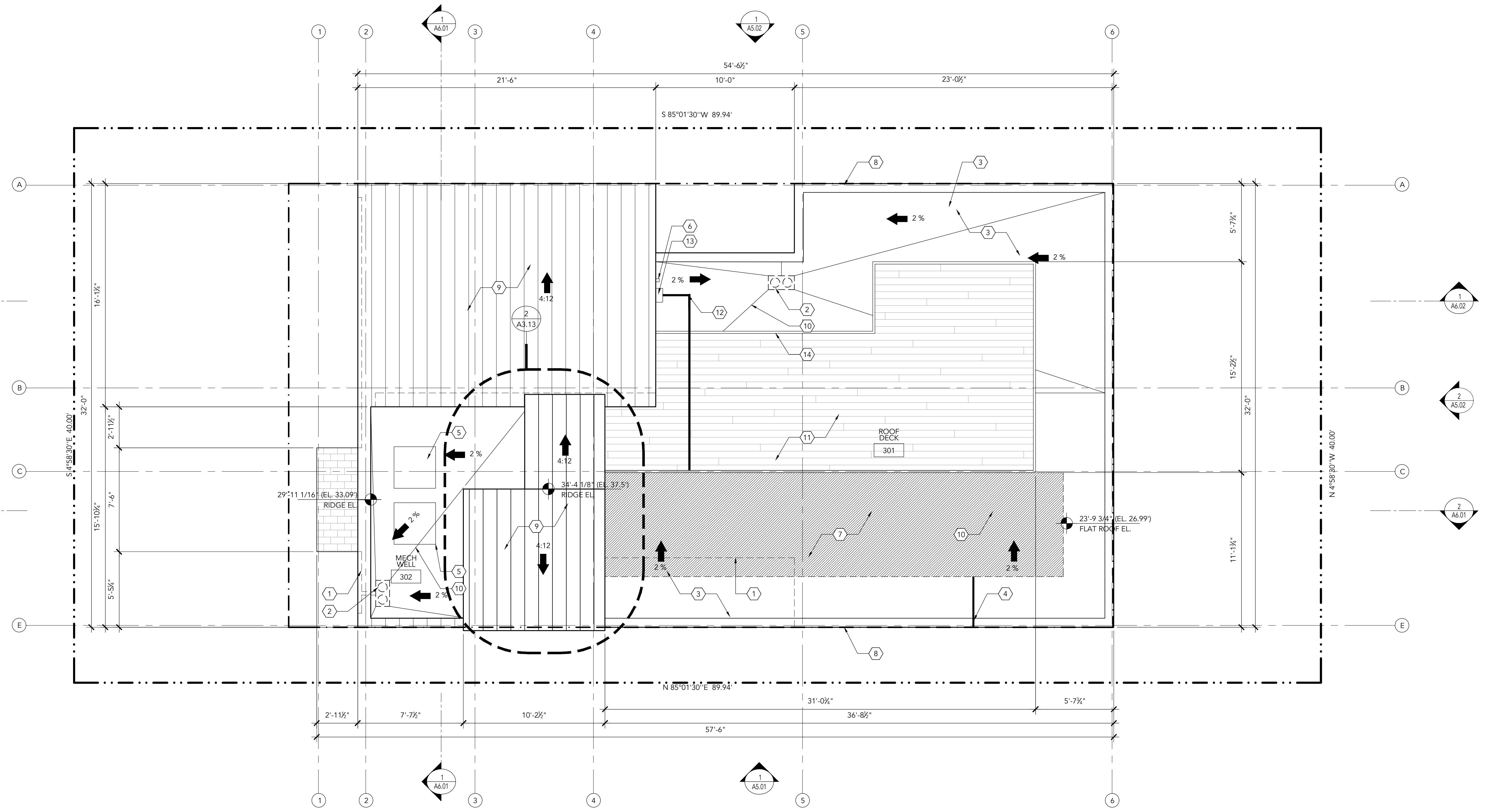
- 1 LINE OF WALL BELOW
- 2 ROOF DRAIN AND OVERFLOW, LARR# ###, CONCEALED GUTTER TO TERMINATE AT LID PLANTER
- 3 MODIFIED BITUMEN ROOF, CRRC 0668-0146
- 4 PATH FOR ROUTING OF PLUMBING FROM THE SOLAR ZONE TO THE WATER HEATING SYSTEM
- 5 CONDENSER UNIT
- 6 LOCATION FOR CONDUIT TERMINATION FOR FUTURE SOLAR USE, 1' MINIMUM (24" AWAY FROM FUTURE PV PANELS)
- 7 SPACE FOR FUTURE PV PANELS, 250 SQ. FT.
- 8 METAL PARAPET CAP AT ROOF PARAPET, TYP.
- 9 METAL ROOFING
- 10 CRICKET TO BE PROVIDED AS NEEDED. MIN 2% SLOPE. TYP.
- 11 WOOD ROOF DECK ON SLEEPERS w/ WATERPROOF ROOFING MEMBRANE
- 12 PATHWAY FOR ROUTING
- 13 INVERTERS AND METERING EQUIPMENT
- 14 42" H. BLACK POWDER COATED METAL GUARDRAIL



ROOF ACCESS LANDING 2

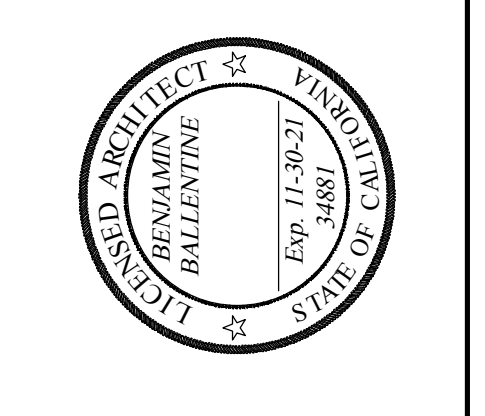
ROOF DECK PLAN KEYNOTES

ROOF DECK PLAN LEGEND



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PLANNING SUBMITTAL

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90291

DRAWING SCALE
1/4" = 1'-0"

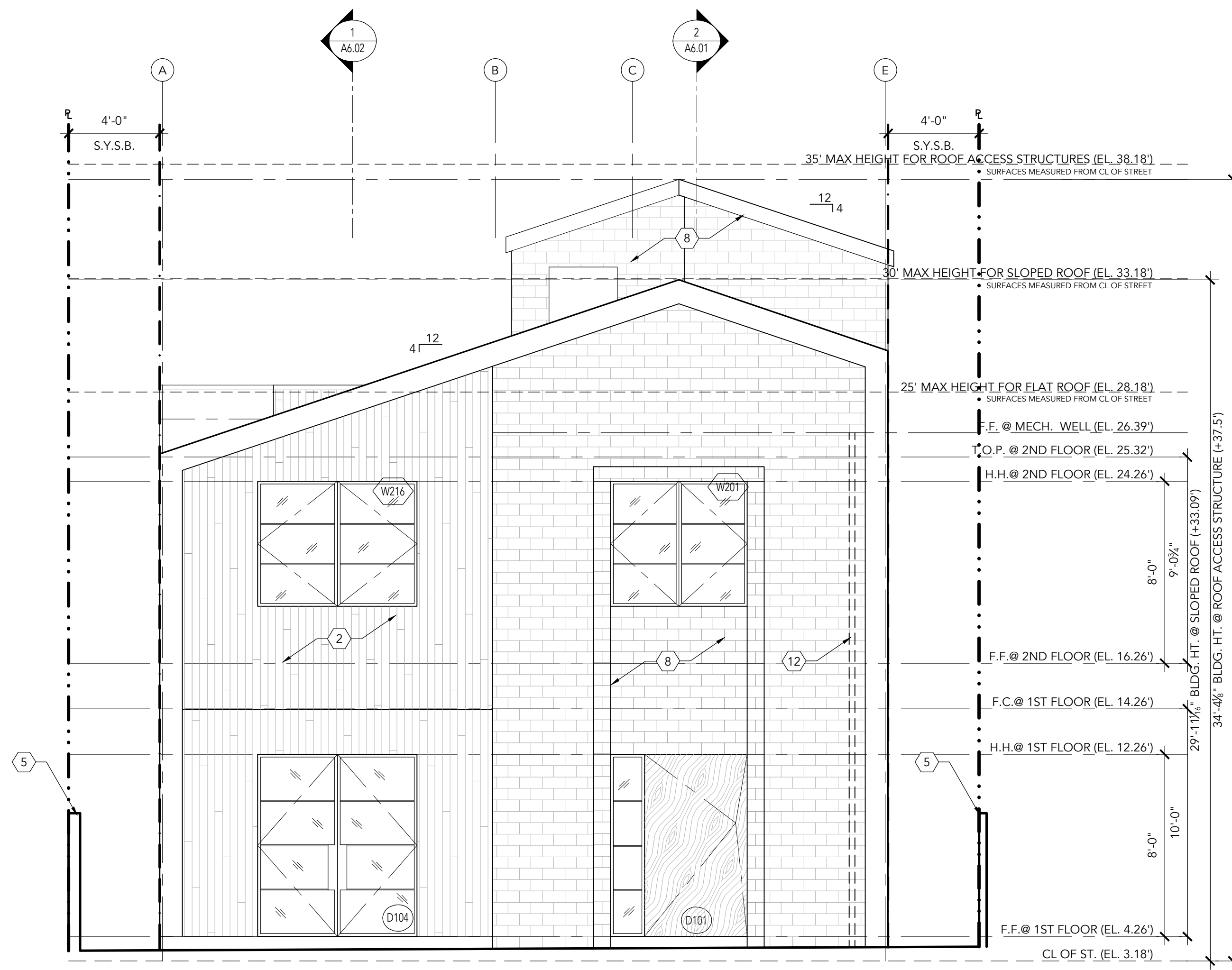
SHEET NAME
ROOF PLAN &
ROOF ACCESS
STRUCTURE

DRAWING DATA
PROJECT NO.: 19-2330
ISSUE DATE: 9/21/2021
CHECKED: BSB
DRAWN BY: BSB, JC, AK
SHEET NUMBER

ROOF DECK PLAN SCALE: 1/4" = 1'-0" 1

A3.13

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EAST ELEVATION

SCALE:
1/4" = 1'-0" 2

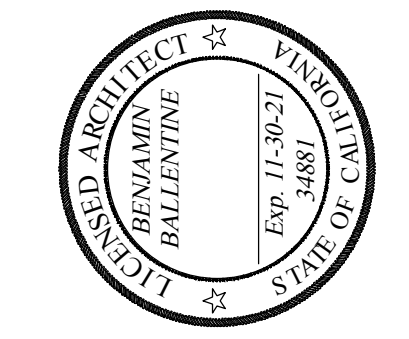
ELEVATION KEYNOTES

- 1 STANDING SEAM METAL ROOF W/ FLASHING / DRIP EDGE
- 2 WOOD SIDING
- 3 BLACKENED STEEL FINISH LID PLANTER @ 42" H ABOVE ADJACENT GRADE
- 4 (N) BOARD FORMED CONCRETE PROPERTY WALL @ 42" H. MAX ABOVE ADJACENT GRADE WITHIN F.Y.S.B.
- 5 (N) BOARD FORMED CONCRETE PROPERTY WALL @ 6'-0" H. MAX ABOVE ADJACENT GRADE
- 6 7/8" PORTLAND CEMENT PLASTER. FINISH TBD.
- 7 42" H. BLACK POWDER COATED METAL GUARDRAIL
- 8 EXTERIOR BRICK VENEER
- 9 (N) GAS METER
- 10 (N) ELECTRICAL PANEL
- 11 (N) TRASH ENCLOSURE. WOOD WALLS, WOOD GATES @ 6'-0" H MAX.
- 12 DOWNSPOUT IN WALL
- 13 (N) 42" H. LID PLANTER ABOVE ADJACENT GRADE
- 14 ROOF DRAIN TO BE ROUTED IN WALL
- 15 (N) TANKLESS WATER HEATER PER "M.E.P." DRAWINGS
- 16 (N) IRRIGATION CONTROL VALVE (WEATHER BASED), SEE ##/A1.03 FOR SPECS
- 17 (N) TREE; SPEC TBD

REVISION AND/OR ISSUE DATE

- | | |
|---|----------------------------------|
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DRAWING SCALE

1/4" = 1'-0"

SHEET NAME

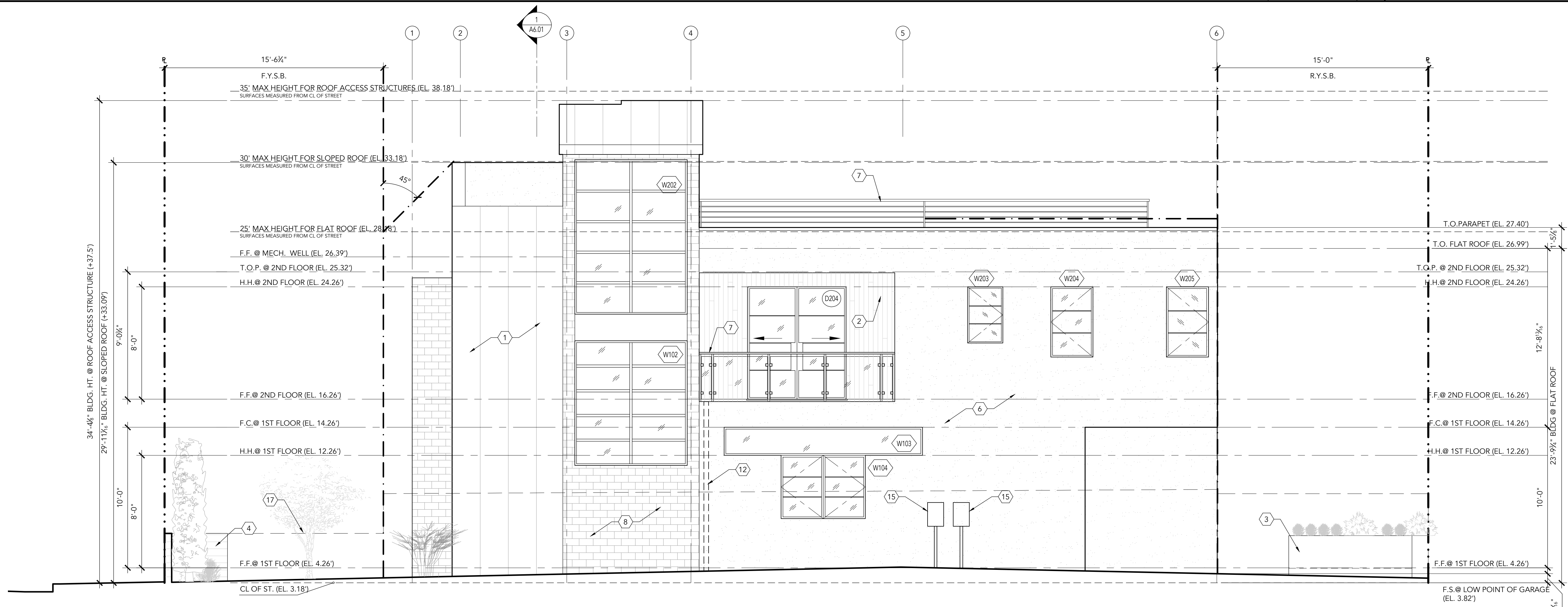
EXTERIOR
ELEVATIONS

DRAWING DATA

PROJECT NO.: 19-2330
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DRAWN BY: BSB, JC, AK

SHEET NUMBER

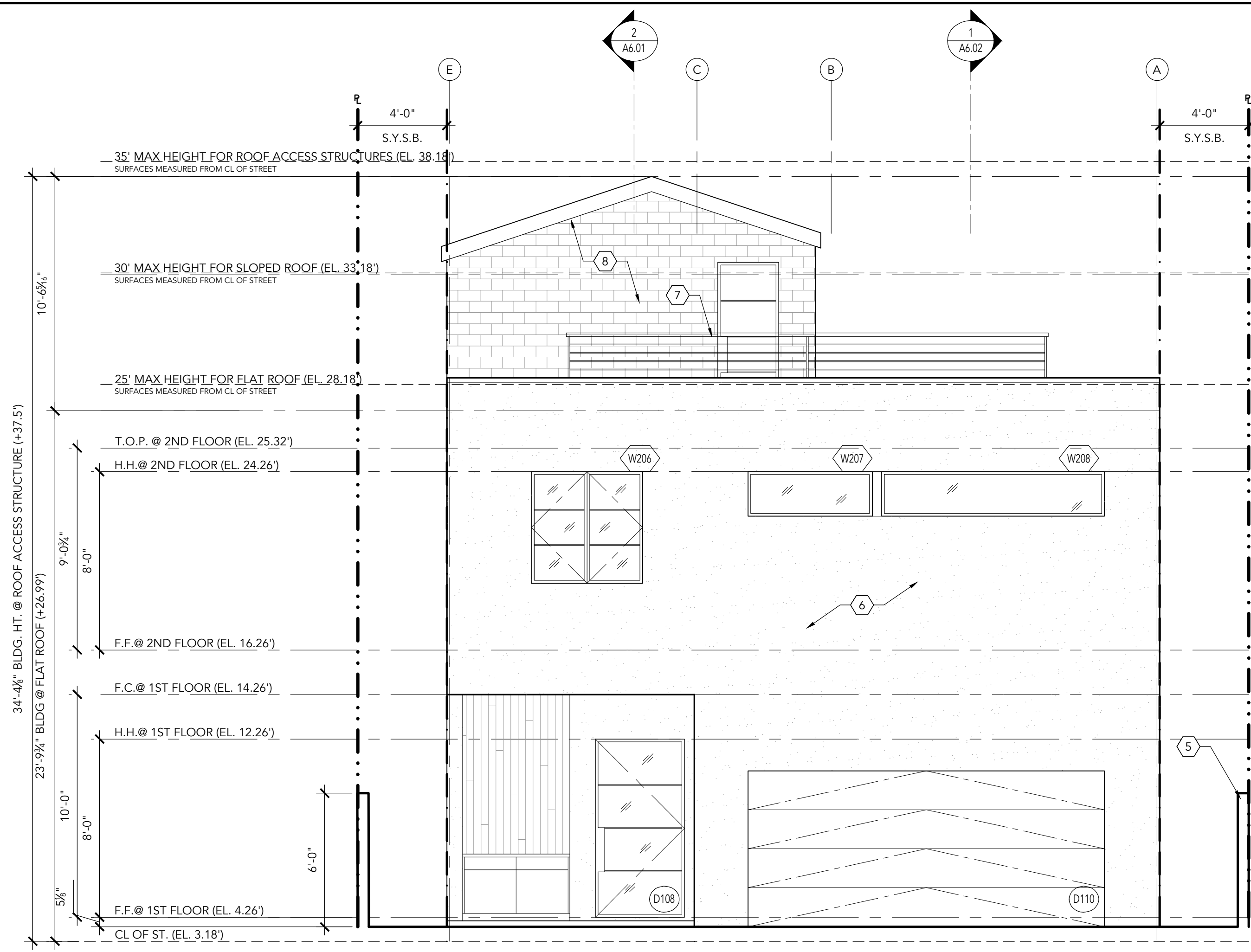
A5.01



NORTH ELEVATION

SCALE:
1/4" = 1'-0" 1

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WEST ELEVATION

SCALE:
1/4" = 1'-0"

2

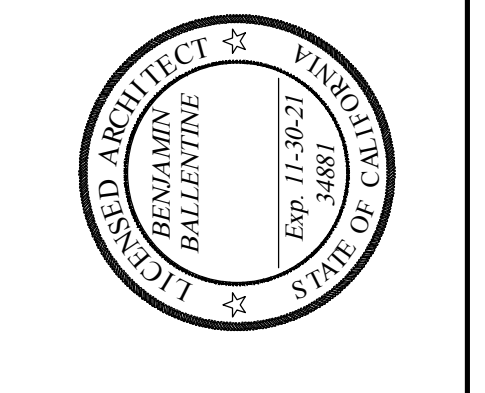
ELEVATION KEYNOTES

- 1 STANDING SEAM METAL ROOF W/ FLASHING / DRIP EDGE
- 2 WOOD SIDING
- 3 BLACKENED STEEL FINISH LID PLANTER @ 42" H ABOVE ADJACENT GRADE
- 4 (N) BOARD FORMED CONCRETE PROPERTY WALL @ 42" H. MAX ABOVE ADJACENT GRADE WITHIN F.Y.S.B.
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DRAWING SCALE

1/4" = 1'-0"

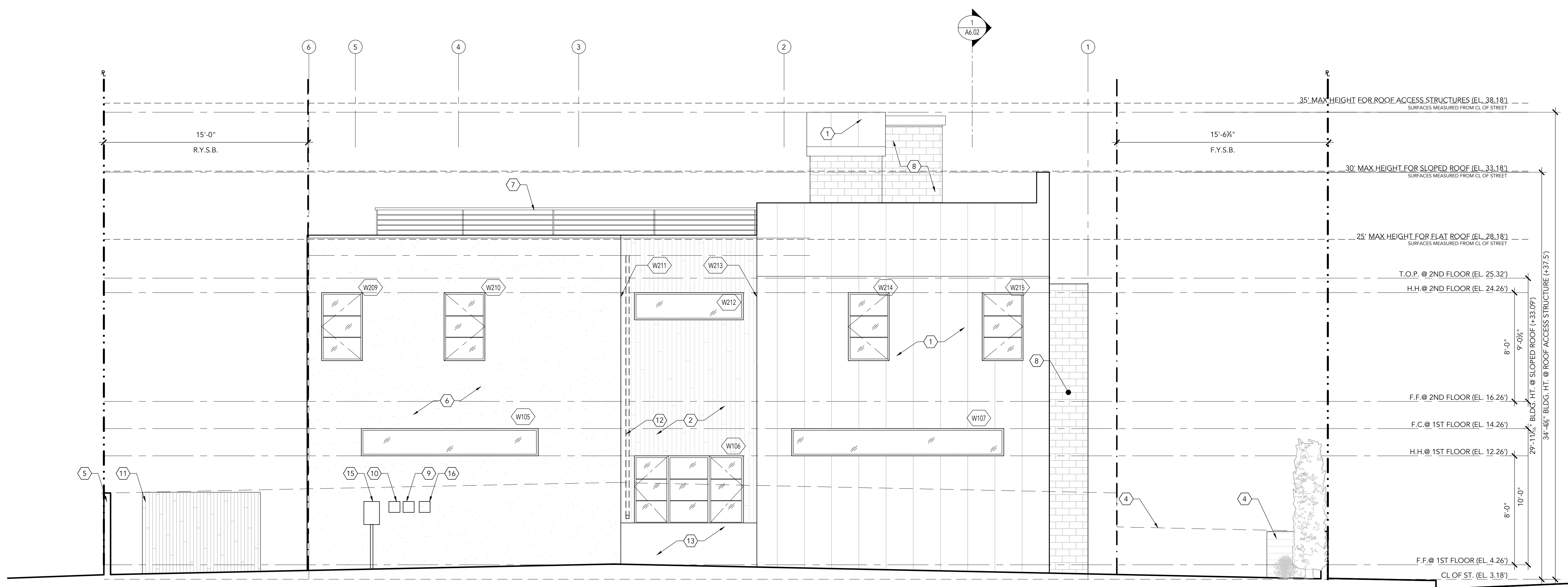
SHEET NAME

EXTERIOR
ELEVATIONS

DRAWING DATA

PROJECT NO.: 19-2330
ISSUE DATE: 9/21/2021
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DRAWN BY: BSB, JC, AK
SHEET NUMBER

A5.02



SOUTH ELEVATION

SCALE:
1/4" = 1'-0"

1

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REAR YARD RENDER 4



FRONT YARD RENDER 2



FRONT ENTRY RENDER 3

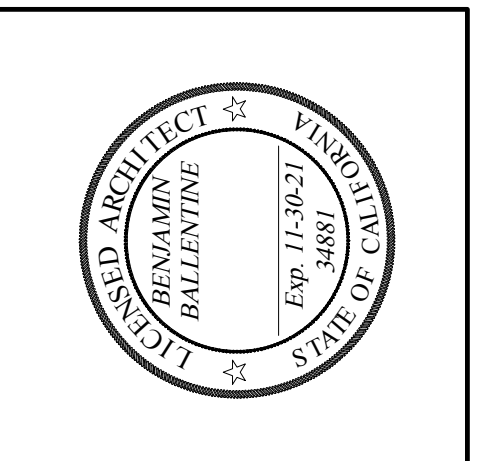


FRONT RENDER 1

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DRAWING SCALE

N.T.S.

SHEET NAME

RENDERS

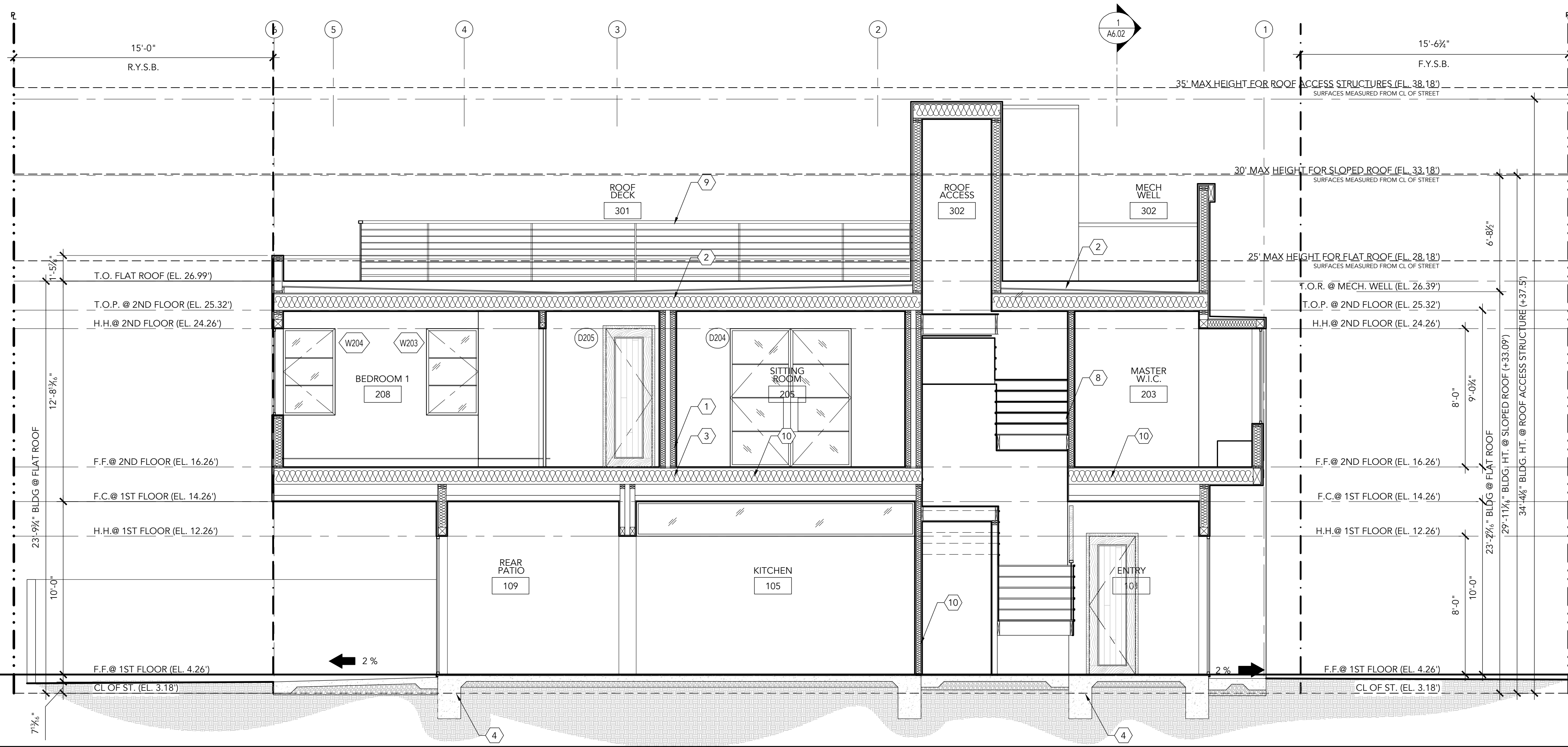
DRAWING DATA

PROJECT NO.: 19-2330
 ISSUE DATE: 9/23/2021
 CHECKED: BSB
 DRAWN BY: BSB, JC, AK

SHEET NUMBER

A5.03

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BUILDING SECTION

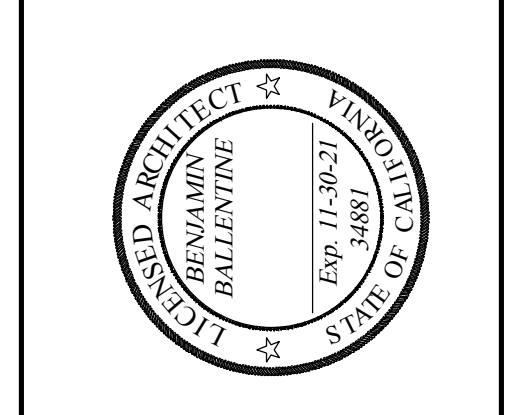
SCALE:
1/4" = 1'-0" 2

- SECTION KEYNOTES
- 1 (N) 2X WALL FRAMING PER STRUCTURAL
 - 2 (N) ROOF FRAMING PER STRUCTURAL
 - 3 (N) FLOOR JOISTS PER STRUCTURAL
 - 4 (N) FOUNDATION SYSTEM PER STRUCTURAL
 - 5 PROVIDE 3/8" TYPE "X" GYP. BD. ON CEILING & WALL BETWEEN GARAGE & HABITABLE ROOMS
 - 6 3" SHOWER NICHE. SEE KEYNOTE #34/A3.11 & A3.12
 - 7 METAL PARAPET CAP
 - 8 OPEN RISER STEEL STAIR
 - 9 42" H. BLACK POWDER COATED METAL GUARDRAIL W/ WOODEN CAP
 - 10 INSULATED WALL/CEILING PER TITLE 24

REVISION AND/OR ISSUE DATE

1	10/02/2020 PLANNING SUBMITTAL
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NOTES



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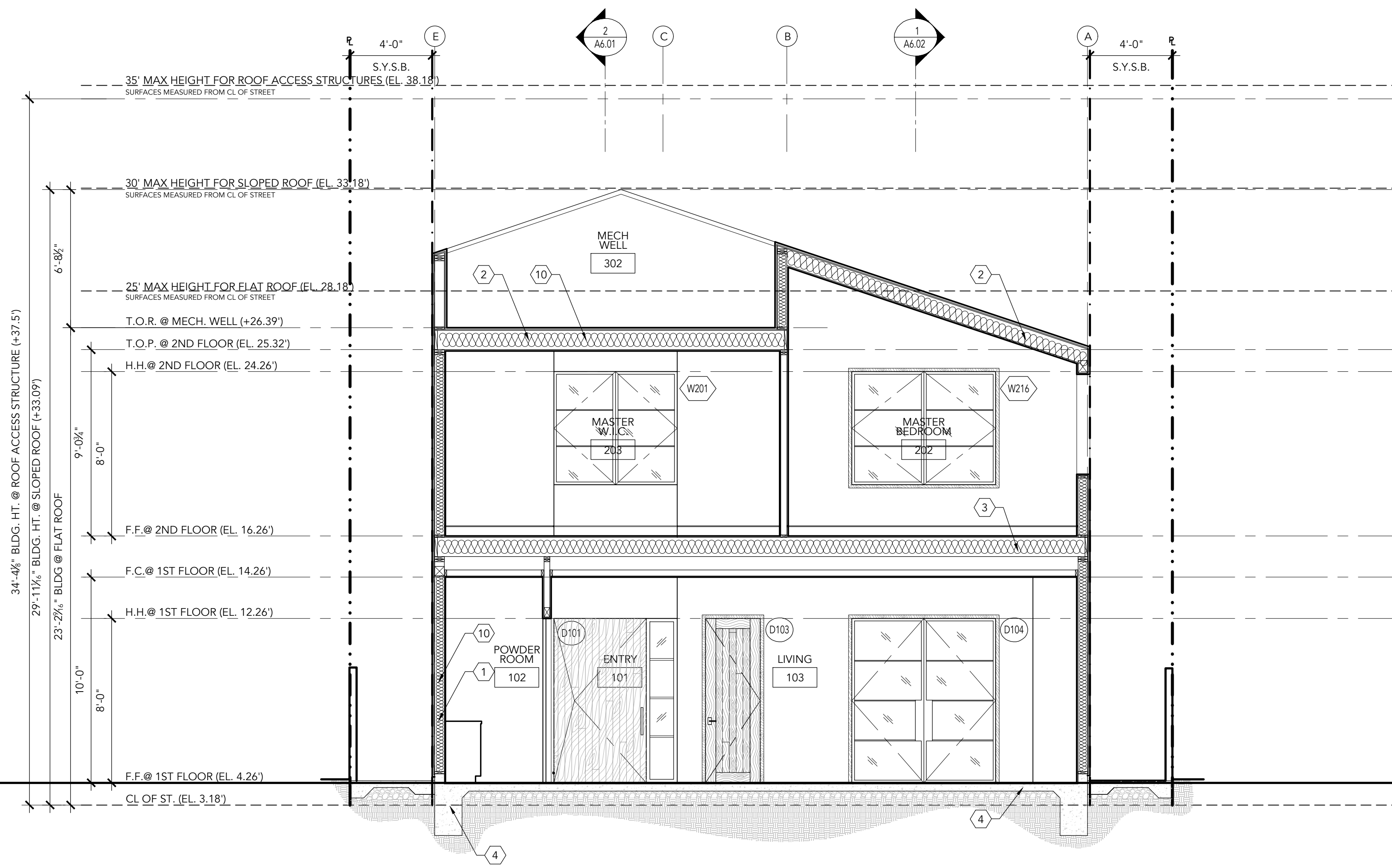
PROJECT TITLE AND ADDRESS:
WALKER RESIDENCE
2330 CLOY AVENUE
VENICE, CA
90291

DRAWING SCALE
1/4" = 1'-0"

SHEET NAME
BUILDING SECTION

DRAWING DATA
PROJECT NO.: 19-2330
ISSUE DATE: 9/21/2021
CHECKED: BSB
DRAWN BY: BSB, JC, AK
SHEET NUMBER

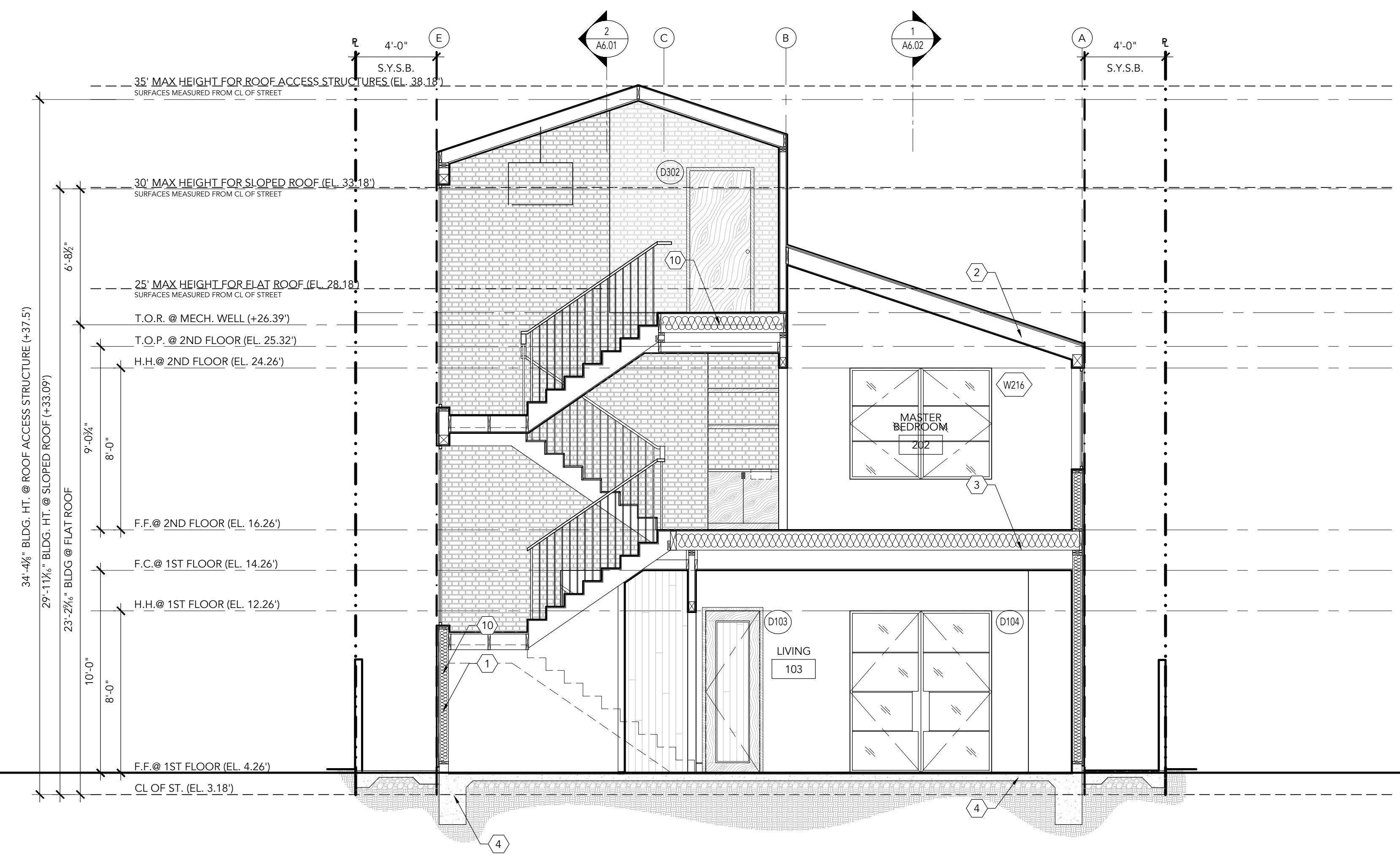
A6.01



BUILDING SECTION

SCALE:
1/4" = 1'-0" 1

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STAIR SECTION

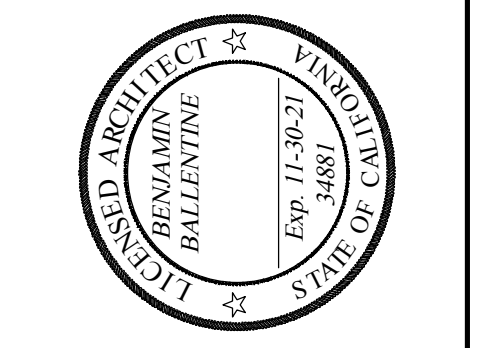
SCALE:
1/4" = 1'-0" 2

- SECTION KEYNOTES
- 1 (N) 2X WALL FRAMING PER STRUCTURAL
 - 2 (N) ROOF FRAMING PER STRUCTURAL
 - 3 (N) FLOOR JOISTS PER STRUCTURAL
 - 4 (N) FOUNDATION SYSTEM PER STRUCTURAL
 - 5 PROVIDE 3/8" TYPE "X" GYP. BD. ON CEILING & WALL BETWEEN GARAGE & HABITABLE ROOMS
 - 6 3" SHOWER NICHE. SEE KEYNOTE #34/A3.11 & A3.12
 - 7 METAL PARAPET CAP
 - 8 OPEN RISER STEEL STAIR
 - 9 42" H. BLACK POWDER COATED METAL GUARDRAIL W/ WOODEN CAP
 - 10 INSULATED WALL/CEILING PER TITLE 24

REVISION AND/OR ISSUE DATE

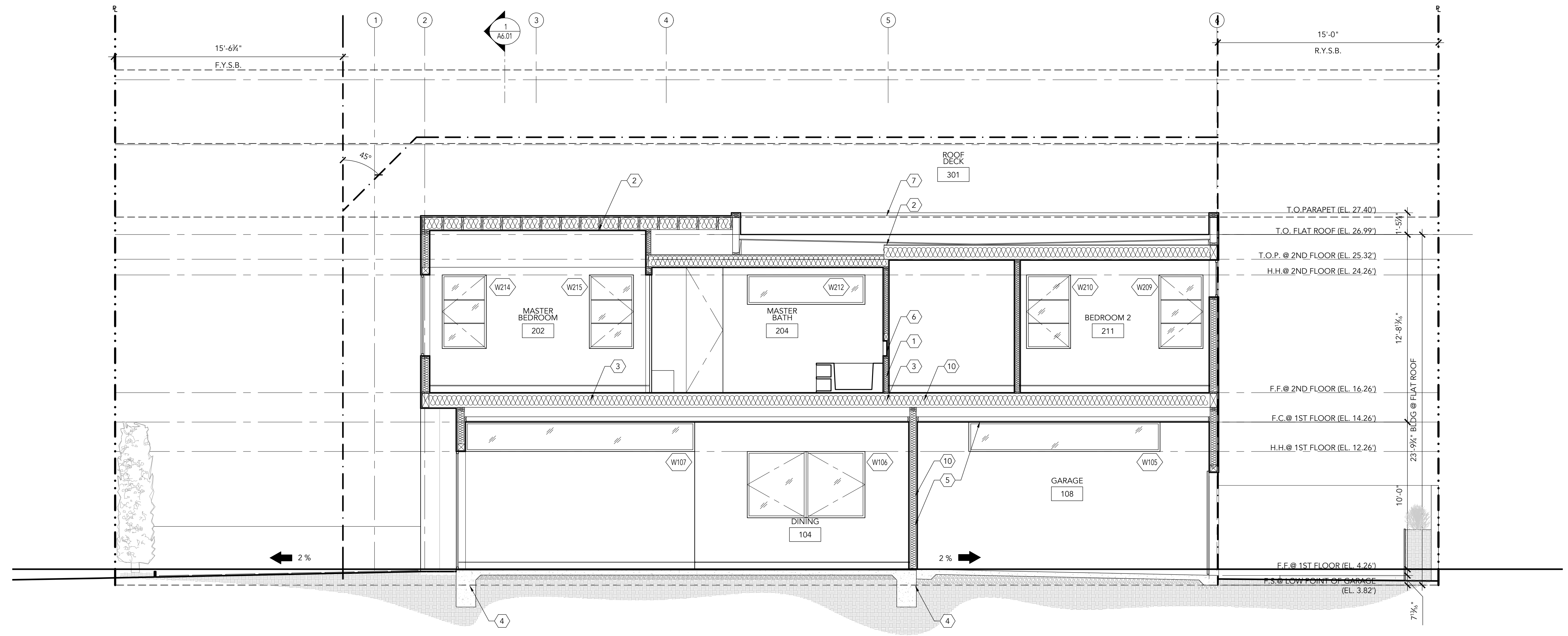
1	10/02/2020 PLANNING SUBMITTAL
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BUILDING SECTION

SCALE:
1/4" = 1'-0" 1

PROJECT TITLE AND ADDRESS:
WALKER RESIDENCE
2330 CLOY AVENUE
VENICE, CA
90291

DRAWING SCALE

1/4" = 1'-0"

SHEET NAME

BUILDING SECTIONS

DRAWING DATA

PROJECT NO.: 19-2330
ISSUE DATE: 9/21/2021
CHECKED: BSB
DRAWN BY: BSB, JC, AK

SHEET NUMBER

A6.02

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