

PROJECT INFORMATION

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PROJECT ADDRESS:522 S. VENICE BLVD. VENICE, CA 90291ZONING:RD1.5-1-QTRACT:TR 6329BLOCK:NONELOT:42 & 43ARB #:NONEACCESSOR'S PARCEL #:428003001LOT AREA:16,096.46 SFVERY HIGH FIRE HAZARD SEVERITY ZONE:NOFIRE DISTRICT NO. 1:NOMAX HEIGHT:25' FLAT ROOF 30' VARIED ROOF LINEVEHICLE PARKING:28BICYCLE STALLS:26
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MAX HEIGHT:25' FLAT ROOF 30' VARIED ROOF LINEVEHICLE PARKING:28BICYCLE STALLS:26
30' VARIED ROOF LINEVEHICLE PARKING:28BICYCLE STALLS:26
BICYCLE STALLS: 26
NUMBER OF DWELING UNITS: 26

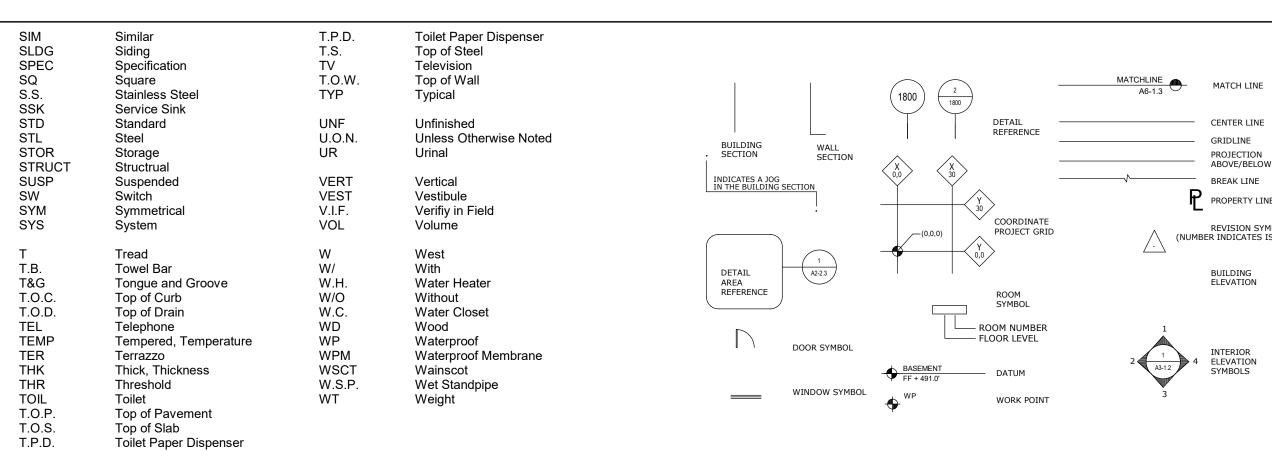
CODE		RESIDENT	FIAL UNITS		YARD SE	ETBACK PROVIDED VS. I	REQUIRED	A4.30PROPOSED SECTIONSA4.40PROPOSED SECTIONS
					YARD	PROVIDED	REQUIRED	A4.50 PROPOSED SECTIONS
2020 LABC, (TITLE 24, PART 2.5)	<u>UNIT #</u>	OCCUPANCY	<u>S.F.</u>	TYPE		-		A5.00 ENLARGED PLANS
	101	1 BD / 1 BTH	495 SF	AFFORDABLE	MILDRED AVE.	15'-0" @ ALL LEVELS	15'-0" @ ALL LEVELS	A5.10 ENLARGED PLANS
BASED ON THE 2018 IRC (INCLUDES ACCESSIBILITY)	102	1 BD / 1 BTH	495 SF	MARKET RATE				A5.20 ENLARGED PLANS
2020 LABC, VOL 2 (TITLE 24, PART 2, VOL 2)	103	1 BD / 1 BTH	495 SF	MARKET RATE	OCEAN AVE SIDE YARD	4'-10" @ ALL LEVELS (20% REDUCTION)	5'-0" + 1'-0" = 6'-0" @ ALL LEVELS	A5.30 ENLARGED PLANS A7.00 REFLECTED CEILING PLAN
								A7.10 REFLECTED CEILING PLAN
BASED ON THE 2018 IBC WITH ASCE 7-16	104	1 BD / 1 BTH	477 SF	MARKET RATE	S. VENICE BLVD.	15'-0" @ ALL LEVELS	15'-0" @ ALL LEVELS	A7.10 REFLECTED CEILING PLAN
2019 CA MECHANICAL CODE, (TITLE 24, PART 4)	105	1 BD / 1 BTH	477 SF	MARKET RATE	EAST SIDE YARD	6'-0" @ ALL LEVELS	5'-0" + 1'-0" = 6'-0" @ ALL LEVELS	A7.30 REFLECTED CEILING PLAN
	106	1 BD / 1 BTH	477 SF	AFFORDABLE				A7.40 REFLECTED CEILING PLAN
BASED ON THE 2018 UNIFORM MECHANICAL CODE	107	1 BD / 1 BTH	477 SF	AFFORDABLE				A7.50 REFLECTED CEILING PLAN
2019 CA PLUMBING CODE (TITLE 24, PART 5)	108	1 BD / 1 BTH	477 SF	AFFORDABLE				A9.10 VERTICAL CIRCULATION
	201	1 BD / 1 BTH	495 SF	AFFORDABLE	OPENS	SPACE PROVIDED VS. R	EQUIRED	A9.20 VERTICAL CIRCULATION
BASED ON THE 2018 UNIFORM PLUMBING CODE		1 BD / 1 BTH	495 SF	MARKET RATE	PROVIDED	REQUIRED		
2019 CA ELECTRICAL CODE (TITLE 24, PART 3)	202							
	203	1 BD / 1 BTH	495 SF	MARKET RATE	OPEN SPACE BREAKDOWN:	100 SF FOR EAG		
BASED ON THE 2017 NATIONAL ELECTRIC CODE	204	1 BD / 1 BTH	495 SF	MARKET RATE	COMON SPACE:	DWELLING UNIT 1,286 SF LESS THAN THF		
2019 CA ENERGY CODE (TITLE 24, PART 6)	205	1 BD / 1 BTH	477 SF	MARKET RATE	USABLE PRIVATE OPEN	HABITABLE ROO	OMS	
2020 CITY OF LOS ANGELES GREEN BUILDING CODE	206	1 BD / 1 BTH	477 SF	MARKET RATE	SPACE TOWARDS	26 UNITS x 100 \$	SF = 2,600 SF	DB INCENTIVES
	207	1 BD / 1 BTH	477 SF	MARKET RATE	CALCULATION BASED ON ZONING CODE 12.21G:	2,700 SF		
	208	1 BD / 1 BTH	477 SF	AFFORDABLE				REQUESTS FOR WAIVER OR MODIFICATION OF DEVELOPMENT ST
	209	1 BD / 1 BTH	477 SF	AFFORDABLE				THE MENU (12.22 A 25 (G) (3))
	301	1 BD / 1 BTH	495 SF	MARKET RATE	TOTAL OPEN SPACE PROVIDED:	3,986 SF TOTAL OPEN SF	PACE REQUIRED: 2,600 SF	- PERMIT A 40% REDUCTION IN REQUIRED FRONT YARD SETBACK AVENUE FRONTAGE TO ALLOW A 9' FRONT YARD SETBACK IN LIE
LS ENGINEER	302	1 BD / 1 BTH	495 SF	MARKET RATE	VARD SE	TBACKS PROVIDED VS.	REQUIRED	15' FRONT YARD SETBACK PURSUANT TO LAMC 12.09.1 B 1
ME: PARMELEE-SCHICK & ASSOC. INC.	303	1 BD / 1 BTH	495 SF	MARKET RATE				- PERMIT THE PROJECT TO PROVIDE 16 STANDARD PARKING STA COMPACT PARKING STALLS IN LIEU OF THE 1 STANDARD PARKING
DRESS: 13223 VENTURA BLVD. SUITE J	304	1 BD / 1 BTH	495 SF	MARKET RATE	YARD	PROVIDED	REQUIRED	DWELLING UNIT MINIMUM (26 STANDARD SPACES) REQUIRED PUI
STUDIO CITY, CA 91604 ONE NO.: 818-905-5337								12.21 A 5 C.
	305	1 BD / 1 BTH	477 SF	MARKET RATE	S. VENICE BLVD.	15' - 0" @ ALL LEVELS	15' - 0" @ ALL LEVELS	
	306	1 BD / 1 BTH	477 SF	MARKET RATE				
	307	1 BD / 1 BTH	477 SF	MARKET RATE	EAST SIDE YARD	6' - 0" @ ALL LEVELS	5' - 0" + 1' - 0" = 6' - 0" @ ALL LEVELS	
	308	1 BD / 1 BTH	477 SF	MARKET RATE	MILDRED AVE.	15' - 0" @ ALL LEVELS	15' - 0" @ ALL LEVELS	
	309	1 BD / 1 BTH	477 SF	MARKET RATE				
					OCEAN AVE. SIDE YARD	4' - 10" @ ALL LEVELS	5' - 0" + 1' - 0" = 6' - 0" @ ALL LEVEL	
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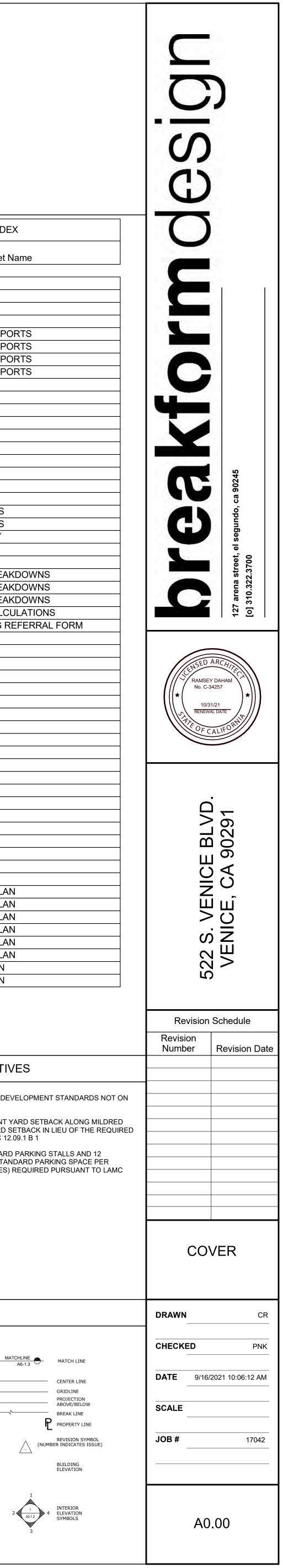
				ABRE\	/IATIONS & SYMB	OLS	
GALV	Galvinized	JT	Joint	N	North	P.T.D.	Paper Towel Dispenser
G.B.	Grab Bar			N.I.C.	Not in Contract	PTN	Partition
G.I.	Galvanized Iron	KIT	Kitchen	NO	Number		
GL	Glass, Glazing			NOM	Nominal	Q.T.	Quarry Tile
GND	Ground	LAM	Laminate	N.S.	No Scale		
GR	Grade	LAV	Lavatory	N.T.S.	Not to Scale	R	Riser
GYP	Gypsum	L.F.	Lineal Foot			RAD	Radius
		L.H.	Left Hand	O/	Over	R.D.	Roof Drain
Н	High	LKR	Locker	OA	Overall	REF	Reference
H.B.	Hose Bib	L.R.	Living Room	OBSC	Obscure	REFR	Refrigerator
H.C.	Hollow Core	LT	Light	O.C.	On Center	REINF	Reinforced or Reinforcing
HCP	Handicapped	LVR	Louver	O.D.	Outside Diameter	REQ	Required
HDWR	Hardware			O.F.D.	Overflow Drain	RESIL	Resilient
HDWD	Hardwood	MATL	Material	OFF	Office	REV	Revised
H.M.	Hollow Metal	MAX	Maximum	O.H.	Overhang	RFG	Roofing
HORIZ	Horizontal	M.B.	Machine Ball	OVHD	Overhead	R.H.	Right Hand
HR	Hour	MECH	Mechanical	OPNG	Opening	RM	Room
HT	Height	MEMB	Membrane	OPP	Opposite	R.O.	Rough Opening
HVAC	Heating, Ventilation	MET	Metal			RWD	Redwood
	and Air Conditioning	MFR	Manufacture	PC	Piece		
H.W.	Hot Water	MH	Manhole	P.D.	Planter Drain	S	South
		MIN	Minimum	PL	Plate	S.C.	Solid Core
I.D.	Inside Diameter	MIR	Mirror	P.L.	Property Line	SCHED	Schedule
INCL	Including	MISC	Miscellaneous	PLMG	Plumbing	SECT	Section
INSUL	Insulation	M.O.	Masonry Opening	PLAM	Plastic Laminate	SEP	Separation, Separate
INT	Interior	M.R.	Moisture Resistant	PLAS	Plaster	SH	Shelf
		MTD	Mounted	PLYWD	Plywood	SHR	Shower
JAN	Janitor	MUL	Mullion	PR	Pair	SHT	Sheet
JST	Joist			PT	Paint		

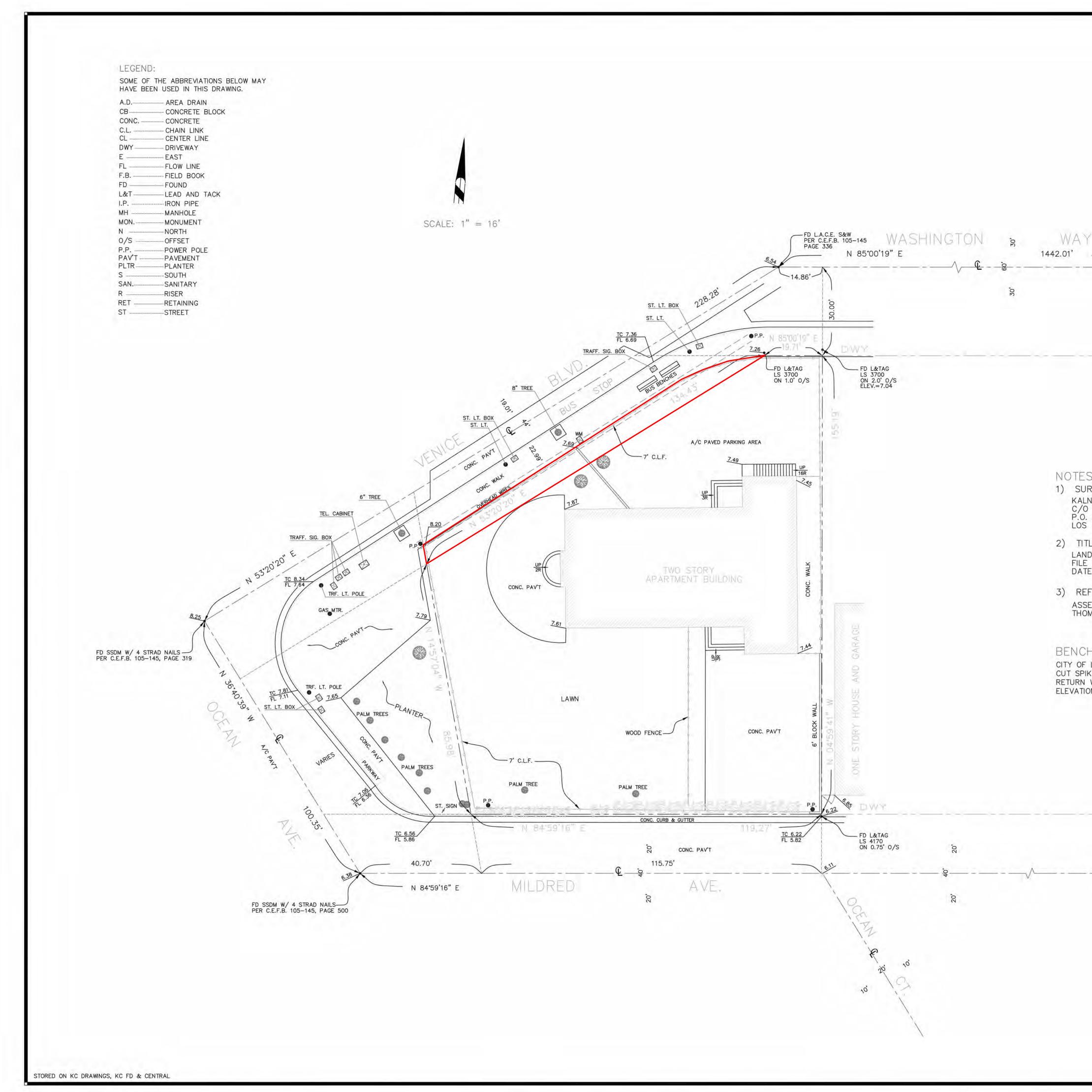
F.A	.R. PROVIDE	D VS. ALLOW	/ED	
PROVIDED		ALLOWED		
TOTAL RESIDENTIAL FLOOR AREA =	13,905 SF	TOTAL LOT ARE	EA:	16,096.46 SF
(BUILDABLE LOT AREA = 11,032 SF)		F.A.R. ALLOWE	D:	3:1
(F.A.R.) x 11,032 = 13,905 SF		BUILDABLE ARE	EA:	11,032 SF
F.A.R. PROVIDED:	1.26:1	(3) x 11,032 SF	=	33,096 SF
TOTAL PROVIDED:	13,905 SF	TOTAL ALLOWE	D:	33,096 SF
RESIDENTIA	AL DENSITY F	PROVIDED V	S. ALLOWED	
PROVIDED		ALLOWED		
DWELLING UNITS: 26 DW	ELLING UNITS	2 UNITS PER LO	T PER VCZSP	
IARKET RATE: 19		4 LOTS = 8 UNITS	S ALLOWED	
AFFORDABLE: 7		215% BONUS PE	R LAMC 12.24 U.26	
VERY LOW INCOME)				
TOTAL PROVIDED: 26 DW	ELLING UNITS	TOTAL ALLOWE	D: 26 DW	ELLING UNITS
PARK	ING PROVID	ED VS. REQU	JIRED	
PROVIDED		REQUIRED		
ENANT PARKING:	26 SPACES	TENANT PARKING	: PARKING OPTION 1 OF I	_AMC 12.22 A.25
GUEST PARKING:	2 SPACES	0-1 BED UNIT = 1 S	PACE REQ. (26 UNITS)	26 SPACES
TOTAL PROVIDED:	28 SPACES	TOTAL:		26 SPACES
BICYCLE F	PARKING PRO	OVIDED VS. F	REQUIRED	
PROVIDED		REQUIRED		
LONG TERM BICYCLE PARKING:	42 SPACES	LONG TERM BICY		
			NIT) 000 SF, MIN. 2) M BICYCLE PARKING:	39 SPACES 2 SPACES 41 SPACES
SHORT TERM BICYCLE PARKING:	4 SPACES	SHORT TERM BIC		41 SFACES
		(ONE SPACE PER (OFFICE: 1 PER 10	15 UNITS)	2 SPACES
			,00 SF, MIN. 2) RM BICYCLE PARKING:	2 SPACES 4 SPACES
TOTAL PROVIDED:	46 SPACES	TOTAL REQUIRED	:	45 SPACES
YARD SE	TBACK PRO	VIDED VS. RI	EQUIRED	
YARD	PROVIDED		REQUIRED	
MILDRED AVE.	15'-0" @ ALL	LEVELS	15'-0" @ ALL LEVEL	S
OCEAN AVE SIDE YARD	4'-10" @ ALL (20% REDUC		5'-0" + 1'-0" = 6'-0" @) ALL LEVELS
S. VENICE BLVD.	` 15'-0" @ ALL	,	15'-0" @ ALL LEVEL	S
EAST SIDE YARD	6'-0" @ ALL	LEVELS	5'-0" + 1'-0" = 6'-0" @) ALL LEVELS
PROVIDED		REQUIRED		
OPEN SPACE BREAKDOWN:	4 000 05	100 SF FOR EACH DWELLING UNIT H	AVING	
COMON SPACE:	1,286 SF	LESS THAN THREI HABITABLE ROOM		
USABLE PRIVATE OPEN SPACE TOWARDS		26 UNITS x 100 SF	=	2,600 SF
CALCULATION BASED ON ZONING CODE 12.21G:	2,700 SF			

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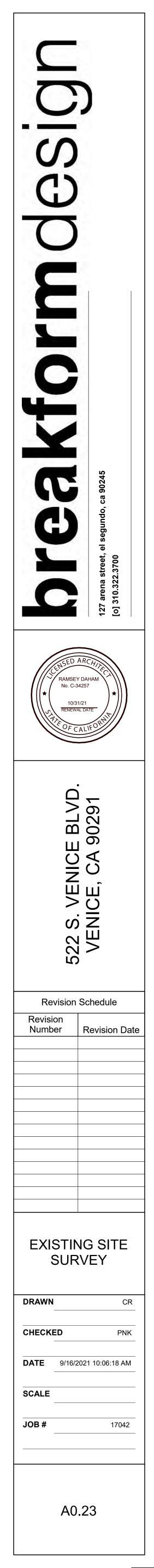
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A0.02	LOD
A0.03	GREEN FORMS
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A0.05	SPECS / RESEARCH REPORTS
A0.06	SPECS / RESEARCH REPORTS
A0.07	SPECS / RESEARCH REPORTS
A0.08	DOOR SCHEDULE
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A0.10	WALL & FLOOR TYPES
A0.11	GENERAL DETAILS
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A0.15	WINDOW DETAILS
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A0.23	DEMO PLAN
A0.25	LANDSCAPE PLAN
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A0.27	SQUARE FOOTAGE BREAKDOWNS
A0.28	SQUARE FOOTAGE BREAKDOWNS
A0.29	OPEN SPACE AREA CALCULATIONS
A0.30	AFFORDABLE HOUSING REFERRAL
A1.00	SITE PLAN
A1.10	SITE PLAN 2
A2.00	PROPOSED PLANS
A2.10	PROPOSED PLANS
A2.20	PROPOSED PLANS
A2.30	PROPOSED PLANS
A2.40	PROPOSED PLANS
A3.10	ELEVATIONS
A3.20	ELEVATIONS
A3.30	ELEVATIONS
A3.40	ELEVATIONS
A4.10	PROPOSED SECTIONS
A4.20 A4.30	PROPOSED SECTIONS
A4.30 A4.40	PROPOSED SECTIONS PROPOSED SECTIONS
A4.40 A4.50	PROPOSED SECTIONS PROPOSED SECTIONS
A4.50 A5.00	ENLARGED PLANS
A5.00 A5.10	ENLARGED PLANS
A5.10 A5.20	ENLARGED PLANS
A5.20 A5.30	ENLARGED PLANS
A3.00 A7.00	REFLECTED CEILING PLAN
A7.10	REFLECTED CEILING PLAN
A7.20	REFLECTED CEILING PLAN
A7.30	REFLECTED CEILING PLAN
	REFLECTED CEILING PLAN
A7.40	
A7.40 A7.50	REFLECTED CEILING PLAN
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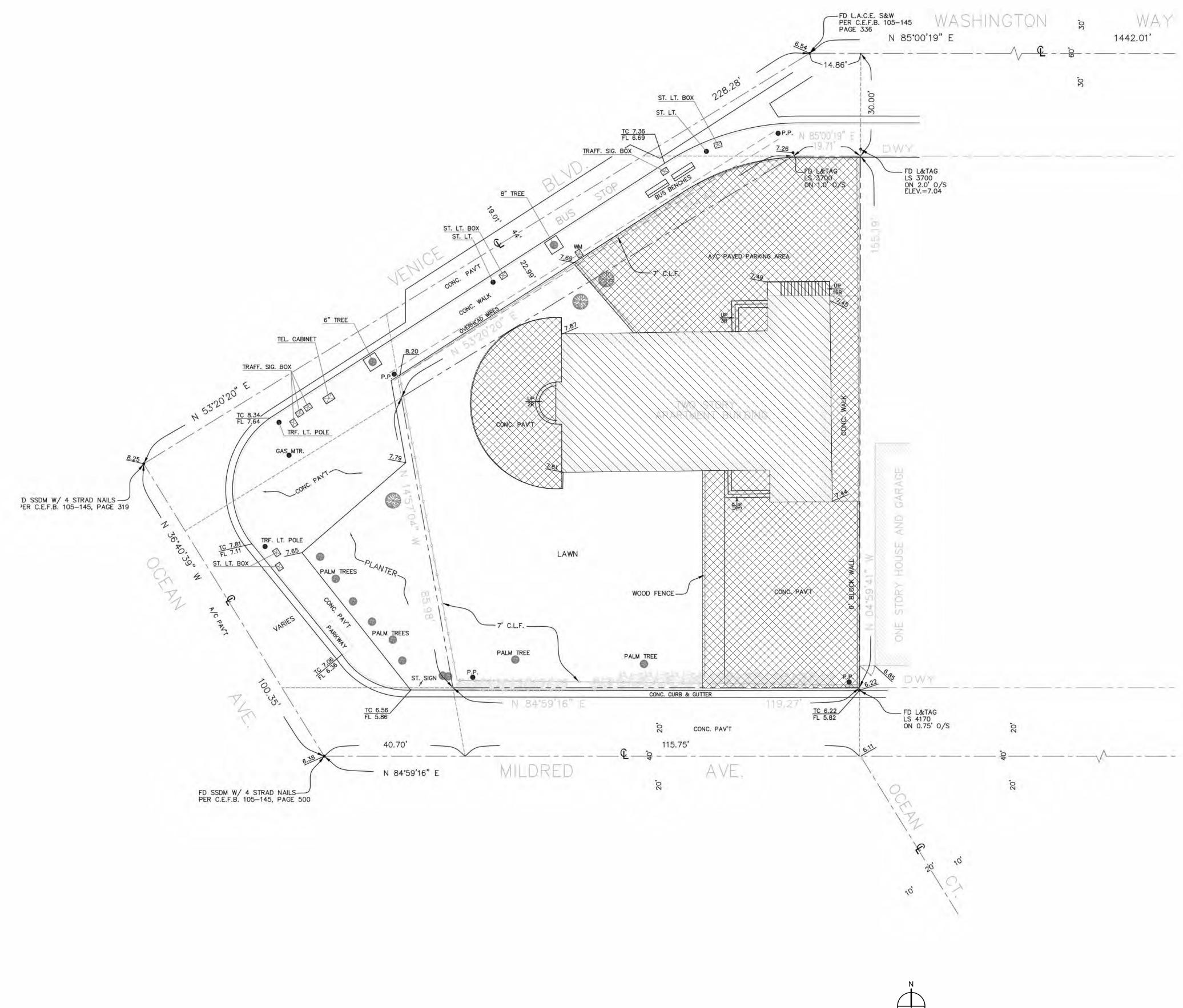
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ES:	& BOUNDARY SURVEY E. VENICE BLVD. ANGELES, CA. 93021	
SURVEY PERFORMED FOR:	AENIG FELES	
ALNEL GARDENS LLC /O MR. LEN JUDAKEN .O. BOX 24388 OS ANGELES, CA. 90024	ANG	
TITLE REPORT BY:	P0. 522 LOS	
ANDAMERICA COMMONWEALTH ILE NO. 05024796–27 ATE: APRIL 7, 2004	TOPO. 522 LOS	
REFERENCES:		
SSESSOR PARCEL NO. 4228-003-001 HOMAS BRO. GUIDE: PAGE 671, GRID H6	A C	117
	MAPS, AND DESCRIBED	PG
OF LOS ANGELES BENCHMARK I.D. NO. 16-00010	AAPS	2570
SPIKE IN N CURB GRAND BLVD; 7.2FT W OF BC CURB RN W OF VENICE BLVD; W END CB ATION=4.734 (1985)	AS	N S
	4 A A 4	GELI
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	101 0N 0 67, 67,	F LOS
	SCRIPTIC PORTION 9, M.B. 6	DEE TY O RNIA
	RAN E	CALIFORNIA
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FD L&T PER CEFB 105-145 PAGE 187	LEGAL Lot 43 an Tract no. Portion of	AS PARCEI OF DEEDS. STATE OF
	LOT TRA POF	AS OF STA
543.78'		
	DRAWN BY K.C. VANE	
	CHECKED	
	H. GOODMA DATE	AIN
	DEC. 10, 200	07
	SCALE 1" = 16'	
	SHEET	
		ст
SURVEY PERFORMED ON APRIL 17, 2007	OF 1 SHE	L)





DEMO NOTES:	<u>G</u> F
1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO	1. /
REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.	2. SH
2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.	3. I CC RE
3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.	4. / HE SH RE DE
4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.	5. Y FO 6. Y
5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE- USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.	7. V US 8. 3
6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.	WA 9. I
7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.	CC OV FO BU
	10.
DEMO ALL BUILDINGS & FOUNDATIONS	

DEMO EXISTING SITE WORK



GREEN BUILDING STANDARDS NOTES:

1. A MINIMUM OF 50% OF NONHAZRDOUS CONSTRUCTION WASTE IS TO BE RECYCLED

2. TESTING AND ADJUSTING OF NEW SYSTEMS INSTALLED TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 5.701.1 SHALL BE REQUIRED

3. PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/ WARRANTIES FOR EACH SYSTEM. O&M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

4. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM

5. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 5.504.4 AND TABLES 4.504.1, 5.504.4.2, 5.504.4.3 AND 5.504.4.5 FOR: ADHESIVES, SEALANTS, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.

6. WASTE WATER FIXTURES SHALL COMPLY WITH THE STANDARDS LISTED IN CGC TABLE 5.303.6 AND 5.712.3.5. 7. WHERE LANDSCAPE IRRIGATION IS A PART OF THE ADDITION OR TENANT IMPROVEMENT, LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS. CGC 5.712.4.3.1.

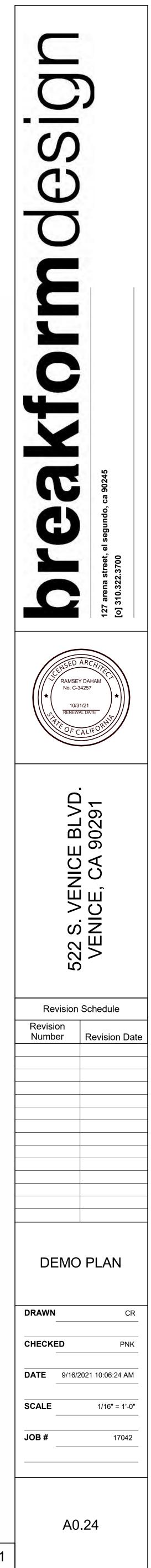
3. SUBMIT TO THE ENGINEERING DEPARTMENT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT OUTLINES THE ITEMS LISTED IN CGC SECTION 5.713.8.1.1

9. PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED

CONTRACTOR, ARCHITECT OR ENGINEER IS RESPONSIBLE OF THE

OVERALL CONSTRUCTION AND MUST COMPLETE AND SIGN THE CITYAPPROVED GREEN BUILDING STANDARDS CERTIFICATION FORM OR OTHER DOCUMENTATION REQUIRED BY THE CITY AND GIVEN TO THE BUILDING DEPARTMENT OFFICIAL PRIOR TO BUILDING FINAL APPROVAL TO BE FILED WITH THE APPROVED PLANS.

10. THIS PROJECT IS NOT LOCATED WITHIN A CNEL OF 65 OR GREATER.



DEMO PLAN 1/16" = 1'-0"

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PLANTING NOTES

1. QUANTITIES GIVEN FOR PLANT MATERIALS SPECIFIED FOR "ON CENTER" SPACING ARE SHOWN FOR CONVENIENCE ONLY AND ARE 14. ALL PLANTING AREAS SHALL BE LOOSENED TO A DEPTH OF 8". APPLY 4 C.Y. OF ORGANIC AMENDMENT AND 15 LBS. SUBORDINATE TO THE SPACING GIVEN. VERIFY AND SUPPLY SUFFICIENT NUMBER OF PLANTS TO FULFILL SPACING REQUIREMENTS. OF 10-10-10 FERTILIZER PER 1000 S.F. AND BLEND WITH THE TOP 6" OF SOIL. THIS AMENDMENT IS FOR BIDDING PURPOSES, AND

2. ALL HEADER AND BAMBOO ROOT BARRIERS SHALL BE LOCATED BY THE ARCHITECT ON SITE. 3. CONTRACTOR SHALL INSTALL PLANT MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS AND DETAILS.

4. CONTRACTOR SHALL PROVIDE A MAINTENANCE PERIOD OF NOT LESS THAN 90 DAYS COMMENCING AT THE DATE OF FINAL

ACCEPTANCE. SUCH MAINTENANCE SHALL INCLUDE ALL CARE PERTAINING TO ALL WORK INSTALLED AS PART OF THESE CONTRACT DOCUMENTS. 5. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH

COMPLETION OF PICK-UP WORK. 6. THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED.

7. REMOVE ALL DEBRIS, WEEDS, EXCESS MATERIAL AND ROCKS LARGER THAN 1" IN DIAMETER FROM PLANTING AREAS PRIOR TO PREPARATION & AGAIN PRIOR TO PLANTING.

8. SEE DETAILS AND SPECIFICATIONS FOR STAKING METHOD, PLANT PIT DIMENSIONS, SOIL PREPARATION, AND BACKFILL REQUIREMENTS.

9. ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

10. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.

11. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.

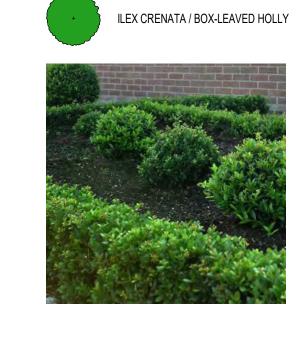
12. GROUNDCOVER PLANTING SHALL BE CONTINUOUS UNDER ALL TREES AND SHRUBS. GROUNDCOVER SHALL BE PLANTED ACCORDING TO SPACING ON PLANT LEGEND.

13. TREES SHALL BE LOCATED A MINIMUM OF 5' FROM WALLS, OVERHEADS, WALKS, HEADERS, AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTORS LIEABILITY TO RELOCATE THE MATERIALS.









				PLANTING LEG	END			
SYMBOL	QTY.	SIZE	SPACING	BOTANICAL NAME / COMMON NAME	NATIVE	WUCOLS WATER USE TYPES	WATER USE VALUES	HYDRO ZONE
₩	101	12"	3' - 5'	PENNISETUM SETACEUM / FOUNTAIN GRASS	NO	LOW	0.3	1
	31	12"	6" - 9"	DASYLIRON SPP. / DESERT SPOON	NO	VERY LOW	0.2	1
•	59	24" - 36"	24" - 36"	ILEX CRENATA / BOX-LEAVED HOLLY	NO	MEDIUM	0.4	2
J. C.	171	36" - 48"	24" - 36"	TRADESCANTIA PALLIDA / SPIDERWORT	NO	MEDIUM	0.4	2
*	135	24" - 36"	12"	SANSEVIERIA SPP. / MOTHER-IN-LAW'S TONGUE	NO	LOW	0.3	1
·	4	15' - 25'	NA	ERIOBOTRYA DEFLEXA / BRONZE LOQUAT	NO	MEDIUM	0.4	1
* * * *	265 SF	NA	NA	ST. AUGUSTINE GRASS	NO	MODERATE	0.6	2
	-	NA	NA	GRASS MOUNDS FESTUCA RUBRA 'MOLATE' - MOLATE CREEPING RED FESCUE (SEED)	NO	LOW	0.3	1
5	-	NA	NA	SAND (TO MATCH EXISTING)	-	-	-	-

SITE SOIL - 6 PARTS BY VOLUME

IRON SULFATE - 2 LBS. PER C.Y.OF MIX

16. TURF IS NOT ALLOWED ON SLOPES GREATER THAN 25% WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE..

17. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES. 18. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. 19. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL. 20. I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE THAT COMPLYS WITH THE PERFORMANCE APPROACH.

DATE____

21. AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

LANDSCAPE DESIGN PLANS. 2. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR **IRRIGATION NOTES** SUBSEQUENT MANAGEMENT PURPOSES. 1. CONTRACTOR IS TO AUGMENT EXISTING IRRIGATION SYSTEM. CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING LANDSCAPE AND IRRIGATION DAMAGED FROM CONSTR4UCTION TO AN ACCEPTABLE LANDSCAPE CONDITION WITH A FULLY SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT. FUNCTIONAL AND EFFICIENT IRRIGATION SYSTEM PER THE CONTAINED CONDITIONS. 4. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION. 2. ALL NEW TREES REQUIRE INDIVIDUAL POP-UP STREAM BUBBLERS, MIN. 2 PER TREE, WITHIN 4' OF TREE. TREE IRRIGATION SHALL BE ON A SEPARATE VALVE.

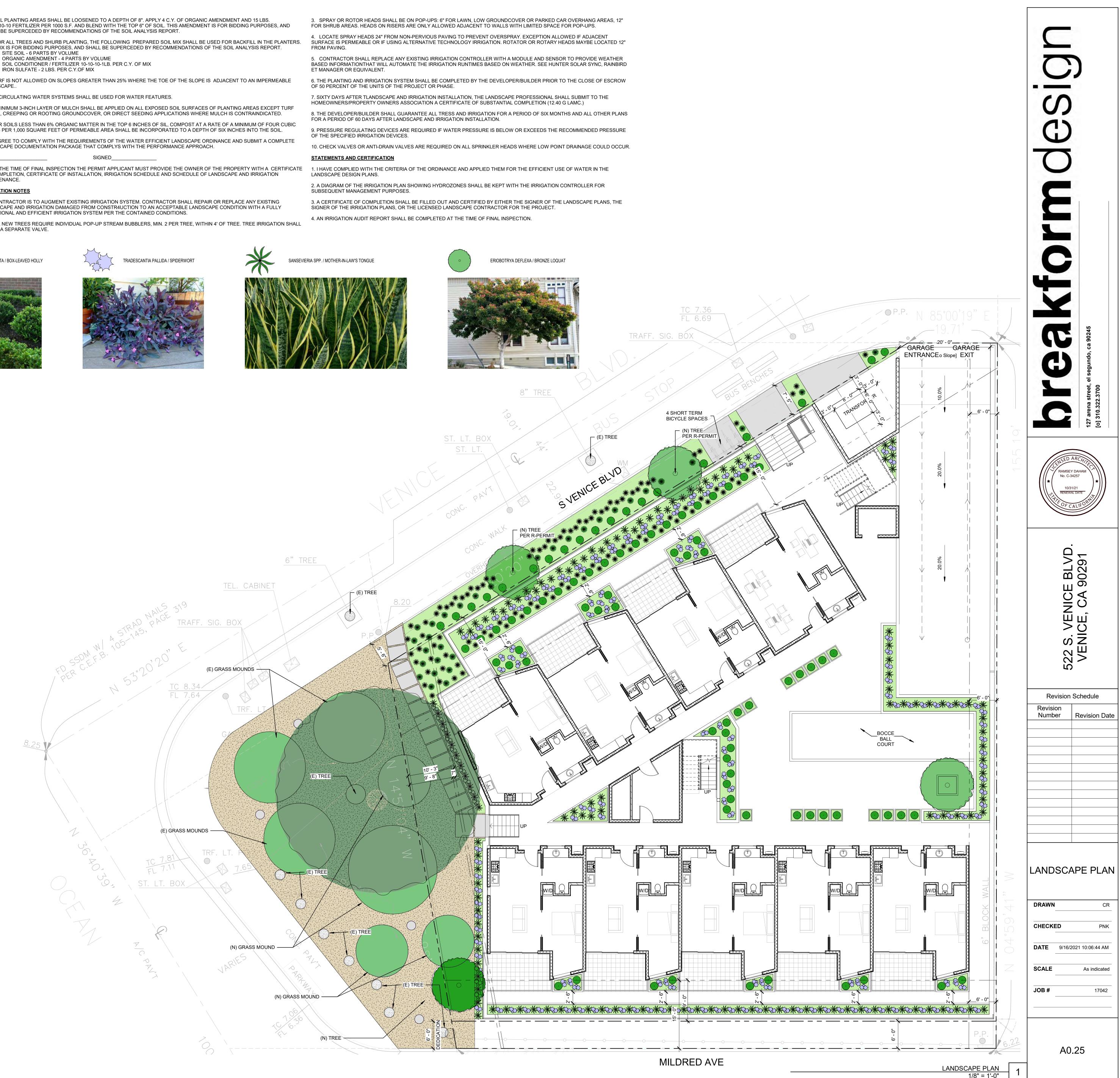
SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.

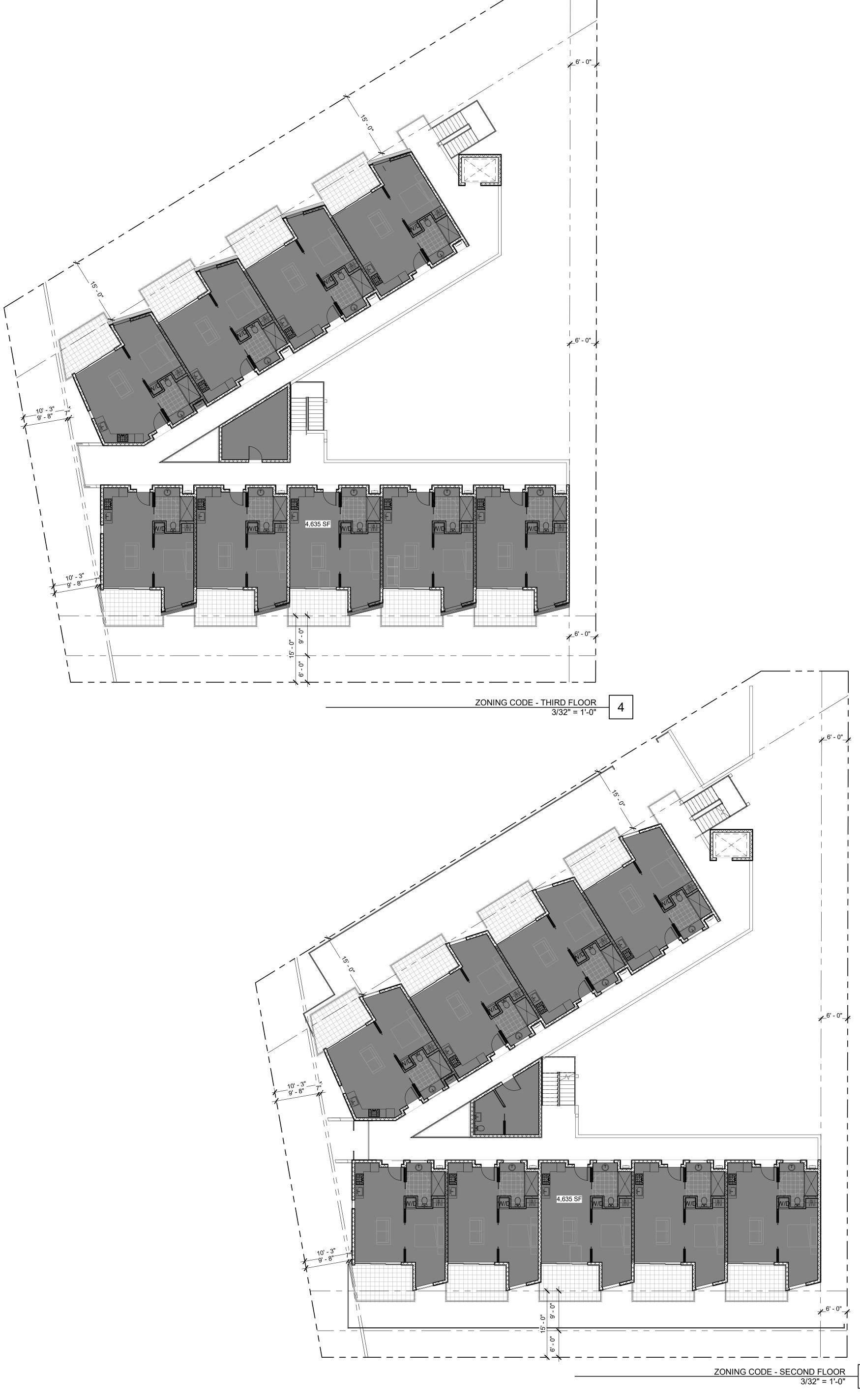
15. FOR ALL TREES AND SHURB PLANTING, THE FOLLOWING PREPARED SOIL MIX SHALL BE USED FOR BACKFILL IN THE PLANTERS. THIS MIX IS FOR BIDDING PURPOSES, AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.

SOIL CONDITIONER / FERTILIZER 10-10-10-1LB. PER C.Y. OF MIX

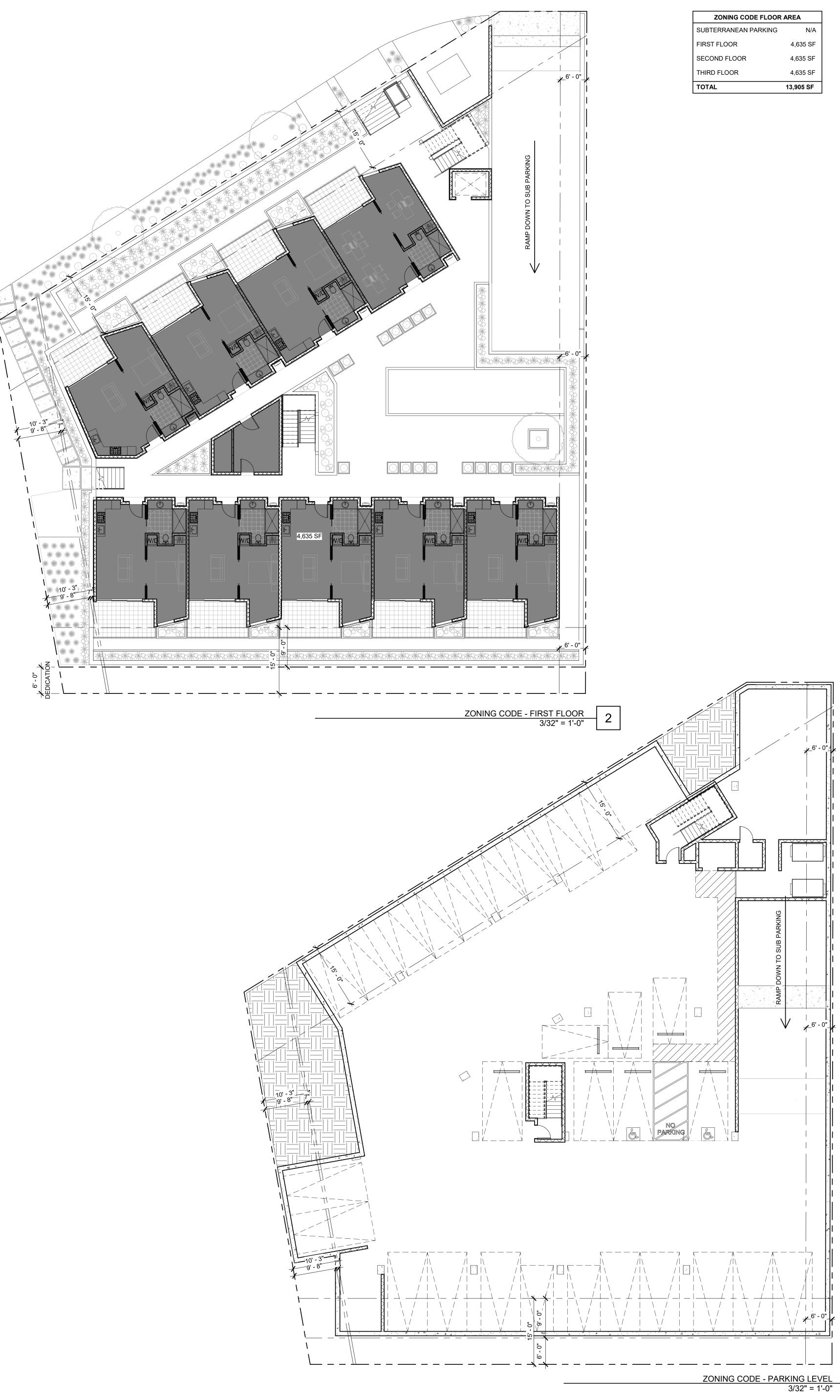




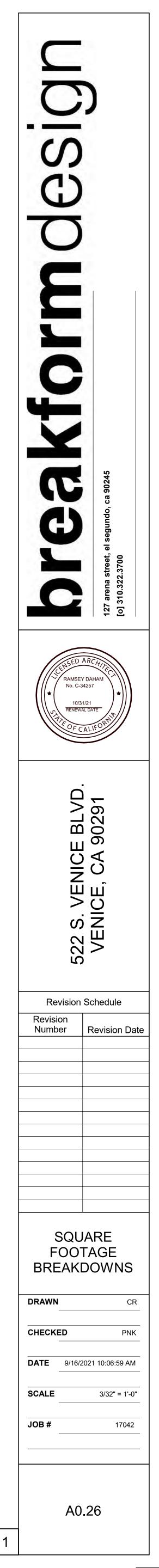








REA
N/A
4,635 SF
4,635 SF
4,635 SF
13,905 SF





	OPEN SPACE PRO	OVIDED VS. REQUIRED	
PROVIDED		REQUIRED	
COMMON OPEN SPACE:	1,256 SF	COMMON OPEN SPACE:	MIN
PRIVATE OPEN SPACE TOWARDS CLCULATION		26 UNITS @ < 3 HABITABLE ROOMS (100 S.F.) 26 UNITS)(100 S.F.) =	
BASED ON ZONING CODE 12.21G:	2,700 SF	0 UNITS @ 3 HABITABLE ROOMS (125 S.F.) (0 UNITS)(125 S.F.) =	
		0 UNITS @ > 3 HABITABLE ROOMS (175 S.F.) (0 UNITS)(175 S.F.) =	
TOTAL	3,956 SF	TOTAL	÷

COMMON OPEN SPACE TREE COUNT								
PROVIDED		REQUIRED						
ON SITE	1 TREE	1 TREE PER EVERY 4 UNITS						
IN PARKWAY OFF MILDRED AVE.	8 TREES (EXISTING)	26 UNITS / 4 =	7 TREES					
TOTAL	9 TREES	TOTAL	7 TREES					

REFERRAL FORMS: FFORDABLE HOUSING REFERRAL FORM ANGELES CITY PLANNING DEPARTMENT

-

This form is to serve as a referral to the Department of City Planning Development Services Center for affordable housing case filing purposes (in addition to the required Department of City Planning Application and any other necessary documentation) and as a referral to HCIDLA, CRA, LA County, or other City agency for project status and entitlement need purposes. This form shall be completed by the applicant and reviewed and signed by Department of City Planning staff prior to case filing. Any modifications to the content(s) of this form after its authorization by the Department of City Planning staff is prohibited.

CITY STAFF USE ONLY Referral To: Planning DSC - Filing D HCIDLA Funding D CRA D LA County D Other: Venice Blvd Apartment NOTES: Must comply with coastal Deut. Permit and venice Specific Plan Planning Staff Name and Title **Planning Staff Signature**

- Norali Ma Ainer, City Change Associate 1/000 . 1/ antidate, or as necessary, to reflect project modifications, policy changes and/or amendments to the LAMC, local laws, and State laws.) PROPOSED PROJECT
- 1. PROJECT LOCATION/ ZONING Project Address: 522 E Venice Blvd & 1700 S Washington Way, Venice, CA 90291 Project Name: Venice Blvd Apartments Applicant Name and Phone/Email: Brian Silveira & Associates, 310-753-1090/silveira.brian@gmail.com Assessor Parcel Number(s):4228-003-001 Community Plan: Venice __Number of Lots:4 ____Lot Size:16,155 Existing Zone: RD1.5-1-0 Land Use Designation: Low Med II Residential Q-condition/ D-limitation/ T-classification (please specify): ____ Other pertinent zoning information (please specify): Venice Coastal Zone Specific Plan - Southeast Subarea Location of Major Transportation Stop or Intersection (please specify):1____ 2. DESCRIPTION OF PROPOSED PROJECT Demolish existing 3-unit apartment building and a construct a new 26-unit apartment _
- building having 3 levels of dwelling units and one level of subterranean parking. The project is seeking a 35% density bonus per LAMC 12.22 A 25 with a single incentive to allow a 20% reduction in the westerly side yard. The project is seeking an additional 179% bonus per LAMC 12.24 U 26. The project is seeking a total bonus of 214%.
- ¹ Per AB 744, A Major Transit Stop means a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan. Per Sec 12:22.A.25(b) of LAMC. the definition of Transit Stop/Major Employment Center includes: (1) a station stop for a fixed transit guideway or fixed rail system, (2) a Metro Rapid Bus stop or route, (3) the boundaries of three major economic activity areas, and (4) the boundaries of a college or university campus with an enrollment
- CP-4043 [2.03.2017] Affordable Housing Referral Form

exceeding 10,000 students.

- Page 1 of 6
- 8. SITE PLAN REVIEW CALCULATION An application for Site Plan Review may be required for projects that meet any of the Site Plan Review thresholds as outlined in LAMC Section 16.05.C. unless otherwise exempted per Section 16.05.D. For Density Bonus projects involving bonus units, please use the formula provided below to determine if the project meets the Site Plan Review threshold for unit count. If project meets the threshold(s) but qualifies under the exemption criteria per Section 16.05.D please confirm exemption with Department of City Planning's DSC Housing Unit.
 - 8 units allowed by right (permitted by LAMC) 3 existing units = 5 units
 - YES, Site Plan Review is required, if Proposed Base Density units minus existing units is equal to or greater than 505
 - NO, Site Plan Review is not required, if Base Density units minus existing units is less than 50 NO, Site Plan Review is not required if Proposed Project is not utilizing a Density Bonus and total Project is less than 50

DENSITY BONUS (LAMC Sec.12.22.A.25, Ordinance 179,681)

9. DENSITY BONUS OPTIONS (Please check all that apply)

Condominium Conversion

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Land Donation Child Care

Restricted Affordable Units Located Near Transit Stop/ Major Employment Center Common Interest Development with Low or Very Low Income Restricted Affordable Units for Rent

Parking (Please choose only one of the following options):

Parking Option 1: Based on # of bedrooms, inclusive of Handicapped and Guest parking. Fractional numbers

are rounded down. # of Units Spaces/Unit Parking Required Parking Provided

0-1 Bedroom	26	1	26	31
2-3 Bedrooms		2		
4 or more Bedrooms		2.5		
TOTALS			26	31
Parking Option 2: Reduced only for F Affordable Units may be compact stalls				Parking Provided
Market Rate (Including Senior Market Rate)	# of Units	Per code	Parking Required	Parking Provided
		1		
Restricted Affordable Very Low/ Low Income Senior or Disabled		1 .5		
Restricted Affordable Very Low/ Low Income Senior or		1 .5 .25		

Parking Option 3: AB 744 - Applies to two types of projects: (A) 100% affordable developments consisting solely of rental units, exclusive of a manager's unit or units, with an affordable housing cost to lower income families; or (B) mixed-income developments consisting of the maximum number of very low- or low income units, which is 11% and 20% set aside, respectively.

⁵ Site Plan Review may also be required if other characteristics of the project exceeds the thresholds listed in Sec. 16.05 of the LAMC.

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A) 100% Affordable Rental Projects Located within 1/2 mile of major transit Senior having either paratransit service or unobstructed access within 1/2 mile to fixed bus route service that operates at least 8 times/day Special needs having either paratransit service or unobstructed access within 1/2 mile to fixed bus route service that operates at least 8 times/day B) Mixed Income Projects consisting which is 11% and 20% set aside, res Located within 1/2 mile of major transit stop with unobstructed access to project APPLICABLE TO PARKING OPTION 3 - AB744 ONLY: (1) Major transit stop means a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan. (2) The maximum 1/2 mile distance to a major transit stop is measured in a straight line ("as the crow flies"). (3) Tandem or uncovered parking is permitted. (4) Fractional numbers are rounded up. 10. INCENTIVES D Please check if you are requesting an incentive from AB 2501 "Development Bonuses From a Mixed Use Development". A. Project Zoning Compliance & Incentives (P Required/ Allowab (1) Yard/Setback (each yard counts as 1 inc Front ----Rear Side(s) 6-feet □ (2) Lot Coverage (3) Lot Width (4) Floor Area Ratio⁶ (5) Height/ # of Stories⁷ (6) Open Space (7) Density Calculation (8) Averaging (all count as 1 incentive) FAR Density Parking OS Vehicular Access Other (please specify): TOTAL # of Incentives Requested:

² Replacement units, per AB 2556, shall be equivalent to the number of units, size, and number of bedrooms of the existing development.

⁶ If applicable, provide vicinity map showing 50% of commercially zoned parcel is within 1,500 feet from Transit Stop or Major Employment Center. ⁷ See Sec. 12.22.A.25(f) 5 for additional requirements.

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A. Describe Existing Development: Existing triple Characteristic of existing use Dwelling Unit (DU), Commercial/ No. of DU o Industrial, or Other Guest Rooms Guest Rooms Studio One Bedroom Two Bedrooms Three Bedrooms ____ Bedroom Commercial / Industrial Other: **B. Previous Cases Filed** Case Number(s): Date Filed: Date Approved: End of Appeal Period: Environmental No. 4. TYPE OF APPLICATION Density Bonus (per LAMC Sec. 12.22.A.25) wi no entitlement case is requested, please conta ladbs.org or call 3-1-1 within the City of Los An Density Bonus per LAMC Sec. 12.22.A.25 with One on-menu incentive to allow a 20% reduction ☐ Density Bonus per LAMC Sec. 12.22.A.25 with Density Bonus per LAMC Sec. 12.22.A.25 with Greater Downtown Housing Incentive Area per through 11 of this form do not apply) Public Benefit Project per LAMC Sec. 14.00.A. Unapproved Dwelling Unit per LAMC Sec. 14.0 Agreement for Partnered Housing Between Co 30% or more of total units provided for 15% or more of total units provided for General Plan Amendment per LAMC Sec. 11.5 Zone/Height District Change per LAMC Sec. 1 Conditional Use per LAMC Sec. 12.22.U.26 □ Site Plan Review per LAMC Sec. 16.05 Specific Plan Project Permit Compliance per L Community Design Overlay per LAMC Sec. 13 Coastal Development Permit per LAMC Sec. Tract or Parcel Map per LAMC Sec. 17.00 or 1 Other discretionary incentives requested (pleased)

CP-4043 [2.03.2017] Affordable Housing Referral Form

3. EXISTING USE

_				
xis	ting	То Ве	Propo	sed ²
s	Approximate sq, ft./ea.	Demolished	No. of DU or Guest Rooms	Approximate sq. ft./ea.
-	1,540 sf	yes		
			26	490 sf
-				
+				
+				
+				1 0
-	14 A	((***!		
		(2)		<u>(3)</u>
			-	
-	-1	- S1.59.1		
ct	the Los Angeles	Department of B	with a discretiona Building and Safet	y (LADBS) at
ge i i	the Los Angeles les or (213) 473	Department of E -3231 outside of e menu (please yard.	Building and Safet the City of Los Ar specify): <u>35% den</u>	y (LADBS) at ngeles.
ct ge n in on n in	the Los Angeles les or (213) 473 ncentives on the in westerly side	Department of E -3231 outside of e menu (please yard. enu (please spe	Building and Safet the City of Los Ar <i>specify</i>): <u>35% den</u> <i>cify</i>):	y (LADBS) at ngeles.
n in	the Los Angeles les or (213) 473 ncentives on the in westerly side ncentives off menu	Department of E -3231 outside of e menu (please yard. enu (please spe incentives (ple	Building and Safet the City of Los Ar specify): <u>35% den</u> cify): ase specify):	y (LADBS) at ngeles. sity bonus,
	the Los Angeles les or (213) 473 ncentives on the in westerly side ncentives off menu	Department of E -3231 outside of e menu (please yard. enu (please spe incentives (ple	Building and Safet the City of Los Ar <i>specify</i>): <u>35% den</u> <i>cify</i>):	y (LADBS) at ngeles. sity bonus,
	the Los Angeles les or (213) 473 incentives on the in westerly side incentives off menu and off menu AMC Sec. 12.22	Department of E -3231 outside of e menu (please yard. enu (please spe incentives (ple	Building and Safet the City of Los Ar specify): <u>35% den</u> cify): ase specify):	y (LADBS) at ngeles. sity bonus,
	the Los Angeles les or (213) 473 ncentives on the in westerly side ncentives off menu	Department of E -3231 outside of e menu (please yard. enu (please spe incentives (ple A.29, Ordinance	Building and Safet the City of Los Ar specify): <u>35% den</u> cify): ase specify):	y (LADBS) at ngeles. sity bonus,
	the Los Angeles eles or (213) 473 incentives on the in westerly side in and off menu AMC Sec. 12.22 A.10 mercial and Hous w income housin	Department of B -3231 outside of e menu (please yard. enu (please spe incentives (ple .A.29, Ordinance sing Developer:	Building and Safet the City of Los Ar specify): <u>35% den</u> cify): ase specify):	y (LADBS) at ngeles. sity bonus,
	the Los Angeles eles or (213) 473 incentives on th in westerly side in and off menu AMC Sec. 12.22 A.10 mercial and Hous w income housin ery low income ho	Department of B -3231 outside of e menu (please yard. enu (please spe incentives (ple A.29, Ordinance sing Developer: ig outsing	Building and Safet the City of Los Ar specify): <u>35% den</u> cify): ase specify): e 179,076 (Section	y (LADBS) at ngeles. sity bonus.
	the Los Angeles eles or (213) 473 incentives on th in westerly side in and off menu AMC Sec. 12.22 A.10 mercial and Hous w income housin ery low income ho	Department of B -3231 outside of e menu (please yard. enu (please spe incentives (ple A.29, Ordinance sing Developer: ig ousing	Building and Safet the City of Los Ar specify): <u>35% den</u> cify): ase specify):	y (LADBS) at ngeles. sity bonus.
	the Los Angeles les or (213) 473 ncentives on th in westerly side ncentives off m n and off menu AMC Sec. 12.22 A.10 mercial and Hous w income housin ry low income housin Request:	Department of B -3231 outside of e menu (please yard. enu (please spe incentives (ple A.29, Ordinance sing Developer: ig ousing	Building and Safet the City of Los Ar specify): <u>35% den</u> cify): ase specify): e 179,076 (Section	y (LADBS) at ngeles. sity bonus.
	the Los Angeles les or (213) 473 ncentives on the in westerly side ncentives off menu and off menu AMC Sec. 12.22 A.10 mercial and Hous w income housin ry low income housin Request: 2. Request: 1C Sec. 11.5.7.C	Department of B -3231 outside of e menu (please yard. enu (please spe incentives (ple A.29, Ordinance sing Developer: g ousing	Building and Safet the City of Los Ar specify): <u>35% den</u> cify): ase specify): e 179,076 (Section	y (LADBS) at ngeles. sity bonus.
	the Los Angeles les or (213) 473 ncentives on th in westerly side ncentives off m n and off menu AMC Sec. 12.22 A.10 mercial and Hous w income housin ry low income housin ry low income housin Request: 2. Request: 20 Sec. 11.5.7.C 20.2 or 12.20.2.1	Department of B -3231 outside of e menu (please yard. enu (please spe incentives (ple A.29, Ordinance sing Developer: g ousing	Building and Safet the City of Los Ar specify): <u>35% den</u> cify): ase specify): e 179,076 (Section	y (LADBS) at ngeles. sity bonus.

Homeless – Very Low Income* Total # of Units per Category Percent of Affordable Units by Category		7 (e) 87.5% (g)
TOTAL # of Units Proposed	26	[g = e/c or e/i, whichever is less, c or [h = f/c or f/i, whichever is less, c or i] (i)
Number of Density Bonus Units Percent Density Bonus Requested Percent of Affordable Set Aside	<u>18</u> 215% 83.1%	(j) [If i>c, then j=i-c; if i <c, j="0]<br" then=""> (k) [k= j/c] (c) x % of affordable housing units provided</c,>
* Per AB 2442, a 10% setaside with Very Low	Income units at 2	20% Density Bonus.
³ Ministerial Projects (aka, "By-Right") do not require any discretional Department of Building & Safety. Plans are checked for compliance construction. ⁴ HCD (State) = Published affordability levels per California Department.	with the Building Cod	e and, when in compliance, permits are issued to begin

5. ENVIRONMENTAL REVIEW

Extremely Low Income

Ø Very Low Income

7. DENSITY CALCULATION

Lot size

hcidla.lacity.org.4

Market Rate

G For Sale

D For Rent

Low Income

Filed (indicate case number):

Density allowable by zone

B. Maximum Allowable Density Bonus:

Managers Unit(s) - Market Rate

Extremely Low Income

Very Low Income

Moderate Income

Seniors- Market Rate

Seniors-Low Income

Seniors- Very Low Income

Seniors - Moderate Income

Transitional Foster Youth-Very Low Income*

Disabled Veterans - Very Low Income*

Low Income

Environmental Review Not Required – Project is Ministerial.³ Please explain: _____

Moderate Income

Mixed Use Project

Residential Hotel

16.096.46

contact the Housing and Community Investment Department of Los Angeles (HCIDLA) at (213) 808-8843 or

C. Proposed Project: Please indicate total number of Units requested as well as breakdown by levels of

_____s.f. (a)

<u>2 units/lot</u> units/s.f. of lot area (b)

Market Rate

Senior

Transitional Foster Youth

round up to whole number]

HUD (TCAC)

Disabled Veteran

Homeless

<u>11 units</u> units (d) $[d = c \times 1.35]$, include fraction and

HCD (State

N/A

6. HOUSING DEVELOPMENT PROJECT TYPE (please check all that apply):

A. Base Density: Maximum density allowable per zoning

Units allowed by right (Base Density)

ning approvals. Developers of such housing file building plans with the Building Code and, when in compliance, permits are issued to begin ⁴ HCD (State) = Published affordability levels per California Department of Housing and Community Development. HUD (TCAC) = Published affordability levels per the United States Department of Housing and Urban Development. CP-4043 [2.03.2017] Affordable Housing Referral Form

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	# of Units	Spaces/Unit	Parking Required	Parking Provided
1		0.5		
		0.5		
		0.3		
	of the maxim	um number of	very low- or low in	oomo unite

spectively		ery low- or low	mcome units,
# of edrooms	Spaces/Bedroom	Parking Required	Parking Provided
	0.5		

Please	check	all that	apply)	

ole centive)	Proposed	ON Menu	OFF Menu	
	4.8-feet			
			-	
-			-	
			-	
		1		

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B. Qualification for Incentives On the Menu: (Please check only one)

Incentives	% Very Low Income	% Low Income	% Moderate Income
One	□ 5% to <10%	□ 10% to <20%	□ 10% to <20%
Two	□ 10% to <15%	□ 20% to <30%	□ 20% to <30%
Three	I 15% or greater	□ 30% or greater	30% or greater
3+	(Specify):	(Specify):	(Specify):

11. COVENANT: All Density Bonus projects are required to prepare and record an Affordability Covenant to the satisfaction of the Los Angeles Housing Department's Occupancy Monitoring Unit before a building permit can be issued. Please contact the Housing and Community Investment Department of Los Angeles (HCIDLA) at (213) 808-8843 or hcidla.lacity.org

12. REPLACEMENT UNITS: AB 2222 requires that density bonus eligible projects replace any pre-existing affordable housing units on the project site. Replacement units include the following: (Answer the following with yes or no.)

- A. Units subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income? 0. B. Units occupied by lower or very low income households below 80% AMI per California Department of Housing and Community Development Department levels not already listed above? 0
- C. Units subject to the Rent Stabilization Ordinance not already listed above? 0 D. Units that have been vacated or demolished in the last 5 years? 0
- E. Per AB 2556, are the number of replacement units, size and number of bedrooms equivalent to that being demolished (as shown on Existing Development Table on page 2 above)? n/a

GREATER DOWNTOWN HOUSING INCENTIVE AREA (GDHIA)

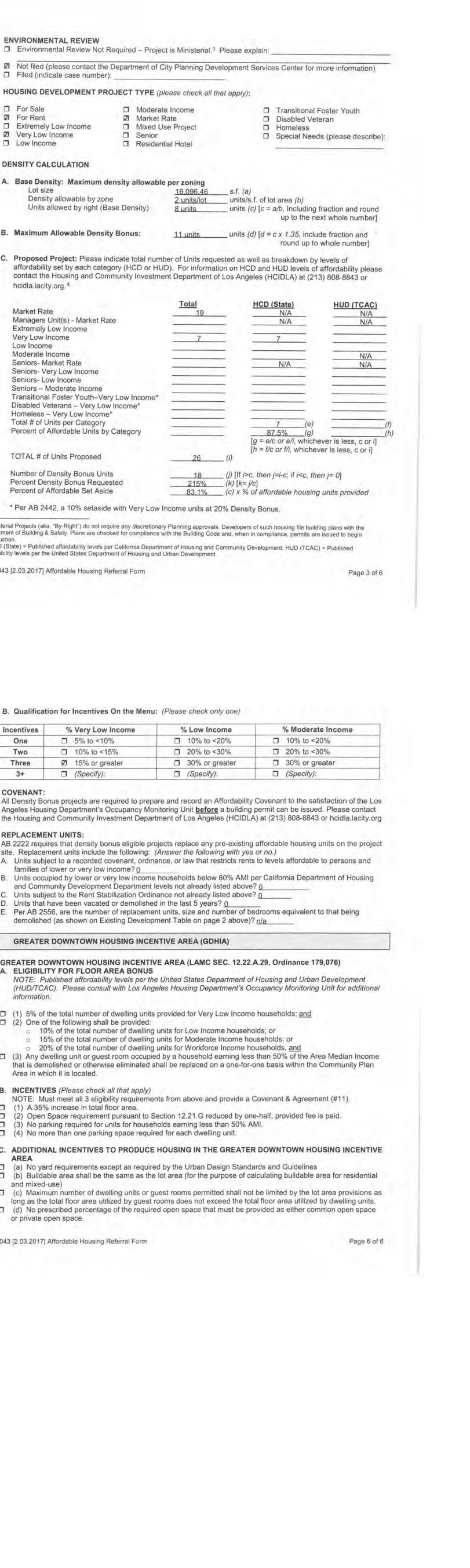
13. GREATER DOWNTOWN HOUSING INCENTIVE AREA (LAMC SEC. 12.22.A.29, Ordinance 179,076) A. ELIGIBILITY FOR FLOOR AREA BONUS

NOTE: Published affordability levels per the United States Department of Housing and Urban Development (HUD/TCAC). Please consult with Los Angeles Housing Department's Occupancy Monitoring Unit for additional information.

- (1) 5% of the total number of dwelling units provided for Very Low Income households; and
- (2) One of the following shall be provided: 10% of the total number of dwelling units for Low Income households; or
- a 15% of the total number of dwelling units for Moderate Income households; or o 20% of the total number of dwelling units for Workforce Income households, and
- (3) Any dwelling unit or guest room occupied by a household earning less than 50% of the Area Median Income that is demolished or otherwise eliminated shall be replaced on a one-for-one basis within the Community Plan Area in which it is located.
- B. INCENTIVES (Please check all that apply)
- NOTE: Must meet all 3 eligibility requirements from above and provide a Covenant & Agreement (#11). (1) A 35% increase in total floor area. (2) Open Space requirement pursuant to Section 12.21.G reduced by one-half, provided fee is paid.
- (3) No parking required for units for households earning less than 50% AMI. (4) No more than one parking space required for each dwelling unit.
- C. ADDITIONAL INCENTIVES TO PRODUCE HOUSING IN THE GREATER DOWNTOWN HOUSING INCENTIVE AREA
- (a) No yard requirements except as required by the Urban Design Standards and Guidelines (b) Buildable area shall be the same as the lot area (for the purpose of calculating buildable area for residential
- and mixed-use) (c) Maximum number of dwelling units or guest rooms permitted shall not be limited by the lot area provisions as
- long as the total floor area utilized by guest rooms does not exceed the total floor area utilized by dwelling units, (d) No prescribed percentage of the required open space that must be provided as either common open space or private open space.

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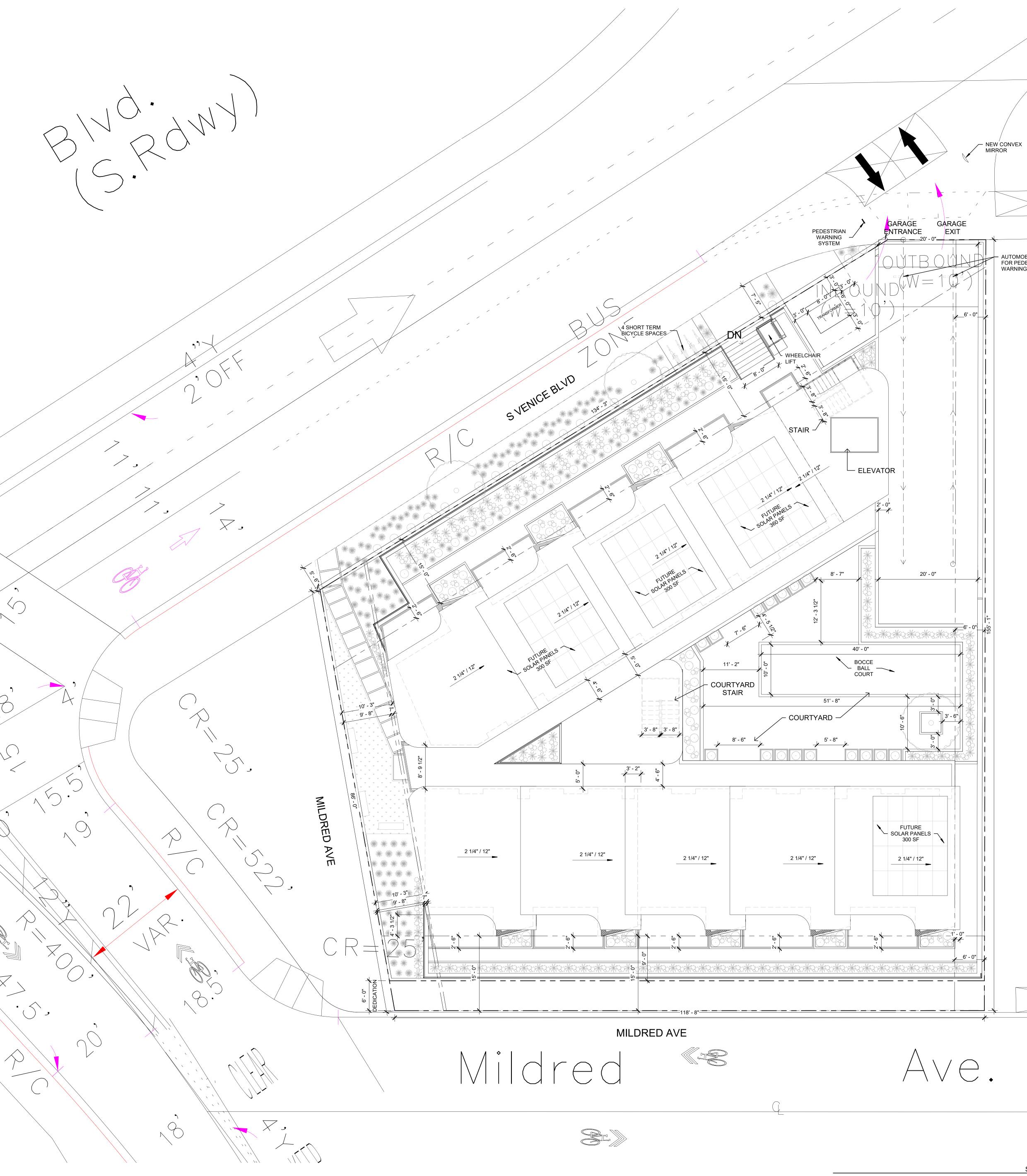
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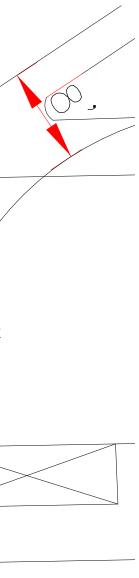




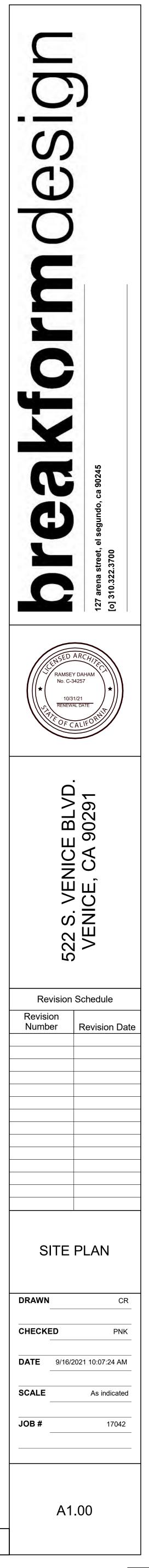
<u>GENERAL NOTES:</u>	<u>SITE PI</u>	AN LEGEND
 EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. 	, - X - °	FLOOR TYPE
3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.		PROPERTY LINE
4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED.		SETBACKS
 ALL BATHROOMS TO HAVE WATER RESISTANT GYP. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT. 		
7. ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.5.		
8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATIONOF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.		
 THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE. 10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS. 		
11. ALL DOORS 4" FROM WALL U.O.N. 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:		
 A. VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE B. PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. 		
C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION.		
 THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POER DISTRIBUTION FACILITIES (POWER 		
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15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)		
16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)		
17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.		
18. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIS IS REQUIRED).		
19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3).		
20. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).		
21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).	1 [_ ,
22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.		
23.WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC). 24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2).		
25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000). (R314.6.2).		
26. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2).		
27. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).		
28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.		
 29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT. 30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE 		
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31. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD.		
32. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.		
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35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1)		
36. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2)		
37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4)		
38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3.	<u>\</u>	
39. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR REQUIRED.	به کر	,
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GARAGE / CARPORT:		
1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)		
2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)		
FIRE-RESISTANCE RATED CONSTRUCTION: 1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL)		
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2. IN COMBOSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR CEILING ASSEMBLT, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)	2	
 THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(D)) 	\bigcirc	
 THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM 		\bigcirc .
WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNAL. (R314)		
6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE SWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERYLEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)		
7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED.		
BUILDING ENVELOPE: 1. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE		X
OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.	\backslash	
 PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7 DAYS OF THE GRAFFITI BEING APPLIED. (6306) 		
 BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1) 		

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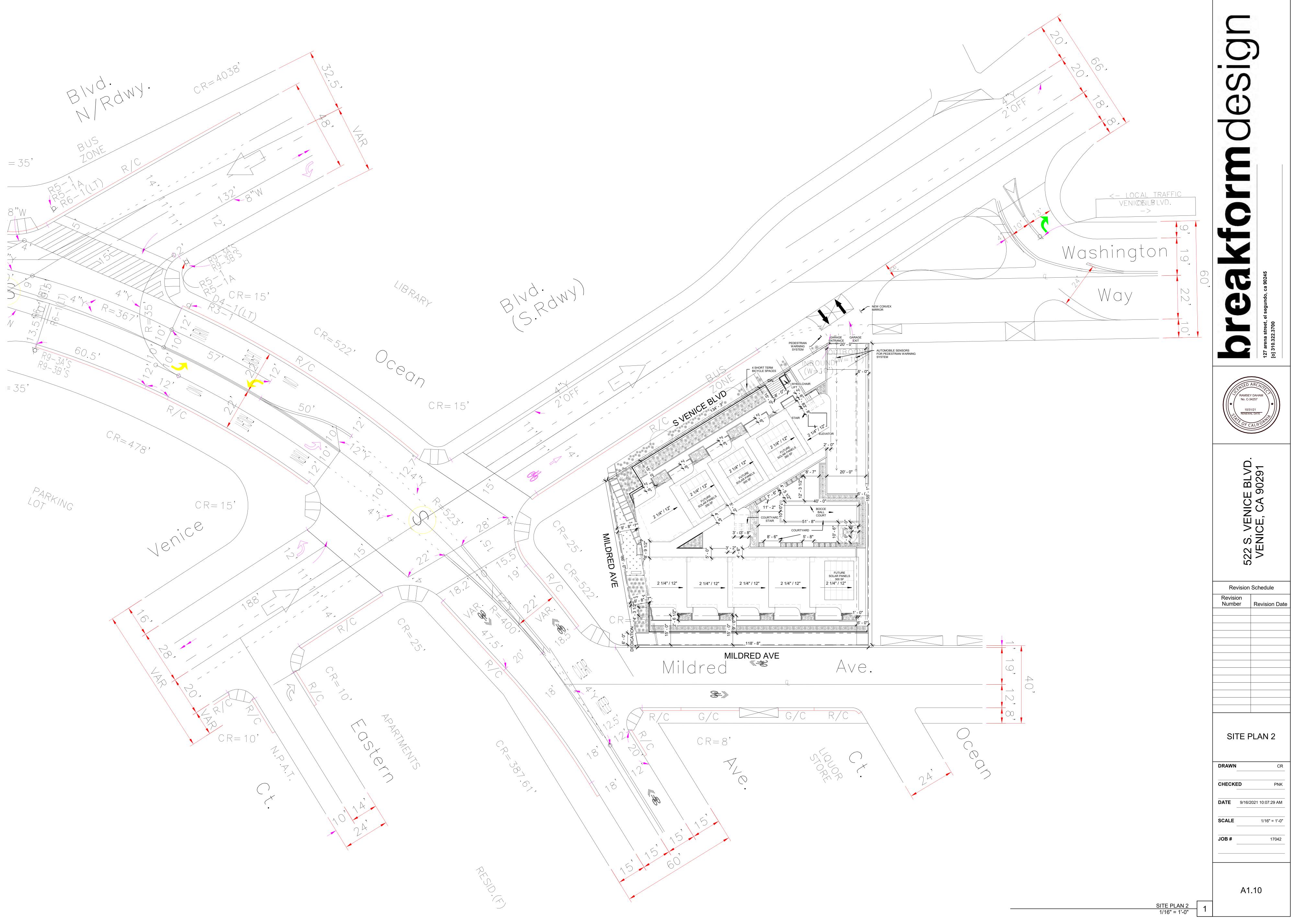




AUTOMOBILE SENSORS
 FOR PEDESTRIAN
 WARNING SYSTEM



SITE PLAN 1/8" = 1'-0"



- 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.
- 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED. 5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.
- 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.
- 7. ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.5.
- 8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATIONOF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A

- 9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
- 10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS.
- 11. ALL DOORS 4" FROM WALL U.O.N.
- 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
- VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
- MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION.
- 13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.
- 14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- 15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)
- 16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B) 17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER
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- 18. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIS IS REQUIRED).
- 19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3). 20. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD
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- 21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- 22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- 23.WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC).

32. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.

- 24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2).
- 25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000). (R314.6.2).
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- 27. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).
- 28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- 29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
- 30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'.
- 31. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD.
- 33. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407) 34. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4)
- 35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1)
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- 37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4)
- 38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3.
- 39. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF
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1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)

- 2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)
- FIRE-RESISTANCE RATED CONSTRUCTION:
- 1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
- 2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)
- 3. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(D))
- 4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
- 5. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNAL. (R314)
- 6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE SWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERYLEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315) 7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED.

BUILDING ENVELOPE:

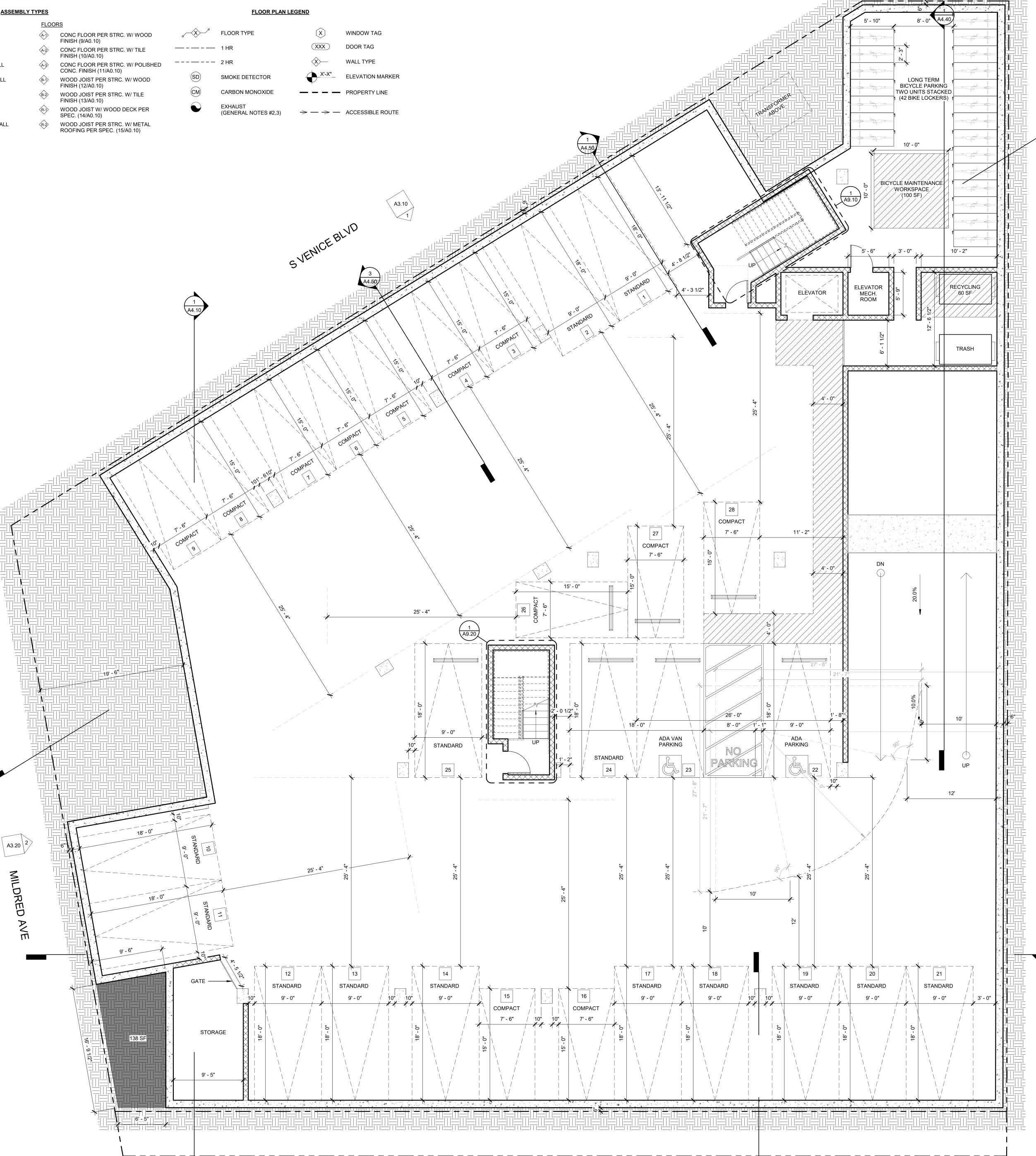
- 1. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES. PRODUCT. PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- 2. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7 DAYS OF THE GRAFFITI BEING APPLIED. (6306)
- 3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)

DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5

<u>WALLS</u> $\langle 1 \rangle$ 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10) 2x6 PLUMBING WALL ASSM. (2/A0.10) (3) 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.10)

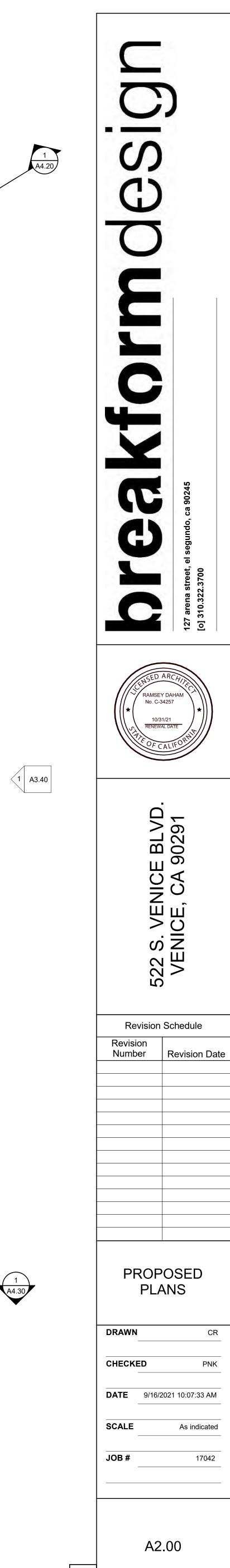
- 4 1-HR 2x6 EXTERIOR WALL
- (5/A0.10) 6 4" CONC. PER STRC.
- (6/A0.10) (7) 8" CONC. RETAINING WALL
- ASSM. (4/A0.10) PER STRC. (7/A0.10)

A3.20



A3.30

A4.50



PARKING LEVEL 3/16" = 1'-0"

- 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.
- 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED.
- 5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.
- 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.
- 7. ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.5.
- 8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATIONOF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A

- 9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
- 10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS.
- 11. ALL DOORS 4" FROM WALL U.O.N.
- 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
- VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
- MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION.
- 13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.
- 14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- 15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)
- 16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B) 17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER
- HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.
- 18. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIS IS REQUIRED).
- 19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3). 20. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD
- WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- 21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- 22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- 23.WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC).

32. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.

- 24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2).
- 25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000). (R314.6.2).
- 26, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2).
- 27. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).
- 28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- 29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
- 30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'.
- 31. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD.
- 33. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407) 34. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4)
- 35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1)
- 36. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2)
- 37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4)
- 38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3.
- 39. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF
- THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR REQUIRED. 40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV
- CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
- 41. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- 42. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9) GARAGE / CARPORT:

1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)

2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)

FIRE-RESISTANCE RATED CONSTRUCTION:

- 1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
- 2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)
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- 4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
- 5. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNAL. (R314)
- 6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE SWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERYLEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315) 7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED.

BUILDING ENVELOPE:

- 1. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES. PRODUCT. PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
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- 3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)

FENCES, PLANTERS, AND RETAINING WALLS SHALL NOT EXCEED A HEIGHT OF 6 FT. ABOVE THE NATURAL GROUND

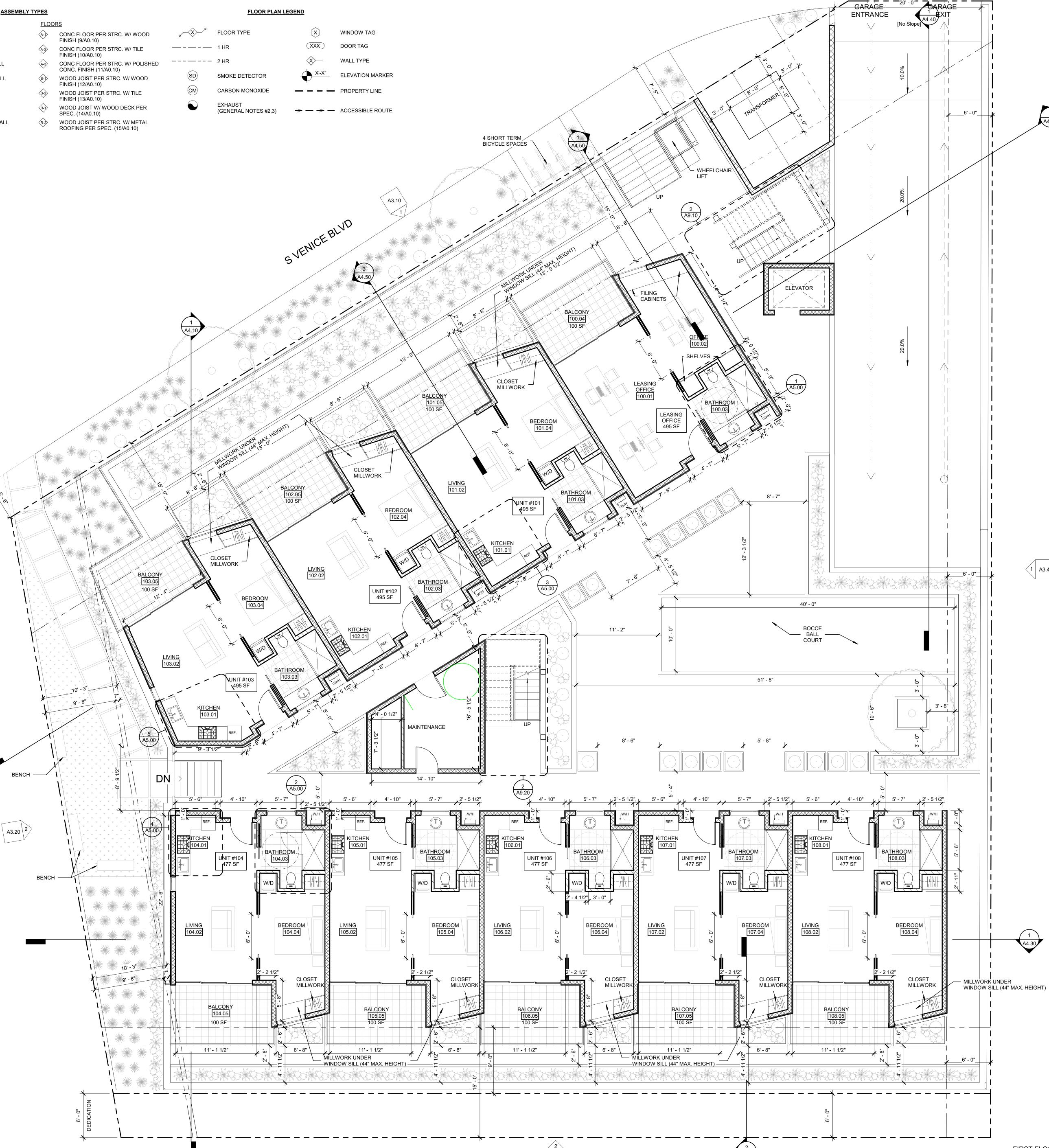
LEVEL IN THE REQUIRED SIDE YARD.

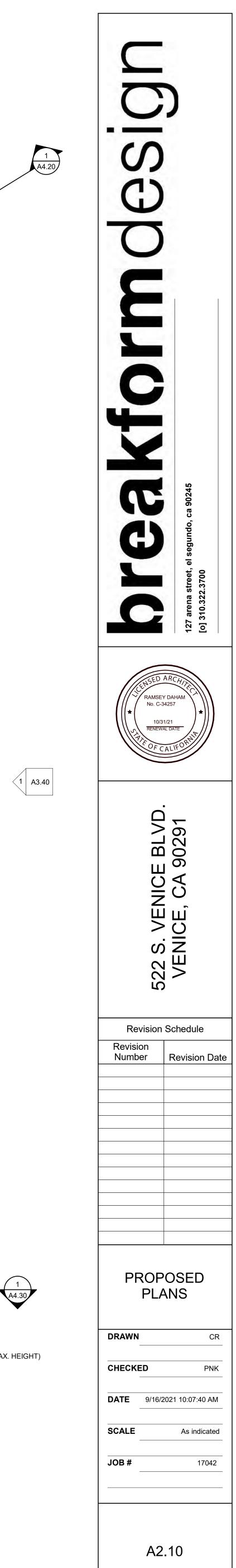
WAL	LS
$\langle 1 \rangle$	2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10)
2>	2x6 PLUMBING WALL ASSM. (2/A0.10)
3>	1-HR 2x6 INTERIOR WALL ASSM. (3/A0.10)
4	1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.10)
5	x (5/A0.10)
6	4" CONC. PER STRC.

(6/A0.10) (7) 8" CONC. RETAINING WALL PER STRC. (7/A0.10)

BENCH

A3.20





FIRST FLOOR 3/16" = 1'-0"

- 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.
- 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED. 5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.
- 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.
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- 11. ALL DOORS 4" FROM WALL U.O.N.
- 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
- VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
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- 13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.
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- 15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)
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- 18. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIS IS REQUIRED).
- 19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3). 20. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD
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- 21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- 22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
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- 28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- 29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
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- 37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4)
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- 42. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9) GARAGE / CARPORT:

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- 2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)
- FIRE-RESISTANCE RATED CONSTRUCTION:
- 1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
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- 4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
- 5. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNAL. (R314)
- 6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE SWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERYLEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315) 7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED.

BUILDING ENVELOPE:

- 1. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES. PRODUCT. PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- 2. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7 DAYS OF THE GRAFFITI BEING APPLIED. (6306)
- 3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)

WALLS $\langle 1 \rangle$ 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10)

ASSEMBLY TYPES

(A-2)

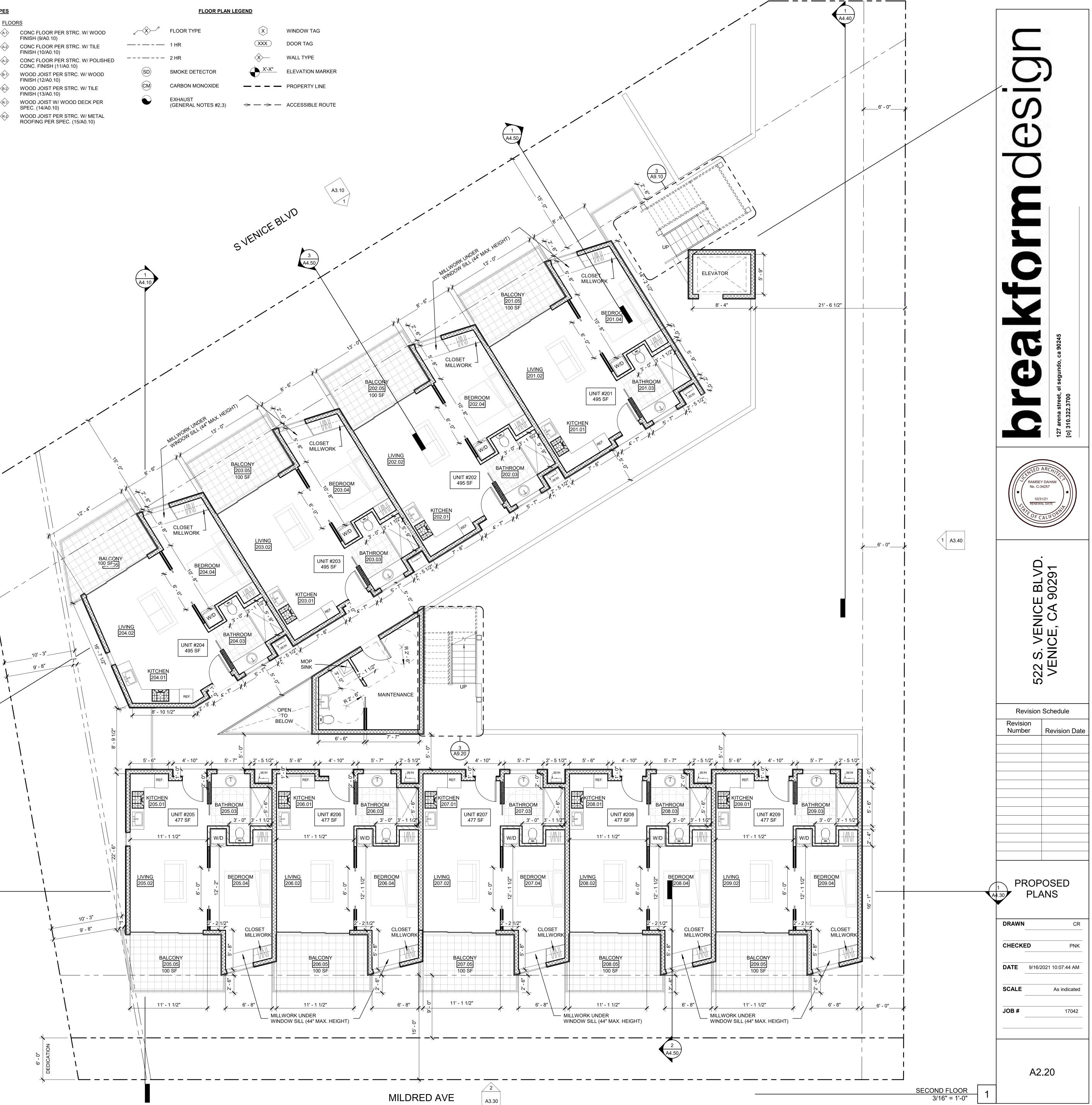
(A-3)

<**B-1**>

(R-2)

- 2x6 PLUMBING WALL ASSM. (2/A0.10) (3) 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.10)
- $\langle 4 \rangle$ 1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.10)
- (5/A0.10)
- 6 4" CONC. PER STRC. (6/A0.10)
- (7) 8" CONC. RETAINING WALL PER STRC. (7/A0.10)







- 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.
- 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED. 5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.
- 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.
- 7. ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.5.
- 8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATIONOF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A

- 9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
- 10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS.
- 11. ALL DOORS 4" FROM WALL U.O.N.
- 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
- VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
- MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION.
- 13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.
- 14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- 15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)
- 16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B) 17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER
- HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE. A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.
- 18. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIS IS REQUIRED).
- 19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3). 20. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD
- WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- 21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- 22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- 23.WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC).

32. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.

- 24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2).
- 25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000). (R314.6.2).
- 26, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2).
- 27. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).
- 28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
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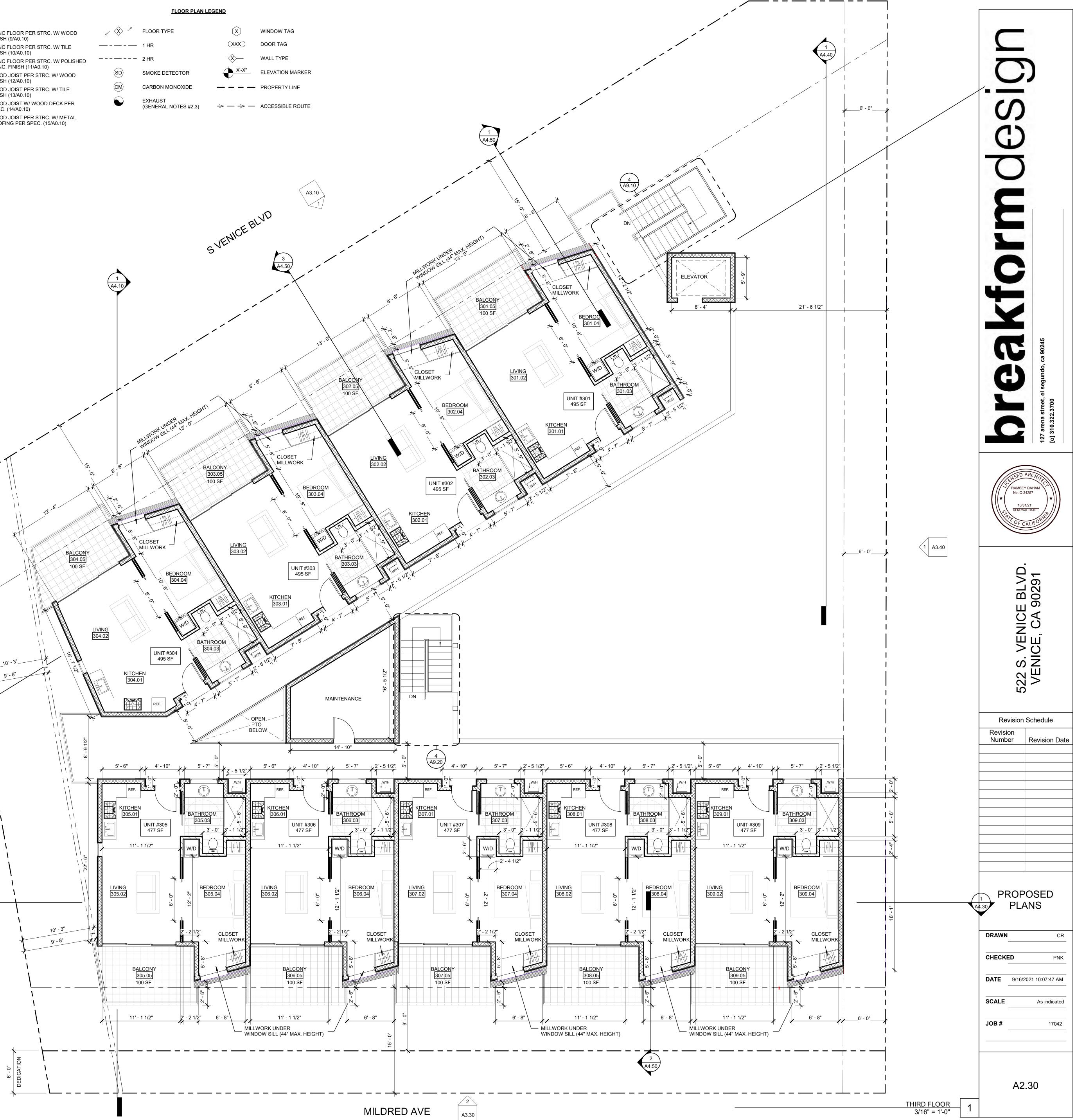
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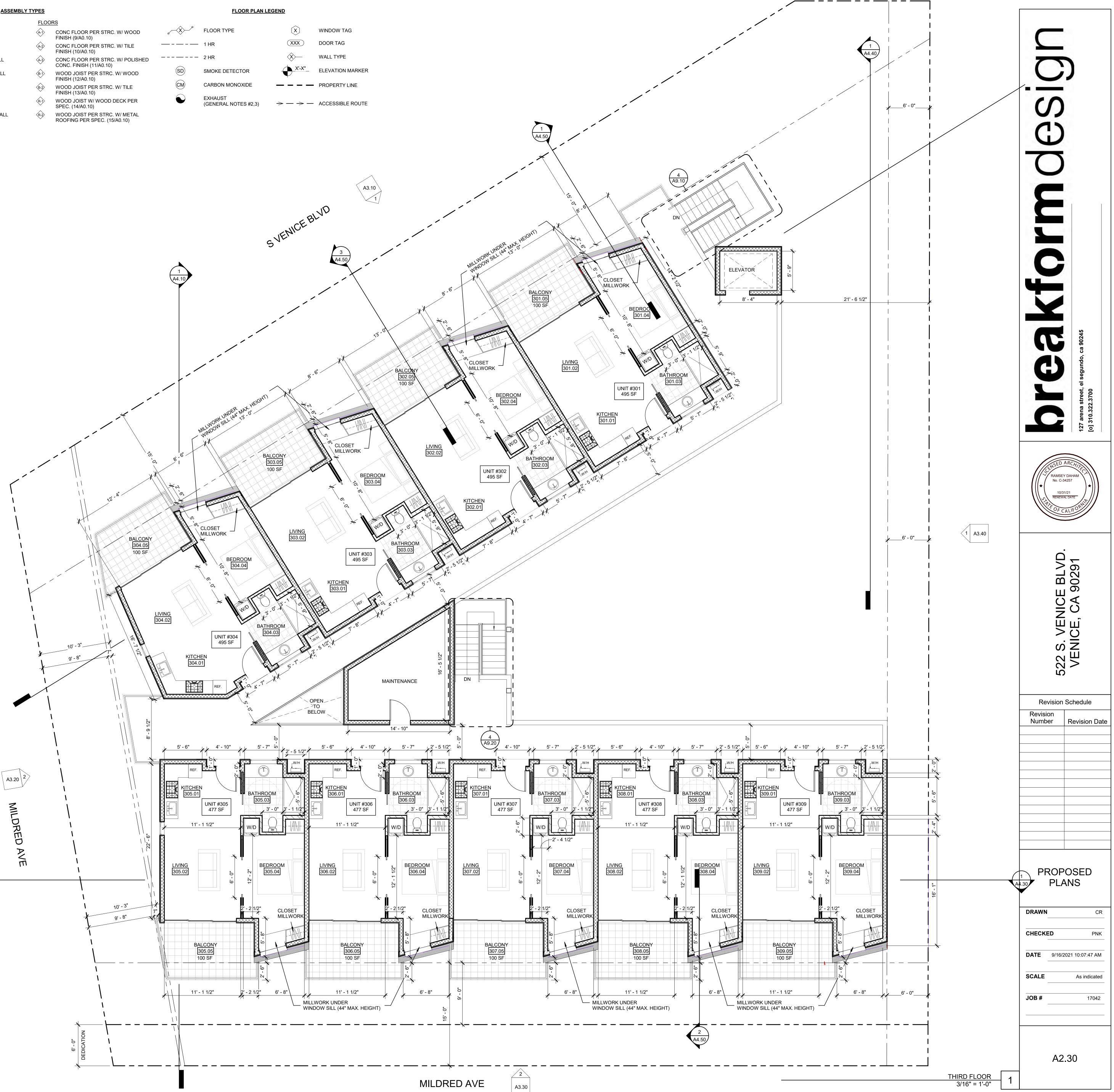
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WALLS $\langle 1 \rangle$ 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10)

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- 17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.
- 18. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIS IS REQUIRED).
- 19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3).
- 20. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- 21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- 22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- 23.WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC).

32. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.

- 24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2).
- 25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000). (R314.6.2).
- 26, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2).
- 27. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).
- 28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- 29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
- 30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'.
- 31. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD.
- 33. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407) 34. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4)
- 35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1)
- 36. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2)
- 37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4)
- 38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3.
- 39. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR REQUIRED.
- 40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV
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- INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- 42. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9) GARAGE / CARPORT:

1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)

- 2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)
- FIRE-RESISTANCE RATED CONSTRUCTION:
- 1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
- 2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)
- 3. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(D))
- 4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
- 5. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNAL. (R314)
- 6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE SWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERYLEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315) 7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED.

BUILDING ENVELOPE:

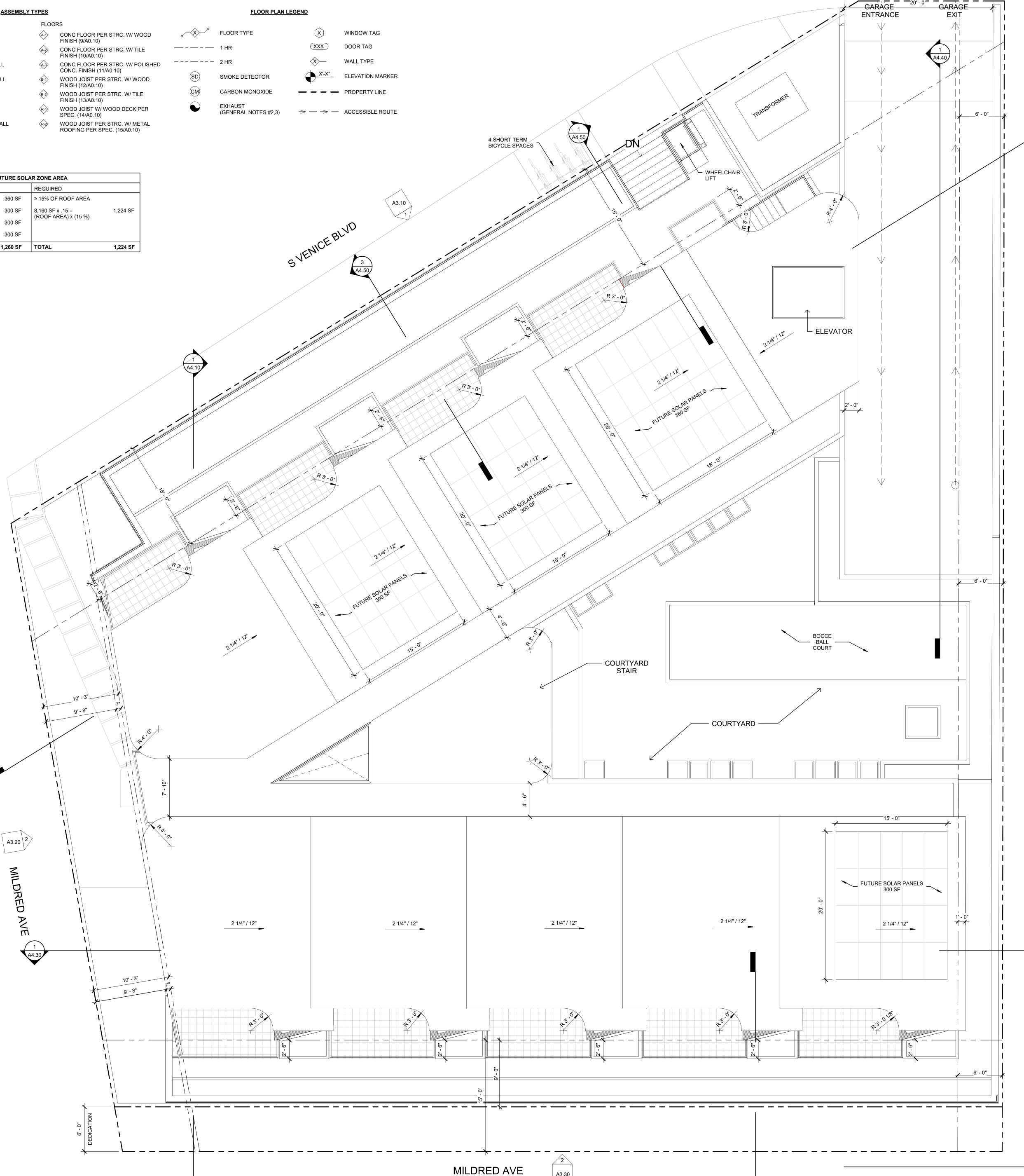
- 1. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES. PRODUCT. PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- 2. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7 DAYS OF THE GRAFFITI BEING APPLIED. (6306)
- 3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)

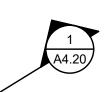
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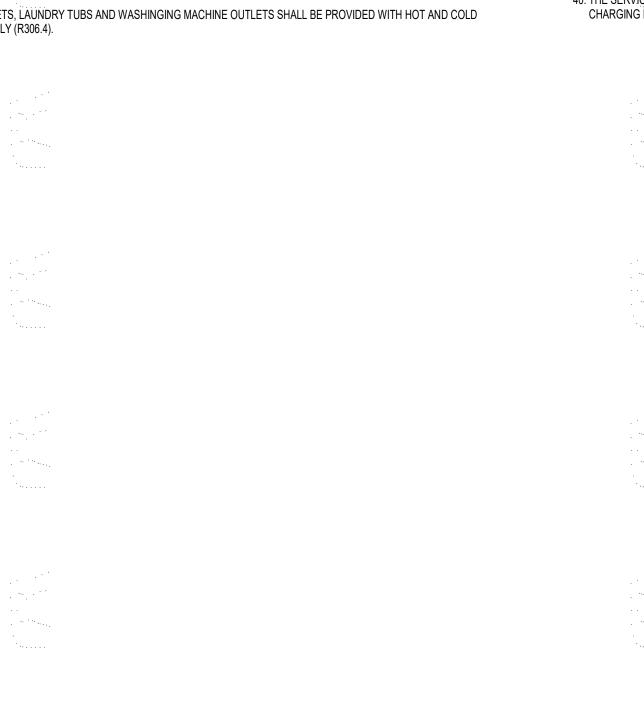


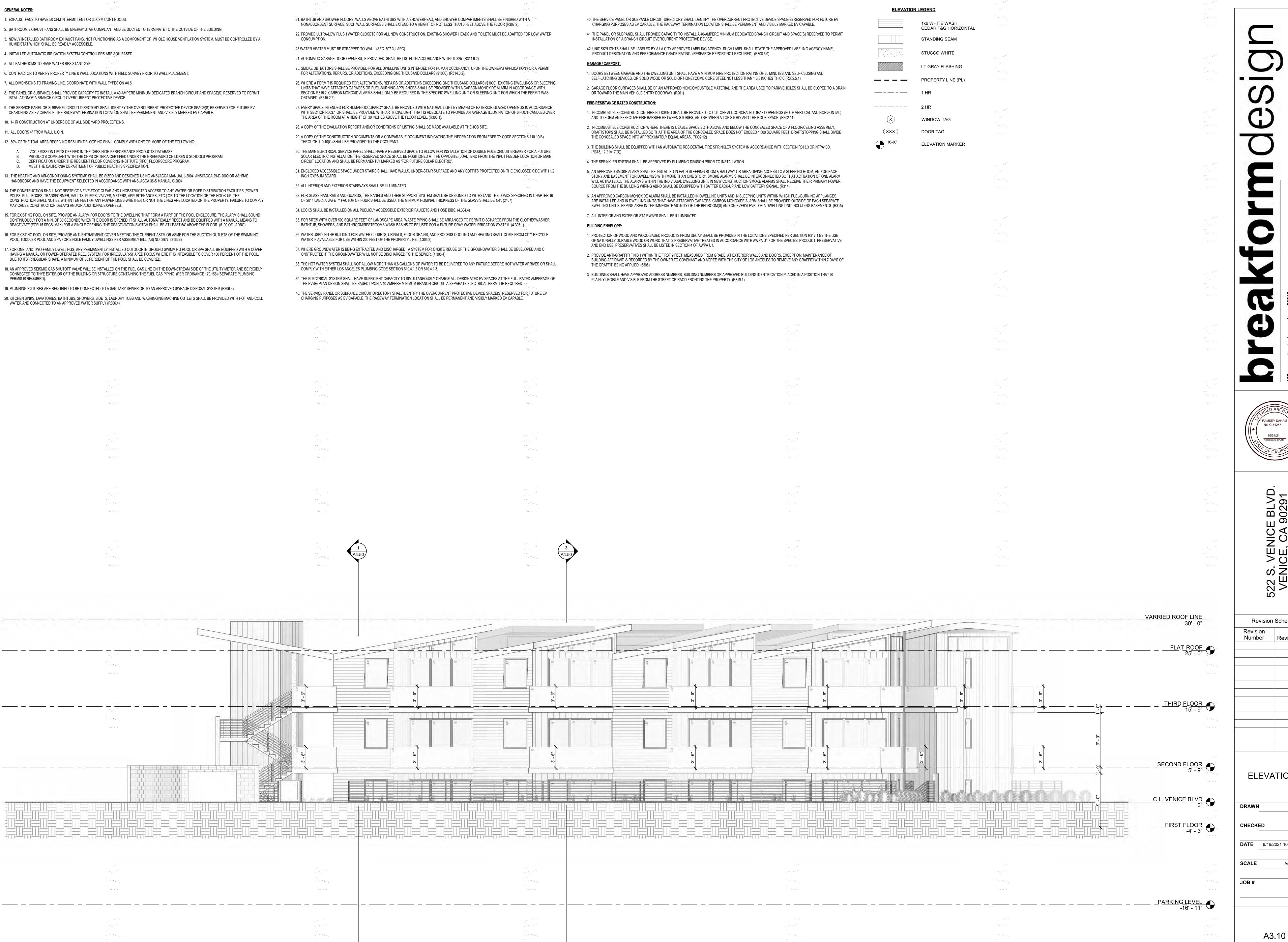
ROOF PLAN 3/16" = 1'-0"

- HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.

- ISTALLATIONOF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

- CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION.
- HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.
- POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)
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No. C-34257 RENEWAL DATE 502 902 522 S. VENICE VENICE, CA 9 Revision Schedule Revision Date **ELEVATIONS** PNK DATE 9/16/2021 10:08:38 AM As indicated 17042

- 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.
- 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- 3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SQIL BASED.
- 5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.
- 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.
- 7. ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.5.
- 8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATIONOF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. 9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV
- CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
- 10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS.
- 11. ALL DOORS 4" FROM WALL U.O.N.
- 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE
- PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION.
- 13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.
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	36"



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- OBTAINED. (R315.2.2).
- THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
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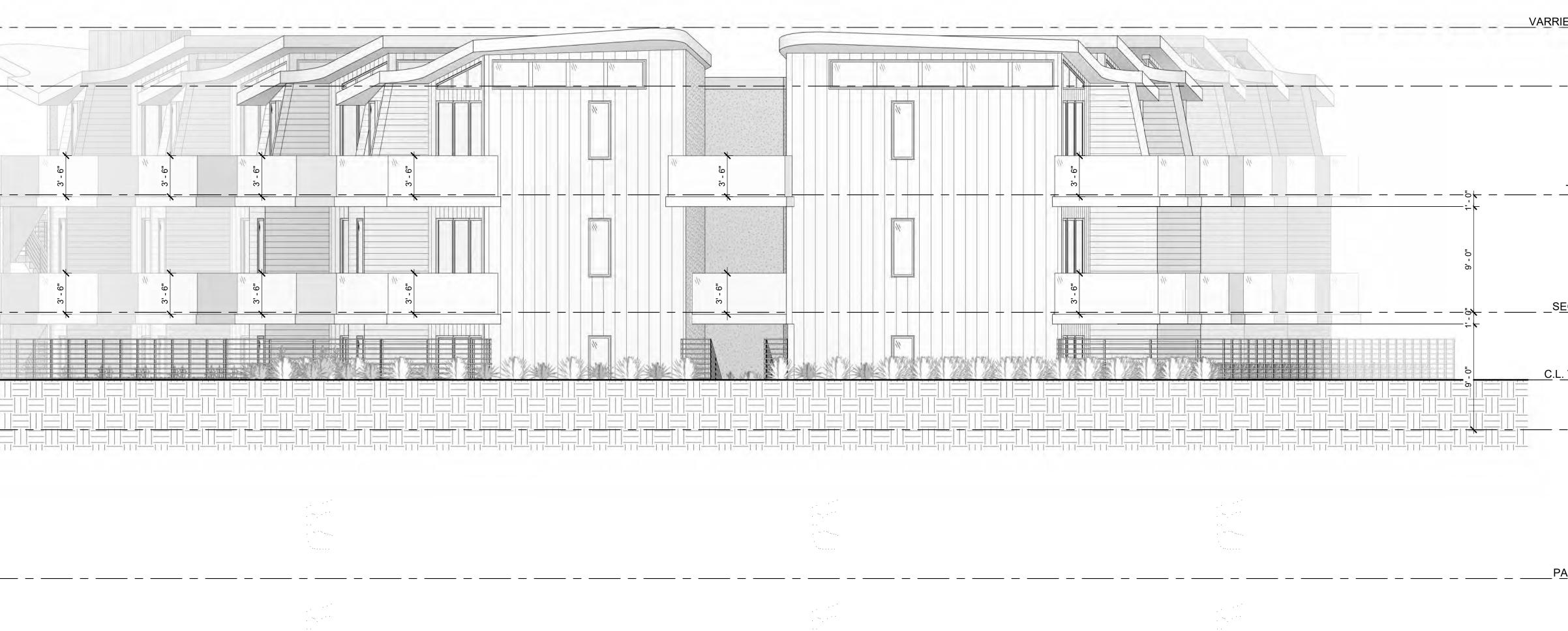
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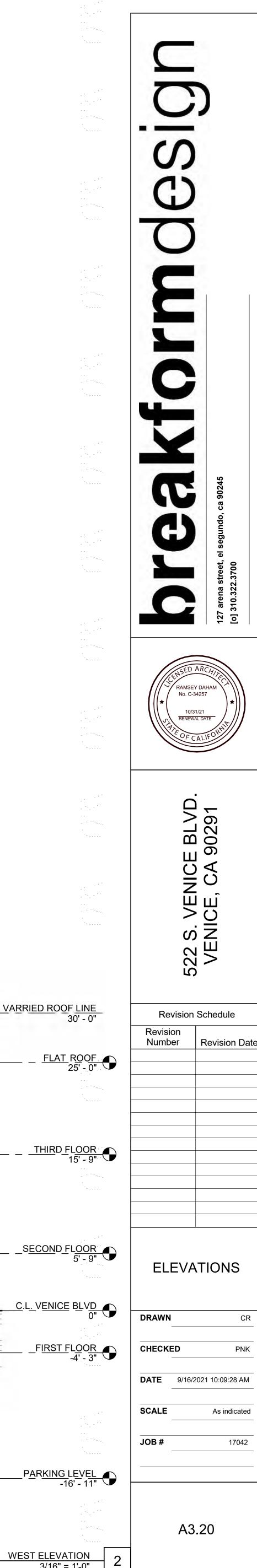
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- 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
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- 14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- 15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)
- 16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B) 17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER
- HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED. 18. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY

CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING

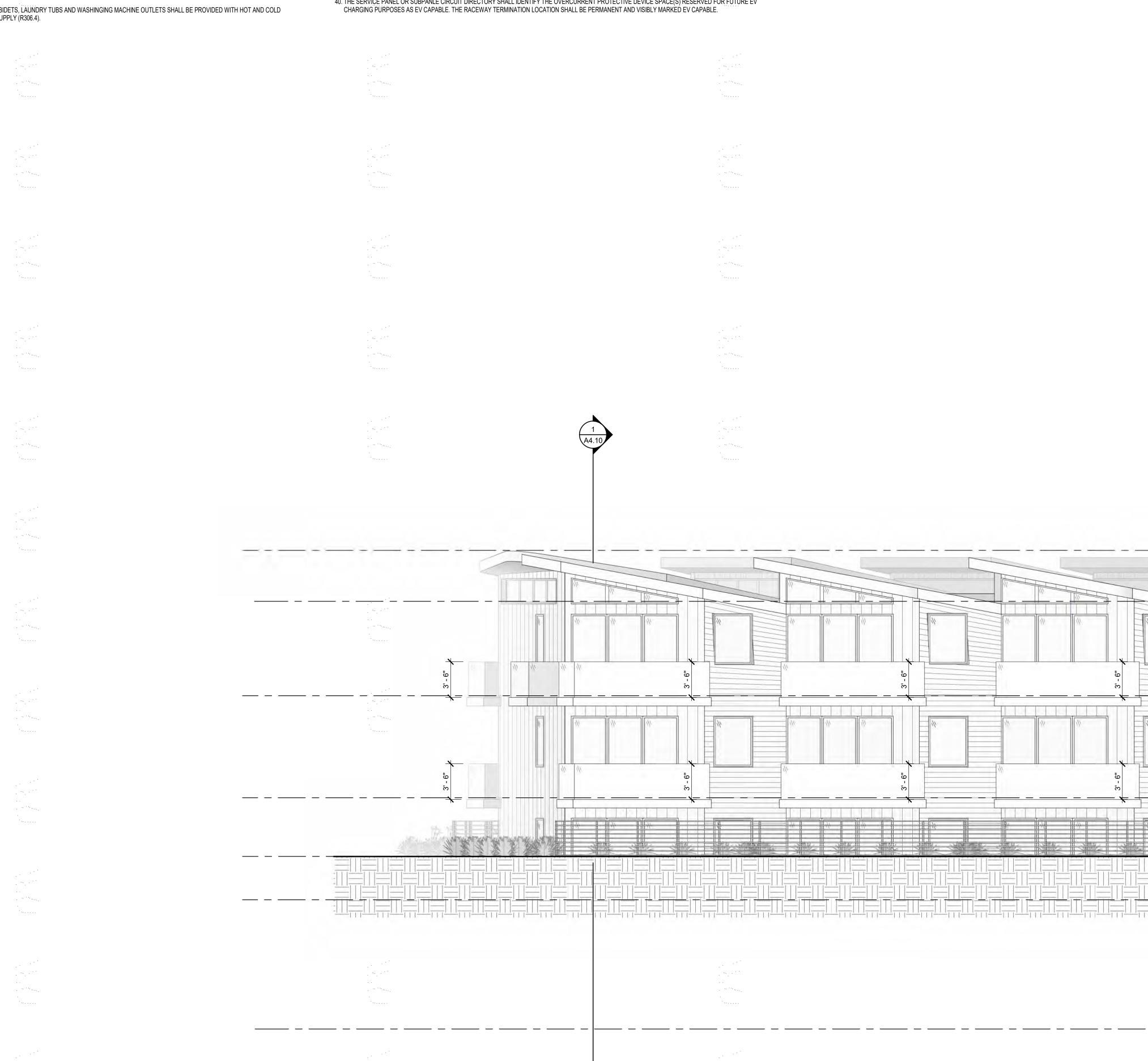
- PERMIS IS REQUIRED). 19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3).
- 20. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT. INCH GYPSUM BOARD. 32. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.

CONSUMPTION.

OBTAINED. (R315.2.2).

ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4) 38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3.



21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER

23.WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC). 24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2). 25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT

FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000). (R314.6.2). 26. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS

27. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).

28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE. 29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B)

30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'.

31. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2

33. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407) 34. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4)

35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1) 36. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE

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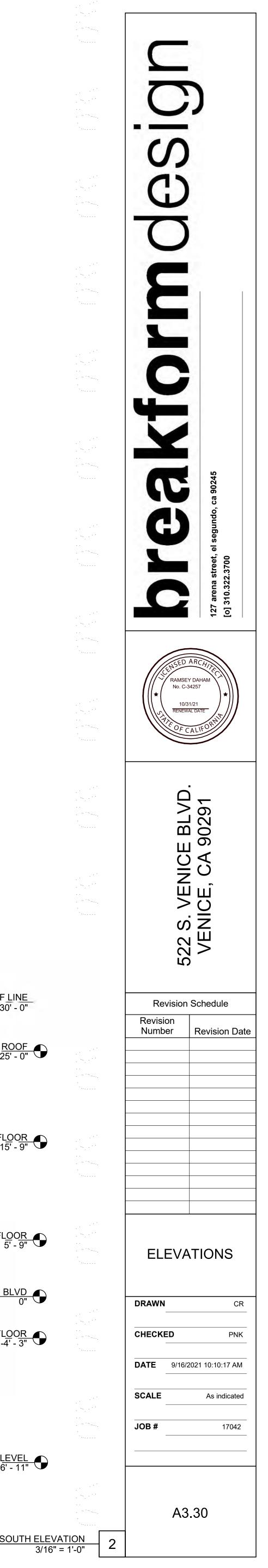
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- 15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE, THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)
- 16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B) 17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER
- HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED. 18. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY
- CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIS IS REQUIRED).
- 20. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT. INCH GYPSUM BOARD. 32. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.

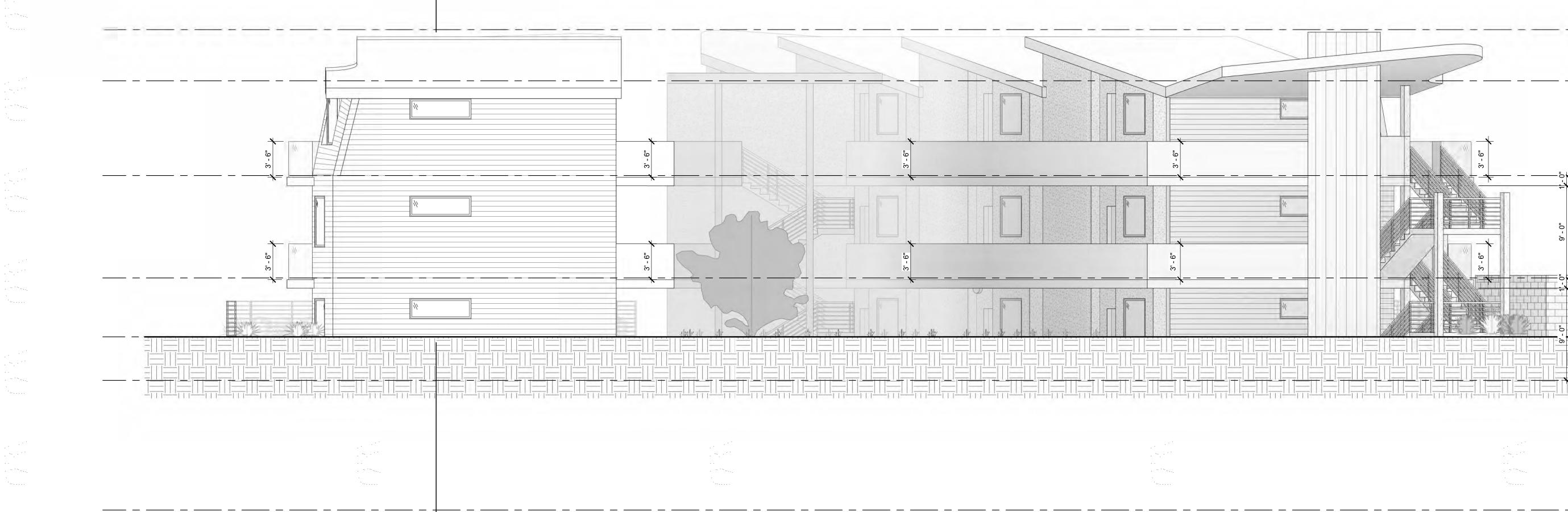
CONSUMPTION.

OBTAINED. (R315.2.2).

36. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2) 37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4)

COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3.





21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER

23.WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC). 24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2). 25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT

FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1000). (R314.6.2). 26. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS

27. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).

28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE. 29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B)

30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'.

31. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2

33. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407) 34. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4)

35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1)

38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL

39. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE: PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR REQUIRED.

40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

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40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVIC CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIB

41. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIR INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

42. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE A PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9) GARAGE / CARPORT:

1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MIN SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES 2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO P.

OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201) FIRE-RESISTANCE RATED CONSTRUCTION:

1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPEN AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE

2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SP DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUA THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12) 3. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE V

(R313, 12.21A17(D)) 4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

5. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCES STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNED WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGN

6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHI ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE F SWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERYLEVEL OF A DWE 7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED.

**BUILDING ENVELOPE:** 

1. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPE OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOI AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

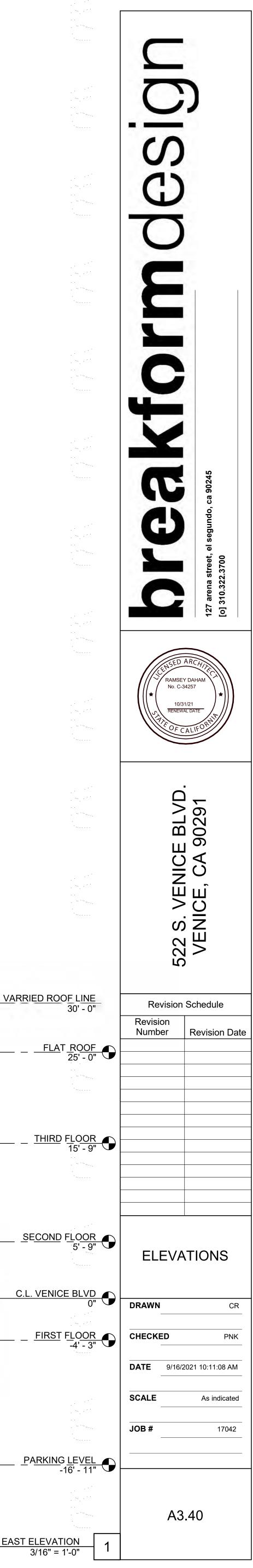
2. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DO BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES T THE GRAFFITI BEING APPLIED. (6306)

3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICA PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)

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- 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.
- 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- 3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SQIL BASED.
- 5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.
- 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.
- 7. ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.5.
- 8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATIONOF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. 9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV
- CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
- 10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS.
- 11. ALL DOORS 4" FROM WALL U.O.N.
- 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE
- PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION.
- 13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE
- HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004. 14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- 15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE, THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)
- 16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B) 17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER
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- OBTAINED. (R315.2.2).
- THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
- INCH GYPSUM BOARD.
- 32. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.
- 34. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4)
- WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2)

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31. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2

33. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407)

35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1)

36. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE 37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C

ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4) 38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL

IER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3. YSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF

ESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR REQUIRED. L OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV SES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE S CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY M

41. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUI INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

42. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY, SUCH LABEL SHALL STATE THE APPI PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9) GARAGE / CARPORT:

1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUT SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THI 2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK

OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201) FIRE-RESISTANCE RATED CONSTRUCTION:

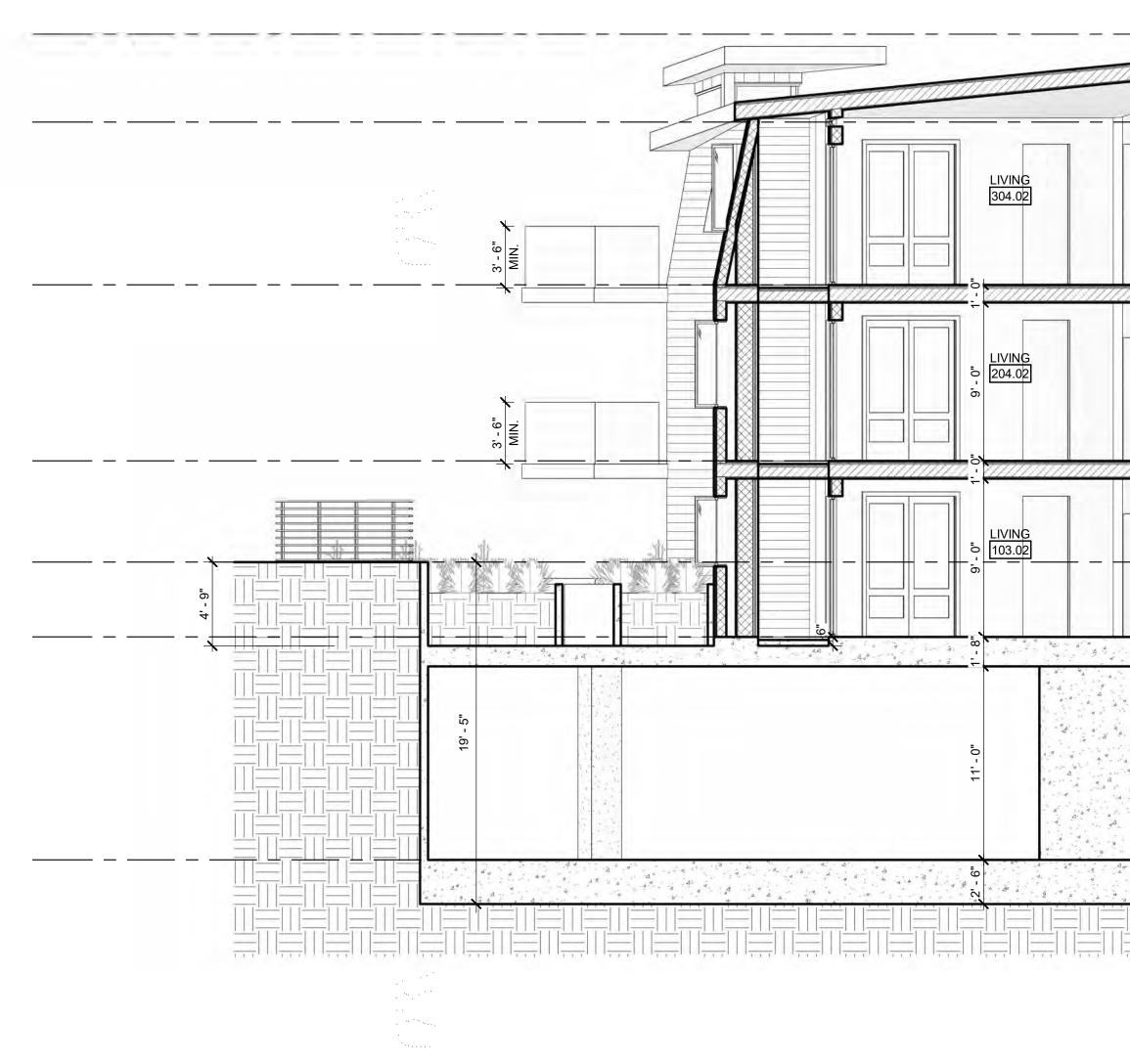
1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENING AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES. AND BETWEEN A TOP STORY AND THE ROOF SPACE.

- 2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)
- 3. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WIT (R313, 12.21A17(D)) 4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
- 5. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS T STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SH SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNAL. (

6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN V ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PRO SWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERYLEVEL OF A DWELLIN

7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED. **BUILDING ENVELOPE:** 

- 1. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIE OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR TH AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- 2. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO RE THE GRAFFITI BEING APPLIED. (6306)
- 3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)

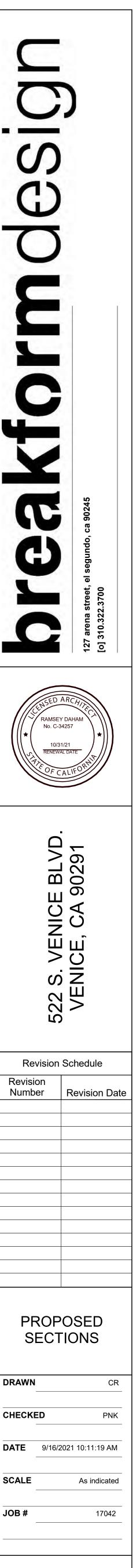


	ASSEM	BLY TYPES	SECTION LEGEND
E SPACE(S) RESERVED FOR FUTURE EV SLY MARKED EV CAPABLE. RCUIT AND SPACE(S) RESERVED TO PERMIT	WALLS           1         2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10)           2         2x6 PLUMBING WALL ASSM. (2/A0.10)	FLOORSA-1CONC FLOOR PER STRC. W/ WOOD FINISH (9/A0.10)A-2CONC FLOOR PER STRC. W/ TILE FINISH (10/A0.10)	— – — – — 1 HR – – – – – – 2 HR
APPROVED LABELING AGENCY NAME,	<ul> <li>1-HR 2x6 INTERIOR WALL ASSM. (3/A0.10)</li> <li>1-HR 2x6 EXTERIOR WALL</li> </ul>	CONC FLOOR PER STRC. W/ POLISHEL CONC. FINISH (11/A0.10)     WOOD JOIST PER STRC. W/ WOOD	D X'-X" ELEVATION MARKER
NUTES AND SELF-CLOSING AND THICK. (R302.5.1)	→ ASSM. (4/A0.10) √5> ×	FINISH (12/A0.10) B-2 WOOD JOIST PER STRC. W/ TILE	EXISTING GRADE
ARKVEHICLES SHALL BE SLOPED TO A DRAIN	<ul> <li>(5/A0.10)</li> <li>4" CONC. PER STRC. (6/A0.10)</li> </ul>	FINISH (13/A0.10) WOOD JOIST W/ WOOD DECK PER SPEC. (14/A0.10)	
	The image of th	WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (15/A0.10)	
NINGS (BOTH VERTICAL AND HORIZONTAL) CE. (R302.11)			
PACE OF À FLOOR/CEILING ASSEMBLY, ARE FEET, DRAFTSTOPPING SHALL DIVIDE			
WITH SECTION R313.3 OR NFPA13D.			
SS TO A SLEEPING ROOM, AND ON EACH TED SO THAT ACTUATION OF ONE ALARM S SHALL RECEIVE THEIR PRIMARY POWER AL. (R314).			
HIN WHICH FUEL-BURNING APPLIANCES PROVIDED OUTSIDE OF EACH SEPARATE LLING UNIT INCLUDING BASEMENTS. (R315)			
CIFIED PER SECTION R317.1 BY THE USE R THE SPECIES, PRODUCT, PRESERVATIVE			
ORS. EXCEPTION: MAINTENANCE OF O REMOVE ANY GRAFFITI WITHIN 7 DAYS OF			
ATION PLACED IN A POSITION THAT IS			
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3' - 6" MIN. _ __ __ _ BALCONY 104.05 KITCHEN 104.01 LIVING 104.02 KITCHEI 103.01 3' - 6' MIN. a a a a a a a a a a a a A 4 4 4 4 4 4 - a - a - a - a

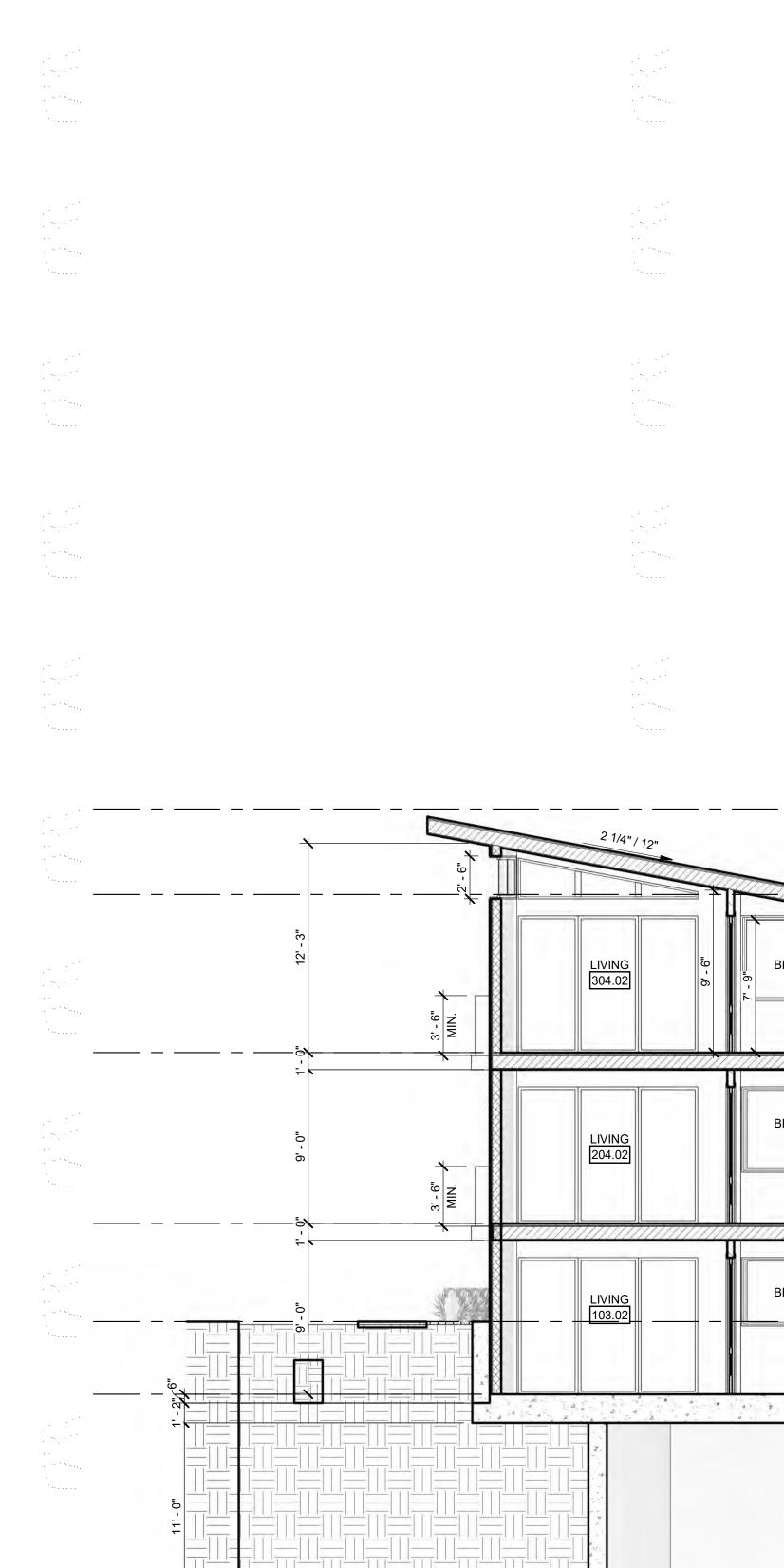


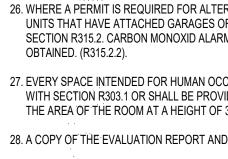
SECTION 1 3/16" = 1'-0"



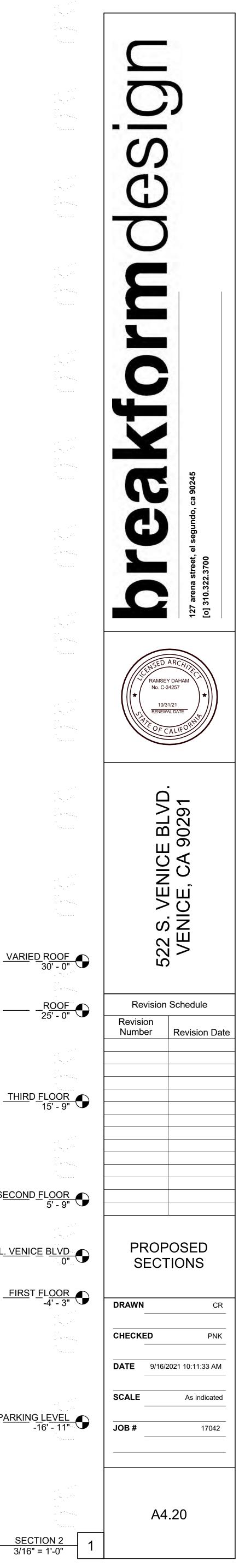
- 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.
- 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- 3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED.
- 5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.
- 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.
- 7. ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.5.
- 8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATIONOF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. 9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV
- CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
- 10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS.
- 11. ALL DOORS 4" FROM WALL U.O.N.
- 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE
- PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION.
- 13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.
- 14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES. WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- 15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)
- 16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B) 17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER
- HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED. 18. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING
- PERMIS IS REQUIRED). 19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3).
- 20. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

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					<u>BLY TYPES</u>	SECTION LEGEND
		CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMII 41. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INST/	L IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV NATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE. ALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT	WALLS 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10)	FLOORS CONC FLOOR PER STRC. W/ WOOD FINISH (9/A0.10)	— – — – — 1 HR – – – — – – – 2 HR
MPTION. HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC).		INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTEC 42. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED I PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING.	LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME,	<ul> <li>2x6 PLUMBING WALL ASSM. (2/A0.10)</li> <li>1-HR 2x6 INTERIOR WALL</li> </ul>	<ul> <li>CONC FLOOR PER STRC. W/ TILE FINISH (10/A0.10)</li> <li>CONC FLOOR PER STRC. W/ POLISHED</li> </ul>	X'-X" ELEVATION MARKER
TIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCOR DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED F	DANCE WITH UL 325. (R314.6.2). OR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT	GARAGE / CARPORT:		ASSM. (3/A0.10)	CONC. FINISH (11/A0.10) WOOD JOIST PER STRC. W/ WOOD FINISH (12/A0.10)	
ERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLL	ARS (\$1000). (R314.6.2). EEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING	SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONE	AVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND EYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)	x     (5/A0.10)	WOOD JOIST PER STRC. W/ TILE FINISH (13/A0.10)	EXISTING GRADE
R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE S D. (R315.2.2).	BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS	<ol> <li>GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONC OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)</li> <li><u>FIRE-RESISTANCE RATED CONSTRUCTION:</u></li> </ol>	OMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEHICLES SHALL BE SLOPED TO A DRAIN	<ul> <li>4" CONC. PER STRC. (6/A0.10)</li> <li>8" CONC. RETAINING WALL</li> </ul>	<ul> <li>WOOD JOIST W/ WOOD DECK PER SPEC. (14/A0.10)</li> <li>WOOD JOIST PER STRC. W/ METAL</li> </ul>	
	ATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE DEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER R303.1).	1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PL	ROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) S, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)	PER STRC. (7/A0.10)	ROOFING PER SPEC. (15/A0.10)	
DF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BI	E MADE AVAILABLE AT THE JOB SITE.		PACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, E CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET, DRAFTSTOPPING SHALL DIVIDE			
H 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT. N ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALL	OW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE		DENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D.			
LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOL	AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN AR ELECTRIC'. IR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2	4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING D	DIVISION PRIOR TO INSTALLATION. LEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH			
SUM BOARD.		STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ON	E STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM LING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER			
SS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTE ABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMI	M SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 IAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407)	ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHE	ED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES D GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE F THE BEDROOM(S) AND ON EVERYLEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)			
	HALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER,	7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIAT	ED.			
3, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED JSED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, F AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2	AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE		DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE			
· · · · · · · · · · · · · · · · · · ·	R ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C	AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4	TIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE OF AWPA U1. SURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF			
WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATE WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610	R TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL 4.1.3.	BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENA THE GRAFFITI BEING APPLIED. (6306)	ANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7 DAYS OF			
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CE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE ON PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION	/ERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.					
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- 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.
- 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- 3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SQIL BASED.
- 5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.
- 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.
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- 11. ALL DOORS 4" FROM WALL U.O.N.
- 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
- VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
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- HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004. 14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- 15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)
- 16. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B) 17. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER
- HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED. 18. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY
- CONNECTED TO THYE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIS IS REQUIRED). 19. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SWEAGE DISPOSAL SYSTEM (R306.3).
- 20. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHINGING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD

THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT. INCH GYPSUM BOARD. 32. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.

CONSUMPTION.

OBTAINED. (R315.2.2).

35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1) 36. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2)

37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4) 38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL

COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3. 39. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE: PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR REQUIRED.

40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.



21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

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23.WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC). 24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2). 25. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT

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28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE. 29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B)

30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'.

31. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2

33. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407) 34. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4)

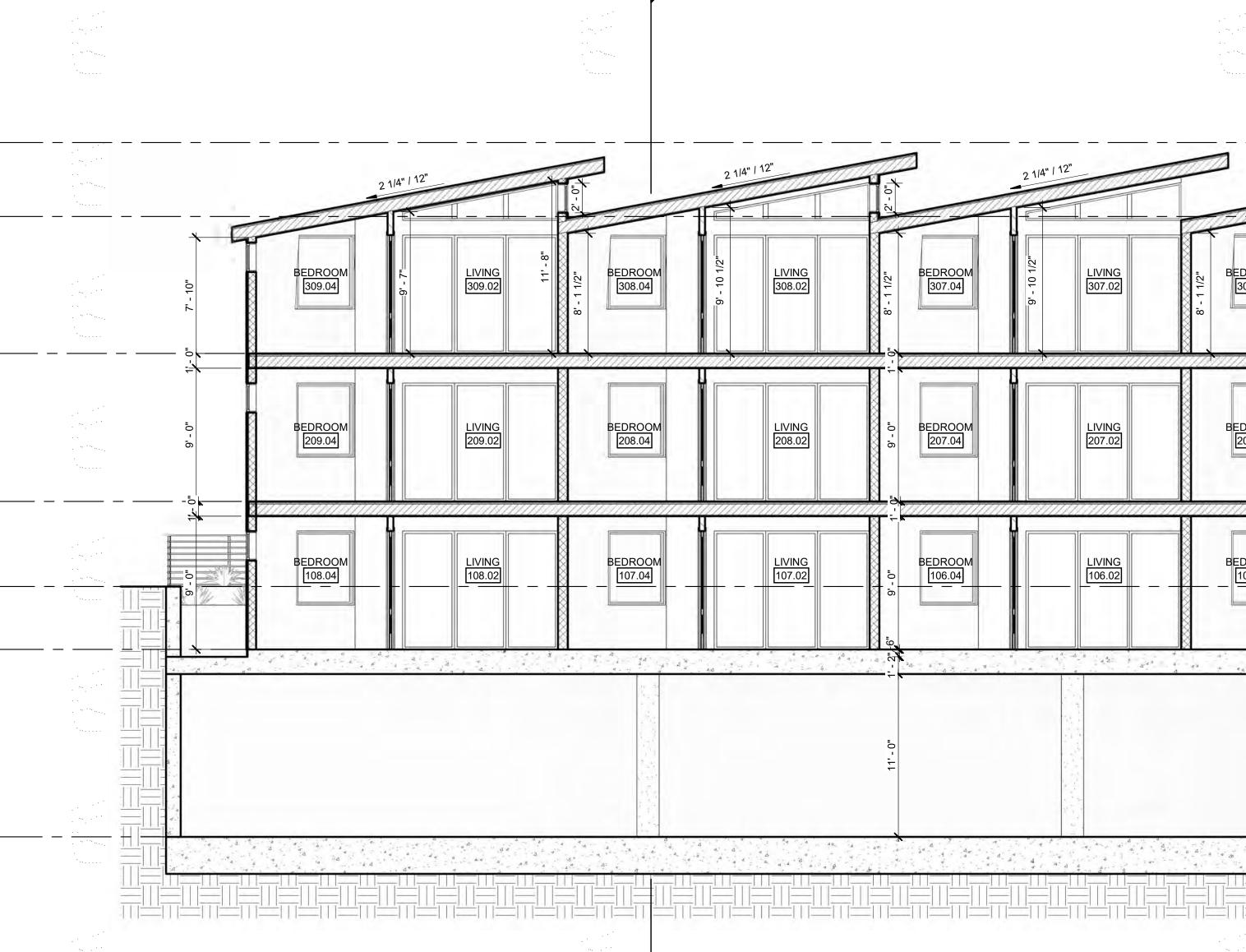
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- 41. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCL INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- 42. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APP PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9) GARAGE / CARPORT:
- 1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINU SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES TH
- 2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PAR OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)

FIRE-RESISTANCE RATED CONSTRUCTION:

- 1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENING AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. 2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE
- THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12) 3. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WI (R313, 12.21A17(D))
- 4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION. 5. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTE
- WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNAL 6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PRO SWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERYLEVEL OF A DWELL

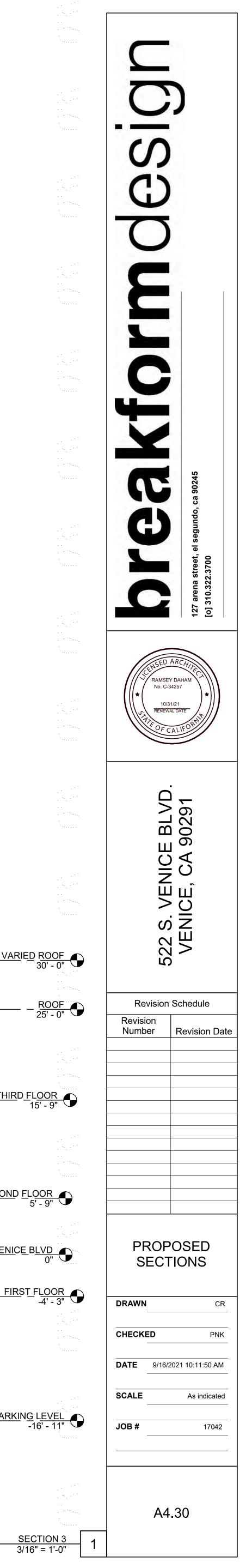
7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED.

- **BUILDING ENVELOPE:**
- 1. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIF OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR T AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- 2. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOOR BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO I THE GRAFFITI BEING APPLIED. (6306)
- 3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATIO PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)



A4.50

		ASSEMBLY TYPES		SECTI	<u>ON LEGEND</u>
CE SPACE(S) RESERVED FOR FUTURE EV BLY MARKED EV CAPABLE. RCUIT AND SPACE(S) RESERVED TO PERMIT APPROVED LABELING AGENCY NAME,	WALLS         1       2x4 & 2x6 INTEL         WALL ASSM. (1         2       2x6 PLUMBING         ASSM. (2/A0.10)         3       1-HR 2x6 INTEF         ASSM. (3/A0.10)         4       1-HR 2x6 EXTE         ASSM. (4/A0.10)         5       x         (5)       x         (5)       x	RIOR /A0.10) WALL WALL A-2 N RIOR WALL A-3 N RIOR WALL B-1	FINISH (9/A0.10) CONC FLOOR PER STRC. W/ FINISH (10/A0.10) CONC FLOOR PER STRC. W/ CONC. FINISH (11/A0.10) WOOD JOIST PER STRC. W/ V FINISH (12/A0.10) WOOD JOIST PER STRC. W/ V	TILE POLISHED	1 HR 2 HR ELEVATION MARKER PROPERTY LINE EXISTING GRADE
PARKVEHICLES SHALL BE SLOPED TO A DRAIN ENINGS (BOTH VERTICAL AND HORIZONTAL) ACE. (R302.11) SPACE OF A FLOOR/CEILING ASSEMBLY, JARE FEET, DRAFTSTOPPING SHALL DIVIDE	<ul> <li>(5/A0.10)</li> <li>4" CONC. PER (6/A0.10)</li> <li>8" CONC. RETA PER STRC. (7/A)</li> </ul>	STRC.	WOOD JOIST W/ WOOD DECH SPEC. (14/A0.10)	METAL	
WITH SECTION R313.3 OR NFPA13D.					
SS TO A SLEEPING ROOM, AND ON EACH CTED SO THAT ACTUATION OF ONE ALARM IS SHALL RECEIVE THEIR PRIMARY POWER					
NAL. (R314) HIN WHICH FUEL-BURNING APPLIANCES PROVIDED OUTSIDE OF EACH SEPARATE ELLING UNIT INCLUDING BASEMENTS. (R315)			· · · · · · · · · · · · · · · · · · ·		
ECIFIED PER SECTION R317.1 BY THE USE OR THE SPECIES, PRODUCT, PRESERVATIVE DORS. EXCEPTION: MAINTENANCE OF					
TO REMOVE ANY GRAFFITI WITHIN 7 DAYS OF					
			A4.10		
2 1/4	r" / 12"	2 <u>0</u>	2 1/4" / 12"		
BEDROOM 306.04 	LIVING 306.02		"7/1 LIVING 305.02 6		
BEDROOM 206.04	LIVING 206.02	BEDROOM 205.04	LIVING 205.02		
BEDROOM 105.04	LIVING 105.02	BEDROOM [104.04]	LIVING [104.02]		
				- 49 ⁴	



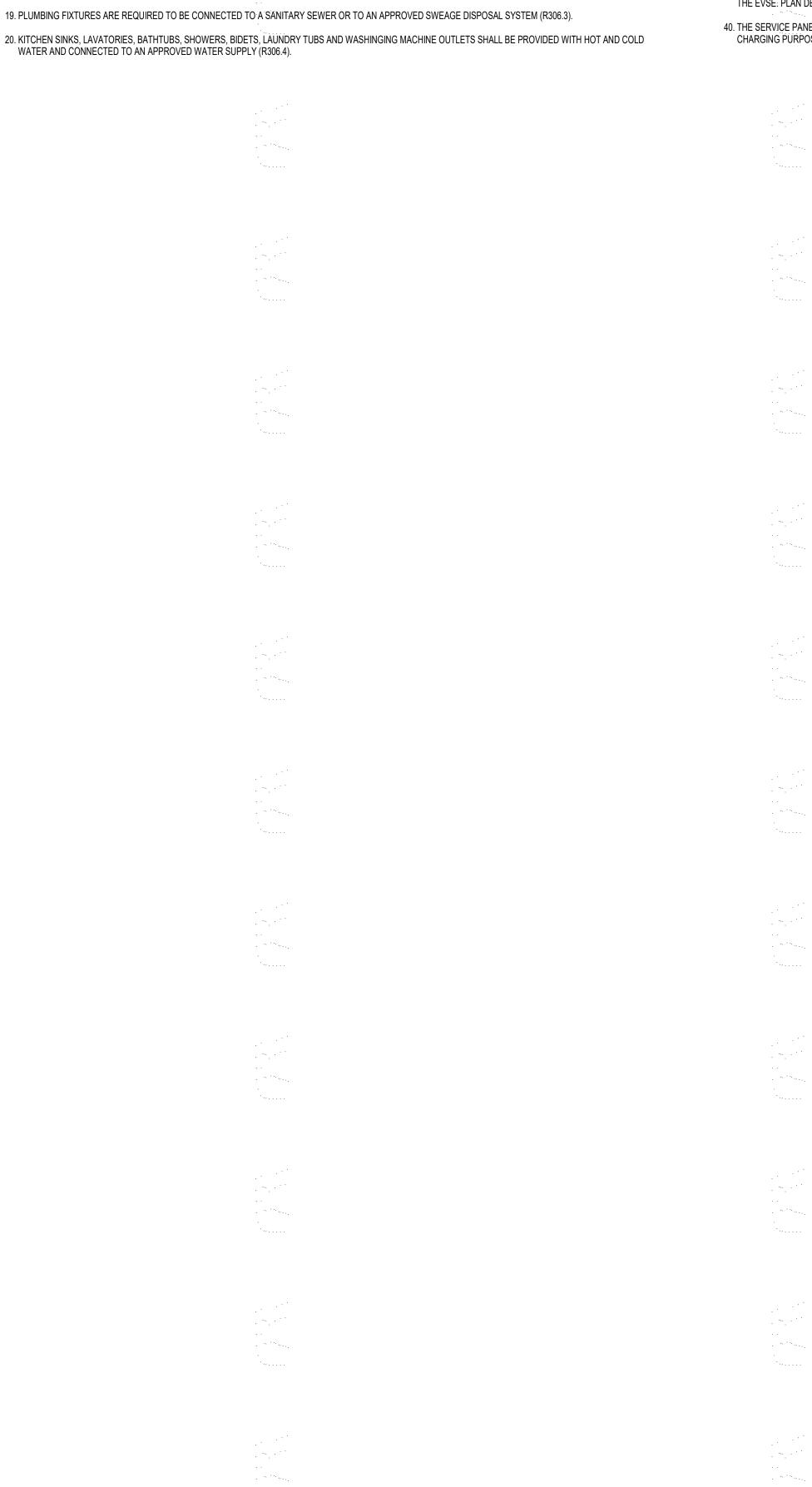
- 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS.
- 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- 3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SQIL BASED.
- 5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP.
- 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL LOCATIONS WITH FIELD SURVEY PRIOR TO WALL PLACEMENT.
- 7. ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH WALL TYPES ON A0.5.
- 8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATIONOF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. 9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV
- CHARCHING AS EV CAPABLE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE. 10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS.
- 11. ALL DOORS 4" FROM WALL U.O.N.
- 12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
- VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION.
- 13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004, ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.
- 14. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMER, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- 15. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE, THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)
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CONSUMPTION.

OBTAINED. (R315.2.2).

WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2)



21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER

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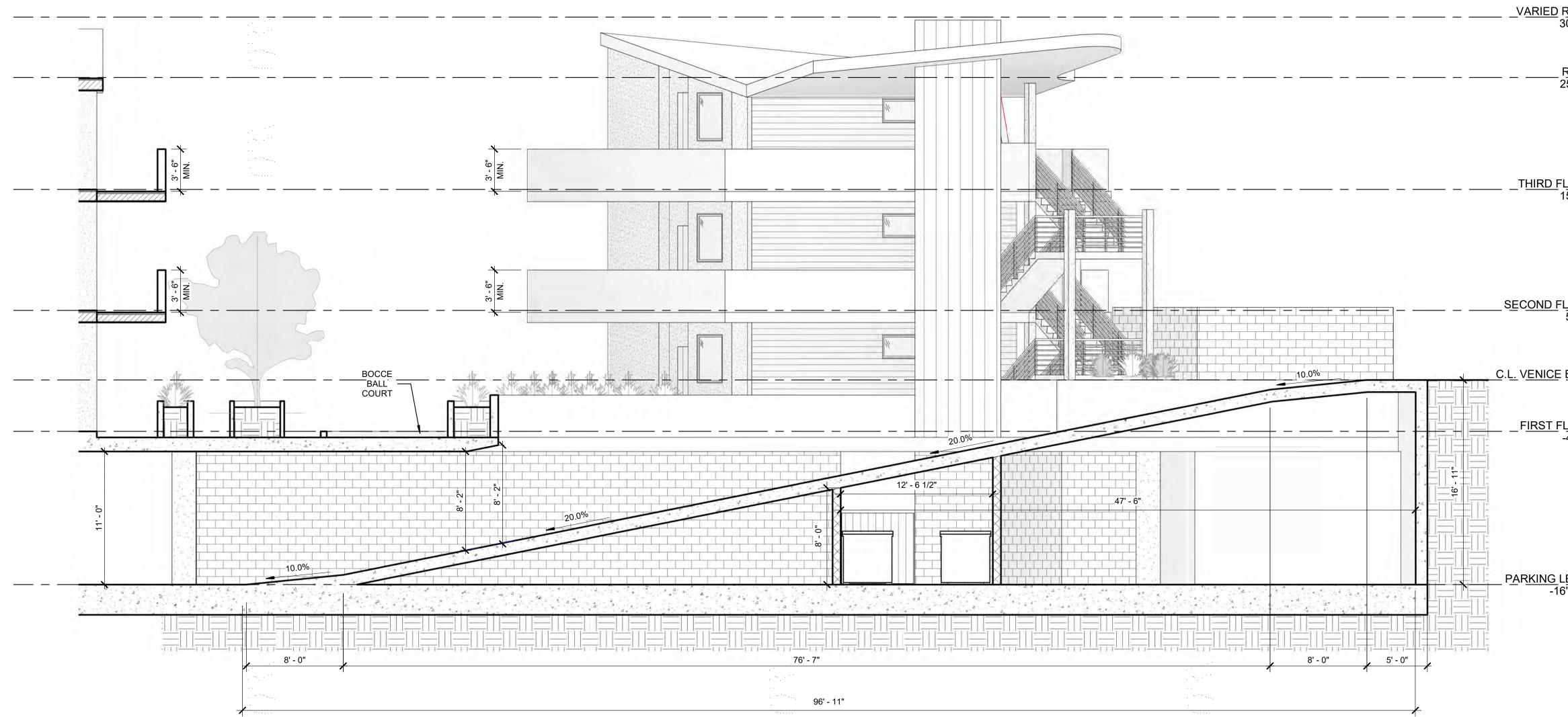
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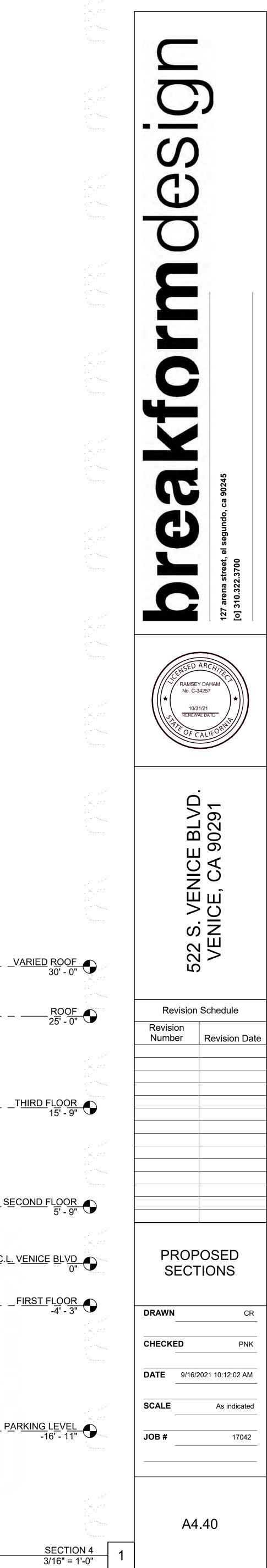
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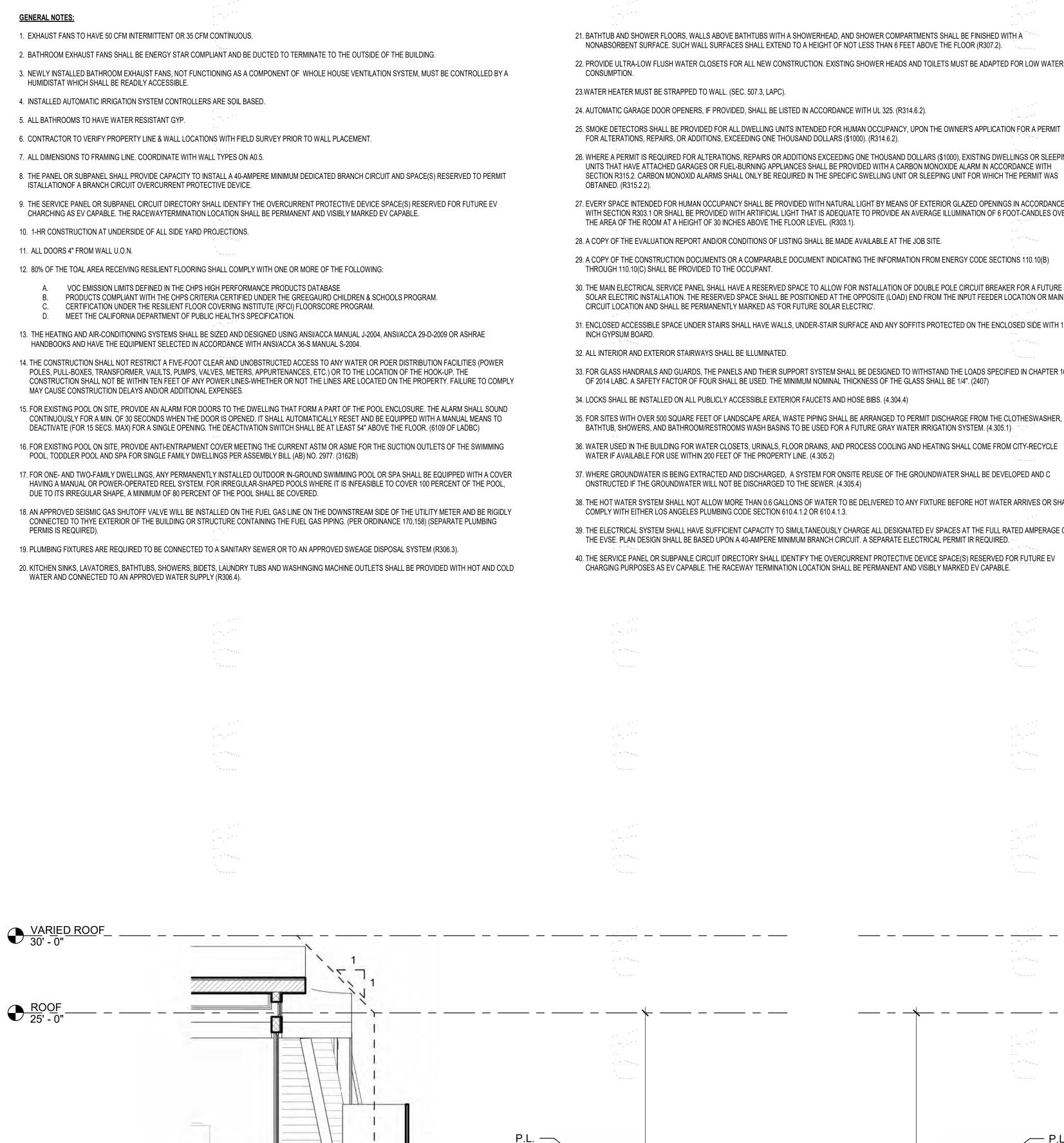
7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMNIATED.

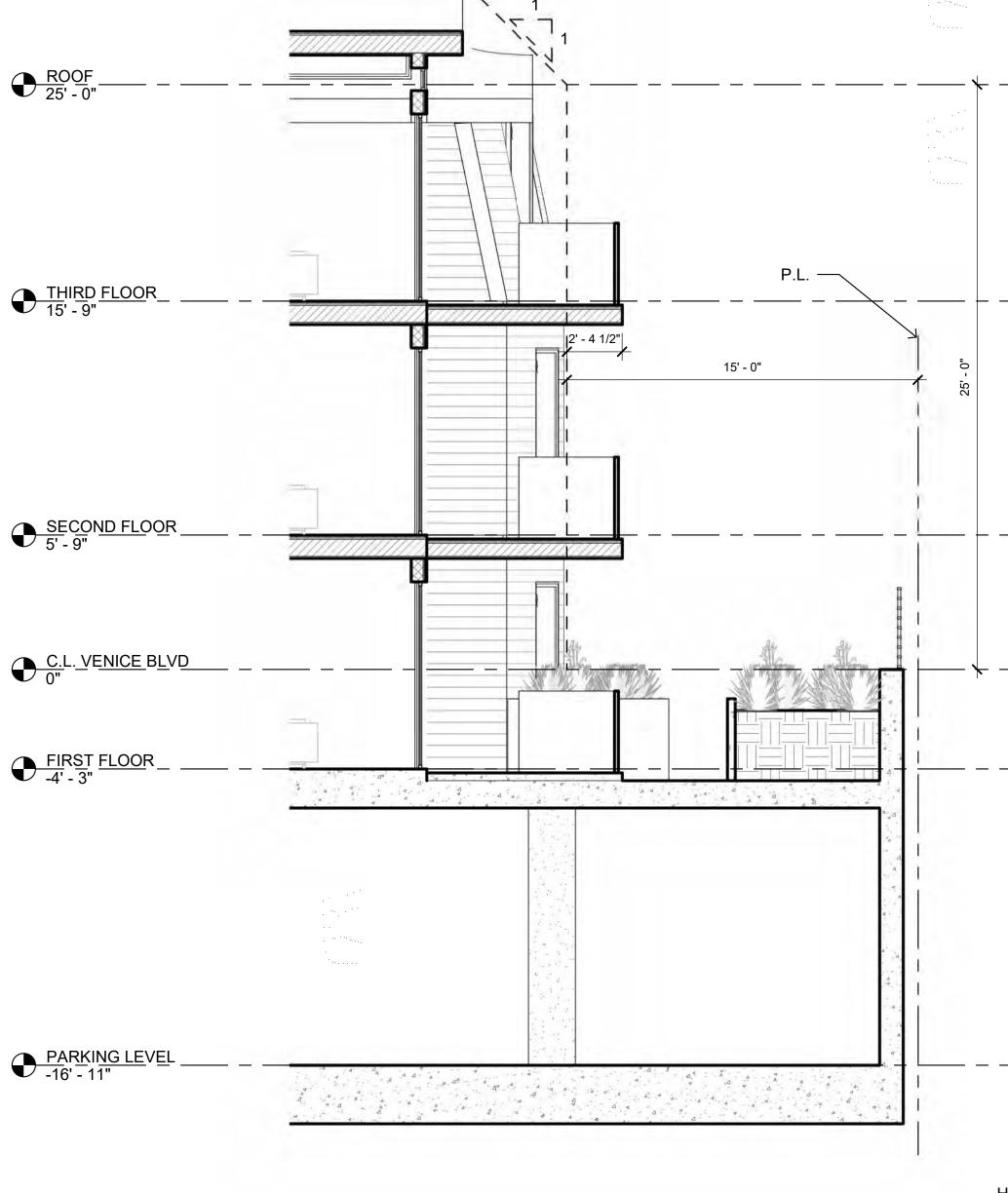
- **BUILDING ENVELOPE:**
- 1. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECI OF NATURALLY DURABLE WOOD OR WORD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- 2. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOOI BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO I
- THE GRAFFITI BEING APPLIED. (6306) 3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICAT PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)



		ASSEMBLY TYPES		SECTION LEGEND
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RCUIT AND SPACE(S) RESERVED TO PERMIT	(1) 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.10)	)	ONC FLOOR PER STRC. W/ WOOD NISH (9/A0.10)	— – – – – – – 2 HR
APPROVED LABELING AGENCY NAME,	2 2x6 PLUMBING WALL ASSM. (2/A0.10)		ONC FLOOR PER STRC. W/ TILE NISH (10/A0.10)	
APPROVED LABELING AGENCY NAME,	(3) 1-HR 2x6 INTERIOR W ASSM. (3/A0.10)	/ALL (A-3) CO	ONC FLOOR PER STRC. W/ POLISHED ONC. FINISH (11/A0.10)	
	4 1-HR 2x6 EXTERIOR V ASSM. (4/A0.10)		OOD JOIST PER STRC. W/ WOOD NISH (12/A0.10)	
NUTES AND SELF-CLOSING AND THICK. (R302.5.1)		B-2 W	OOD JOIST PER STRC. W/ TILE NISH (13/A0.10)	EXISTING GRADE
ARKVEHICLES SHALL BE SLOPED TO A DRAIN	$\langle 6 \rangle$ 4" CONC. PER STRC.	(R-1) W	OOD JOIST W/ WOOD DECK PER	
	(6/A0.10) (7) 8" CONC. RETAINING	WALL R-2 W	PEC. (14/A0.10) 'OOD JOIST PER STRC. W/ METAL	
NINGS (BOTH VERTICAL AND HORIZONTAL)	PER STRC. (7/A0.10)	ř R	OOFING PER SPEC. (15/A0.10)	
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IAL. (R314)				
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21. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

22. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER

24. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R314.6.2).

26. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXID ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC SWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS

27. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).

28. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE. 29. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B)

30. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'.

31. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2

33. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4". (2407)

35. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1) 36. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE

37. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND C

ONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4) 38. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL

39. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE: PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IR REQUIRED.

40. THE SERVICE PANEL OR SUBPANLE CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

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41. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRC INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

42. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE A PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9) GARAGE / CARPORT:

1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINU SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES T

2. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PA OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)

FIRE-RESISTANCE RATED CONSTRUCTION: 1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENI AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE

2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPA DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUA THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)

3. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE V (R313, 12.21A17(D)) 4. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

5. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECT WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SOURCE FROM THE BUILDING WIRING ABND SHALL BE EQUIPPED WITH BATTER BACK-UP AND LOW BATTERY SIGNA

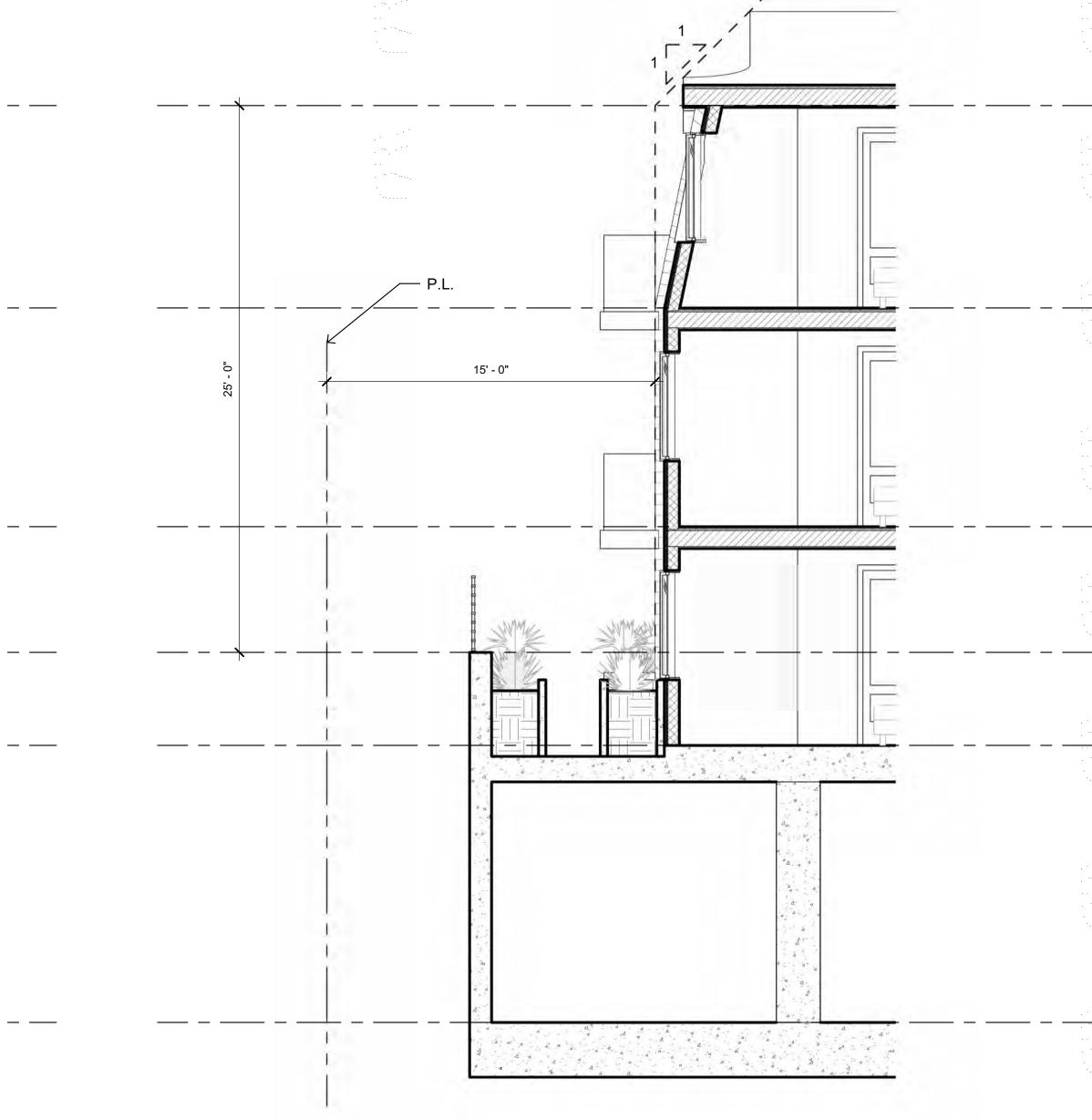
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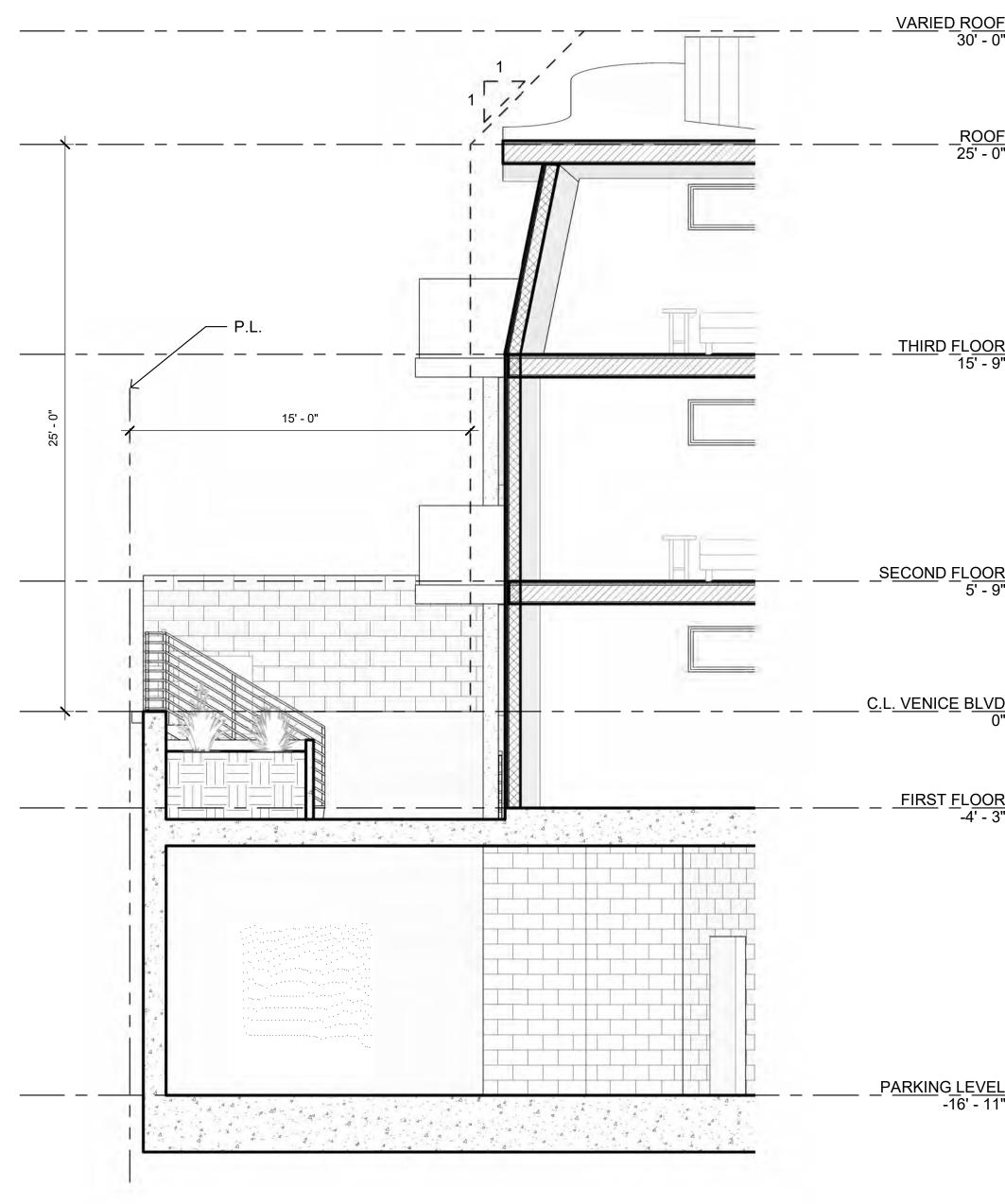
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HEIGHT SECTION 3 1/4" = 1'-0"

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CIRCUIT AND SPACE(S) RESERVED TO PERMIT	\//۵	ASSEMB	<u>ILY TYPES</u> <u>FLOC</u>	DRS	
E APPROVED LABELING AGENCY NAME,		2x4 & 2x6 INTERIOR	(A-1)	CONC FLOOR PER STRC. W/ WOOD	SECTION LEGEND
	2>	WALL ASSM. (1/A0.10) 2x6 PLUMBING WALL	(A-2)	FINISH (9/A0.10) CONC FLOOR PER STRC. W/ TILE	——————————————————————————————————————
/INUTES AND SELF-CLOSING AND	$\langle 3 \rangle$	ASSM. (2/A0.10) 1-HR 2x6 INTERIOR WALL	Å-3	FINISH (10/A0.10) CONC FLOOR PER STRC. W/ POLISHED	— — — — — — 2 HR
S THICK. (R302.5.1)	$\langle 4 \rangle$	ASSM. (3/A0.10) 1-HR 2x6 EXTERIOR WALL	B-1	CONC. FINISH (11/A0.10) WOOD JOIST PER STRC. W/ WOOD	X'-X" ELEVATION M
PARKVEHICLES SHALL BE SLOPED TO A DRAIN	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	ASSM. (4/A0.10) x	(B-2)	FINISH (12/A0.10) WOOD JOIST PER STRC. W/ TILE	
		(5/A0.10) 4" CONC. PER STRC.	R-1	FINISH (13/A0.10) WOOD JOIST W/ WOOD DECK PER	EXISTING GRA
ENINGS (BOTH VERTICAL AND HORIZONTAL) PACE. (R302.11)	~	(6/A0.10)	~	SPEC. (14/A0.10)	
SPACE OF A FLOOR/CEILING ASSEMBLY, QUARE FEET, DRAFTSTOPPING SHALL DIVIDE		8" CONC. RETAINING WALL PER STRC. (7/A0.10)	(R-2)	WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (15/A0.10)	
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HEIGHT SECTION 1 1/4" = 1'-0"

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